

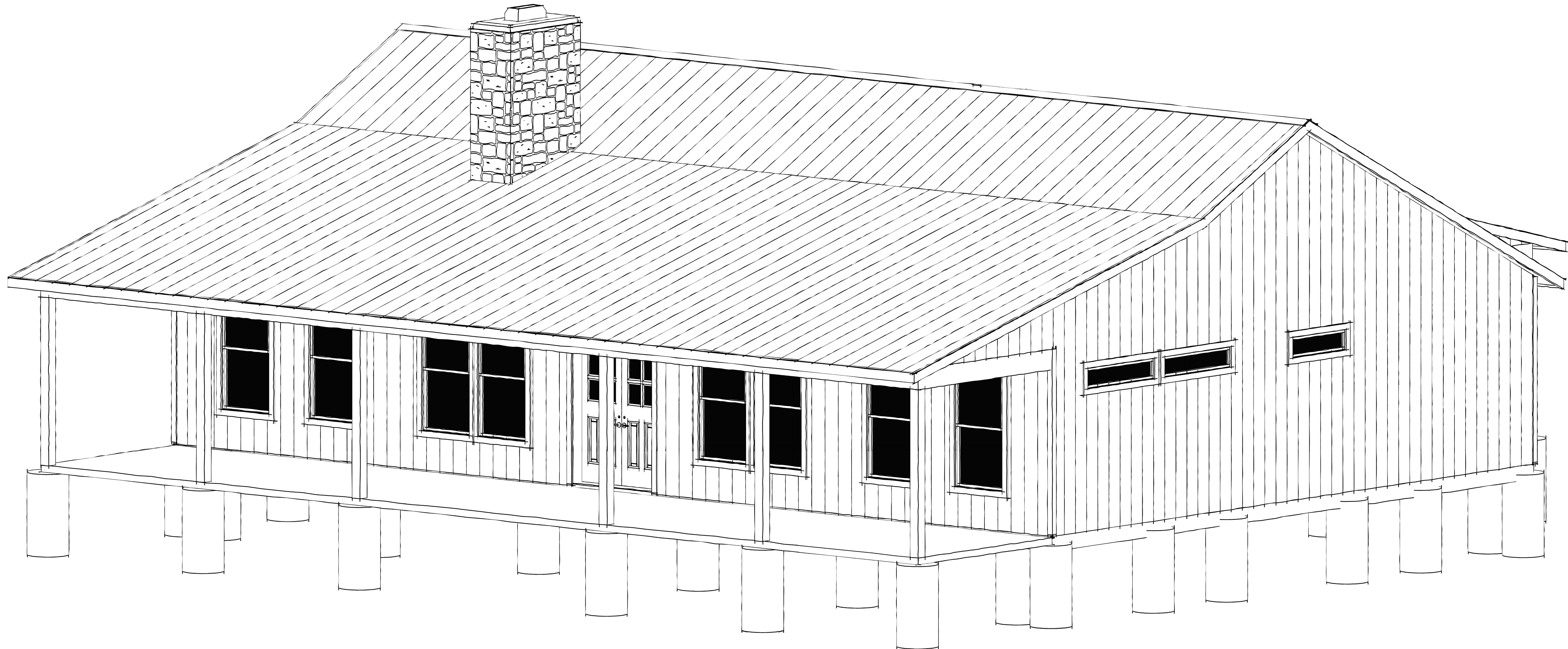
NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
Limited building only review.
Permit holder responsible for full compliance with the code.

02/20/2025




Slab, walls, and attic space shall be insulated per 2018 NCRC.



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BACK FORTY BUILDING CO. 2025

DESIGNER INFORMATION

DRAWN BY: JSH
 Designer Name: _____
 Street Address: _____
 City/State/Zip: _____
 Designer Phone: _____
 Designer E-Mail: _____
 Designer Website: www.backfortybuildings.com

BUILDER INFORMATION

BUILDER: HERMIS POST FRAME RESIDENCE
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 Builder Phone: _____
 Builder Email: _____
 Builder Website: _____

DRAWN FOR:

HERMIS POST FRAME RESIDENCE

CLIENT INFORMATION

DRAWN FOR: HERMIS
 Client Name: _____
 Client Email: _____

PROJECT INFORMATION

JOB #: 24-445
 Project #: HOMESTEAD
 Builder Job #: _____
 Site Address: _____
 City/State: NORTH CAROLINA

DESIGN CRITERIA

PLAN AREAS

SQ FT TOTALS

LIVING AREAS	
1ST FLOOR -	1957 Sq Ft
TOTAL LIVING -	1957 Sq Ft
NON-LIVING AREAS	
PATIO, REAR COVERED -	284 Sq Ft
PORCH, FRONT COVERED -	557 Sq Ft
TOTAL NON-LIVING -	841 Sq Ft
TOTALS	
TOTAL LIVING / NON -	2798 Sq Ft

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SB201	FOUNDATION PLAN	6
AE203	ROOF PLAN/DRG SCHED	7
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S-301	POST FRAME BLDG DETAILS	9
S-302	POST FRAME BLDG DETAILS	10
EN001	GENERAL NOTES	11

Date Printed - 2/11/2025

SHEET INFORMATION

SHEET TITLE:

3D Perspective

SHEET ID:

AE101

PAGE #: 1

ELEVATION ARCHITECTURAL NOTES	
Number	Note
AN01	Metal Roofing
AN02	Vertical Metal Siding



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EN001	GENERAL NOTES	11

Date Printed - 2/11/2025

SHEET INFORMATION

SHEET TITLE:
Elevations

SHEET ID:
AE102

PAGE #: **2**



FRONT ELEVATION
Scale - 1/4" = 1'-0"



BACK ELEVATION
Scale - 1/4" = 1'-0"

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ELEVATION ARCHITECTURAL NOTES	
Number	Note
AN01	Metal Roofing
AN02	Vertical Metal Siding



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PROJECT INFORMATION

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Project #: HOMESTEAD
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City/State: NORTH CAROLINA

DESIGN CRITERIA

PLAN AREAS

SQ FT TOTALS

LIVING AREAS
 1ST FLOOR - 1957 Sq Ft
 TOTAL LIVING - 1957 Sq Ft

NON-LIVING AREAS
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 PORCH, FRONT COVERED - 557 Sq Ft
 TOTAL NON-LIVING - 841 Sq Ft

