LAWSON

CEDAR POINTE LOT 0007

PLAN ID 110122



110 VILLAGE TRAIL SUITE 215 WOODSTOCK, GA. 30188

A0.0 COVER SHEET A1.1 FRONT ELEVATIONS A2.1 SIDE & REAR ELEVATIONS A3.1 SLAB FOUNDATION A5.1 FIRST FLOOR PLANS & DETAILS A5.2 SECOND FLOOR PLANS & DETAILS A6.1 ROOF PLANS

ELECTRICAL PLANS

A7.2-A7.3

AREA TABULATION		
FIRST FLOOR	704	
SECOND FLOOR	946	
TOTAL	1650	
GARAGE	402	
FRONT PORCH (COVERED)	91	
REAR PATIO	120	

DATE	BY	REVISION	PAGE #
5/30/2023	AW	Prototype walk revisions - see revision sheet	A3.1, A5.1, A5.2, A7.2, A7.3, A8.1

PLAN REVISIONS

GOVERNMENTAL CODES & STANDARDS

HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

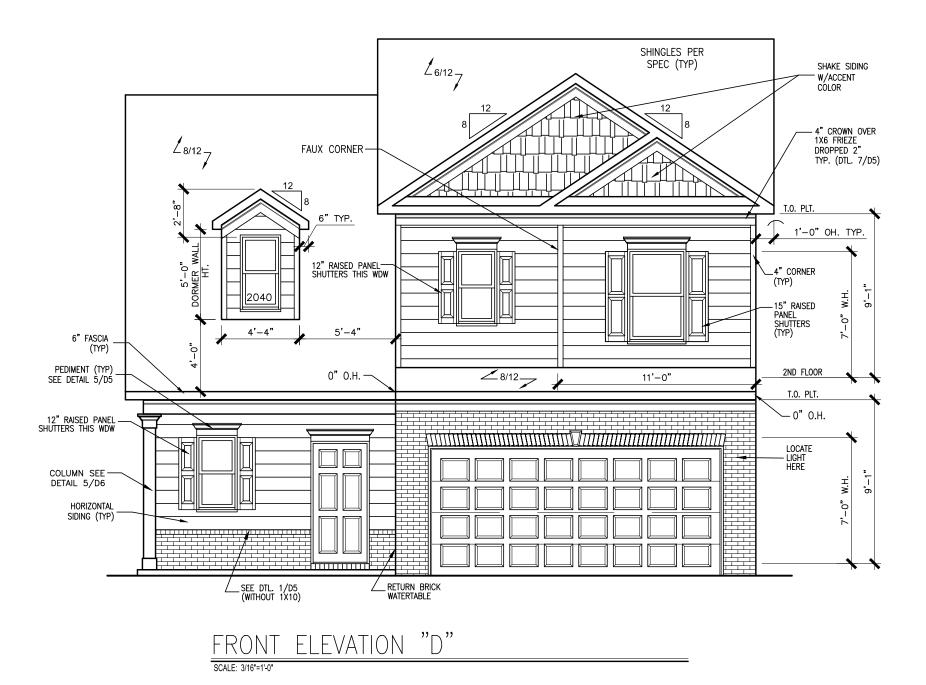
BUILDING CODE ANALYSIS / DESIGN CRITERIA

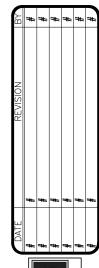
HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

CEDAR POINTE LOT 0007





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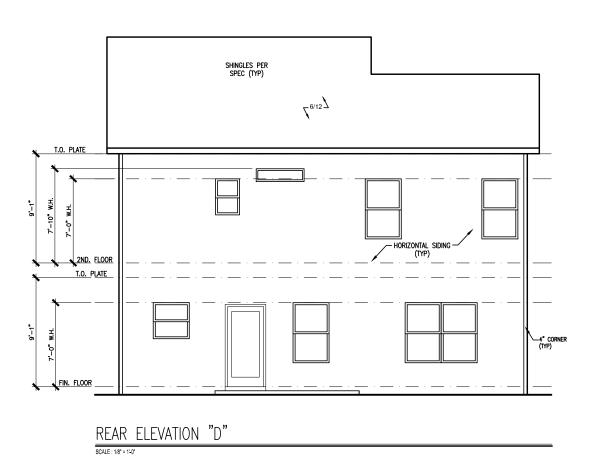
ELEVATIONS FRONT ELEVATION LAWSON

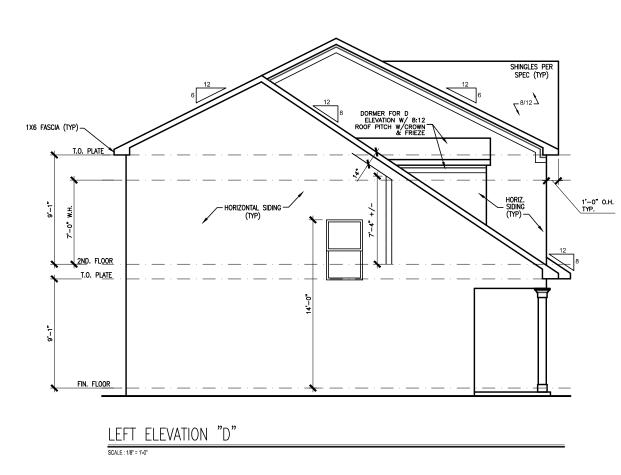
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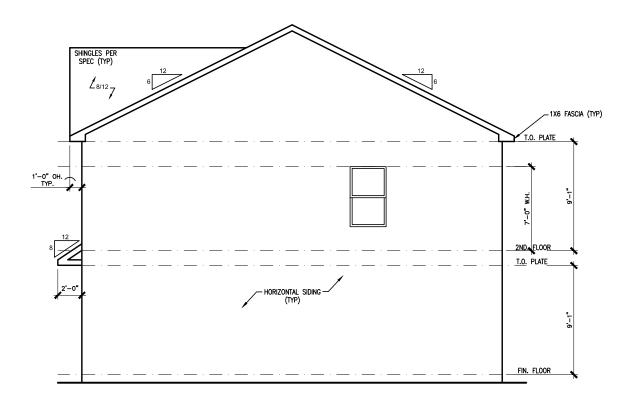
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CEDAR POINTE LOT 0007







RIGHT ELEVATION "D"

SCALE: 1/8" = 1'40"



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REAR

AND

 \bigcirc

SIDE

ELEVATIONS

LAWSON

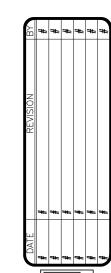
DROP 4" BELOW HOUSE SLAB 4'-41/2" DW 00 PROVIDE ELECTRICAL CONDUIT TO ISLAND ==== WH -=DROP 4" BELOW HOUSE SLAB DROP 4" BELOW HOUSE SLAB 16' X 7' OHGD (R.O. <u>16'-3" X 7'-1 1/2")</u> WEATHER LIP 1'-10½" 1'-10½" 20'-0"

SLAB PLAN

CEDAR POINTE LOT 0007

*RADON VENT PROVIDED PER LOCAL CODE

REFER TO DETAIL 3/D1
FOR BRICK LEDGE
DETAIL WHEN BRICK
VENEER IS CHOSEN





FOUNDATION PLAN
SLAB PLAN
LAWSON

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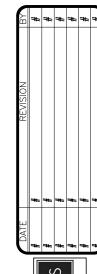
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34'-0" 10'X12' PATIO DELETE CENTER 2020 WDW W/ FIREPLACE KITCHEN 9'-0" CLG. BKFST 9'-0" CLG. **FAMILY** ROOM 9'-0" CLG. START AT THIS CORNER TO LAY OUT PLATES GARAGE 9'-0" CLG. 5'-3" COVERED PORCH 16' X 7' OHGD (R.O. 16'-3" X 7'-1 1/2") 3'-4" 5'-0" SECTION AT STAIRS 34'-0"

