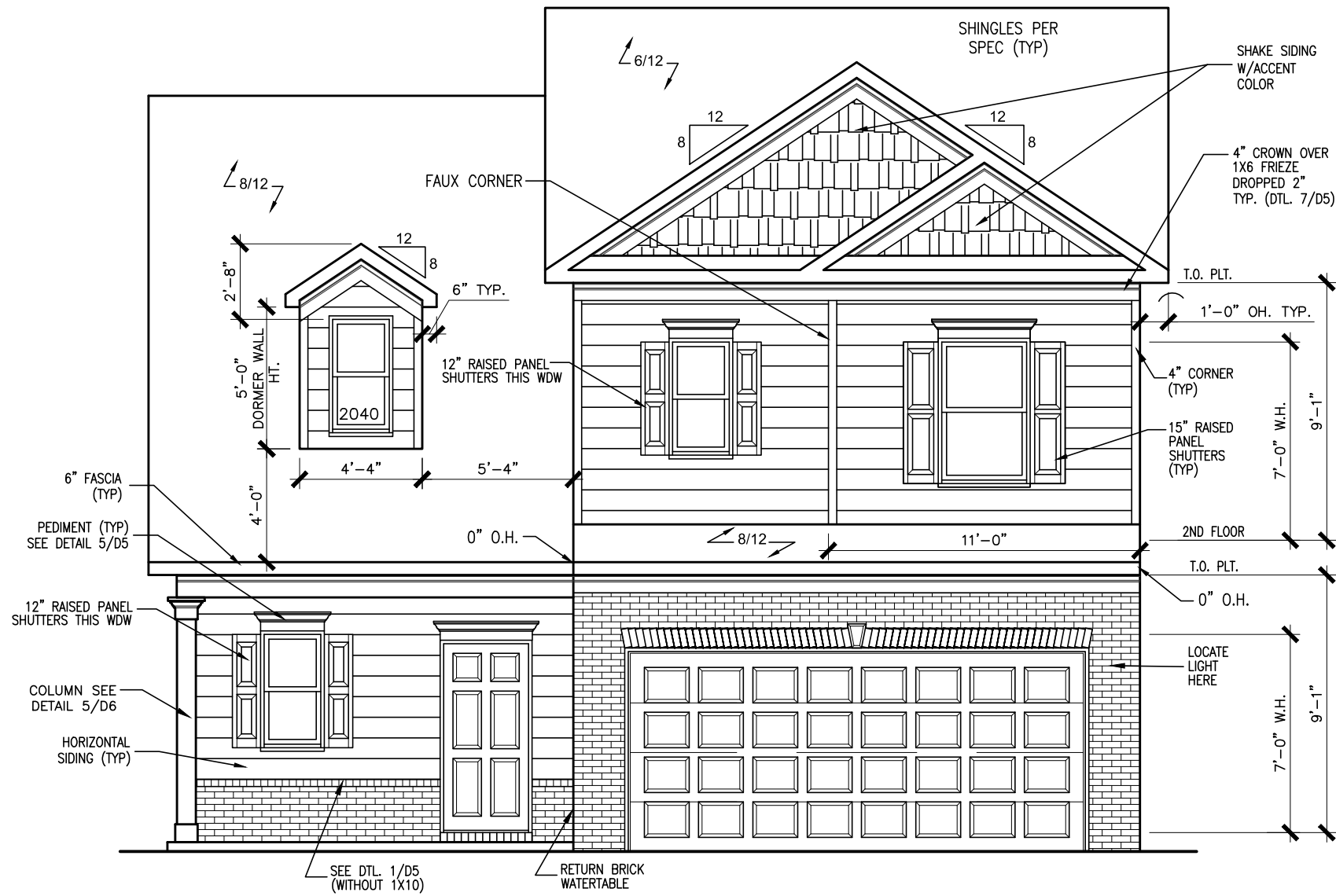


ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

CEDAR POINTE LOT 0007



FRONT ELEVATION "D"

SCALE: 3/16"=1'-0"

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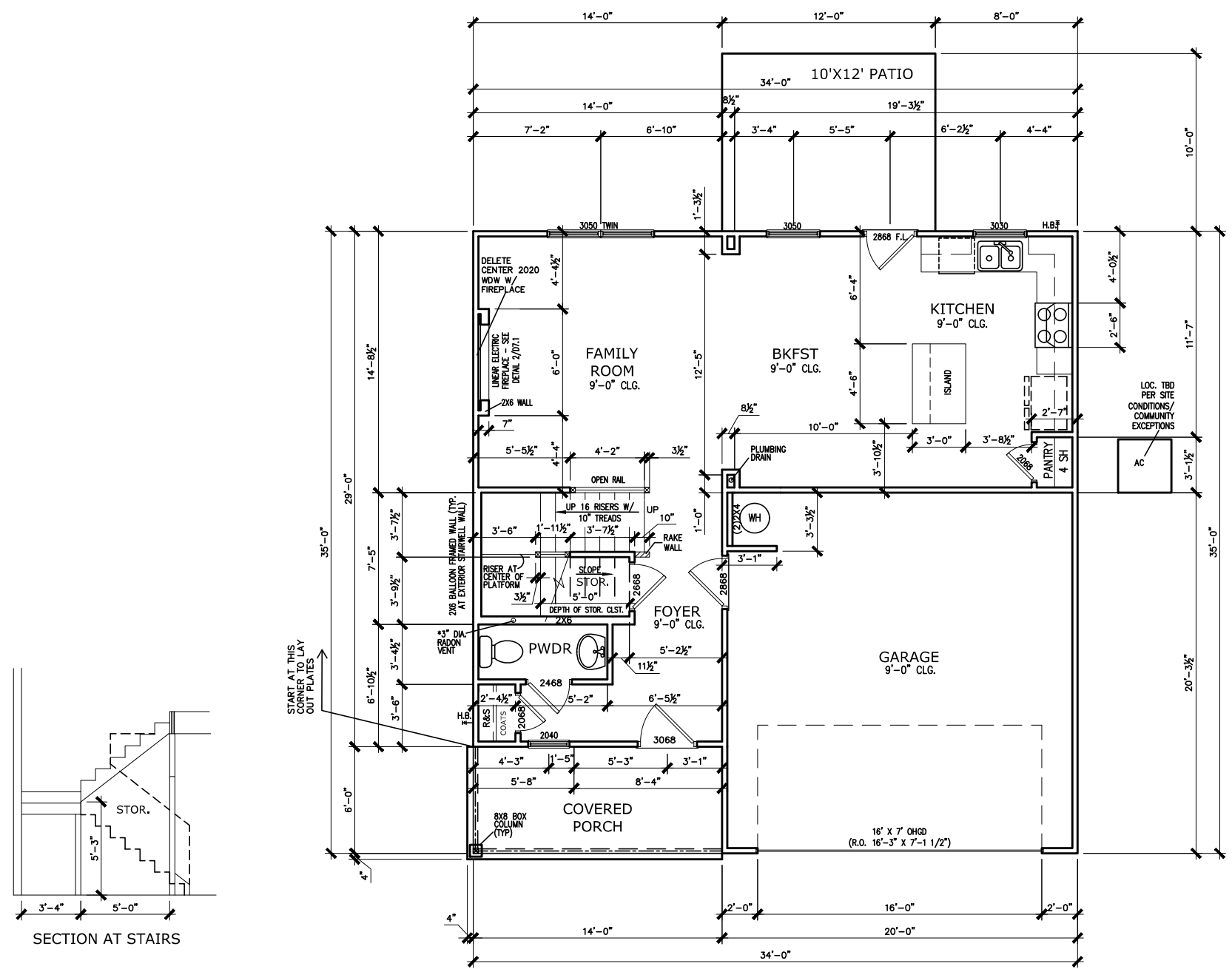
ELEVATIONS
FRONT ELEVATION
LAWSON

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| FACADE OPT: A | |
| PLAN ID: | |
| FND: ALL | ELEV: D |
| PAGE NO: A1.1 | |

CEDAR POINTE LOT 0007



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

*RADON VENT PROVIDED
PER LOCAL CODE

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QUALITY | INTEGRITY | VALUE

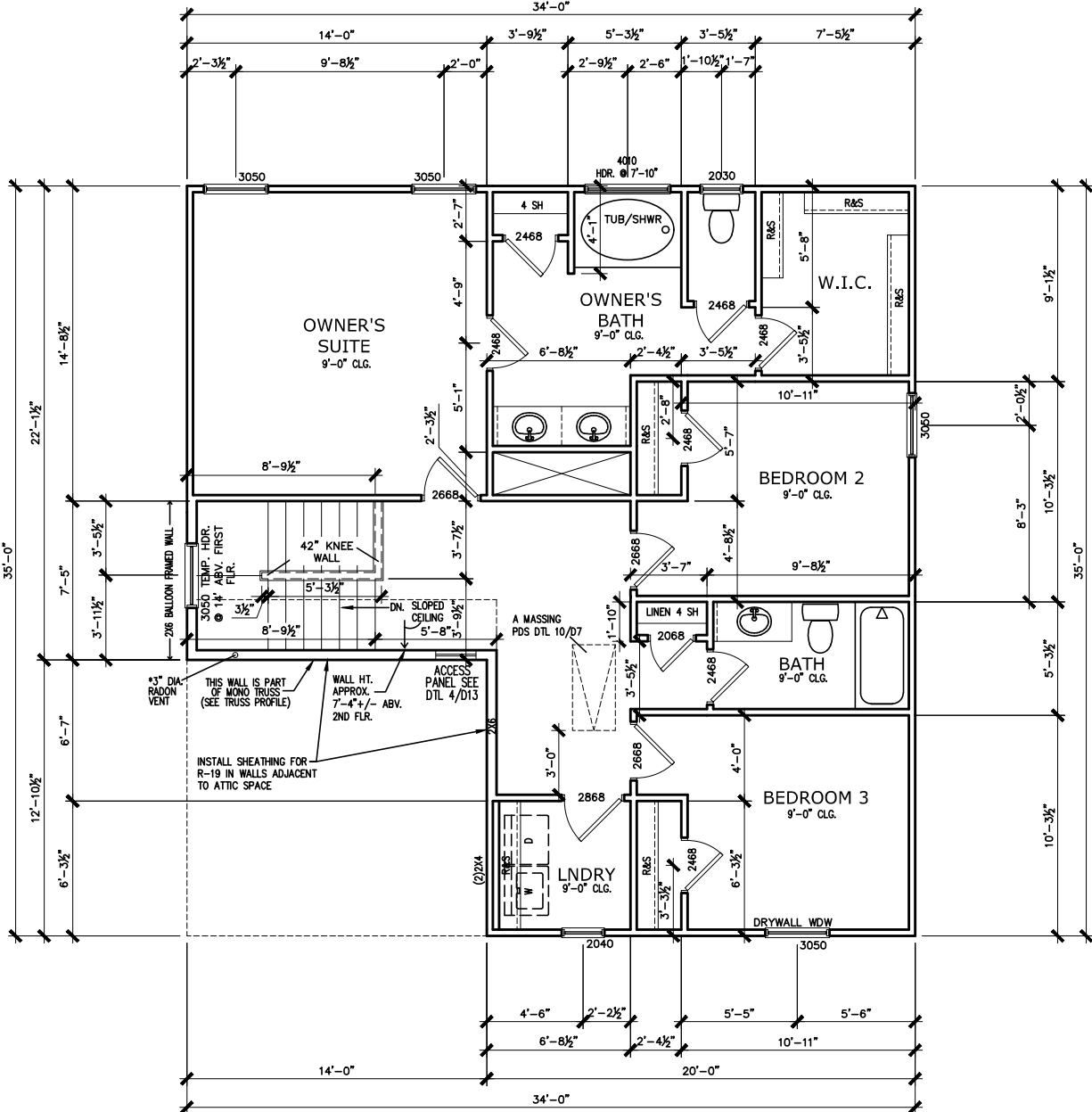
FLOOR PLAN
FIRST FLOOR
LAWSON

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| PAGE NO: A5.1 | |

CEDAR POINTE LOT 0007



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

*RADON VENT PROVIDED PER LOCAL CODE

REFER TO MANUFACTURER'S SPECS. FOR DRAIN LOCATIONS ON DETAIL SHEETS D12, D12.1, & D12.2

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SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