TOTALS
 TOTAL LIVING / NON - 2798 Sq Ft

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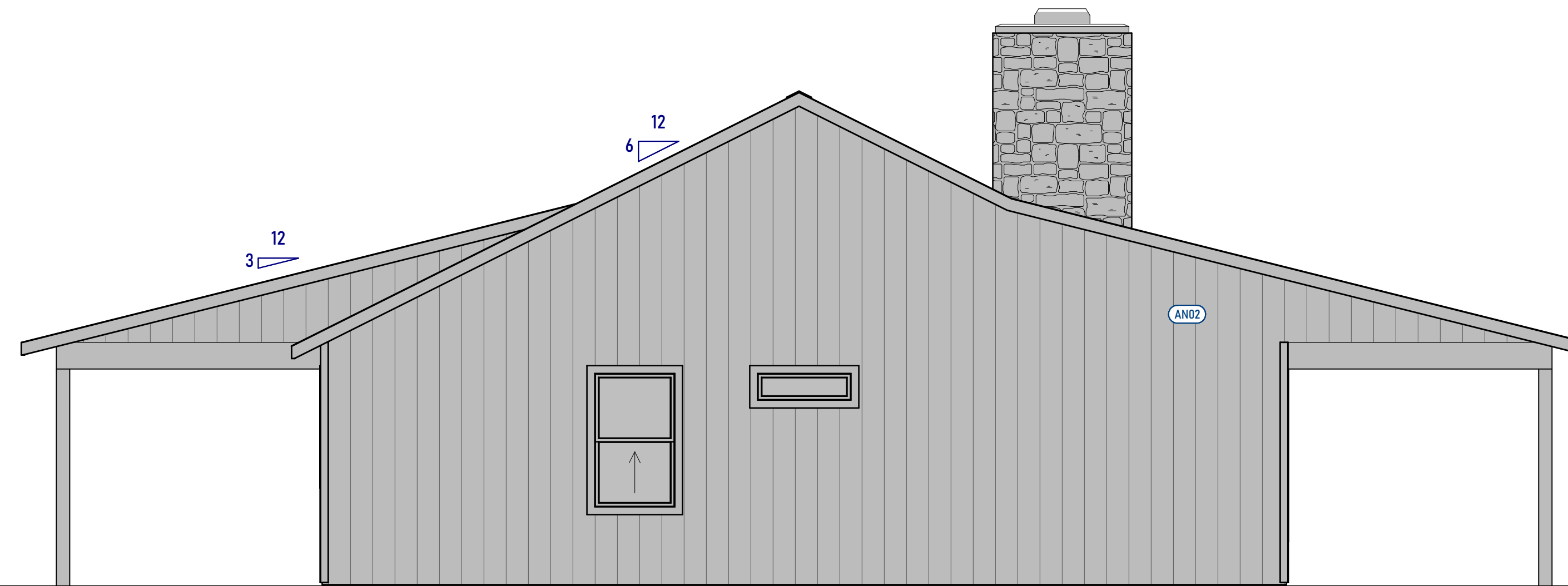
SHEET TITLE:

Elevations

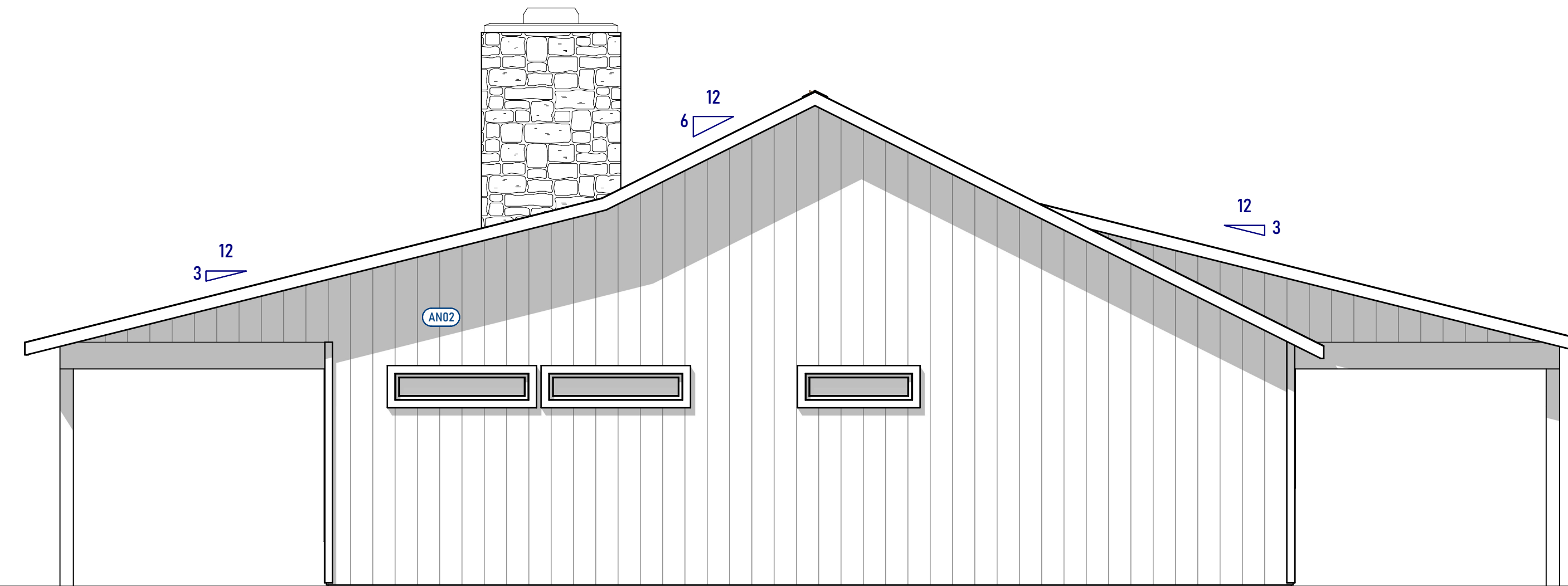
SHEET ID:

AE103

PAGE #: 3



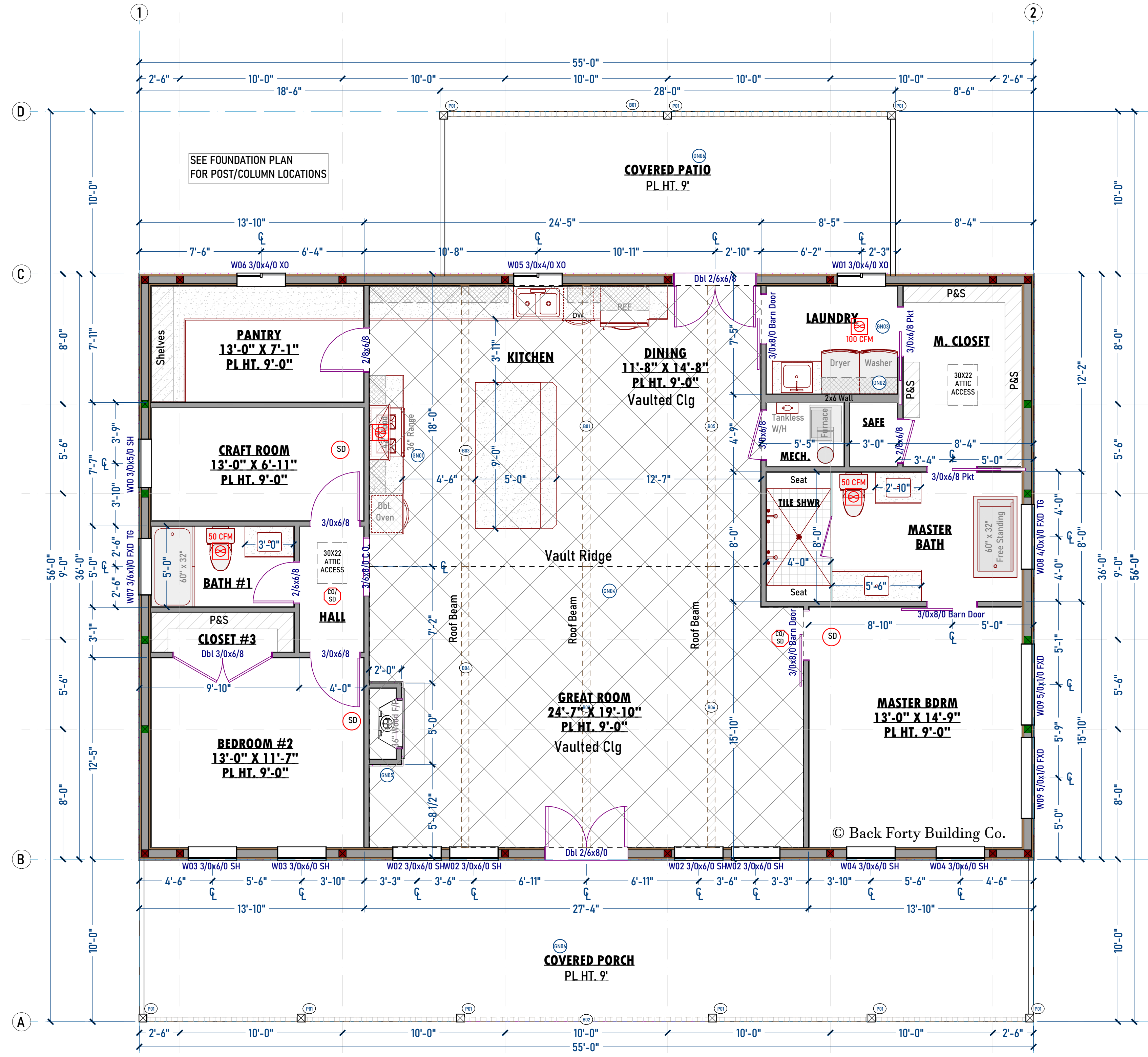
LEFT ELEVATION
Scale - 1/4" = 1'-0"