FIRST FLOOR PLAN

CEDAR POINTE LOT 0007



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FLOOR PLAN
FIRST FLOOR
LAWSON

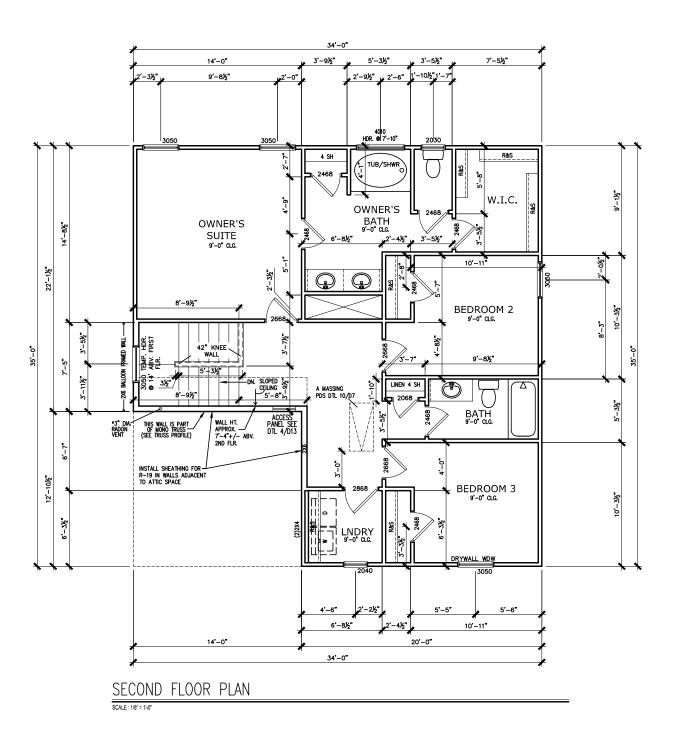
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REFER TO MANUFACTURER'S SPECS. FOR DRAIN LOCATIONS ON DETAIL SHEETS D12, D12.1, & D12.2

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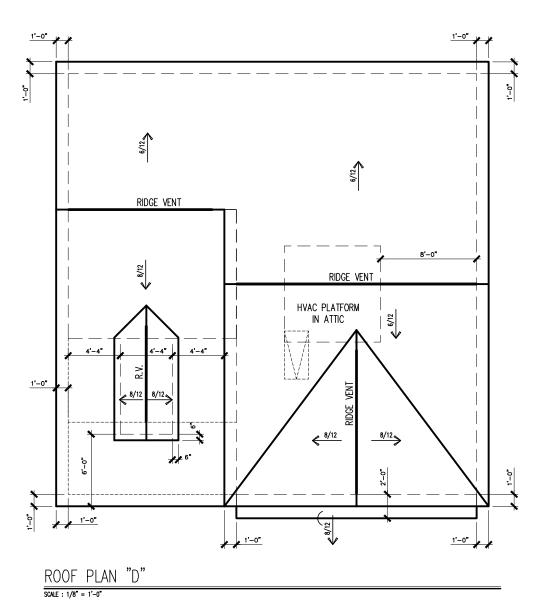
SECOND FLOOR LAWSON

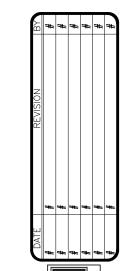
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CEDAR POINTE LOT 0007







ROOF PLAN
ROOF PLAN
LAWSON

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10'X12' PATIO FAMILY ROOM BKFST HARDWIRE ~ 15 AMP, 120V/60 HZ DO NOT INSTALL 220V OUTLET UNLESS ELEC. RANGE SELECTED AC ELECTRICAL PROVIDED AS NEEDED GARAGE COVERED PORCH

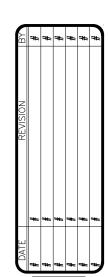
FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

CEDAR POINTE LOT 0007

ELE	ECTRICAL L	EGE	ND
\$	SWITCH	₩	TV
\$3	3 WAY SWITCH	φ	120V RECEPTACLE
\$4	4 WAY SWITCH	•	120V SWITCHED RECEPTACLE
Ø	CEILING FIXTURE	Φ	220V RECEPTACLE
-ф _к	KEYLESS	P _{GFCI}	GFCI OUTLET
M	WALL MOUNT FIXTURE	PAFCI	ARCH FAULT CIRCUIT
0	CEILING FIXTURE	† _{GL}	GAS LINE
•	FLEX CONDUIT	T _{WL}	WATER LINE
СН	CHIMES	¥	HOSE BIBB
PH	TELEPHONE	B	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE		1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET		2511112
	GARAGE DOOR OPENER		CEILING FAN
	EXHAUST FAN		ELECTRICAL WIRING
0	FAN/LIGHT		CEILING FIXTURE
ELEC ⁻	TRICAL PLANS TO FOLLOW	ALL LOCAL	CODES
APPRO	X. FIXTURE HGTS (MEASUR	RED FROM B	OTTOM OF FIXTURE)
BREA	KFAST/DINING ROOM	63" ABO	VE FINISHED FLOOR
KITCHEN PENDANT LIGHTS		33" ABOVE COUNTER TOP	
TWO STORY FOYER FIXTURE		96" ABO	VE FINISHED FLOOR
CEILING FAN		96" ABOVE FINISHED FLOOR	
FLOO	D LIGHT	10' MAX	. ABOVE FIN. FLOOR
		·	

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER



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ELECTRICAL PLAN
ELECTRICAL PLAN
FINANCIA STATEMENT STATE

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OWNER'S SUITE FAN PREMIE SUITE SO/CO ATTIC AFF. BEDROOM 2 BEDROOM 3 BEDROOM 3

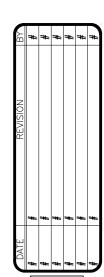
SECOND FLOOR ELECTRICAL PLAN

SCALE : 1/8" = 1'-0"

CEDAR POINTE LOT 0007

ELE	ectrical i	EGE	ND	
\$	SWITCH	TV ▼	TV	
\$3	3 WAY SWITCH	φ	120V RECEPTACLE	
\$4	4 WAY SWITCH	•	120V SWITCHED RECEPTACLE	
Ø	CEILING FIXTURE	•	220V RECEPTACLE	
-ф _к	KEYLESS	PGFCI	GFCI OUTLET	
+Ø	WALL MOUNT FIXTURE	PAFCI	ARCH FAULT CIRCU INTERRUPTER	
0	CEILING FIXTURE	T _{GL}	GAS LINE	
•	FLEX CONDUIT	† _{wL}	WATER LINE	
СН	CHIMES	¥	HOSE BIBB	
PH	TELEPHONE	8	FLOOD LIGHT	
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE		1x4 LUMINOUS FIXTURE	
SO	SECURITY OUTLET		05111110 5411	
	GARAGE DOOR OPENER		CEILING FAN	
	EXHAUST FAN		ELECTRICAL WIRING	
9	FAN/LIGHT		CEILING FIXTURE	
ELEC.	TRICAL PLANS TO FOLLOW	ALL LOCAL	CODES	
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)				
BREA	KFAST/DINING ROOM	63" ABO	VE FINISHED FLOOR	
KITCHEN PENDANT LIGHTS		33" ABOVE COUNTER TOP		
TWO	TWO STORY FOYER FIXTURE		VE FINISHED FLOOR	
CEILI	CEILING FAN		VE FINISHED FLOOR	
FL00	D LIGHT	10' MAX.	. ABOVE FIN. FLOOR	