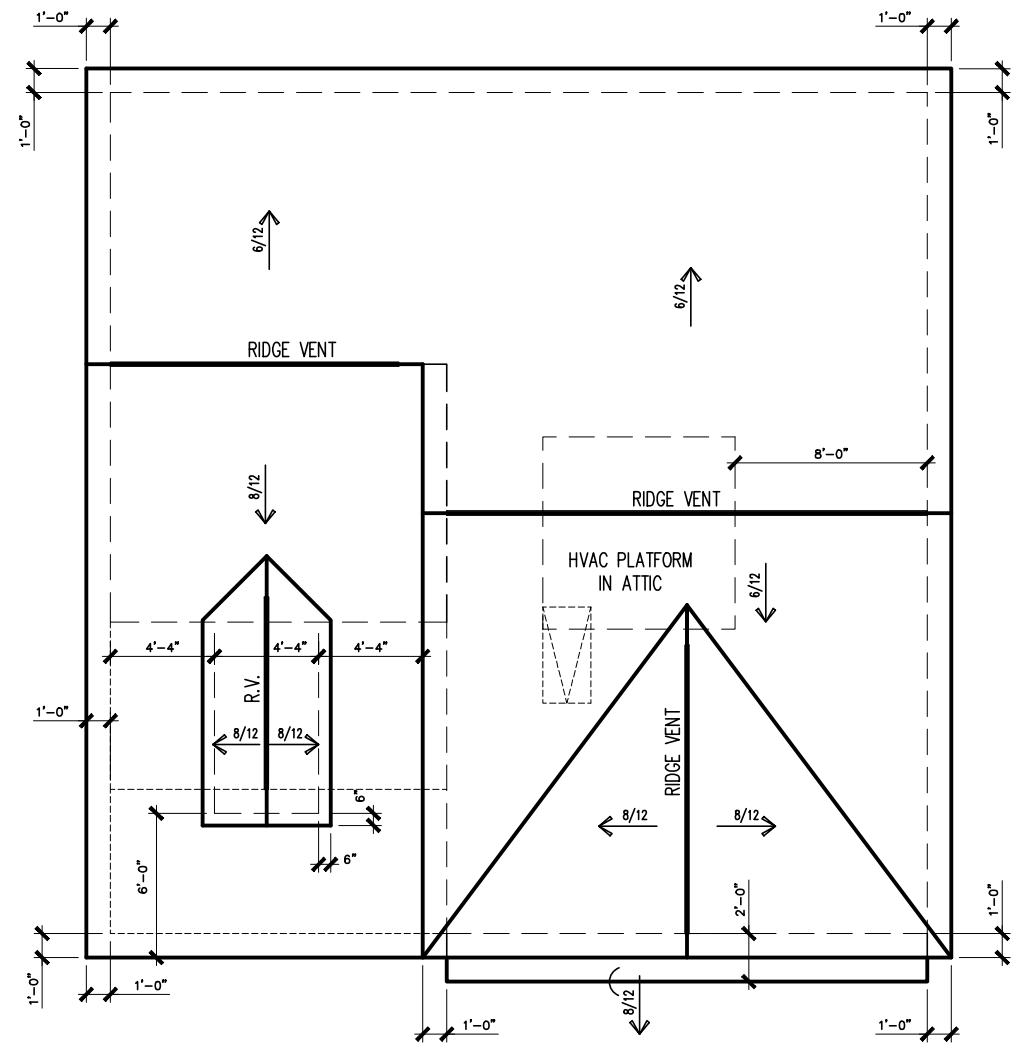
FLOOR PLAN
SECOND FLOOR
LAWSON

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| PAGE NO: A5.2 | |

CEDAR POINTE LOT 0007



ROOF PLAN "D"
SCALE : 1/8" = 1'-0"

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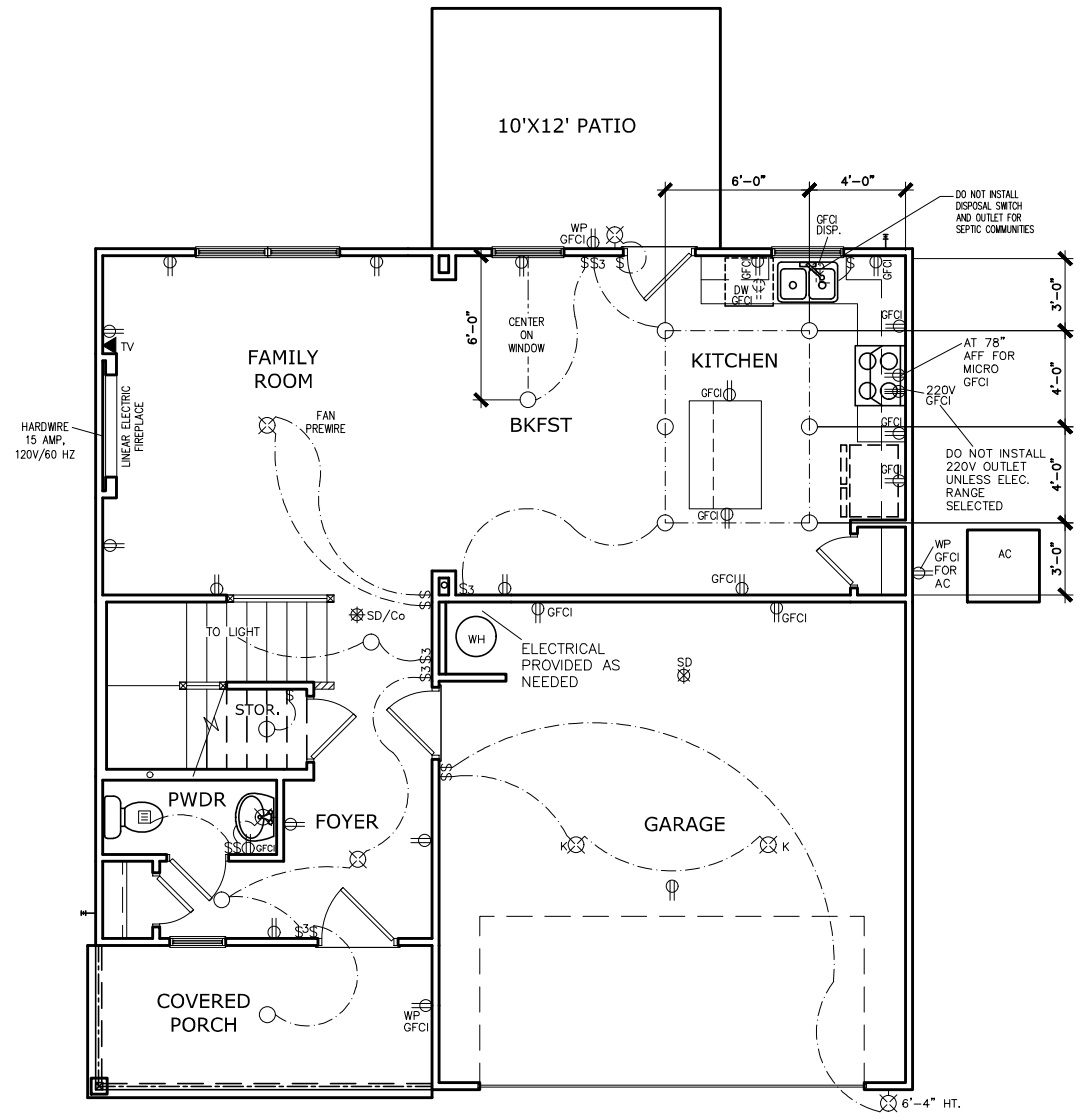
ROOF PLAN
ROOF PLAN
LAWSON

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| FND: ALL | ELEV: D |
| PAGE NO: A6.1 | |

CEDAR POINTE LOT 0007



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

| ELECTRICAL LEGEND | | | |
|--|----------------------------------|----|--------------------------------|
| \$ | SWITCH | TV | TV |
| \$3 | 3 WAY SWITCH | ⊕ | 120V RECEPTACLE |
| \$4 | 4 WAY SWITCH | ⊕ | 120V SWITCHED RECEPTACLE |
| ⊗ | CEILING FIXTURE | ⊕ | 220V RECEPTACLE |
| ⊕ | KEYLESS | ⊕ | GFCI OUTLET |
| ⊕ | WALL MOUNT FIXTURE | ⊕ | ARCH FAULT CIRCUIT INTERRUPTER |
| ○ | CEILING FIXTURE | † | GAS LINE |
| ● | FLEX CONDUIT | † | WATER LINE |
| CH | CHIMES | ⊥ | HOSE BIBB |
| PH | TELEPHONE | ⊕ | FLOOD LIGHT |
| SD/Co | SMOKE DETECTOR & CARBON MONOXIDE | ⊕ | 1x4 LUMINOUS FIXTURE |
| SO | SECURITY OUTLET | ⊕ | CEILING FAN |
| □ | GARAGE DOOR OPENER | — | ELECTRICAL WIRING |
| ⊕ | EXHAUST FAN | ⊕ | CEILING FIXTURE |
| ⊕ | FAN/LIGHT | | |
| ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES | | | |
| APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE) | | | |
| BREAKFAST/DINING ROOM | 63" ABOVE FINISHED FLOOR | | |
| KITCHEN PENDANT LIGHTS | 33" ABOVE COUNTER TOP | | |
| TWO STORY FOYER FIXTURE | 96" ABOVE FINISHED FLOOR | | |
| CEILING FAN | 96" ABOVE FINISHED FLOOR | | |
| FLOOD LIGHT | 10' MAX. ABOVE FIN. FLOOR | | |

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

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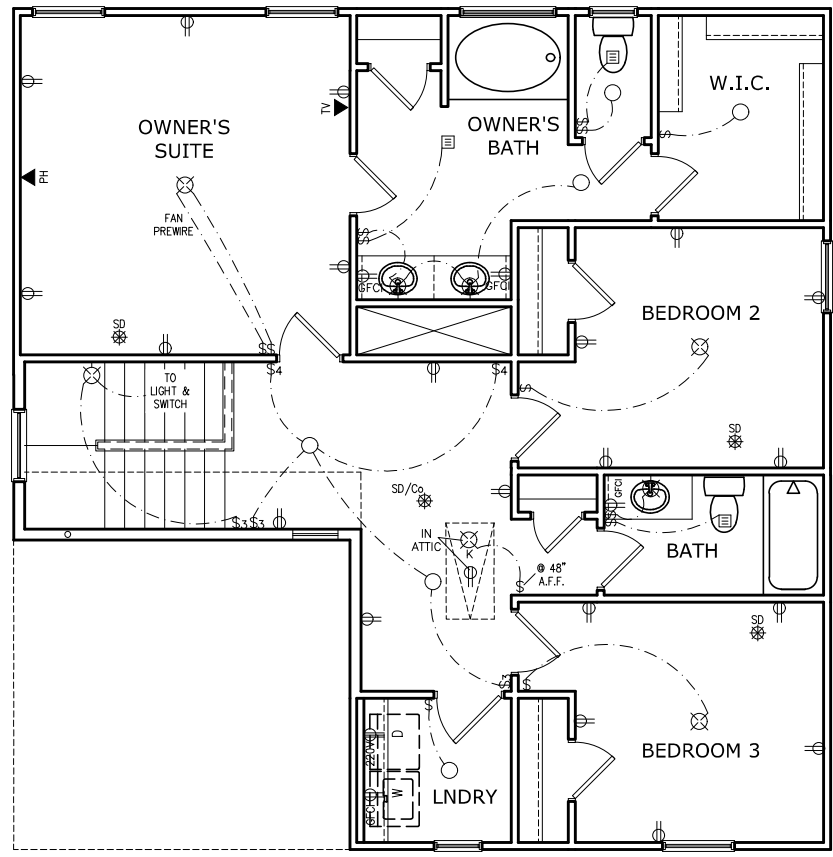
ELECTRICAL PLAN
FIRST FLOOR
LAWSON

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| FND: | ALL | BLV: | D |
| PAGE NO: | A7.2 | | |

CEDAR POINTE LOT 0007



SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

| ELECTRICAL LEGEND | | | |
|--|----------------------------------|----|--------------------------------|
| § | SWITCH | TV | TV |
| §3 | 3 WAY SWITCH | ⊕ | 120V RECEPTACLE |
| §4 | 4 WAY SWITCH | ⊕ | 120V SWITCHED RECEPTACLE |
| ⊗ | CEILING FIXTURE | ⊕ | 220V RECEPTACLE |
| ⊕ | KEYLESS | ⊕ | GFCI OUTLET |
| ⊕ | WALL MOUNT FIXTURE | ⊕ | ARCH FAULT CIRCUIT INTERRUPTER |
| ○ | CEILING FIXTURE | † | GAS LINE |
| ● | FLEX CONDUIT | † | WATER LINE |
| CH | CHIMES | ⊥ | HOSE BIBB |
| PH | TELEPHONE | ⊕ | FLOOD LIGHT |
| SD/Co | SMOKE DETECTOR & CARBON MONOXIDE | ⊕ | 1x4 LUMINOUS FIXTURE |
| SO | SECURITY OUTLET | ⊕ | CEILING FAN |
| □ | GARAGE DOOR OPENER | — | ELECTRICAL WIRING |
| ⊕ | EXHAUST FAN | ⊕ | CEILING FIXTURE |
| ⊕ | FAN/LIGHT | | |
| ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES | | | |
| APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE) | | | |
| BREAKFAST/DINING ROOM | 63" ABOVE FINISHED FLOOR | | |
| KITCHEN PENDANT LIGHTS | 33" ABOVE COUNTER TOP | | |
| TWO STORY FOYER FIXTURE | 96" ABOVE FINISHED FLOOR | | |
| CEILING FAN | 96" ABOVE FINISHED FLOOR | | |
| FLOOD LIGHT | 10' MAX. ABOVE FIN. FLOOR | | |

NOTE: FINAL PLACEMENT OF
PHONE/CABLE T.B.D. ON SITE
BY THE BUILDER

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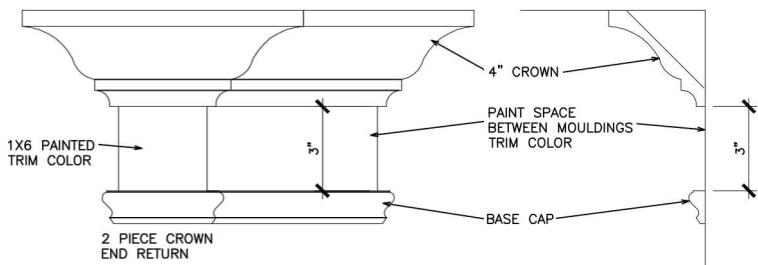
ELECTRICAL PLAN
SECOND FLOOR
LAWSON

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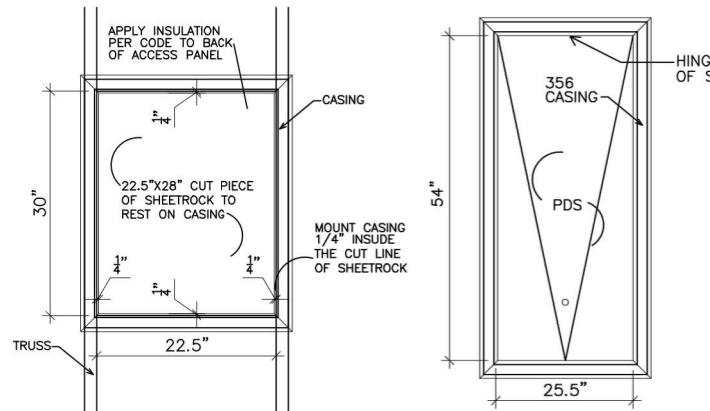
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| FACADE OPT: A | |
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| PAGE NO: A7.3 | |

REFER TO LOT SPECIFIC PLAN TO DETERMINE WHICH DETAILS APPLY



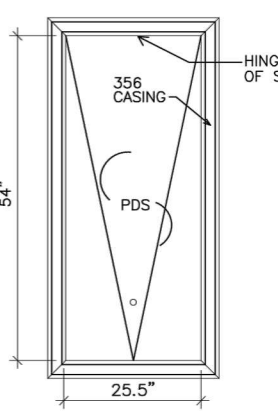
TYPICAL TWO PIECE CROWN

N.T.S.