RIGHT ELEVATION
Scale - 1/4" = 1'-0"

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GENERAL NOTES SCHEDULE	
Number	Note
GN01	100 CFM Range Exhaust Fan
GN02	Water Hammer Arrestor
GN03	Whole House Fan
GN04	Exposed HVAC Ducts To Be Located In Vaulted Ceilings
GN05	Fire Stop Chase
GN06	Porch & Patio slabs sit minimum of 2" below final floor on the interior w/1% grade away from structure



1ST LEVEL FLOOR PLAN
Scale - 1/4" = 1'-0"

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	RAISED CEILING AREA PRIMARY RAISED PLATE HEIGHT
	RAISED CEILING AREA SECONDARY RAISED PLATE HEIGHT
	VAULTED CEILING AREA



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PROJECT INFORMATION

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Project #: HOMESTEAD
Builder Job #: _____
Site Address: _____
City/State: NORTH CAROLINA

DESIGN CRITERIA

PLAN AREAS

SQ FT TOTALS

AREA	SQ FT
LIVING AREAS	
1ST FLOOR -	1957 Sq Ft
TOTAL LIVING -	1957 Sq Ft
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GN001	GENERAL NOTES	11

Date Printed - 2/11/2025

SHEET INFORMATION

SHEET TITLE:
Main Floor Plan & Sched.

SHEET ID:
AE201

PAGE #: 4



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Client Email:

PROJECT INFORMATION

JOB #: 24-445
Project #: HOMESTEAD
Builder Job #:
Site Address:
City/State: NORTH CAROLINA

DESIGN CRITERIA

PLAN AREAS

SQ FT TOTALS	
LIVING AREAS	
1ST FLOOR -	1957 Sq Ft
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Date Printed - 2/11/2025

SHEET INFORMATION

SHEET TITLE:

**Door & Window
Schedules**

SHEET ID:

AE202

PAGE #: 5

Window Schedule											
Number	Floor	Room Name	Label	SideLight/ Transom	Qty	Type	Egress	Temp.	Sq Ft	Top	Bottom
W01	1	Laundry/Covered Patio	W01 3/0x4/0 XO		1	Right Sliding			12	94"	46"
W02	1	Great Room/Covered Porch	W02 3/0x6/0 SH		4	Single Hung	Yes		18	94"	22"
W03	1	Bedroom #2/Covered Porch	W03 3/0x6/0 SH		2	Single Hung	Yes		18	94"	22"
W04	1	Master Bdrm/Covered Porch	W04 3/0x6/0 SH		2	Single Hung	Yes		18	94"	22"
W05	1	Kitchen/Covered Patio	W05 3/0x4/0 XO		1	Right Sliding	Yes		12	94"	46"
W06	1	Pantry	W06 3/0x4/0 XO		1	Right Sliding			12	94"	46"
W07	1	Bath #1	W07 3/6x1/0 FXD TG		1	Fixed Glass		Yes	3.5	94"	82"
W08	1	Master Bath	W08 4/0x1/0 FXD TG		1	Fixed Glass		Yes	4	94"	82"
W09	1	Master Bdrm	W09 5/0x1/0 FXD		2	Fixed Glass			5	94"	82"
W10	1	Craft Room	W10 3/0x5/0 SH		1	Single Hung	Yes		15	94"	34"
Totals:									212.5		

Window Schedule

Exterior Door Schedule								
Number	Floor	Room Name	Qty	Label	Door Unit	Hinge	EX/IN	Fire
D01	1	Great Room/Covered Porch	1	Dbt 2/6x8/0		Hidden (6)	EX	
D02	1	Dining/Covered Patio	1	Dbt 2/6x6/8		Hidden (6)	EX	