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER



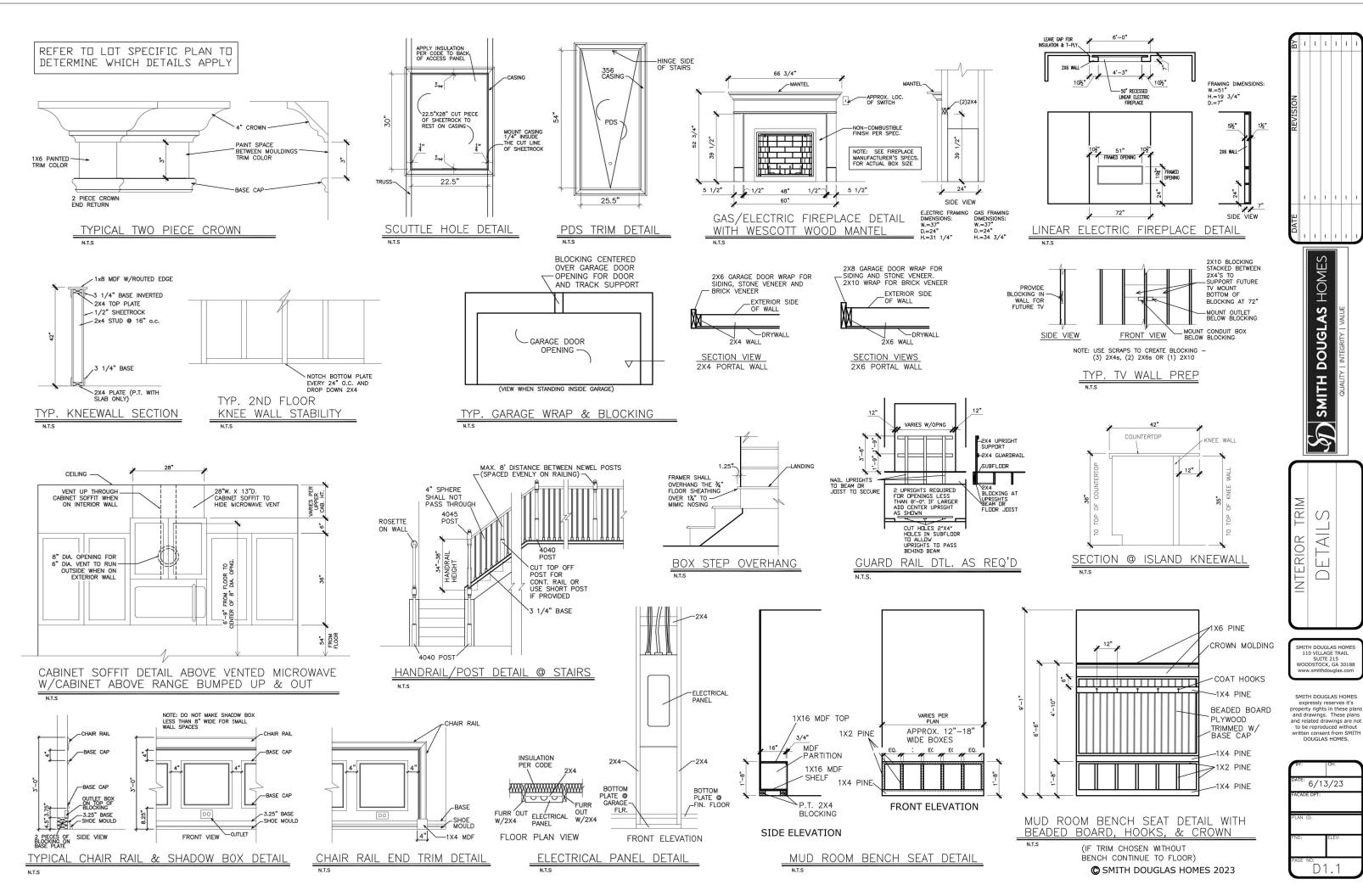
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ELECTRICAL PLAN
SECOND FLOOR
LAWSON

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CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.l3l" NAIL5	3"x0.120" NAILS
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
SOLE PL. TO JOIST/RIM OR BLK'G	NAILS @ 4" o.c.	NAILS @ 4" o.c.
STUD TO PLATE	(4) TOENAILS/ (3)END NAILS	(4) TOENAILS/ (4)END NAILS*
RIM TO TOP PLATE	TOENAILS @ 6" o.c.	TOENAILS @ 4" o.c.*
BLK'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS EA. END	(3) TOENAILS EA. END*
DOUBLE STUD	NAILS @ 16" O.C.	NAILS @ 16" O.C.
DOUBLE TOP PLATE	NAILS @ 12" o.c.	NAILS @ 8" o.c.
DOUBLE TOP PLATE LAP SPLICE	(I2) NAILS IN LAPPED AREA (24" MIN.)	(15) NAILS IN LAPPED AREA (24" MIN.)
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(3) NAILS	(3) NAILS
RAFTER/TRUSS TO TOP PLATE	(4) TOENAILS + (I) SIMPSON H2.5T	(4) TOENAILS + (I) SIMPSON H2.5T
GAB, END TRUSS TO DBL, TOP PL.	TOENAILS @ 8" o.c.	TOENAILS @ 6" o.c.
R.T. w/ HEEL HT. 914" TO 12"	2xIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 6" O.C.	2xIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2XI2 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 6" O.C.	2xI2 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.*
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL	LAP WALL SHTG, W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL!
WALL TO FOUNDATION	MALL SHTG. LAP W/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.	

* 2½", XO.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"XO.120", SAME SPACING OR NUMBER OF NAILS. ONLY ACCEPTABLE WHERE * ARE SHOWN)

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO M&K FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALL ATION.

TRUSSES/LIGISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUS BEAMS DO NOT EXCEED THE FOLLOWING: A. ROOF TRUSSES:

- I/4" DEAD LOAD ATTIC TRUSSES, & I-JOISTS: 1/8" DEAD LOAD

ABSOLUTE DEAD LOAD DEFECTION OF ATTIC TRUSSES WHEN AD JACENT TO ELOOR ERAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NOT DIFFERENTIAL DEFLECTION)

VENEER LINTEL SCHEDULE

SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE	
3'-0"	20 FT. MAX	L3"x3"x¼"	
	3 FT. MAX	L3"x3"x¼"	
6'-0"	I2 FT. MAX	L4"x3"x¼"	
	20 FT. MAX	L5"x3½"x5%"	
8'-0"	3 FT, MAX	L4"x4"x½" *	
	I2 FT. MAX	L5"x3½"x5%"	
	I6 FT. MAX	L6"x3½"x3%"	
9'-6"	I2 FT. MAX	L6"x3½"x5%"	

- L LINIELS: SHALL SUPPORT 2 3%" 3 ½" VENEER W 40 psf MAXIMUM WEIGHT IG SHALL HAVE 4" MIN. BEARING IG SHALL HAVE 8" MIN. BEARING IG SHALL NOT BE FASTENED BACK TO HEADER.

- < 46 SHALL NOT BE FASTIBLED BACK TO HEADER. IN MALL 046°02. W ½" DIA. x 3 ½" LONG LAS SCREDE DIA XT DOOD HEADER IN MALL 046°02. W ½" DIA. x 3 ½" LONG LAS SCREDE IN 2E. LONG VERTICALLY SLOTTED HOLES. MAX. YEBER TH. APPLIES TO AN PORCITO OF BROCK OVER THE OPENING. ALL LINES SHALL BE LONG LES VERTICAL. ALL LINES SHALL BE LONG LES VERTICAL. WHEN SUPPORTING VEDERS (3" MICE OVER THE BEARING LENGTH ONLY, THIS IS TO ALLON FOR NORTHER JOHN THIS HEIGHT ONLY, THIS IS TO ALLON FOR NORTHER JOHN THIS HEIGHT.</p>
- PRICTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE
- 'ARAMETERS. EN VENEER USE L4x3x/4".