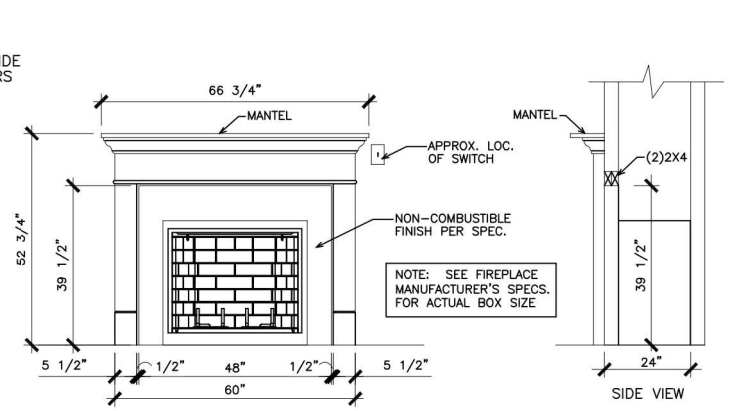
SCUTTLE HOLE DETAIL

N.T.S.



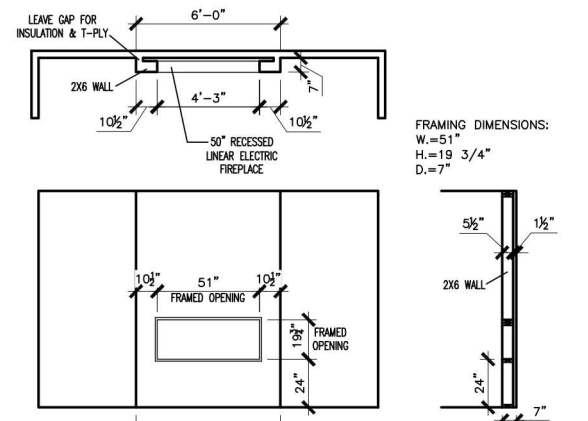
PDS TRIM DETAIL

N.T.S.



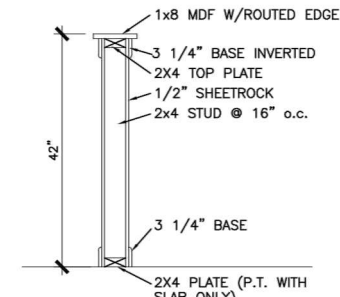
GAS/ELECTRIC FIREPLACE DETAIL WITH WESCOTT WOOD MANTEL

N.T.S.



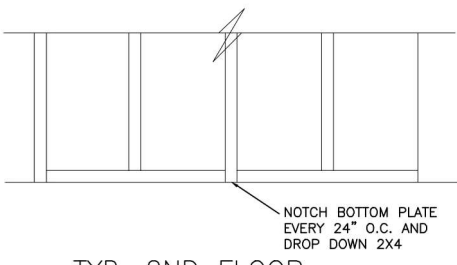
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S.



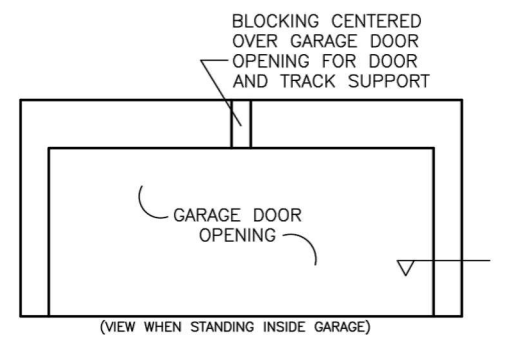
TYP. KNEEWALL SECTION

N.T.S.



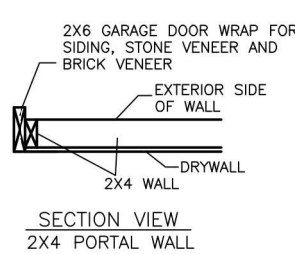
TYP. 2ND FLOOR KNEEWALL STABILITY

N.T.S.



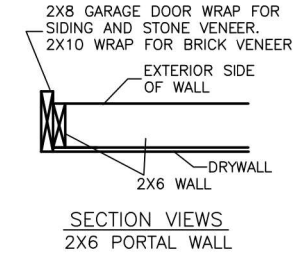
TYP. GARAGE WRAP & BLOCKING

N.T.S.



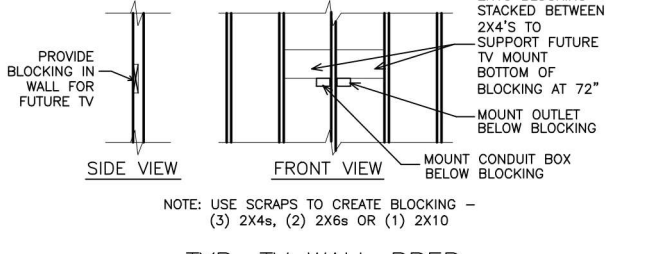
SECTION VIEW 2X4 PORTAL WALL

N.T.S.



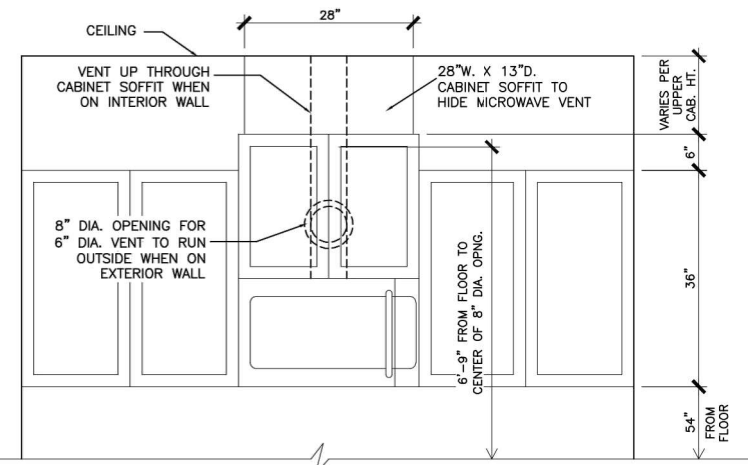
SECTION VIEWS 2X6 PORTAL WALL

N.T.S.



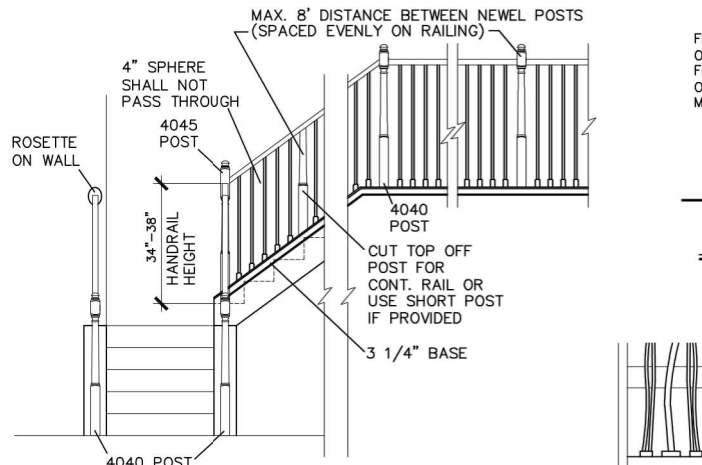
TYP. TV WALL PREP

N.T.S.



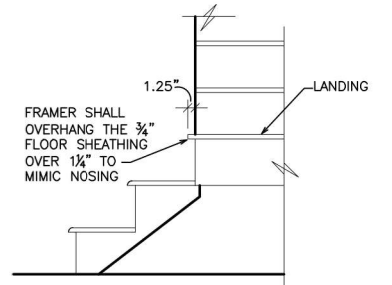
CABINET SOFFIT DETAIL ABOVE VENTED MICROWAVE W/CABINET ABOVE RANGE BUMPED UP & OUT

N.T.S.



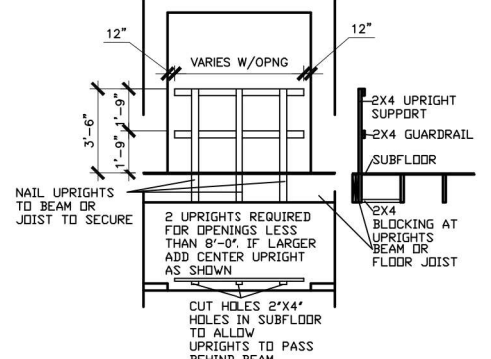
HANDRAIL/POST DETAIL @ STAIRS

N.T.S.



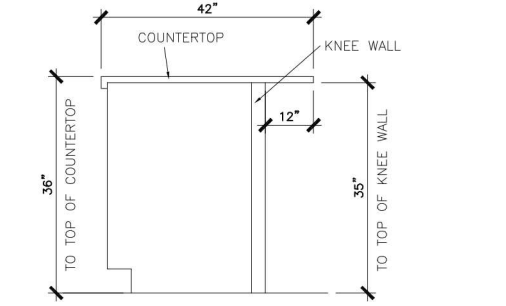
BOX STEP OVERHANG

N.T.S.



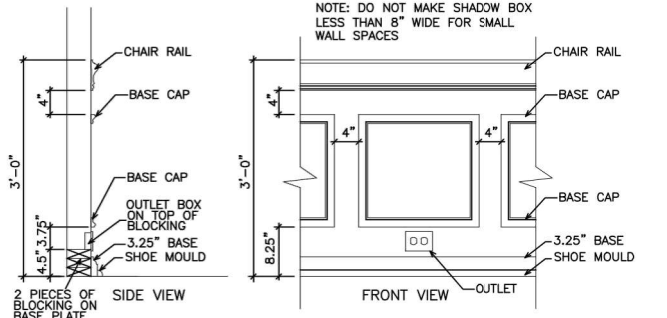
GUARD RAIL DTL. AS REQ'D

N.T.S.



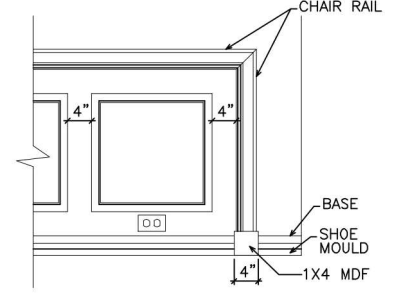
SECTION @ ISLAND KNEEWALL

N.T.S.



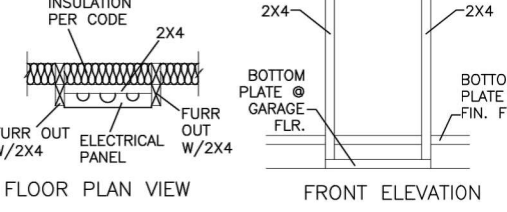
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S.



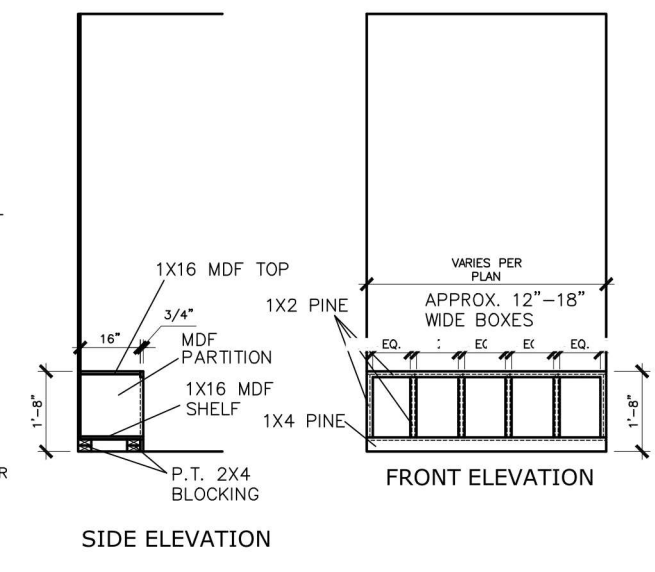
CHAIR RAIL END TRIM DETAIL

N.T.S.



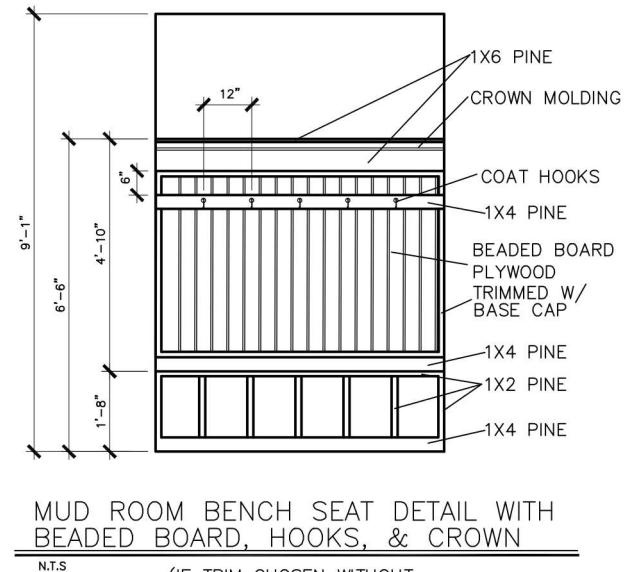
ELECTRICAL PANEL DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL WITH BEADED BOARD, HOOKS, & CROWN

N.T.S.