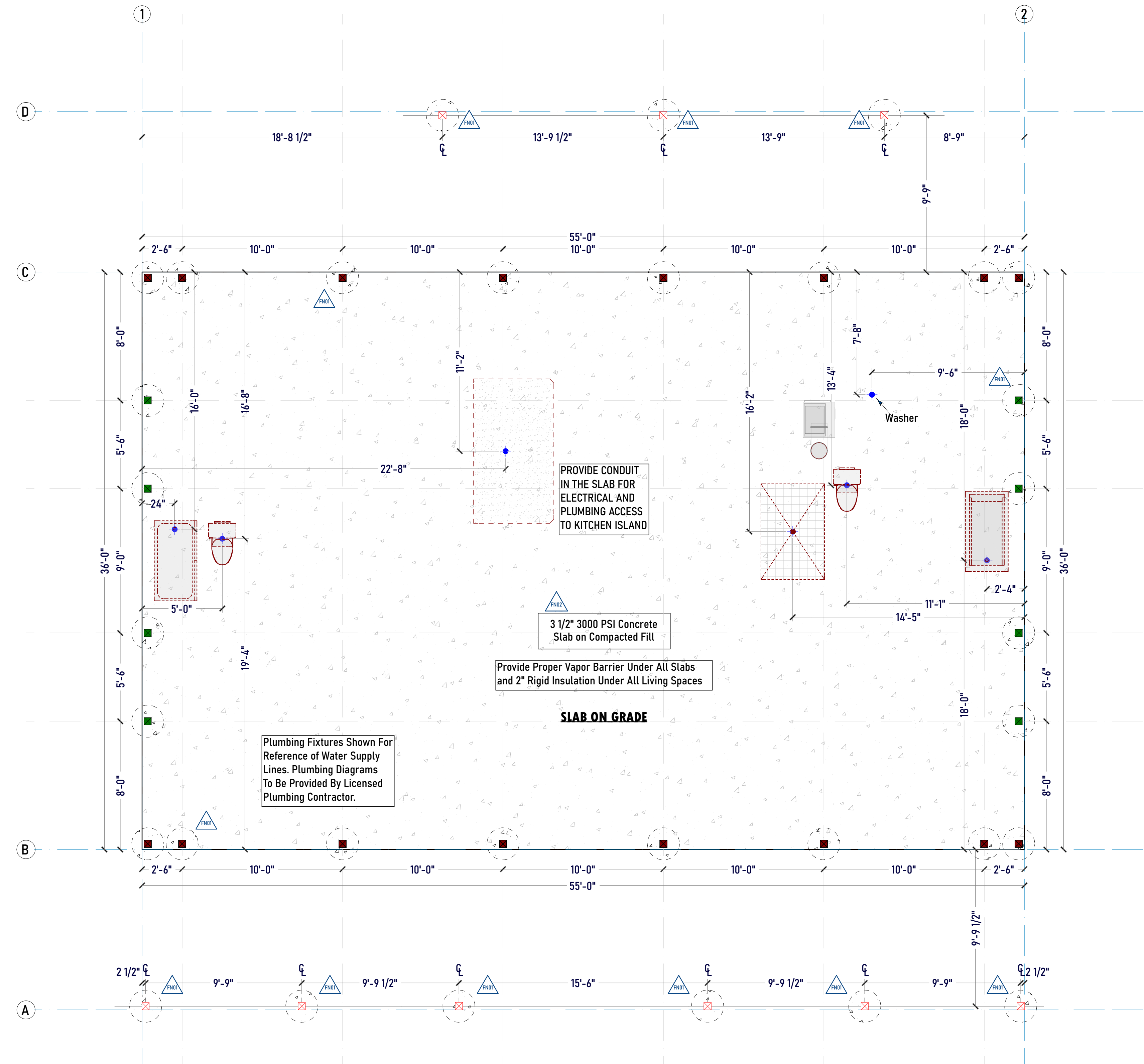
Interior Door Schedule								
Number	Floor	Room Name	Qty	Label	Type	Hinge	EX/IN	Fire
D01	1	Great Room/Hall	1	3/6x8/0 C.O.	Doorway		IN	
D02	1	Dining/Laundry	1	3/0x8/0 Barn Door	Barn	R	IN	
D03	1	M. Closet/Safe	1	2/8x6/8	Hinged	R	IN	
D04	1	Kitchen/Pantry	1	2/8x6/8	Hinged	L	IN	
D05	1	Craft Room/Hall	1	3/0x6/8	Hinged	R	IN	
D06	1	Hall/Bedroom #2	1	3/0x6/8	Hinged	L	IN	
D07	1	Master Bdrm/Master Bath	1	3/0x8/0 Barn Door	Barn	L	IN	
D08	1	Master Bath/M. Closet	1	3/0x6/8 Pkt	Pocket	R	IN	
D09	1	M. Closet/Laundry	1	3/0x6/8 Pkt	Pocket	R	IN	
D10	1	Closet #3/Bedroom #2	1	Dbt 3/0x6/8	Double Hinged	L/R	IN	
D11	1	Bath #1/Hall	1	2/6x6/8	Hinged	L	IN	
D12	1	Great Room/Master Bdrm	1	3/0x8/0 Barn Door	Barn	R	IN	
D13	1	Dining/Mech.	1	3/0x6/8	Hinged	R	IN	

Door Schedule

DISCLAIMER:
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REQUIREMENTS TO PROVIDE STRUCTURAL ENGINEERING
LOCALLY FOR BUILDING PERMITS.

STEM WALL & FOOTING SCHEDULE	
Number	Note
FN01	TYP., 24" DIA. x 48" D Conc. Footing (Size & Depth based on location, loads, and soil bearing capacity - to be determined by Contractor)
FN02	ALL exterior continuous footings and pad bottoms shall follow local requirements based on code and frost depth.

Also see engineered structural pages



PROPOSED FOUNDATION PLAN
Scale - 1/4" = 1'-0"

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◆	Plumbing Drop
LEGEND	



DATE: 2/11/2025
 DESIGNER INFORMATION
 DRAWN BY: JSH
 Designer Name: _____
 Street Address: _____
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 Designer E-Mail: _____
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HERMIS POST FRAME RESIDENCE

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 JOB #: 24-445
 Project #: HOMESTEAD
 Builder Job #: _____
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 City/State: NORTH CAROLINA

DESIGN CRITERIA

PLAN AREAS

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Date Printed - 2/11/2025
SHEET INFORMATION
 SHEET TITLE:
Foundation Plan
 SHEET ID:
SB201
 PAGE #: 6

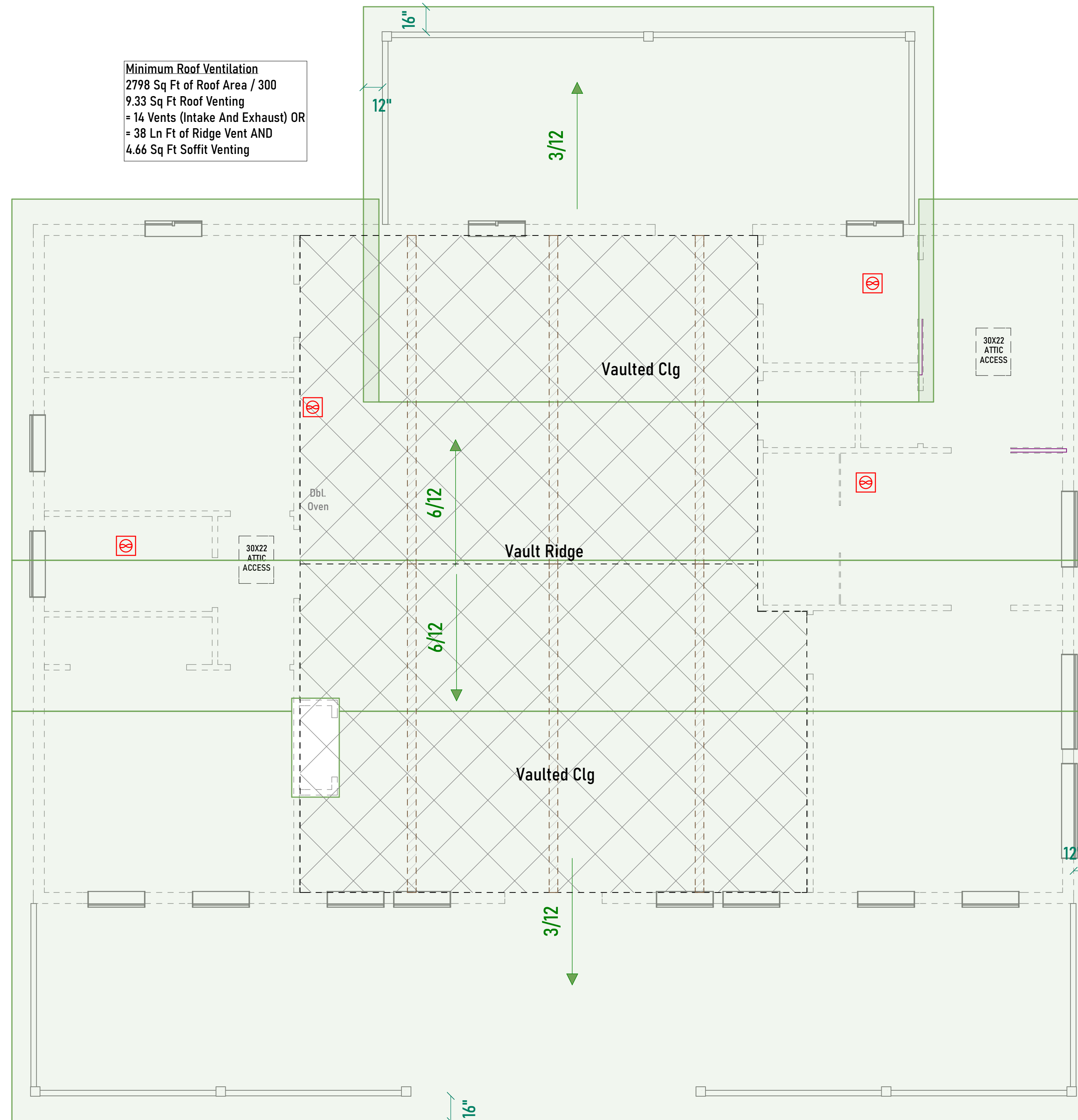
Note: All final cut lengths, sizes, and elevations to be verified by Contractor