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE & 2018 IRC WITH SOUTH CAROLINA AMENDMENTS
- FOOTING DESIGN 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING I/2" DIA, ANCHOR BOLTS @ 6'-0" O.C,7" MIN, EMBEDMENT
- FA4 ANCHOR STRAPS @ 6'-0" O.C
- FASTEN 2xi0 SILL PLATES TO PRECAST BSMT WALLS WITH A MINIMUM OF 2 ANCHORS PER PLATE, I2" MAX. FROM PLATE ENDS UTILIZING: • I/2" DIA. BOLTS @ 2'-0" O.C
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W PERIMETER
- FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2. BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W PRESERVATIVE-TREATED
- WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD. FOUNDATION WALLS & FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.
- CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:
 - f'c = 4,000 psi: FOUNDATION WALLS 3,000 psi: FOOTINGS & INTERIOR SLABS ON GRADE 3,500 psi: GARAGE & EXTERIOR SLABS ON GRADE = 60,000 psi
- BASEMENT FOUNDATION WALL DESIGN BASED ON:
 - . 8' OR 9' HEIGHT (AS NOTED ON PLANS) TALLER WALLS MUST BE ENGINEERED.
- BASEMENT WALL DESIGN IS BASED ON 30 OR 45 PCF BACKFILL SOIL TYPE CLASSIFICATIONS:
 - 30 PCF TYPE (GW, GP, SW, SP) 45 PCF TYPE (GM, GC, SM, SM-SC, ML)
 - IMPORTANT IF 60 PCF SOIL TYPE (SC, ML-CL, OR CL) IS UTILIZED FOR BACKELL, CONTACT MULHERN & KULP FOR FURTHER EVALUATION OF FOUNDATION DESIGN.
- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL IST FLOOR DECK.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 1% AIR ENTRAINMENT.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.
 - JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
 - JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I:I RATIO), WITH A MAXIMUM OF I:I.5 RATIO · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL
- PICAL REINFORCEMENT DETAILS: PROVIDE 3" MIN. CLEAR COVER WHERE CAST AGAINST FARTH LI/2" MIN CLEAR COVER AGAINST FORMS. LAP ALL REBAR 40 BAR DIAMETERS MIN. (24 FOR #4 BARS) & BEND BARS AND LAP AT CORNERS. PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT.
- DIMENSIONS BY OTHERS, BUILDER TO VERIEY.

LEGEND

RT. NIDICATES ROOF TRUSSES © 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)

INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)

INDICATES 14" DEEP FLOOR I-JOISTS @ 24" O.C. MAX, JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER NOTE: 14" FLOOR TRUSSES @ 24" O.C. MAX. IS AN ACCEPTABLE ALTERNATE FLOOR SYSTEM

- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR - JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS
- INTERIOR BEARING WALL
- □===□ BEARING WALL ABOVE (B.W.A.)

- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: MPH WIND IN 2018 NCSBC:RO

20MPH WIND IN 2018 IRC (120 MPH WIND SPEED IN ASCE 7 WIND MAP PER IRC R301211) EXP. B. RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 \$ 2018 IBC SECTION 1609) & ASCE 7 AS PERMITTED BY R30113 DE THE 2018 NOSBO:RC & 2018 IRC. ACCORDINGLY THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC & 2018 IRC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & FNGINFFRFD TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5¢ R802.II.

EXT. WALL SHEATHING SPECIFICATION

- •7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 8"XO.II3 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED

 VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR -2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT, STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

3" O.C. EDGE NAILING

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W 2 3" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR MALL - OR - 2X HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 3" x 0.120 NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING

NDICATES HOLDOWN

NON-BEARING HEADER SCHEDULE

SPAN	2x4 NON-BEARING PARTITION WALL	2x6 NON-BEARING PARTITION WALL
UP TO 3'-0"	(I)2x4 FLAT	(I)2x6 FLAT
UP TO 6'-0"	(2)2x4	(3)2×4
UP TO 8'-0"	(2)2×6	(3)2x6

• ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX.)

FLOOR FRAMING

- I-JOISTS SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN
- FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE). HOWEVER, IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TONA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).
- AT I-JOIST FLOORS, PROVIDE I" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O. • I-JOIST SHOP DWGS. SHALL BE SUBMITTED TO ARCH. & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR 24" O.C., EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W GLUE AND
- 2 ½" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12"o.c. FIELD.
- 2 3" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD. - 2 🖁 × 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD.

ROOF FRAMING

- ROOF SHEATHING SHALL BE 1/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
- w/ 2 $\frac{1}{2}$ " × 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12" O.C. FIELD. - w/ 2 🖁 × 0.120" NAILS @ 4"o.c. @ PANEL EDGES & @ 8" O.C. FIELD. - W/2 累"×0.113" NAILS @ 3"o.c. @ PANEL EDGES & @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- FASTEN EACH ROOF TRUSS TO TOP PLATE W USP RTTA CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) RT7A CLIPS AT 2-PLY GIRDER TRUSSES, (3) RTTA CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ROOF TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT SHORT SPAN ROOF TRUSSES w/2x4 LEDGER FASTENED TO FRAMING w/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 7' SPAN).

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS SLABS ON GRADE BEAMS WALLS AND NON-BEARING LEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NOSBC-RESIDENTIAL CODE & 2018 IRC WITH SOUTH CAROLINA AMENDMENTS
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

LIVE = 20 PSF DEAD = 1 PSF T.C., 10 PSF B.C ROOF

LOAD DURATION FACTOR = 1.25 FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = 10 PSF (I-JOISTS)

ADD'L IO PSF @ CERAMIC TILE IN BATHS & LAUND.

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- CONNECTIONS TABLE (IRC. TABLE R6023(I)) OR ON PLANS ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION, ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP "STUD" GRADE LUMBER, OR BETTER, U.N.O. WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER. SUPPORT ALL HEADERS/ BEAMS W (1)2x JACK STUD & (1)2x
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.. ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED
- WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.) HEADERS IN NON-LOAD BEARING WALLS SHALL BE:
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- PENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING • 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0xl0^6 psi

(I)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.

- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING: • 'LVL' - Fb=2400 psi; FcII=2500 psi; E=I.8xI0^6 psi
- FOR 2 & 3 PLY BEAMS OF EQUAL $1\frac{3}{4}$ " MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS USP WS35 SCREWS (OR 3K" TRUSSLOK SCREWS) @ 16" O/C, USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER.

 APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3½" OR 5½" BEAMS ARE ACCEPTABLE, USE 2 ROWS OF NAILS FOR 2x6 & 2x8
- FOR 4 PLY BEAMS OF EQUAL 13/4" MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF USP WS6 SCREWS (OR 6 $^3\!\!\!/_{\!\!4}$ " TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER, APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE. A SOLID 7" BEAM IS ACCEPTABLE.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS
- CONTINUOUS TO FND/BEARING. BLOCKING TO MATCH POST ABOVE. ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE USP BCS22-4 CAP \$ PA44E BASE, U.N.O.
- BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE EASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W/ PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER \$ HARDWARE SUPPLIERS TO COORD.
- ALL FASTENERS AND CONNECTORS EXPOSED TO SALT WATER (WITHIN 300' OF SALT WATER SHORELINE, INCLUDING VENTED SPACES) SHALL BE STAINLESS STEEL.