(IF TRIM CHOSEN WITHOUT BENCH CONTINUE TO FLOOR)

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INTERIOR TRIM
DETAILS

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| PAGE NO.: | D1.1 |

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

Table with 3 columns: DESCRIPTION OF BLDG. ELEMENT, 3"x0.131" NAILS, 3"x0.120" NAILS. Rows include JOIST TO SOLE PLATE, SOLE PL. TO JOIST/RIM OR BLK'G STUD TO PLATE, RIM TO TOP PLATE, etc.

* 2 5/8"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE * ARE SHOWN)

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER. ROOF TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW...

VENEER LINTEL SCHEDULE. Table with columns: SPAN (MAX), HEIGHT OF VENEER ABOVE LINTEL, STEEL ANGLE SIZE. Rows for spans 3'-0", 6'-0", 8'-0", 9'-6".

ALL LINTELS: - SHALL SUPPORT 2 1/2" - 3 1/2" VENEER W/ 40 psf MAXIMUM HEIGHT. - 1/2" SHALL HAVE 4" MIN. BEARING. - 1/4" SHALL HAVE 6" MIN. BEARING. - 1/8" SHALL NOT BE FASTENED BACK TO HEADER.

GENERAL STRUCTURAL NOTES

FOUNDATION, EXT. WALL SHEATHING SPECIFICATION, NOTES, LEGEND. Includes text about design basis (2018 NCBCG-RESIDENTIAL CODE), footing design, wall sheathing, and reinforcement details.

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: 120MPH WIND IN 2018 NCBCG:RC & 120MPH WIND IN 2018 IRC. THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC...

EXT. WALL SHEATHING SPECIFICATION. 7/16" OSB OR 1/532" PLYWOOD: FASTEN SHEATHING W/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD...

3" O.C. EDGE NAILING. AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD...

NOTES. SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.

NON-BEARING HEADER SCHEDULE

Table with 3 columns: SPAN, 2x4 NON-BEARING PARTITION WALL, 2x6 NON-BEARING PARTITION WALL. Rows for spans UP TO 3'-0", UP TO 6'-0", UP TO 8'-0".

FLOOR FRAMING

I-JOISTS SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE...

ROOF FRAMING

ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS - W/ 2 1/2" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD.

MEANS & METHODS NOTES

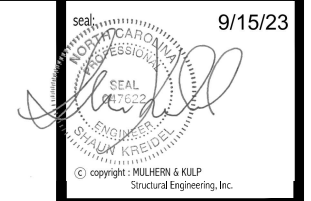
THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION...

GENERAL STRUCTURAL NOTES

DESIGN IS BASED ON 2018 NCBCG-RESIDENTIAL CODE & 2018 IRC WITH SOUTH CAROLINA AMENDMENTS. DESIGN LOADS: ROOF LIVE = 20 PSF, DEAD = 1 PSF T.C., 10 PSF B.C. FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS), DEAD = 10 PSF (1-JOISTS).

GENERAL FRAMING

ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3(1)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY.



MULHERN+KULP RESIDENTIAL STRUCTURAL ENGINEERING. 3025 Dunwoody Parkway, Suite 105 - Alpharetta, GA 30022. 770-777-9974 - mulhern@mulhernkulp.com. NC License # C-3825.

Mulhern+Kulp project number: 256-22017. project mgr: SMK, drawn by: MRG, issue date: 12-09-22.

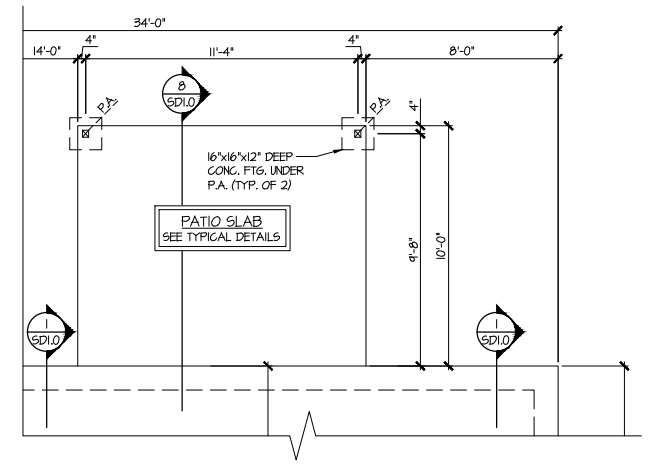
REVISIONS. date: initial:

SMITH DOUGLAS HOMES. GENERAL STRUCTURAL NOTES.

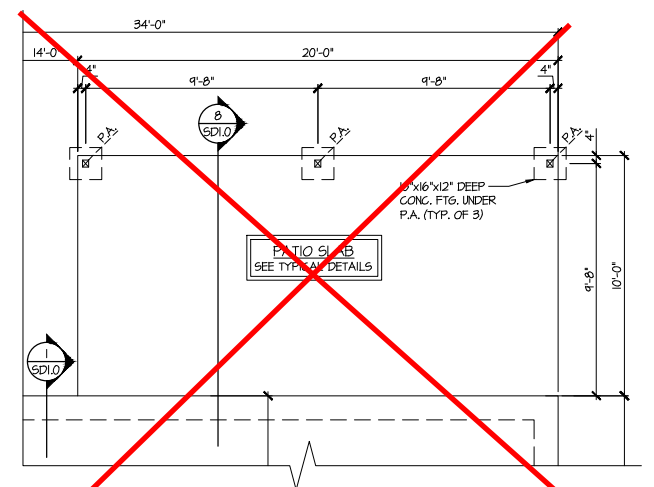
LAWSON MODEL. 120 MPH WIND ZONE NORTH CAROLINA. sheet:

Cedar Pointe Lot 7

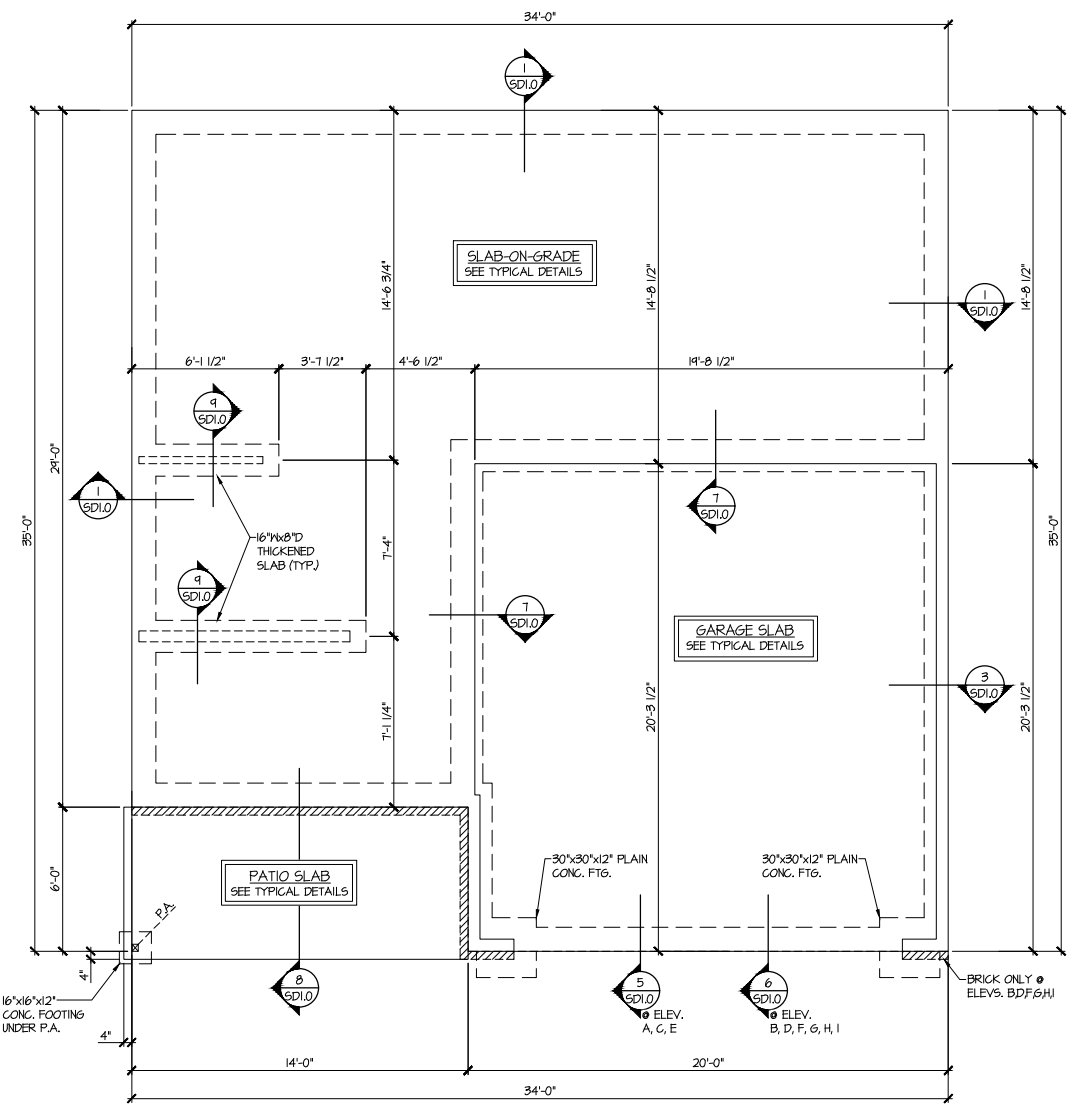
SO.0



2 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. COVERED PATIO
 ALL ELEVS. SIM.
 SEE BASE ELEV. FOR ADD'L INFO.



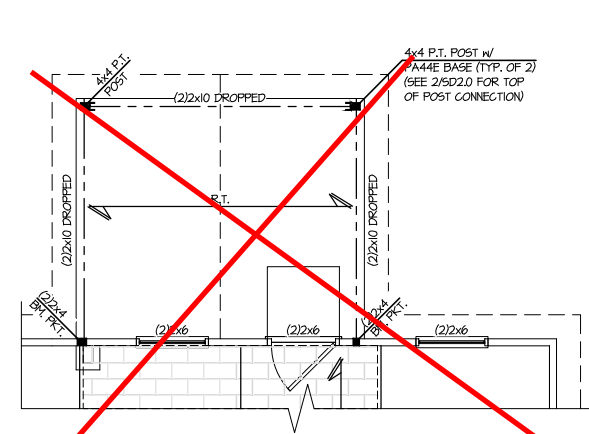
3 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. LARGE COVERED PATIO
 ALL ELEVS. SIM.
 SEE BASE ELEV. FOR ADD'L INFO.



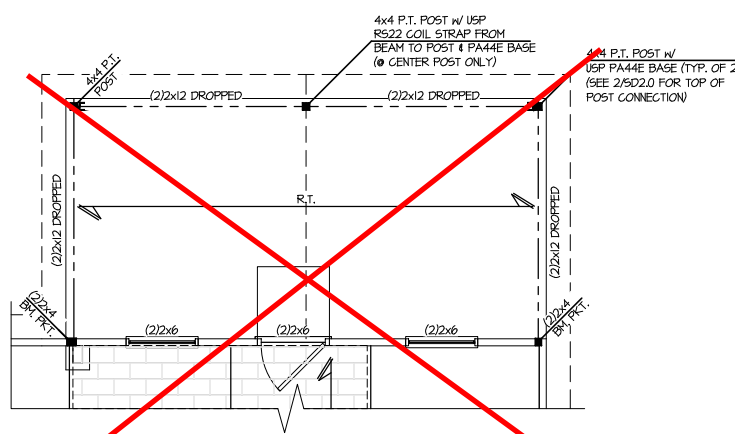
1 MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ALL ELEVS. SIM.

LEGEND

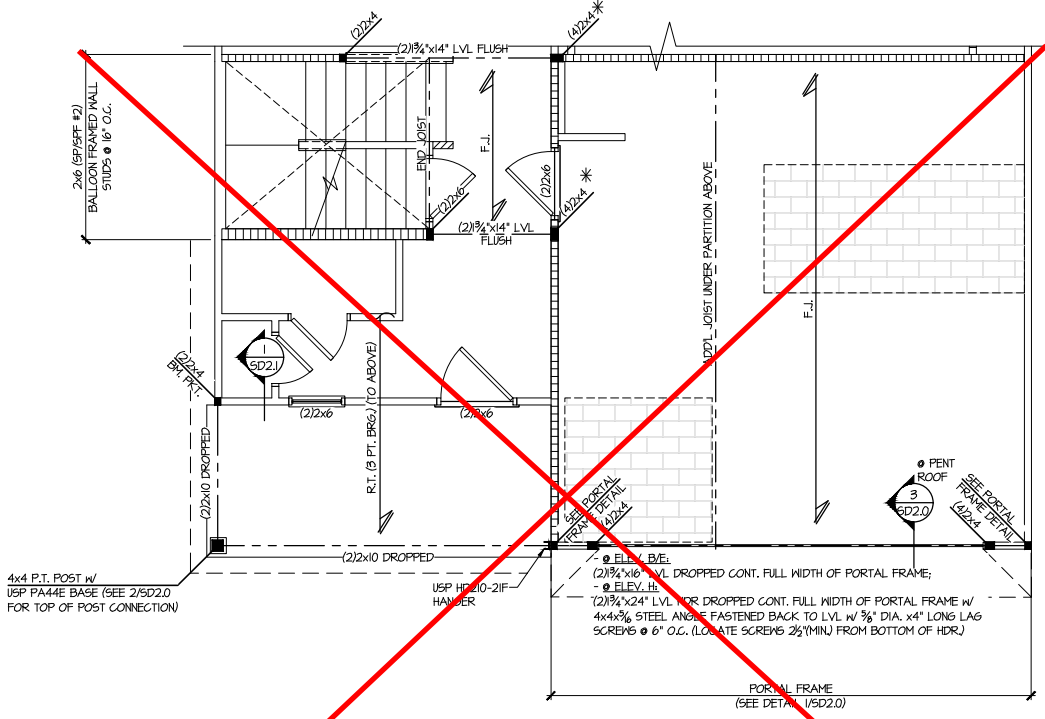
- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
- O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS @ 24" O.C. MAX. JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER. NOTE: 14" FLOOR TRUSSES @ 24" O.C. MAX. IS AN ACCEPTABLE ALTERNATE FLOOR SYSTEM.
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