PORCH BEAM SCHEDULE - See Calc Sheets or Engineering for Sizes					
Number	Label	Floor	Qty	Length	Top
B01	B.B.O. Porch Beam	1	1	336"	108"
B02	B.B.O. Porch Beam	1	1	660 1/8"	108"

POST SCHEDULE					
Number	Label	Floor	Qty	Length	Top
P01	6x6 Post	1	9	98"	96"

Post Frame Column Schedule		
Number	Label	Qty
G01	End Wall Post/Column	8
G02	Side Wall Post/Column	16

Minimum Roof Ventilation
 2798 Sq Ft of Roof Area / 300
 9.33 Sq Ft Roof Venting
 = 14 Vents (Intake And Exhaust) OR
 = 38 Ln Ft of Ridge Vent AND
 4.66 Sq Ft Soffit Venting



15" Raised Heel
 Over Living
 Space

Manufactured
 Trusses w/
 Pitch As Noted

ROOF PLAN
 Scale - 1/4" = 1'-0"

ROOF FAN VENT LOCATION:
 WHEN POSSIBLE, ALL FAN DUCTS & PLUMBING
 STACKS SHALL TERMINATE ON THE BACK SIDE OF
 THE ROOF.

- GENERAL NOTES
- ARCH. NOTES
- FRAMING NOTES
- ROOF NOTES
- PLUMBING NOTES
- FOOTING & STEM WALL NOTES
- RAISED CEILING AREA PRIMARY RAISED PLATE HEIGHT
- RAISED CEILING AREA SECONDARY RAISED PLATE HEIGHT
- VAULTED CEILING AREA

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BEAM BY OTHERS (B.B.O.)
 SEE BEAM CALC SHEET



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SHEET INFORMATION

SHEET TITLE:
 Roof Plan/Bm Sched

SHEET ID:
 AE203

PAGE #: 7

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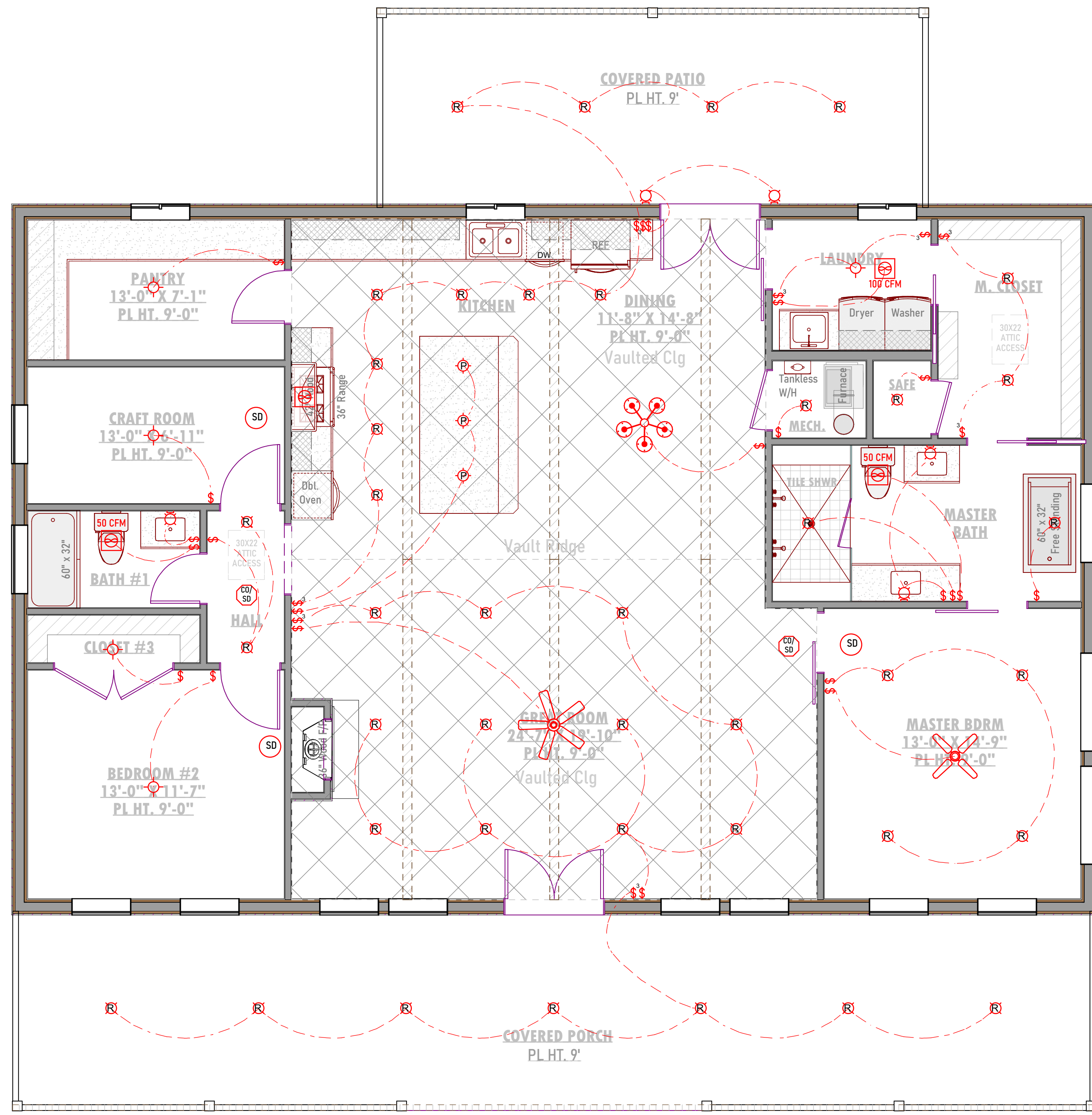
SHEET TITLE:

1st Floor Lighting Plan

SHEET ID:

E-201

PAGE #: 8



	Ceiling Fan
	Chandelier Light Fixture
	Hanging Light Fixture
	Sconce Light Fixture
	Bar Light Fixture
	Tube Light Fixture
	Smoke Detector, CO, Smoke/CO
	Electrical Panel, Low Volt Panel
	Thermostat, Alarm Control Unit
	Intercom, Doorbell
	Audio Video Control Panel, Switch
	Speakers: Ceiling Mount, Wall Mount
	Security Cameras
	Ventilation Fans
	Recessed Light Fixtures
	Flush Mount Light Fixture, Pendant
	Semi-Flush Light Fixture, Flood Light
	Wall Mounted Light Fixture, Emergency Light & Exit
	120V Outlets: Duplex, W. Proof, GFCI, AFCI, Switch
	120V Outlets: 50A, 30A, Floor Outlet, Freezer
	120V Outlets: USB, WiFi, Switched
	220V Receptacle, Junction Box
	Switches: Single Pole, 3-Way, 4-Way, Weather Proof
	Switches: Dimmer, Timer, Occupancy Sensor, Outlet
	Wall Jacks: TV, Telephone, CAT5, CAT6
	Electrical Connection Line, Low Volt Connection

ELECTRICAL LEGEND

ELECTRICAL NOTES:

BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:

- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. ORG.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
- CIRCUITS SHALL BE VERIFIED WITH OWNER/BUILDER PRIOR TO WIRE INSTALLATION.
- FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH OWNER/BUILDER.
- FIXTURES TO BE SELECTED BY OWNER/BUILDER.
- OUTLETS TO CODE.
- PROPER GROUNDING OF THE ELECTRICAL SYSTEM IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR BASED ON LOCAL CODE AND REQUIREMENTS.

LOW VOLTAGE NOTES:

BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, CABLE, DATA, PHONE, AUDIO, ETC.

LOW VOLTAGE/AUDIO: (IF INCLUDED)

- LOCATE SPEAKERS & AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR
- AUDIO SPEAKERS TO BE APPROVED BY BUILDER/OWNER.
- LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY BUILDER/OWNER
- LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA/LOW VOLTAGE PANEL; SYSTEM TO BE APPROVED BY BUILDER/OWNER