Cedar Pointe

MULHERN+KUL RESIDENTIAL STRUCTURAL ENGINEER! C-3825



Mulhern+Kulp project numbe 256-2201

SMK MRG issue date 12-09-22

initial:

REVISIONS

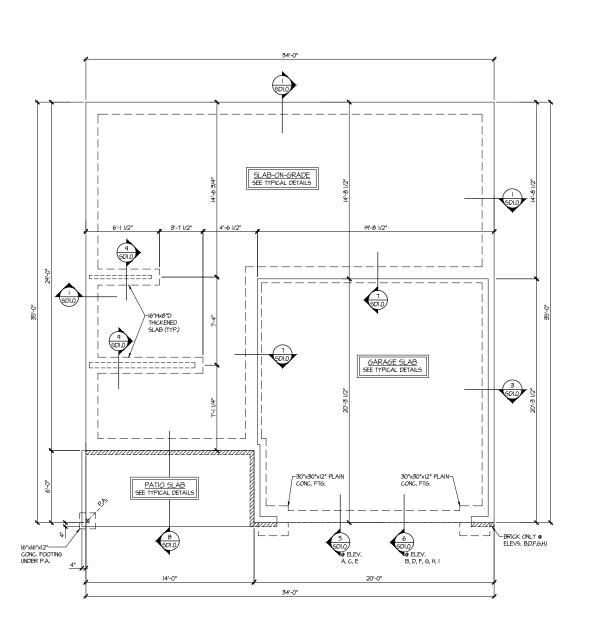
SMITH DOUGI HOMES

STRUCTURAL NOTES MOD SON

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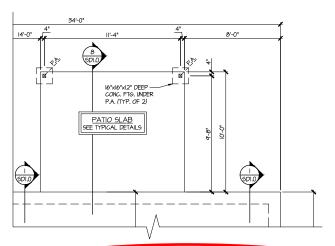
GENERAL \geq \triangleleft



MONO-SLAB FOUNDATION PLAN

ALL ELEVS. SIM.

SCALE: 1/4"=1'-0" ON 22x34 1/8"=1'-0" ON 11x17



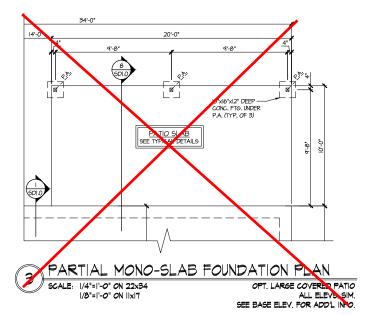
PARTIAL MONO-SLAB FOUNDATION PLAN

SCALE: 1/4":1"-0" ON 22x34

OPT.COMPRED F

1/8"=1'-0" ON 11x17

OPT_COVERED PATIO
ALL ELEVS, SIM.
SEE BASE ELEV, FOR ADD'L INFO.



9/15/23

MULHERN + KULP

RESIDENTIAL STRUCTURAL ENGINEERING

PER PRICE PRINCE, SER PER AND SAREN

PORTING A PRICE PRICE PRINCE

NO License # C-3825

Mulhern+Kulp project number: 256-22017

SMK drawn by: MRG issue date: 12-09-22

REVISIONS:

initial:

SMITH DOUGLAS HOMES

FOUNDATION MODEL

MONO-SLAB

LEGEND

MANUF. (TYP. U.N.O.)

OF INDICATES TRUSS OVERFRAMING
24" O.C. (TYP. U.N.O.)

INTERIOR BEARING WALL

• CTTT BEARING WALL ABOVE (B.W.A.)

• --- BEAM/HEADER

• JL METAL HANGER

• # INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

Cedar Pointe Lot 7

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF.

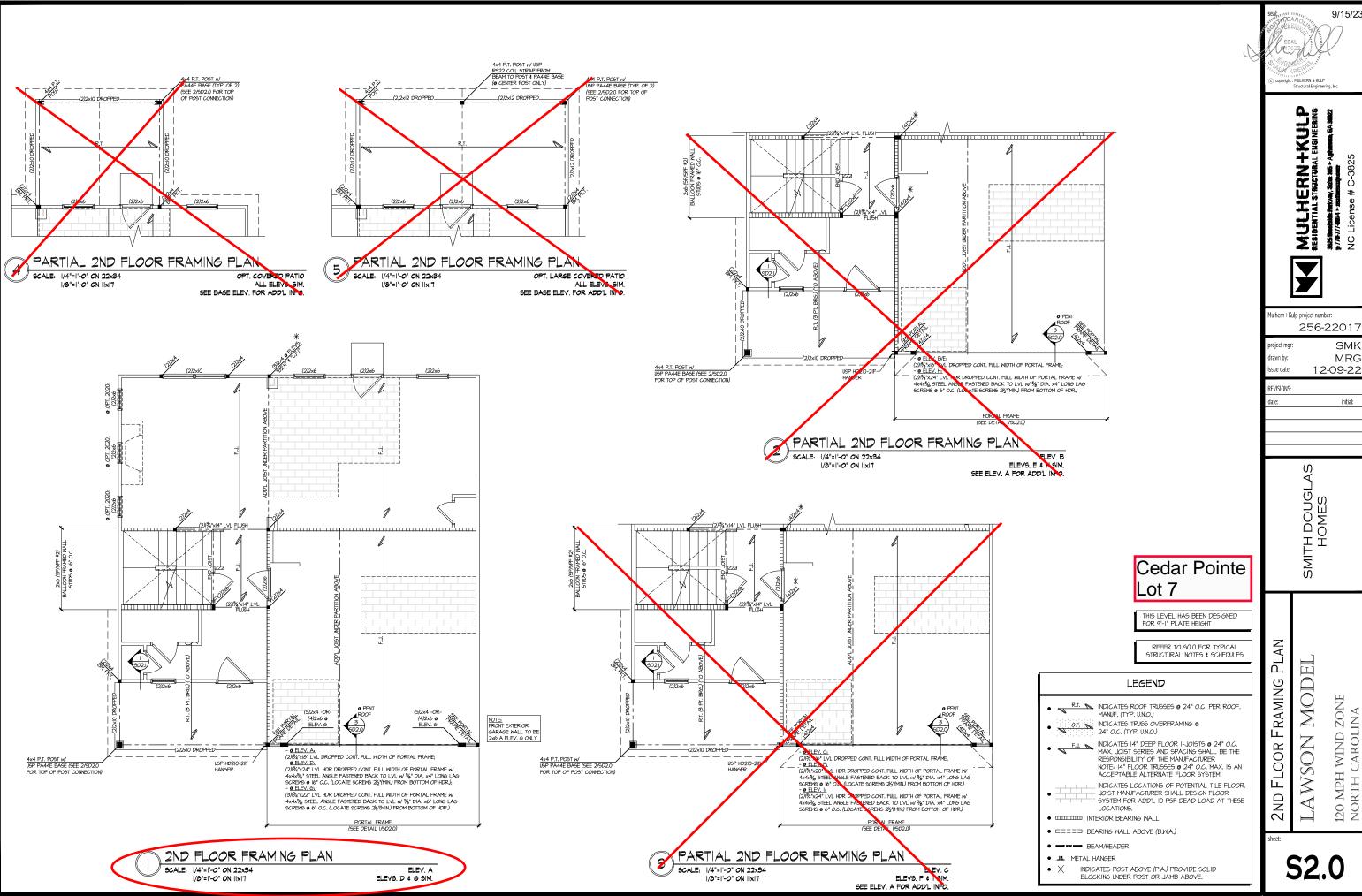
F.J. INDICATES I4" DEEP FLOOR I-JOISTS @ 24" O.C.
MAX. JOIST SERIES AND SPACING SHALL BE THE
RESPONSIBILITY OF THE MANUFACTURER
NOTE: I4" FLOOR TRUSSES @ 24" O.C. MAX. IS AN
ACCEPTABLE ALTERNATE FLOOR SYSTEM