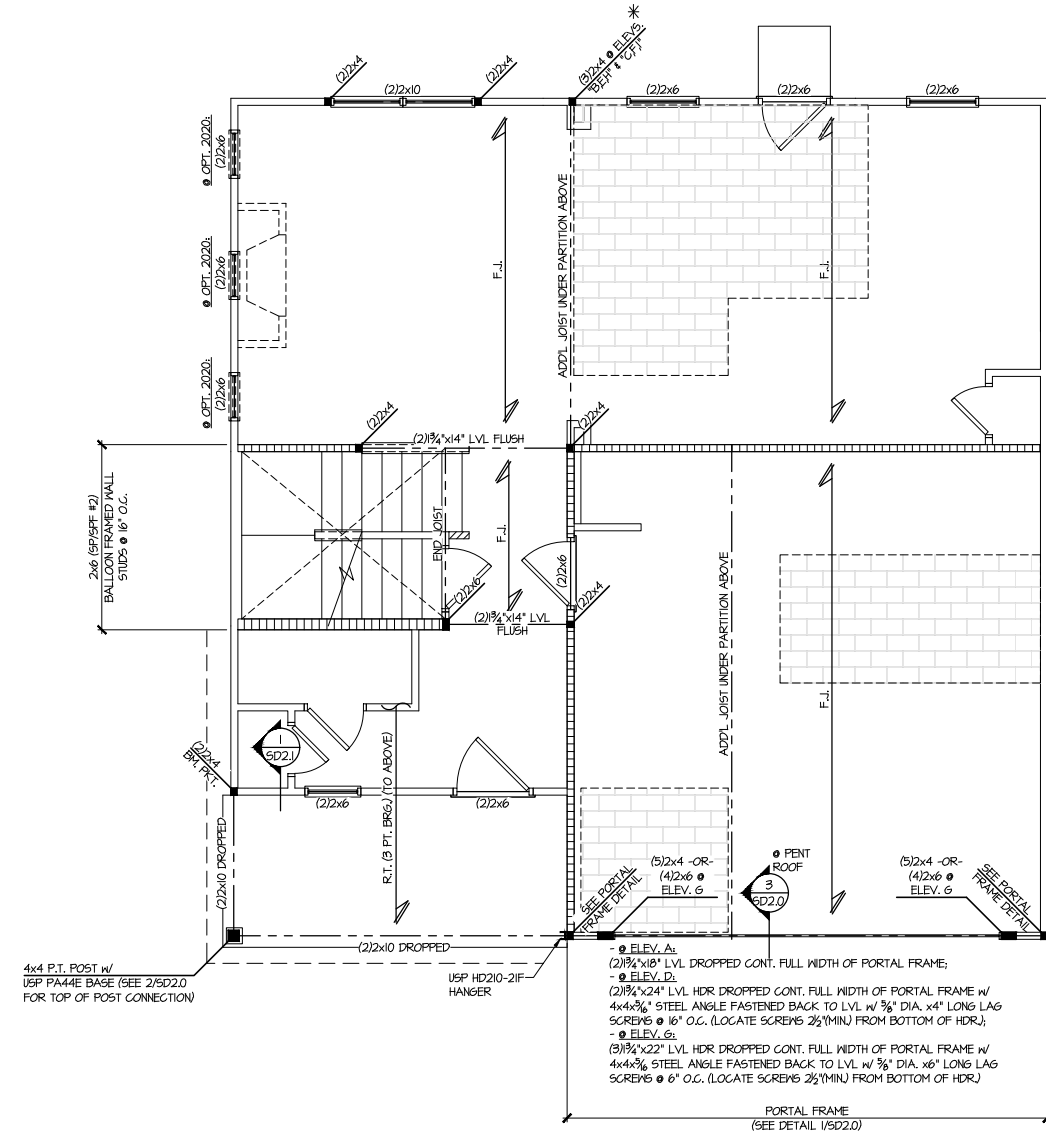
1 PARTIAL 2ND FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. COVERED PATIO
 ALL ELEV. SIM.
 SEE BASE ELEV. FOR ADD'L INFO.



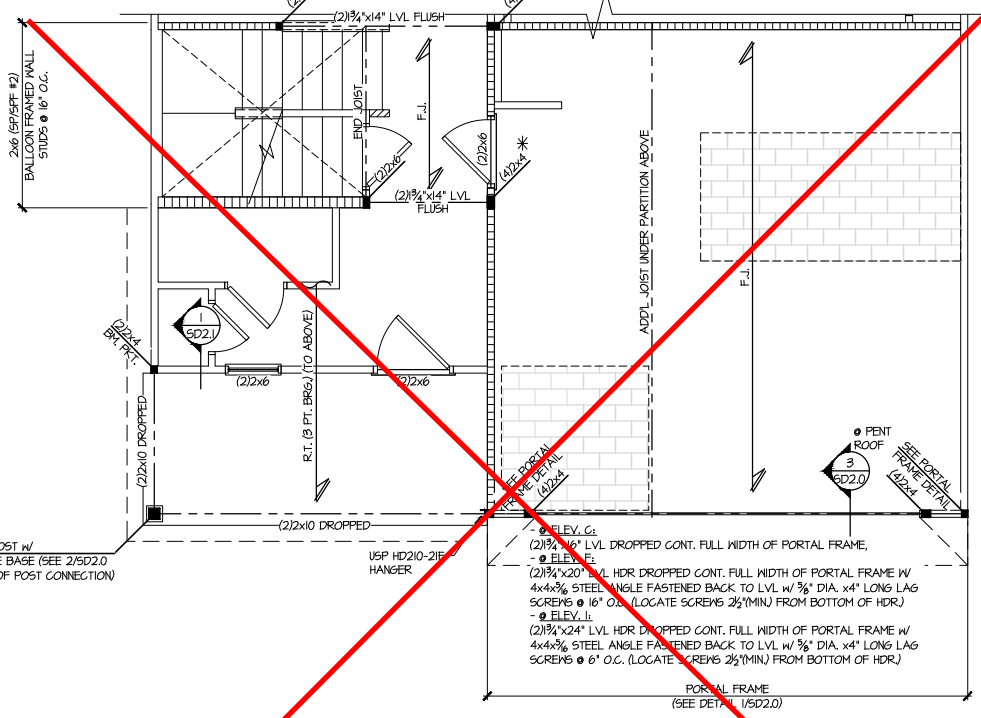
5 PARTIAL 2ND FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. LARGE COVERED PATIO
 ALL ELEV. SIM.
 SEE BASE ELEV. FOR ADD'L INFO.



2 PARTIAL 2ND FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. B
 ELEV. E & G SIM.
 SEE ELEV. A FOR ADD'L INFO.



1 2ND FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. A
 ELEV. D & G SIM.



3 PARTIAL 2ND FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. C
 ELEV. F & H SIM.
 SEE ELEV. A FOR ADD'L INFO.

**Cedar Point
 Lot 7**

THIS LEVEL HAS BEEN DESIGNED
 FOR 9'-1" PLATE HEIGHT
 REFER TO S0.0 FOR TYPICAL
 STRUCTURAL NOTES & SCHEDULES

| LEGEND | |
|--------|---|
| | INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.) |
| | INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.) |
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| | INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS. |
| | INTERIOR BEARING WALL |
| | BEARING WALL ABOVE (B.W.A.) |
| | BEAM/HEADER |
| | METAL HANGER |
| | INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE. |

NOTE: FRONT EXTERIOR GARAGE WALL TO BE 2x6 A ELEV. G ONLY

Mulhern+Kulp project number:
256-22017
 project mgr: **SMK**
 drawn by: **MRG**
 issue date: **12-09-22**

REVISIONS:
 date: initial:

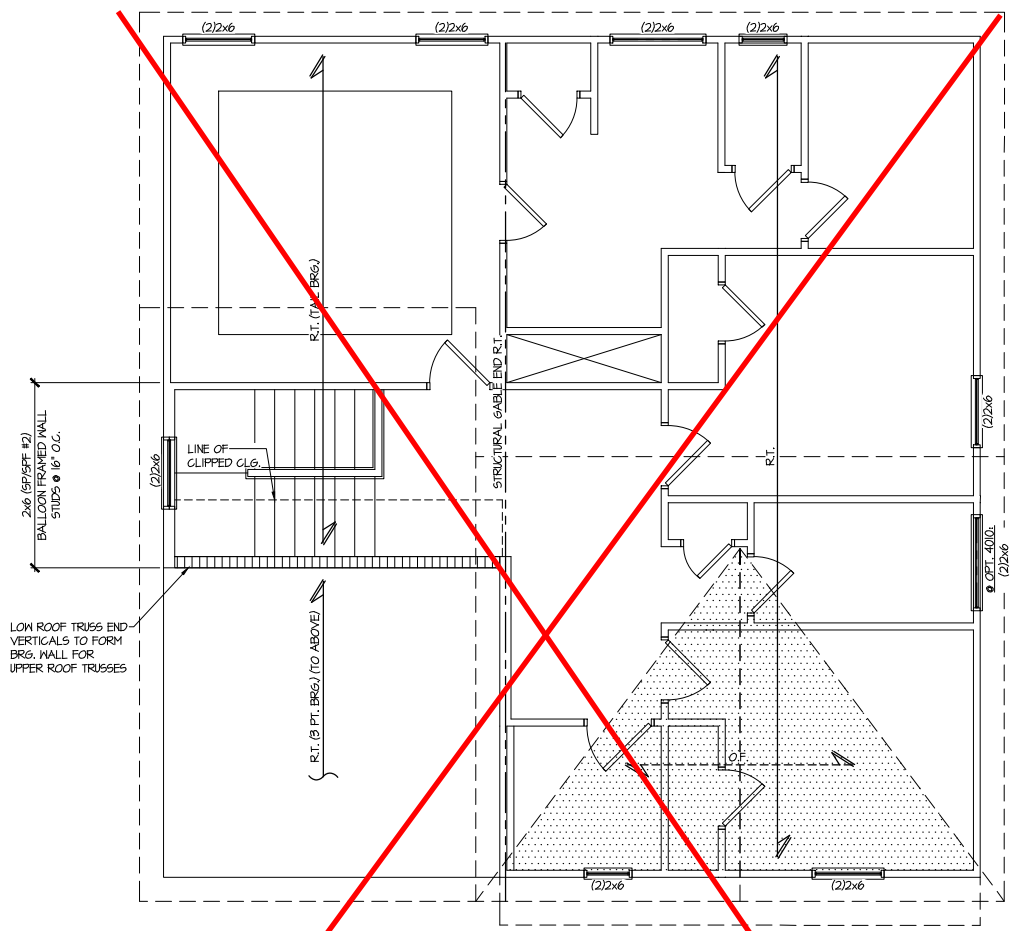
SMITH DOUGLAS
 HOMES

**Cedar Point
 Lot 7**

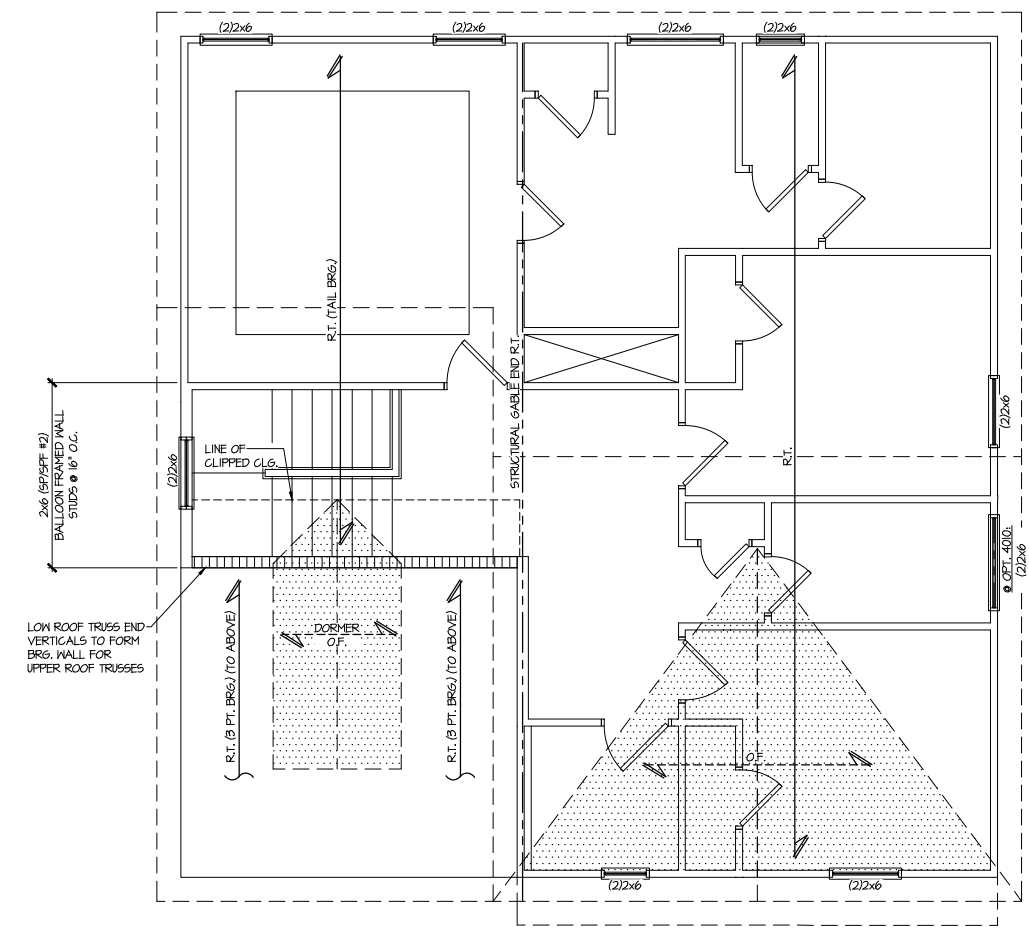
THIS LEVEL HAS BEEN DESIGNED
 FOR 9'-1" PLATE HEIGHT
 REFER TO S.O. FOR TYPICAL
 STRUCTURAL NOTES & SCHEDULES

ROOF FRAMING PLAN
 LAWSON MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

sheet:
S3.0



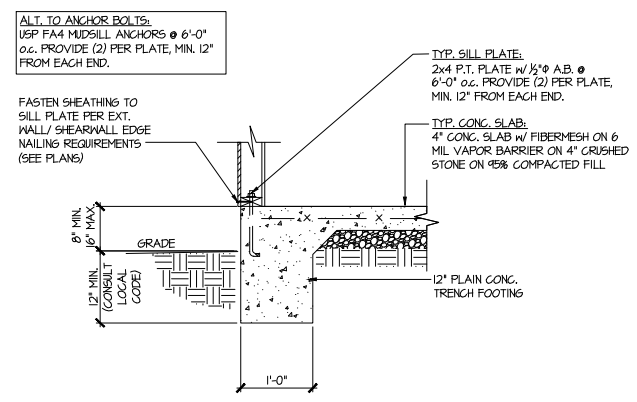
1 ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. A
 ELEV. 6 SIM.