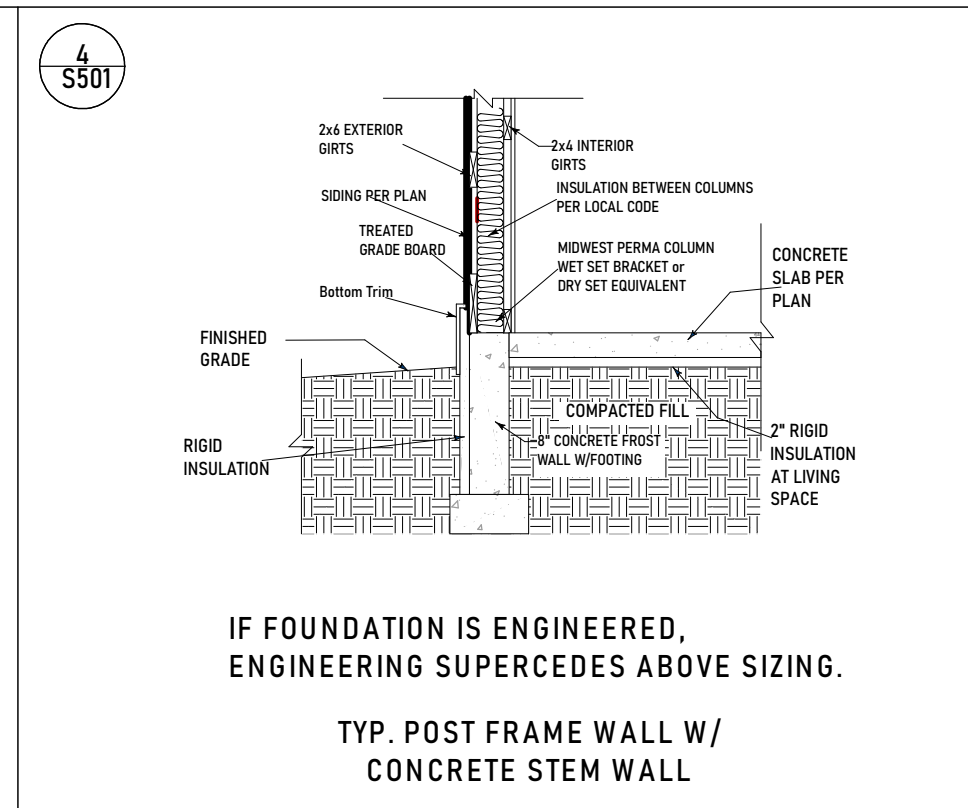
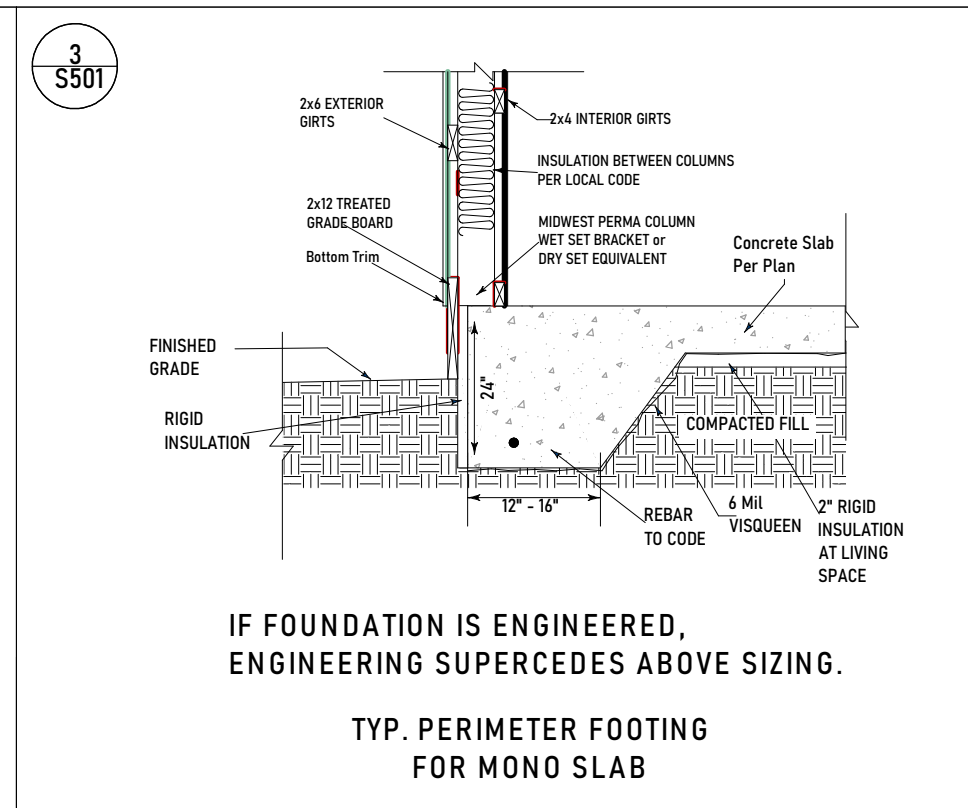
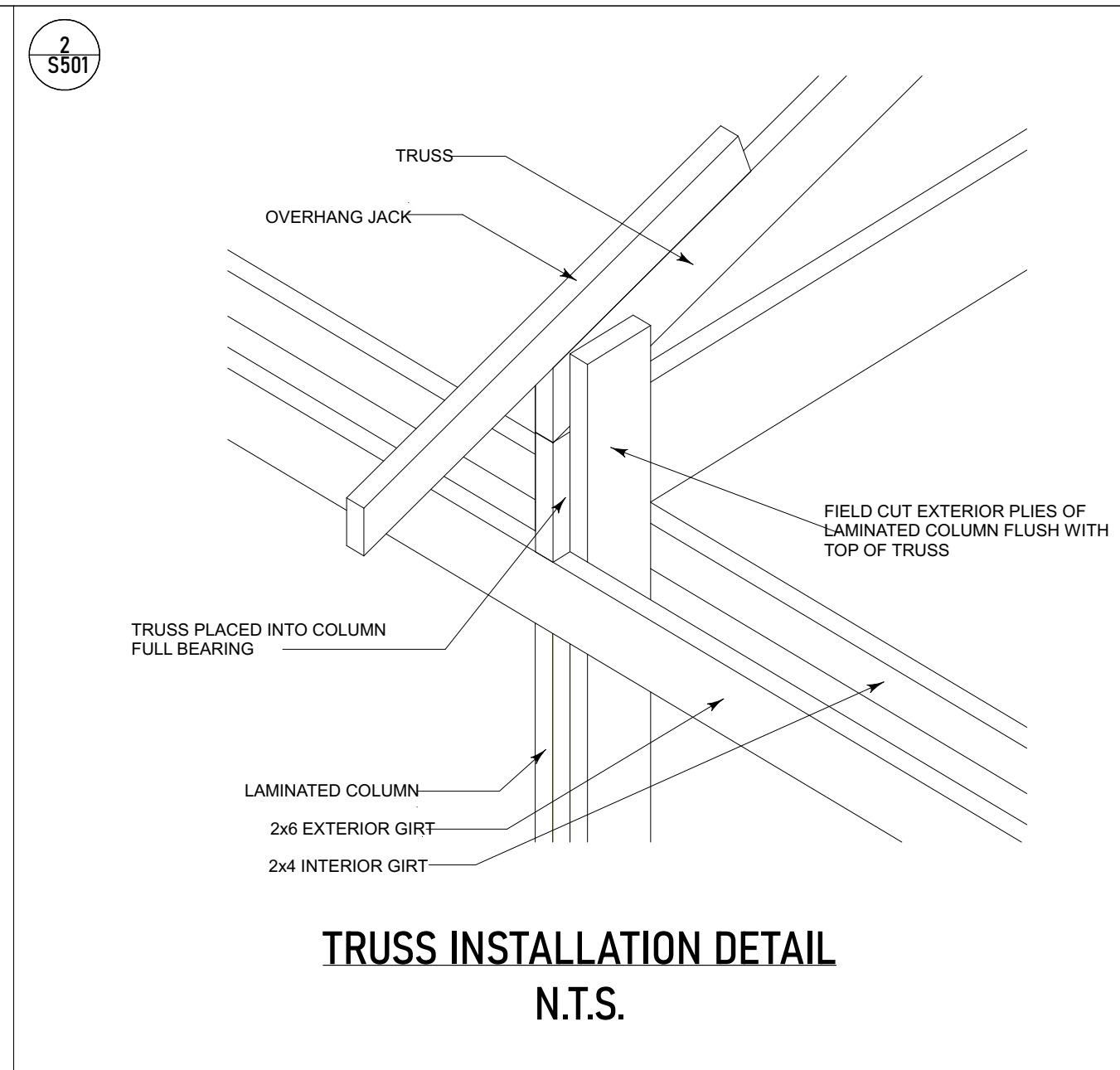
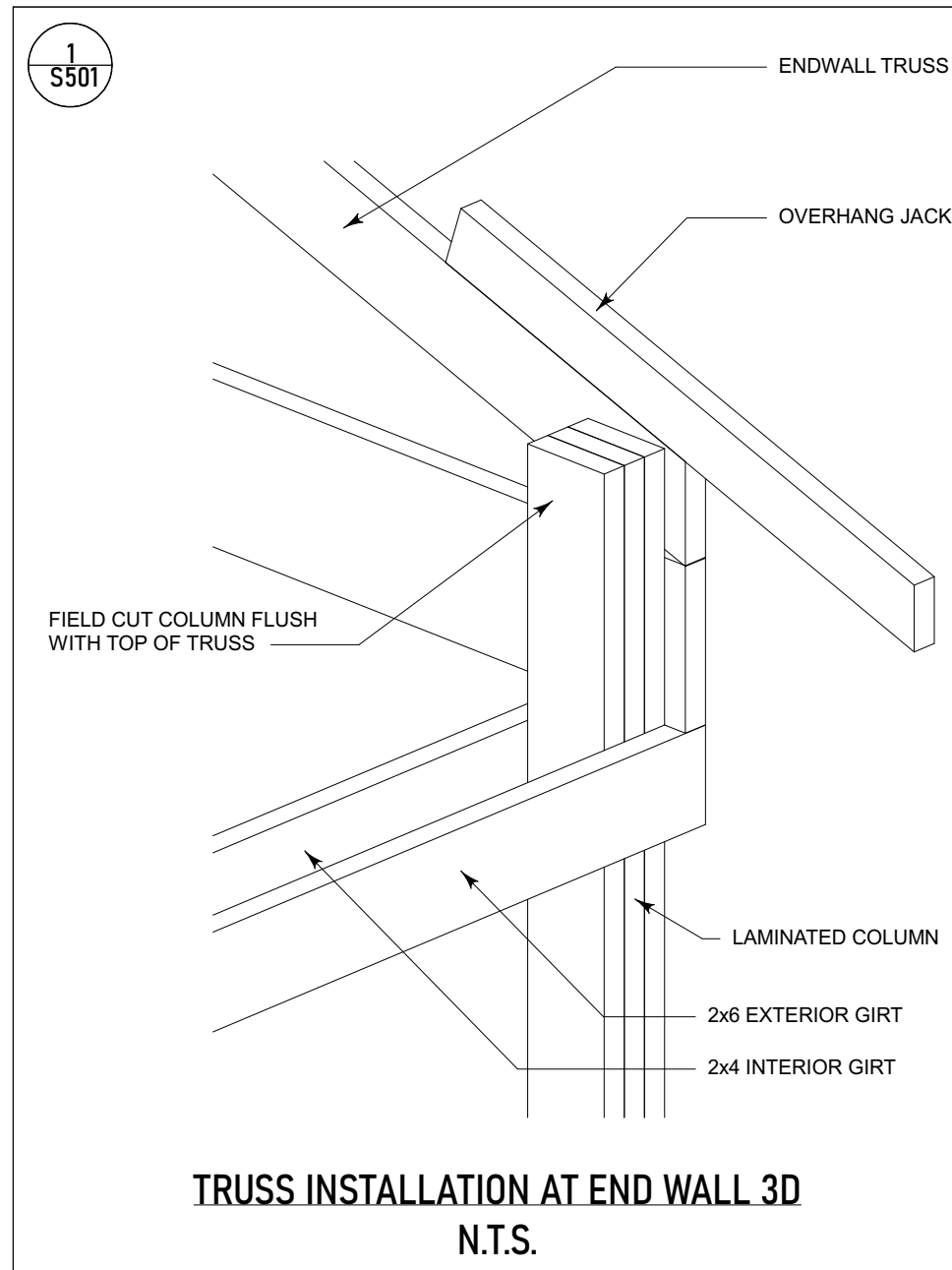
1ST FLOOR PROPOSED LIGHTING PLAN
Scale - 1/4" = 1'-0"

DISCLAIMER:
THESE PLANS HAVE BEEN DESIGNED TO BE USED IN ANY PART OF THE USA. REFER TO LOCAL BUILDING REQUIREMENTS TO PROVIDE STRUCTURAL ENGINEERING LOCALLY FOR BUILDING PERMITS.