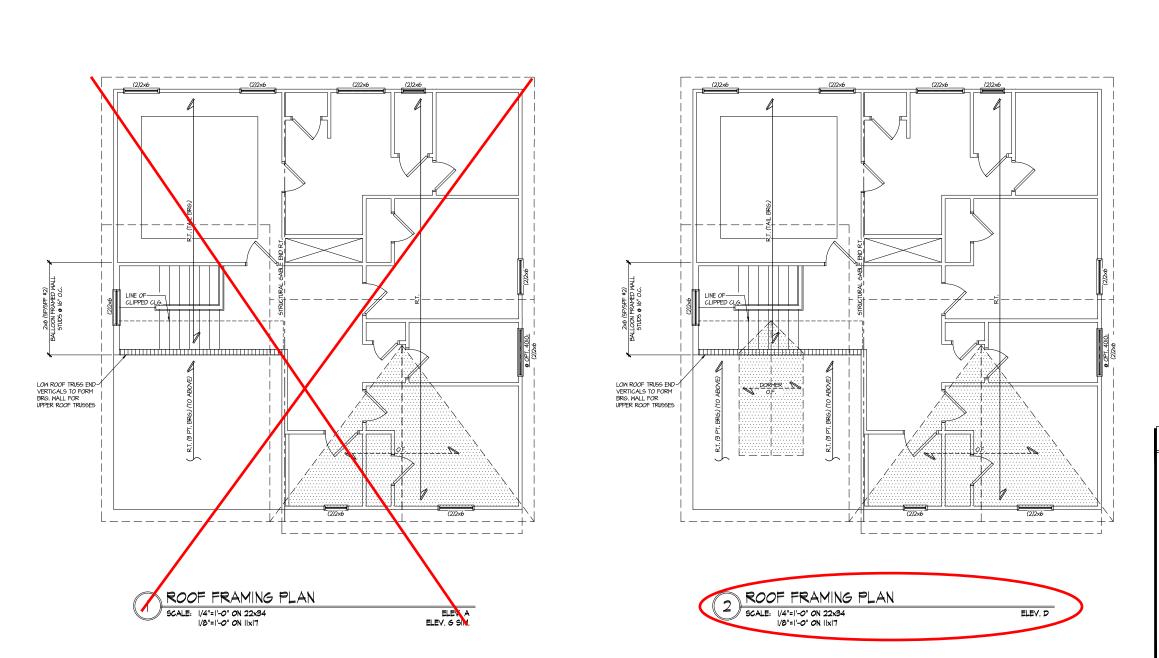
INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. - JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.

S1.0

AWSON

120 MPH WIND ZONE NORTH CAROLINA







MUCHERNAL STRUCTURAL ENGINEERING
TESTINGTHE RANGE STREET STRUCTURAL ENGINEERING
TESTINGTHE STRUCTURAL ENGINEERING
TOTAL STRUCTURAL STRUCTURA STRUCTURAL STRUCTURA STRU



Mulhern+Kulp project number:

256-22017 SMK

MRG issue date: 12-09-22

REVISIONS:

initial:

SMITH DOUGLAS HOMES

FRAMING PLAN

• — BEAM/HEADER

• JL METAL HANGER

LEGEND

RT. INDICATES ROOF TRUSSES © 24" O.C. PER ROOF.
MANUF. (TYP. UNLO.)

OF. INDICATES TRUSS OVERFRAMING ©
24" O.C. (TYP. UNLO.)

Lot 7

Cedar Pointe

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

INDICATES 14" DEEP FLOOR 1-JOISTS @ 24" O.C.

MAX. JOIST SERIES AND SPACING SHALL BE THE
RESPONSIBILITY OF THE MANUFACTURER
NOTE: 14" FLOOR TRUSSES @ 24" O.C. MAX. IS AN
ACCEPTABLE ALTERNATE FLOOR SYSTEM

INDICATES LOCATIONS OF POTENTIAL TILE FLOOR.
JOIST MANUFACTURER SHALL DESIGN FLOOR
SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.

INTERIOR BEARING WALL

• ==== BEARING WALL ABOVE (B.W.A.)

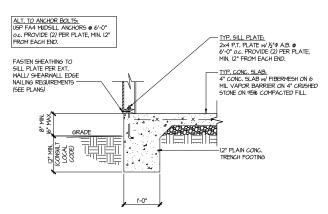
INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

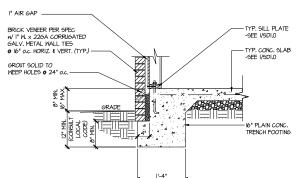
ROOF

S3.0

LAWSON MODEL

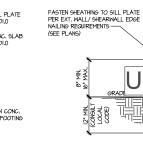
120 MPH WIND ZONE NORTH CAROLINA



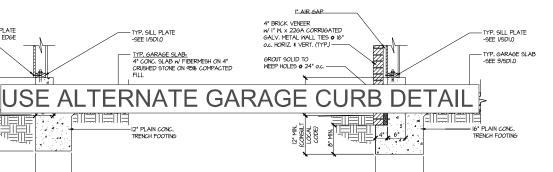


TYPICAL SLAB ON GRADE

2 PERIMETER FOOTING



w/ BRICK VENEER



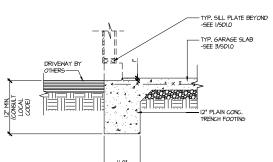
TYPICAL SLAB ON GRADE GARAGE 3 PERIMETER FOOTING

1'-0"

- TYP. SILL PLATE -SEE I/SDI.0

TYPICAL SLAB ON GRADE GARAGE 4 PERIMETER FOOTING w/ BRICK VENEER

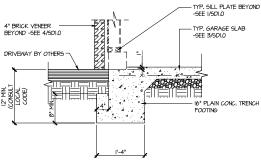
1'-4"



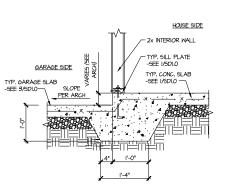
TYPICAL SLAB ON GRADE

PERIMETER FOOTING

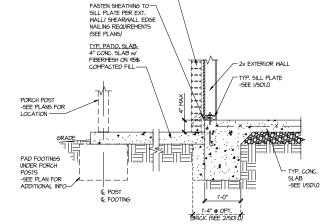




TYPICAL SLAB ON GRADE GARAGE 6 ENTRY @ PERIMETER FOOTING

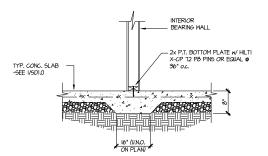


TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



OPT. BRICK (SEE ARCH FOR LOCATIONS)

TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



TYPICAL THICKENED SLAB @ 9 INTERIOR BEARING WALL

Cedar Pointe Lot 7

9/15/23

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENSINEERINS 265 Strackaide Perkvey, Suite 265 • Agina 2-78-77-4804 • menhanicapasen NC License # C-3825

Mulhern+Kulp project number: 256-22017 SMK MRG

drawn by: issue date: 12-09-22 REVISIONS:

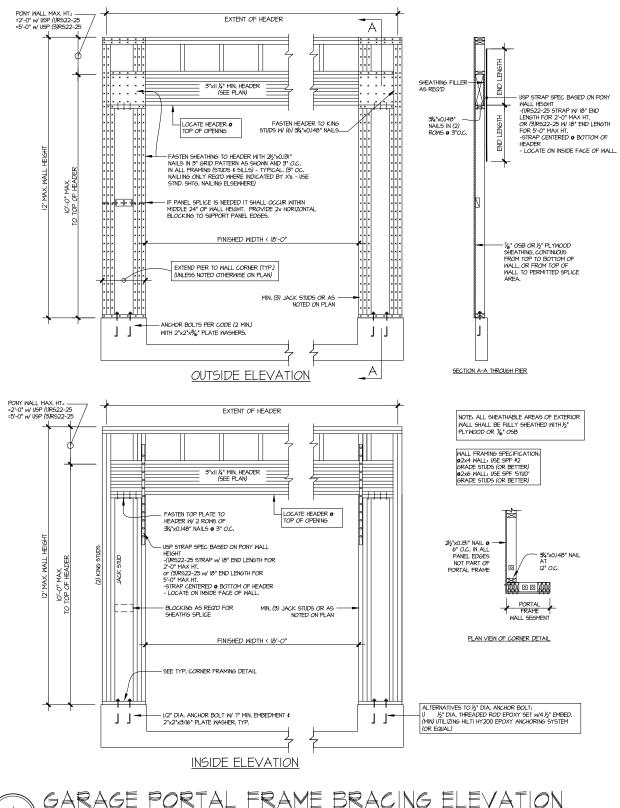
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SMITH DOUGLAS HOMES

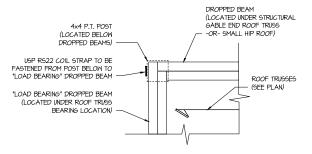
MODEL

FOUNDATION DETAILS 120 MPH WIND ZONE NORTH CAROLINA AWSON

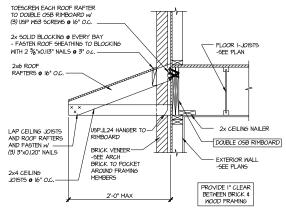
SD1.0



GARAGE PORTAL FRAME BRACING ELEVATION BOTH SIDES OF GARAGE DOOR 120 MPH WIND SPEED (ULT) SCALE: N.T.S.



COVERED PORCH CONNECTION DETAIL



DETAIL @ PENT ROOF

9/15/23

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENSINEERINS 265 Strackaide Parkvey, Suite 265 • Agina 2-78-77-4804 • menhanicapasan NC License # C-3825

Mulhern+Kulp project number: 256-22017

SMK drawn by: MRG issue date: 12-09-22

REVISIONS:

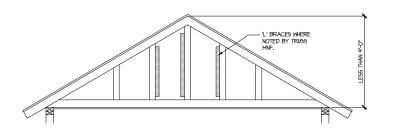
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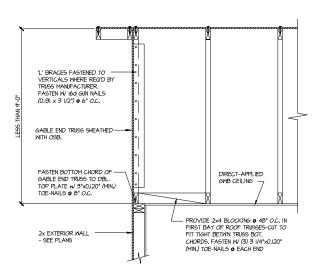
SMITH DOUGLAS HOMES

MODE 120 MPH WIND ZONE NORTH CAROLINA FRAMING DETAILS AWSON

Cedar Pointe Lot 7

SD2.0



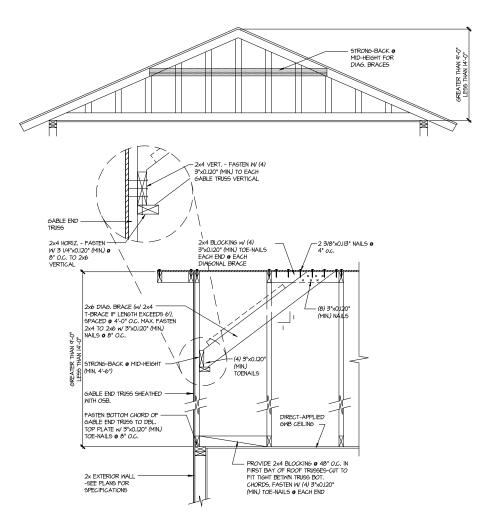


BRACE GABLE END TRUSGES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9"-O". "L" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.

TYPICAL GABLE END BRACING DETAIL SCALE: NONE RECOP & GABLE END TRUSS

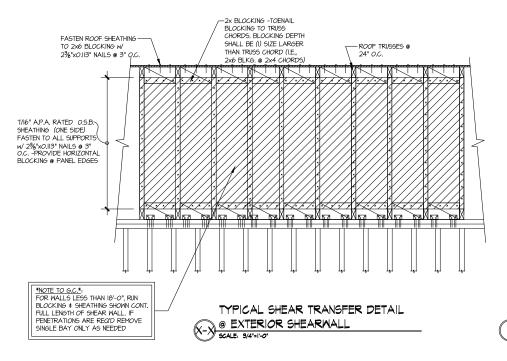
LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

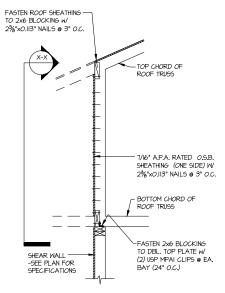
NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



TYPICAL GABLE END BRACING DETAIL SCALE: NONE REQUES 6ABLE END TRUSS REQ'D & GABLE END TRUSS HEIGHT BETWIN 4'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0'. 'L' BRACES NOT REQUIRED.





TYPICAL SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL

Cedar Pointe Lot 7

9/15/23

MULHERN + KULP

RESIDENTIAL STRUCTURAL ENGINEERING

RESIDENTIAL STRUCTURAL ENGINEERING

PTO-TITE AND A STRUCTURAL ENGINEERING

PTO-TITE



Mulhern+Kulp project number: 256-22017 SMK drawn by: MRG issue date: 12-09-22 REVISIONS: initial:

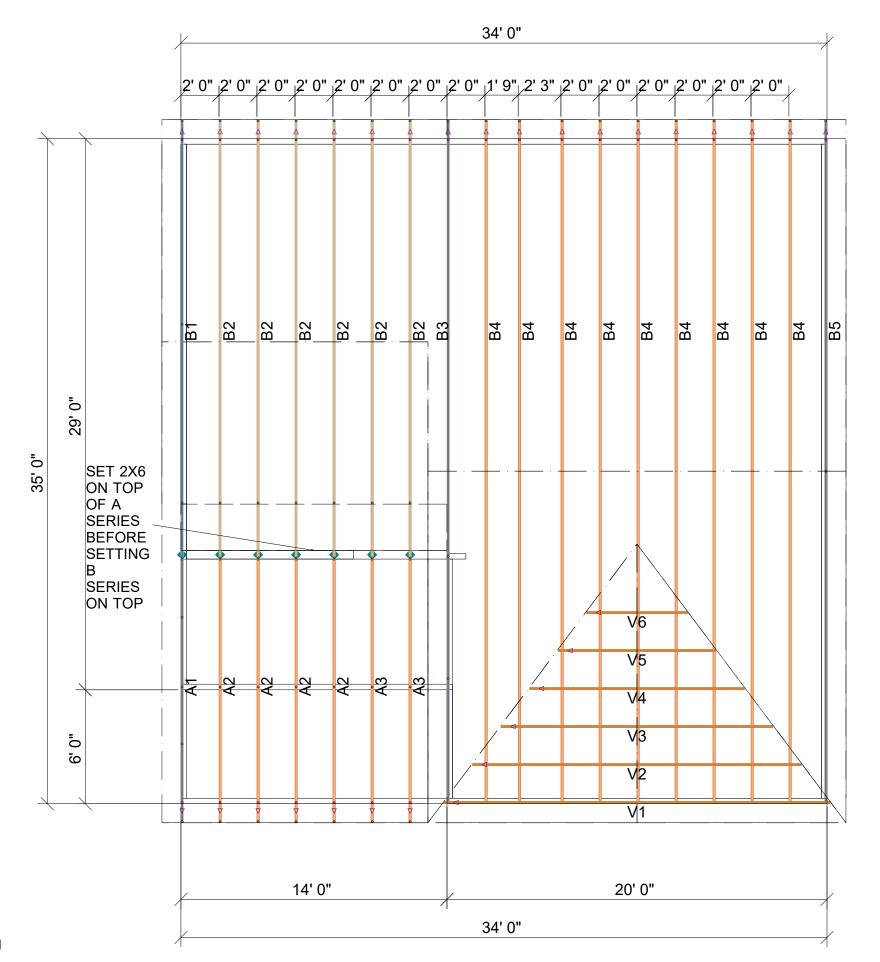
SMITH DOUGLAS HOMES

MODE 120 MPH WIND ZONE NORTH CAROLINA AWSON

FRAMING DETAILS

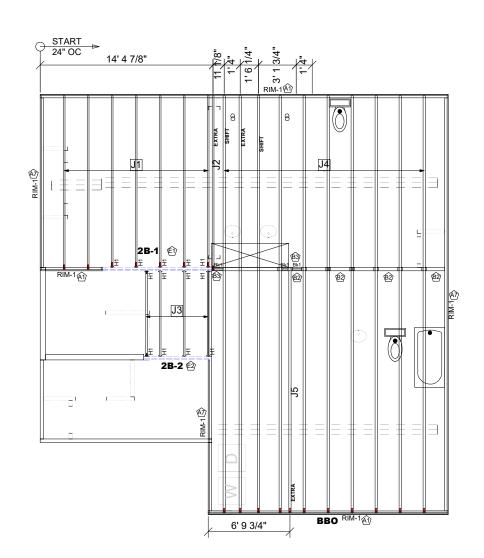
SD2.1

72433407 7 CEDAR POINTE



BUILT SITE A UFP INDUSTRIES O UFP 0 LINES: H LINES: VALLEY 4 67 50. LINE RIDGE sqft AREA: DESIGNER JNN LAYOUT DATE 7/8/24 ROOF ARCH DATE

JOB #: MASTER



		Products			
PlotID	Length	Product	Plies	Net Qty	Fab Type
J1	15' 0"	14" TJI® 110	1	7	MFD
J2	15' 0"	14" TJI® 110	1	1	MFD
J3	8' 0"	14" TJI® 110	1	4	MFD
J4	35' 0"	14" TJI® 360	1	10	MFD
J5	21' 0"	14" TJI® 360	1	1	MFD
2B-1	10' 0"	1 3/4" x 14" 2.0E Microllam® LVL	2	2	MFD
2B-2	6' 0"	1 3/4" x 14" 2.0E Microllam® LVL	2	2	MFD
RIM-1	16' 0"	1 1/8" x 14" TJ® Rim Board	1	8	MFD
Bk1	2' 0"	14" TJI® 110	1	3	MFD
•					

Connector Summary			nary
PlotID Qty		Manuf	Product
H1	13	MiTek	IHFL1714

GENERAL NOTES:

I.) TOP CHORD OF JOISTS ARE PAINTED RED AT NUMBERED END. PLACE PAINTED END AS NOTED ON PLAN.

NOTED ON PLAN.
2) FOLLOW SPECIAL SPACING AND LOCATION
DIMENSIONS FOR EXTRAS OR SHIFTED JOISTS
AS SHOWN ON PLAN.
3) ALL INTERIOR WALL PLATES MUST BE LEVEL
WITH OUTSIDE WALL TOP PLATES.
4) DO NOT STACK CONSTRUCTION LOADS ON

UN-BRACED JOISTS.
5.) PROVIDE SOLID SUPPORT BELOW ALL BEAM

5.) PROVIDE SOLID SUPPORT BELOW ALL BEAM AND HEADER BEARING POINTS IN WALL AND JOIST SPACES CONTINUOUS DOWN TO THE FOUNDATION.
6.) LOCATE CRIPPLE STUDS IN JOIST SPACE DIRECTLY BELOW HEADER JACKS AT ALL FIRST FLOOR EXTERIOR DOOR LOCATIONS.
7.) INSTALL NAILS IN ALL HOLES PROVIDED IN JOIST HANGERS EXCEPT AT BOTTOM CHORD SEAT. PLACE A DAB OF GLUE IN THE HANGER SEAT BEFORE SETTING JOISTS.
8.) IMPORTANT NOTEL NO STRUCTURE.

8.) IMPORTANT NOTE! NO STRUCTURAL ANALYSIS OF CONVENTIONAL HEADERS HAS BEEN CONDUCTED IF NOT NOTED. THEY ARE CONSIDERED TO BE ADEQUATE TO SUPPORT THE APPLIED LOADS.

FRAMER NOTE

. GLUE AND NAIL PLYWOOD SUBFLOOR TO BEAMS AND GIRDERS AT 6" O/C WHERE NO WALL IS ABOVE.

2. FILL HANGER SEAT WITH GLUE BEFORE SETTING JOIST IN HANGER. FILL ROUND HOLES WITH

CRITICAL!!

INSTALL 2X4 SQUASH BLOCKS IN FLOOR TRUSS SPACE HEADER JACKS. CUT 1/16"

PLAN LEGEND

1B-, 2B-

H-, 1H-, GDH-

*BEAMS MAY PROTRUDE ABOVE OR BELOW DECKING OR TOP PLATE RESPECTIVELY, REFER TO DETAIL IF BEAM IS A DIFFERENT DEPTH THAN FLOOR SYSTEM

SINGLE PLY BEAM (ADD LINE FOR EACH ADDITIONAL PLY)

SHIFT JOIST TO MISS PLUMBING, ALIGN W/WALL OR SUPPORT FURNITURE

DOUBLE

FRAMER NOTE

DENOTES DUCT HOLE RUNS

ALL DIMENSIONS TO CENTERLINE UNLESS

Avoid Plumbing Drops

BELOW ALL EXTERIOR DOOR TALLER THAN TRUSS.

A JOIST ADDED TO THE LAYOUT IN ADDITION TO THE ON CENTER JOISTS

FIELD TRIM NON RED END TO KEEP HOLES ALIGNED CONTAR EL LADO DE SIN MARCA

ROJA PARA HOYOS ALINEADOS

FIELD LOCATE PLUMBING DROPS/CAN LIGHTS, ETC... PRIOR **TO JOIST SECUREMENT TO AVOID INTERFERENCE.**

LAYOUT FOR 19.2" O/C

1= 19-3/16"	9= 172-13/16"
2= 38-3/8"	10= 192"
3=57-5/8"	11= 211-3/16"
4= 76-13/16"	12= 230-3/8"
5= 96"	13= 249-13/16"
6= 115-3/16"	14= 268-13/16"
7= 134-3/8"	15= 288"
8= 153-5/8"	

FIELD VERIFY DIMENSIONS TO **JOISTS LOCATED UNDER WALLS!!** 2ND FLOOR LAYOUT

2ND FLOOR PLACEMENT PLAN





Smith Doulgas Homes

Lawson 2nd Floor

DESIGNER PB2 LAYOUT DATE 10/21/2024 **ARCH DATE** 5/10/2024 STRUC DATE 9/15/2023

JOB #: 24101595F2

SCALE: 1/8"=1'