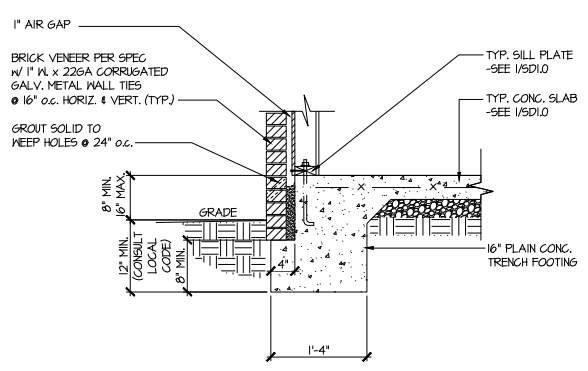
2 ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. D

LEGEND

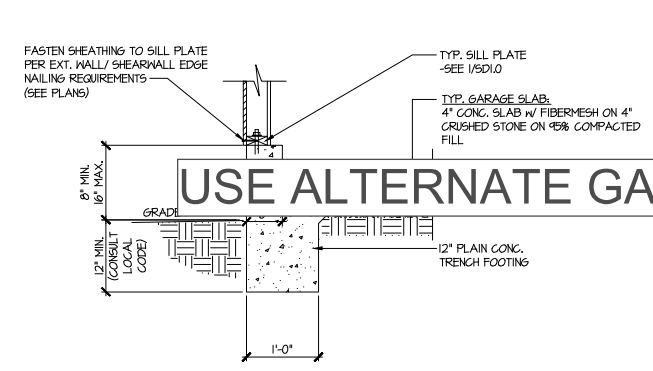
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- [Pattern] INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADDL. 10 PSF DEAD LOAD AT THESE LOCATIONS.
- [Pattern] INTERIOR BEARING WALL
- [Pattern] BEARING WALL ABOVE (B.W.A.)
- [Pattern] BEAM/HEADER
- JL METAL HANGER
- * INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



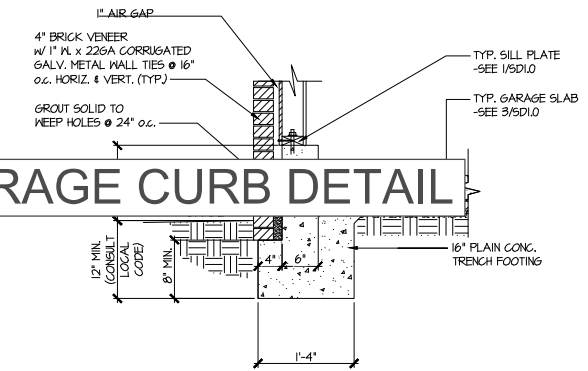
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING



2 TYPICAL SLAB ON GRADE PERIMETER FOOTING w/ BRICK VENEER

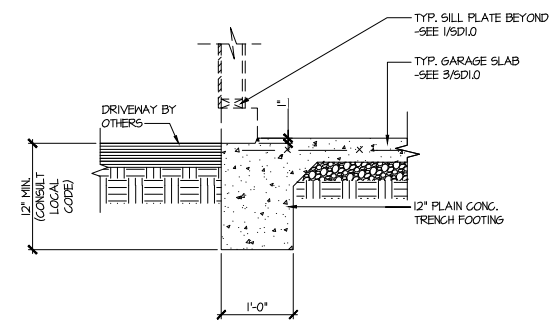


3 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

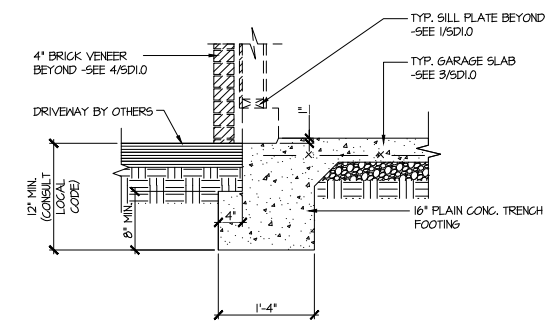


4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER

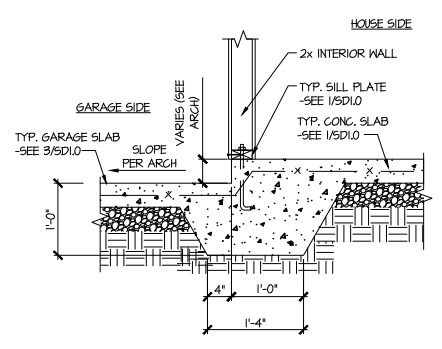
USE ALTERNATE GARAGE CURB DETAIL



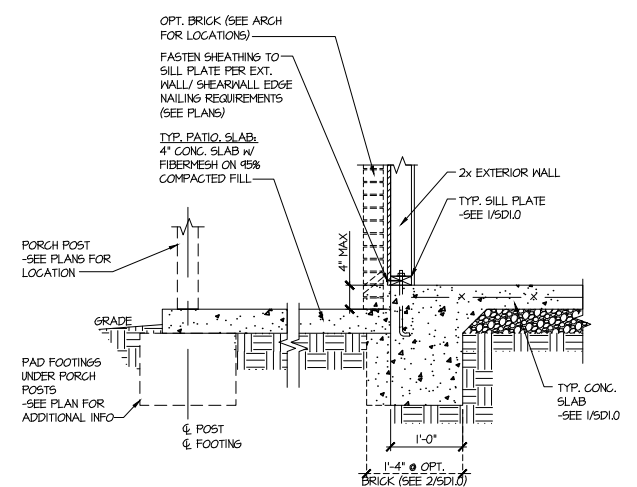
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



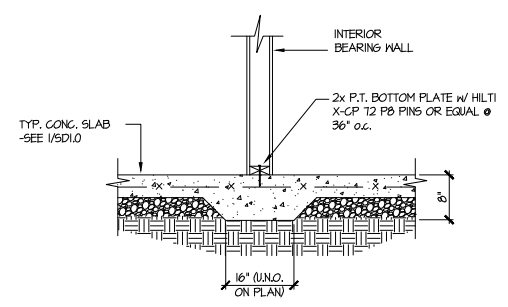
6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING w/ BRICK VENEER



7 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

MULHERN+KULP
 RESIDENTIAL STRUCTURAL ENGINEERING
 3025 Shallowford Parkway, Suite 105 - Alpharetta, GA 30022
 770-777-8974 - mulhern+kulp.com
 NC License # C-3825

Mulhern+Kulp project number:
 256-22017

project mgr: SMK
 drawn by: MRG
 issue date: 12-09-22

REVISIONS:
 date: initial:

SMITH DOUGLAS
 HOMES

FOUNDATION DETAILS
 LAWSON MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

Cedar Pointe
 Lot 7

sheet:
SD1.0

MULHERN+KULP
 RESIDENTIAL STRUCTURAL ENGINEERING
 3025 Sandhills Parkway, Suite 105 - Alpharetta, GA 30022
 770-777-8974 - mulhern+kulp.com
 NC License # C-3825

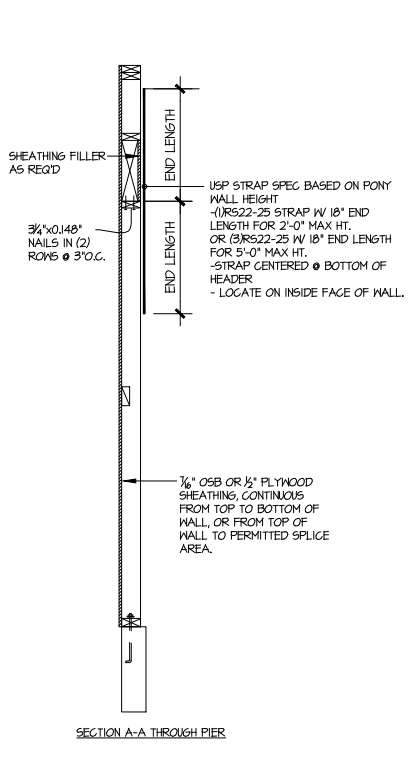
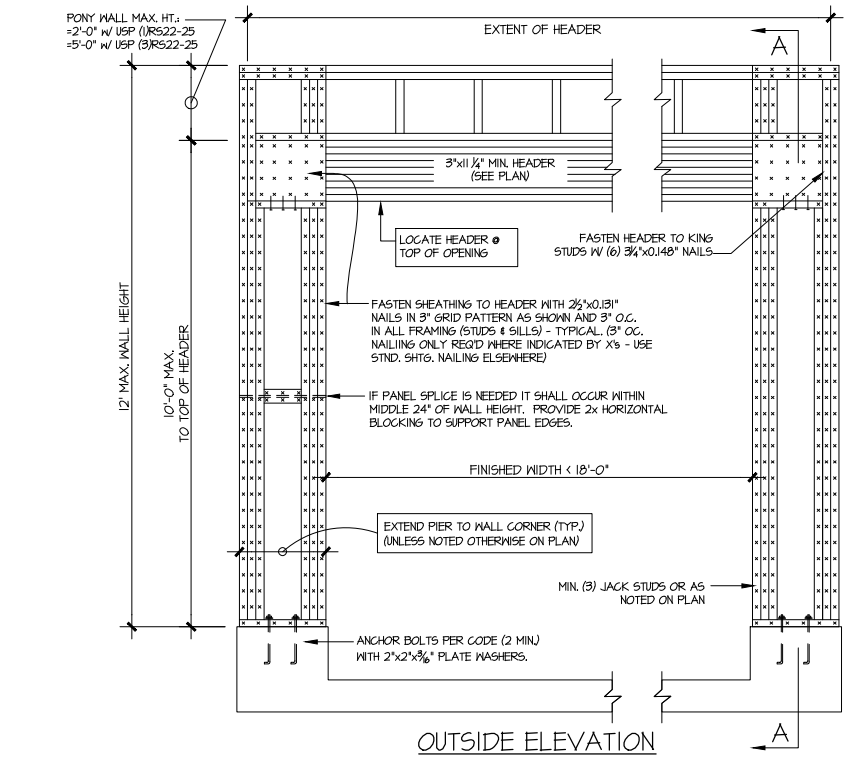
Mulhern+Kulp project number:
256-22017

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REVISIONS:
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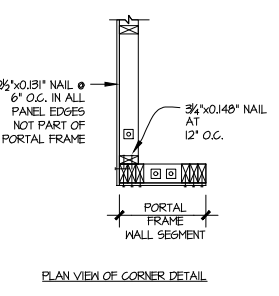
SMITH DOUGLAS
 HOMES

FRAMING DETAILS
 LAWSON MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

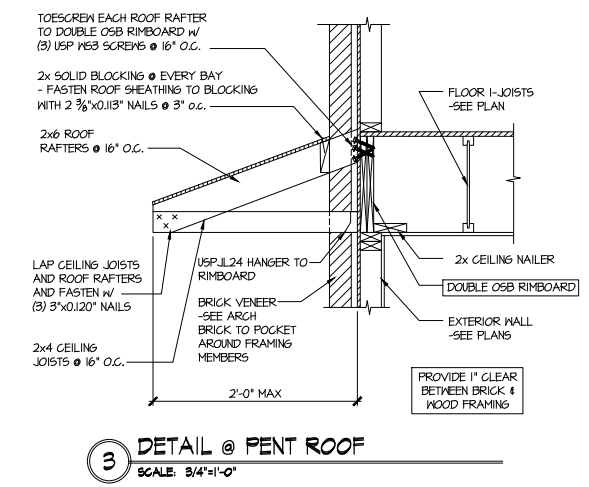
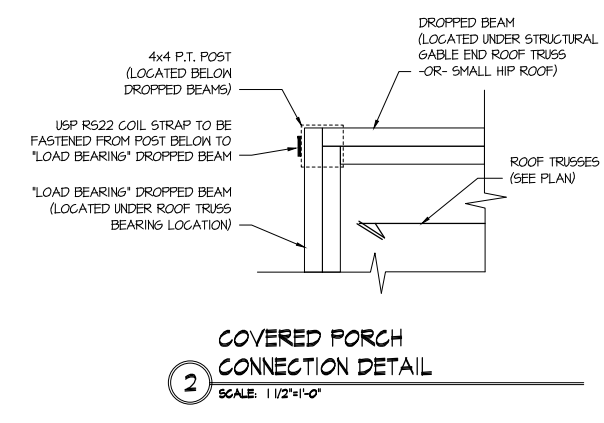
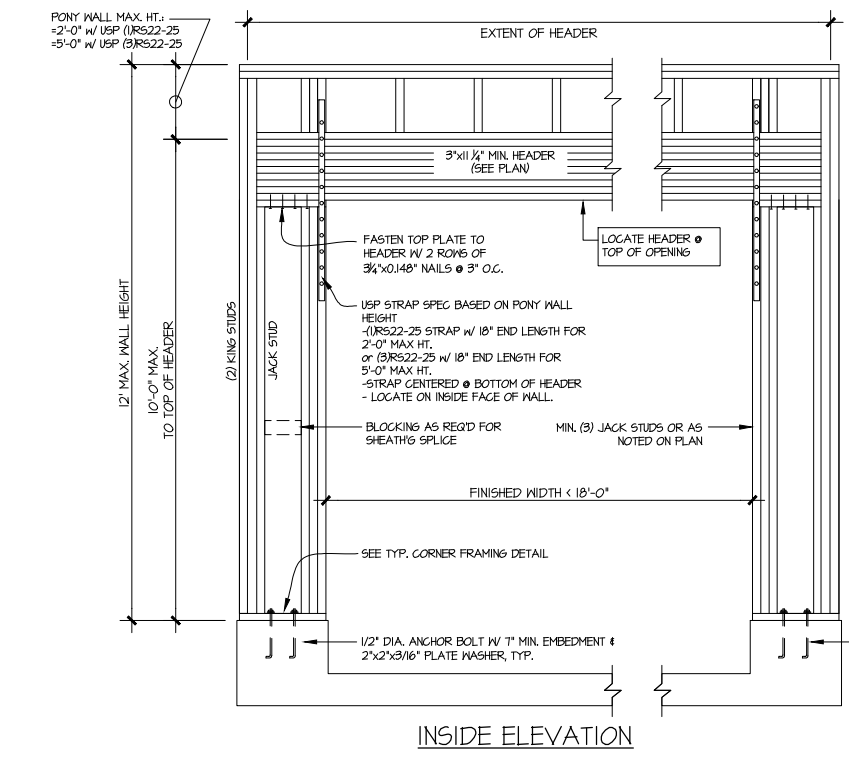


NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 1/4" OSB

WALL FRAMING SPECIFICATION:
 2x4 WALL: USE SPF #2 GRADE STUDS (OR BETTER)
 2x6 WALL: USE SPF #1 STUD GRADE STUDS (OR BETTER)

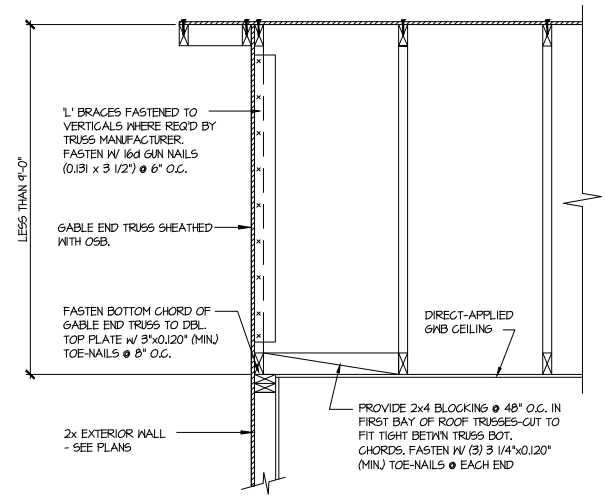
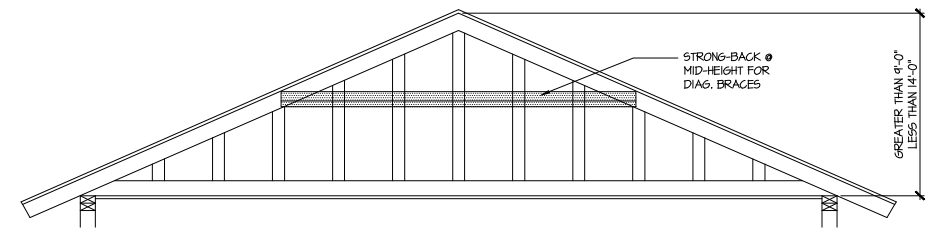
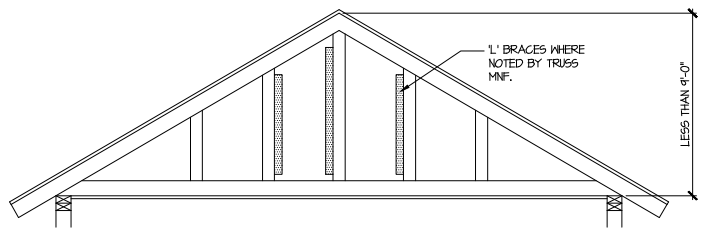


ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
 (1) 1/2" DIA. THREADED ROD EPOXY SET w/ 4 1/2" EMBED. (MIN UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)



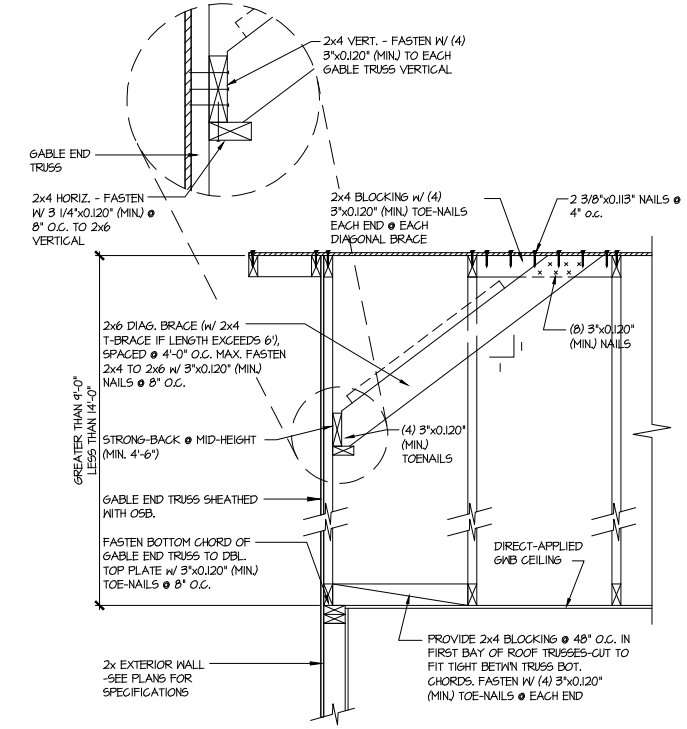
GARAGE PORTAL FRAME BRACING ELEVATION
 SCALE: N.T.S.
 BOTH SIDES OF GARAGE DOOR
 120 MPH WIND SPEED (ULT)

Cedar Pointe
 Lot 7



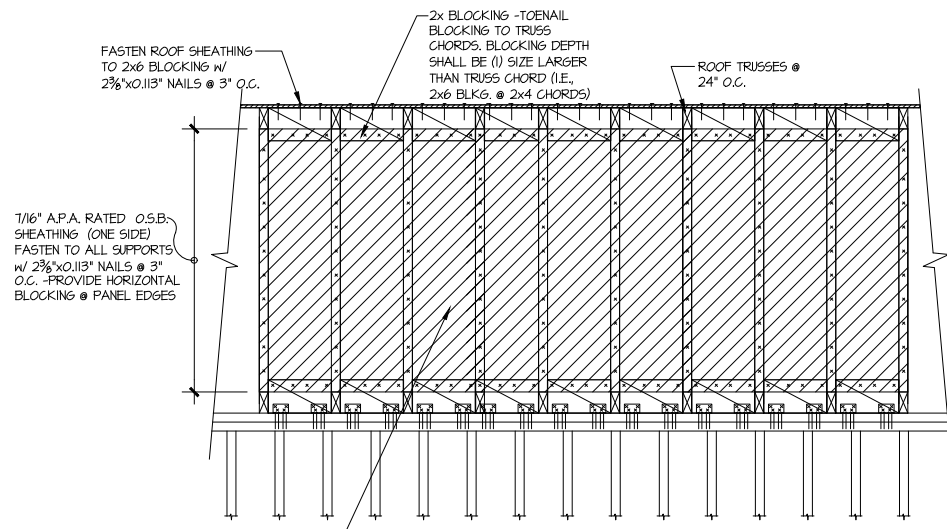
A TYPICAL GABLE END BRACING DETAIL
 SCALE: NONE
 REQ'D @ GABLE END TRUSS HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". L' BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



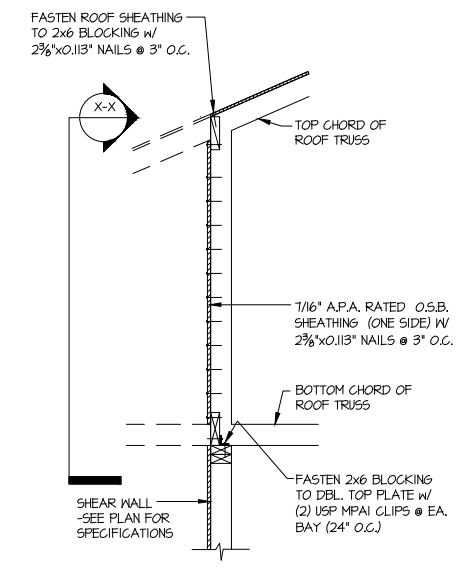
B TYPICAL GABLE END BRACING DETAIL
 SCALE: NONE
 REQ'D @ GABLE END TRUSS HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". L' BRACES NOT REQUIRED.



TYPICAL SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL
 SCALE: 3/4"=1'-0"

NOTE TO G.C.'S: FOR WALLS LESS THAN 18'-0", RUN BLOCKING & SHEATHING SHOWN CONT. FULL LENGTH OF SHEAR WALL. IF PENETRATIONS ARE REQ'D REMOVE SINGLE BAY ONLY AS NEEDED



TYPICAL SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL
 SCALE: 3/4"=1'-0"

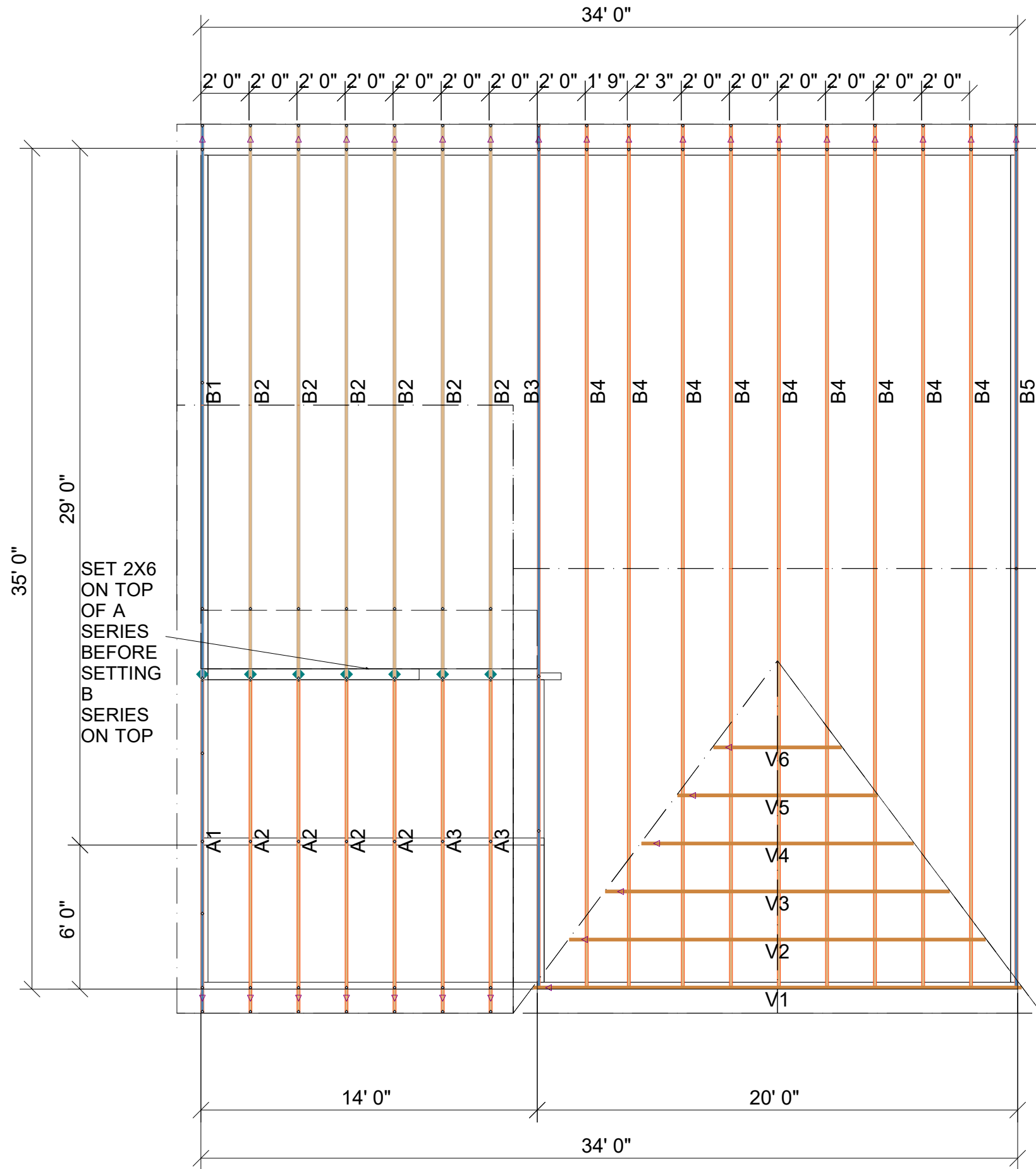
LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

**Cedar Pointe
 Lot 7**

THIS IS A TRUSS PLACEMENT DIAGRAM (TPD) ONLY; NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDD's) for each truss design identified on the TPD. The Contractor is responsible for the temporary bracing of the roof and floor system, and requirements for the permanent restraint/bracing of truss systems may be met by following the methods outlined in ANSI-TPI 1-2014 - 2.3.3. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbcassociation.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.

PLACEMENT PLAN



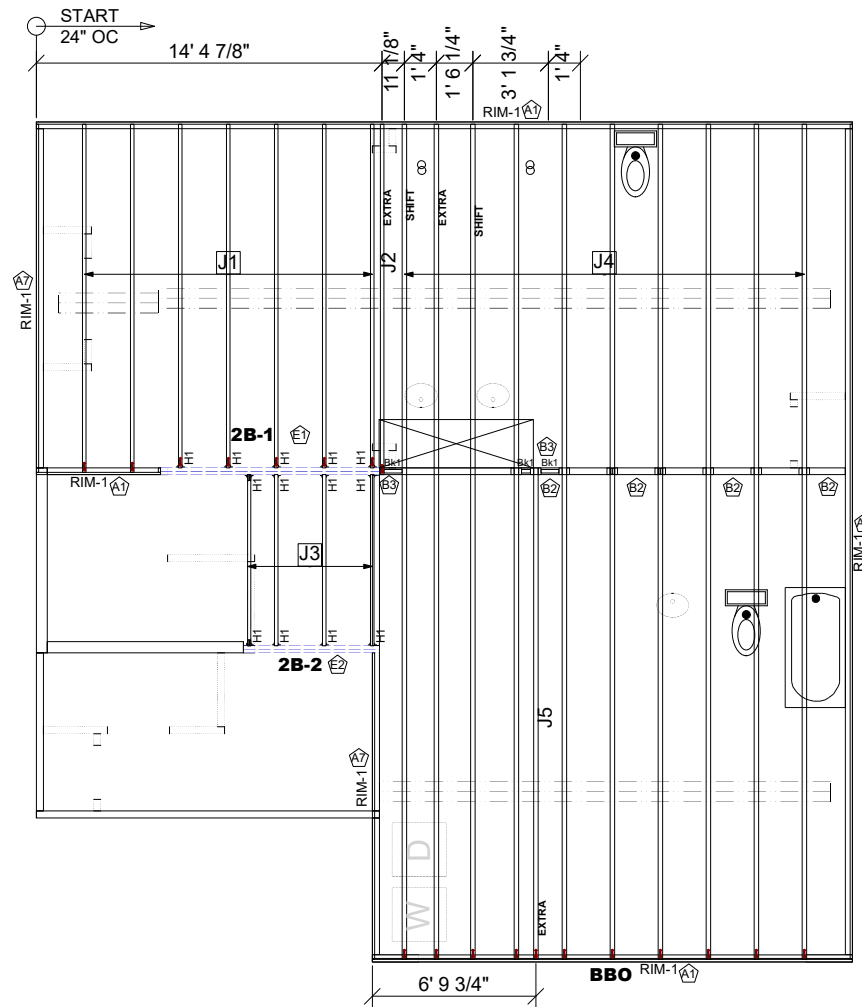
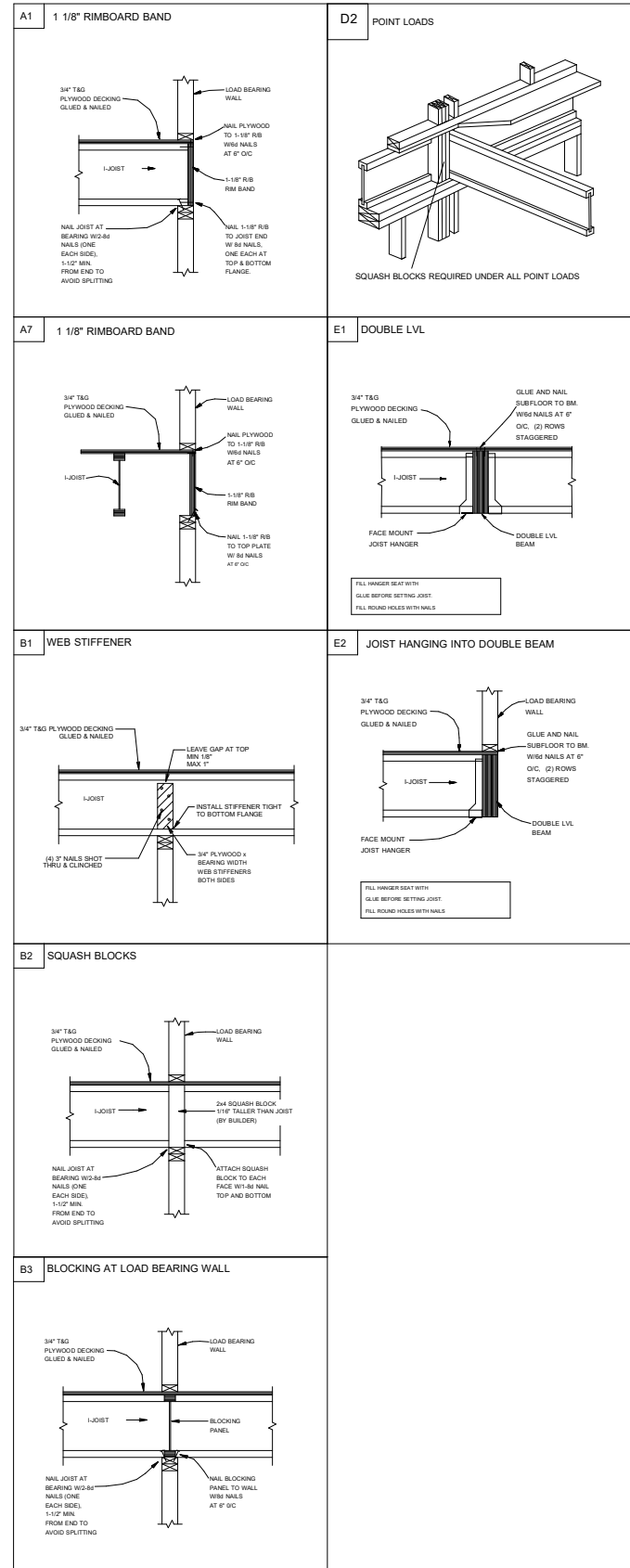
△ INDICATES LEFT END OF TRUSS SCALE: N.T.S

72433407 7 CEDAR POINTE

| ROOF AREA: 1532.44 ft ² sqft | RIDGE LINE: 50.67 ft | VALLEY LINES: 39.49 ft | HIP LINES: 0 ft | <small>THESE VALUES ARE APPROXIMATE ONLY</small> | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|-----------------------------|---|------------------------|--|-----------|--|-----|------|-------------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
| LAWSON ADG | | SD | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2">REVISIONS</th> <th>DSN</th> </tr> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th></th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table> | | | | | REVISIONS | | DSN | DATE | DESCRIPTION | | | | | | | | | | | | | | | | | | | | | | |
| REVISIONS | | DSN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DATE | DESCRIPTION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| DESIGNER JNN LAYOUT DATE 7/8/24 ARCH DATE - STRUC DATE - | | <p style="font-size: small; text-align: center;">A UFP INDUSTRIES COMPANY</p> <div style="display: flex; justify-content: space-between; font-size: x-small;"> Burlington, NC Locust, NC </div> <div style="display: flex; justify-content: space-between; font-size: x-small;"> Chesapeake, VA Liberty, NC </div> <div style="display: flex; justify-content: space-between; font-size: x-small;"> Clinton, NC Ooltewah, TN </div> <div style="display: flex; justify-content: space-between; font-size: x-small;"> Conway, SC Pearisburg, VA </div> <div style="display: flex; justify-content: space-between; font-size: x-small;"> Jefferson, GA Stanfield, NC </div> <p style="text-align: right; font-size: x-small;">Customer Service (800) 476-9356</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

THIS IS AN ENGINEERED WOOD PRODUCT (EWP) MEMBER PLACEMENT DIAGRAM ONLY; NOT AN ENGINEERED DOCUMENT. EWP members are designed as individual building components to be incorporated into the building design at the specification of the building designer. The Contractor is responsible for the temporary bracing of the floor system, and the building designer is responsible for the permanent bracing and blocking of the floor system and the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. It is the responsibility of the General Contractor to verify that the provided layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" EWP MEMBERS IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framers are responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not joist to joist are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not joist to joist as they apply to this specific structure.

2ND FLOOR PLACEMENT PLAN



| Products | | | | | | |
|----------|--------|----------------------------------|-------|---------|----------|--|
| PlotID | Length | Product | Plies | Net Qty | Fab Type | |
| J1 | 15' 0" | 14" TJI@ 110 | 1 | 7 | MFD | |
| J2 | 15' 0" | 14" TJI@ 110 | 1 | 1 | MFD | |
| J3 | 8' 0" | 14" TJI@ 110 | 1 | 4 | MFD | |
| J4 | 35' 0" | 14" TJI@ 360 | 1 | 10 | MFD | |
| J5 | 21' 0" | 14" TJI@ 360 | 1 | 1 | MFD | |
| 2B-1 | 10' 0" | 1 3/4" x 14" 2.0E Microllam® LVL | 2 | 2 | MFD | |
| 2B-2 | 6' 0" | 1 3/4" x 14" 2.0E Microllam® LVL | 2 | 2 | MFD | |
| RIM-1 | 16' 0" | 1 1/8" x 14" TJ@ Rim Board | 1 | 8 | MFD | |
| Bk1 | 2' 0" | 14" TJI@ 110 | 1 | 3 | MFD | |

| Connector Summary | | | |
|-------------------|-----|-------|----------|
| PlotID | Qty | Manuf | Product |
| H1 | 13 | MiTek | IHFH1714 |

GENERAL NOTES:

- 1.) TOP CHORD OF JOISTS ARE PAINTED RED AT NUMBERED END. PLACE PAINTED END AS NOTED ON PLAN.
- 2.) FOLLOW SPECIAL SPACING AND LOCATION DIMENSIONS FOR EXTRAS OR SHIFTED JOISTS AS SHOWN ON PLAN.
- 3.) ALL INTERIOR WALL PLATES MUST BE LEVEL WITH OUTSIDE WALL TOP PLATES.
- 4.) DO NOT STACK CONSTRUCTION LOADS ON UN-BRACED JOISTS.
- 5.) PROVIDE SOLID SUPPORT BELOW ALL BEAM AND HEADER BEARING POINTS IN WALL AND JOIST SPACES CONTINUOUS DOWN TO THE FOUNDATION.
- 6.) LOCATE CRIPPLE STUDS IN JOIST SPACE DIRECTLY BELOW HEADER JACKS AT ALL FIRST FLOOR EXTERIOR DOOR LOCATIONS.
- 7.) INSTALL NAILS IN ALL HOLES PROVIDED IN JOIST HANGERS EXCEPT AT BOTTOM CHORD SEAT. PLACE A DAB OF GLUE IN THE HANGER SEAT BEFORE SETTING JOISTS.
- 8.) IMPORTANT NOTE! NO STRUCTURAL ANALYSIS OF CONVENTIONAL HEADERS HAS BEEN CONDUCTED IF NOT NOTED. THEY ARE CONSIDERED TO BE ADEQUATE TO SUPPORT THE APPLIED LOADS.

FRAMER NOTE

□ DENOTES DUCT HOLE RUNS

ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED

• Avoid Plumbing Drops

FRAMER NOTE

1. GLUE AND NAIL PLYWOOD SUBFLOOR TO BEAMS AND GIRDERS AT 6" O/C WHERE NO WALL IS ABOVE.
2. FILL HANGER SEAT WITH GLUE BEFORE SETTING JOIST IN HANGER. FILL ROUND HOLES WITH NAILS.

CRITICAL !!

INSTALL 2X4 SQUASH BLOCKS IN FLOOR TRUSS SPACE BELOW ALL EXTERIOR DOOR HEADER JACKS. CUT 1/16" TALLER THAN TRUSS.

FIELD VERIFY DIMENSIONS TO JOISTS LOCATED UNDER WALLS!!

2ND FLOOR LAYOUT

PLAN LEGEND

1B-, 2B-

*INDICATES BEAM ABOVE TOP PLATE (FLUSH WITH FLOOR SYSTEM)

H-, 1H-, GDH-

INDICATES BEAM BELOW TOP PLATE (DROPPED BELOW FLOOR SYSTEM)

*BEAMS MAY PROTRUDE ABOVE OR BELOW DECKING OR TOP PLATE RESPECTIVELY. REFER TO DETAIL IF BEAM IS A DIFFERENT DEPTH THAN FLOOR SYSTEM

SINGLE PLY BEAM
(ADD LINE FOR EACH ADDITIONAL PLY)

SHIFT SHIFT JOIST TO MISS PLUMBING, ALIGN WWALL OR SUPPORT FURNITURE

EXTRA A JOIST ADDED TO THE LAYOUT IN ADDITION TO THE ON CENTER JOISTS

DOUBLE TWO JOISTS SIDE BY SIDE (ONLY ASSEMBLED IF NOTED)

FIELD TRIM NON RED END TO KEEP HOLES ALIGNED CONTAR EL LADO DE SIN MARCA ROJA PARA HOYOS ALINEADOS

FIELD LOCATE PLUMBING DROPS/CAN LIGHTS, ETC... PRIOR TO JOIST SECUREMENT TO AVOID INTERFERENCE.

LAYOUT FOR 19.2" O/C

| | |
|--------------|----------------|
| 1= 19-3/16" | 9= 172-13/16" |
| 2= 38-3/8" | 10= 192" |
| 3= 57-5/8" | 11= 211-3/16" |
| 4= 76-13/16" | 12= 230-3/8" |
| 5= 96" | 13= 249-13/16" |
| 6= 115-3/16" | 14= 268-13/16" |
| 7= 134-3/8" | 15= 288" |
| 8= 153-5/8" | |

| REVISIONS | DATE | DESCRIPTION | DSN |
|-----------|------|-------------|-----|
| | | | |
| | | | |
| | | | |
| | | | |

DESIGNER PB2
LAYOUT DATE 10/21/2024
ARCH DATE 5/10/2024
STRUC DATE 9/15/2023

JOB #: 24101595F2

SCALE: 1/8"=1'

Smith Douglas Homes

Lawson 2nd Floor

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