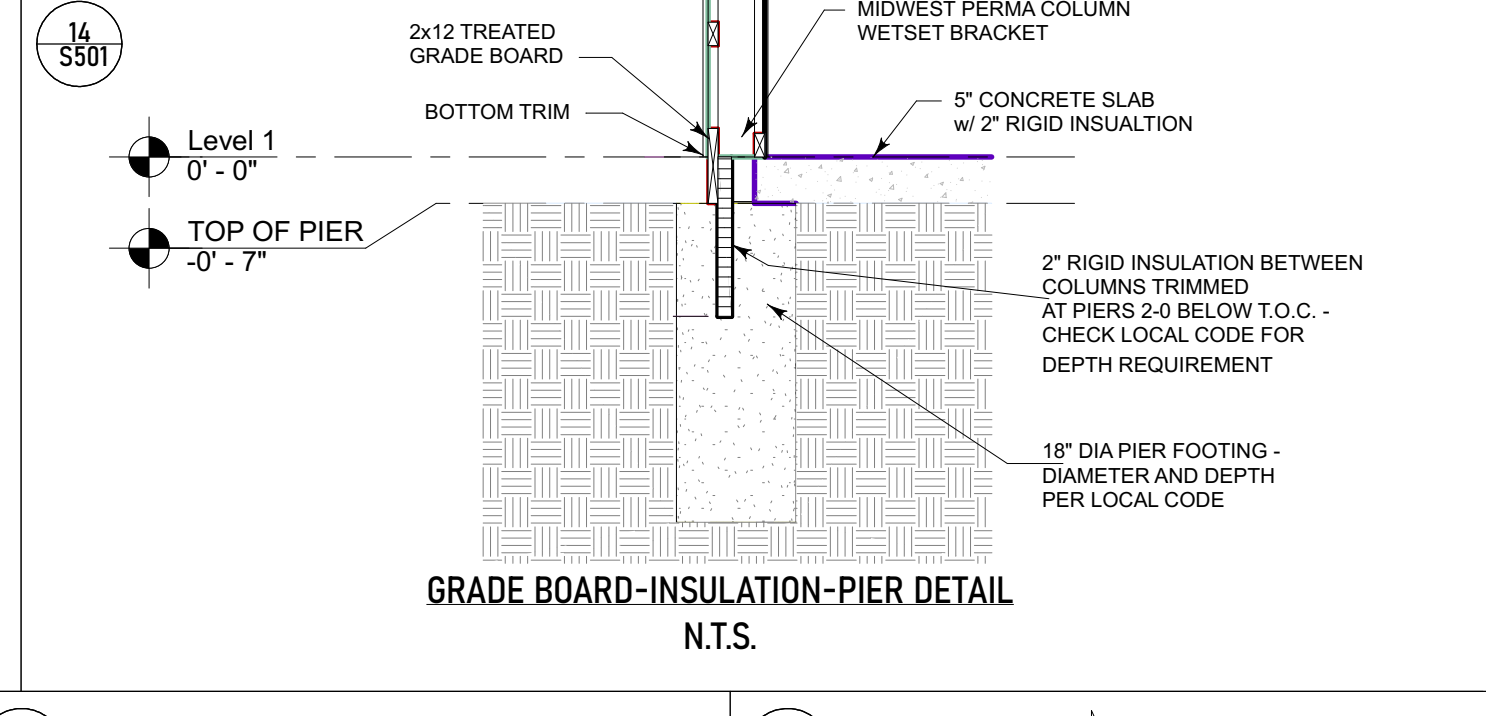
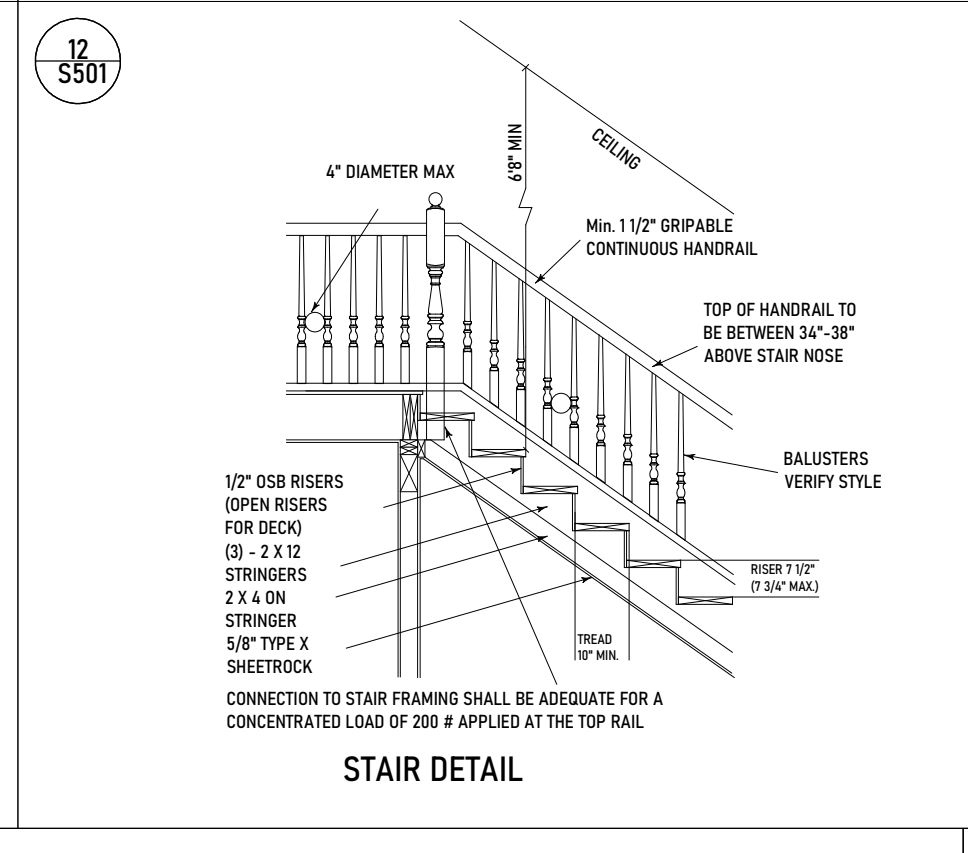
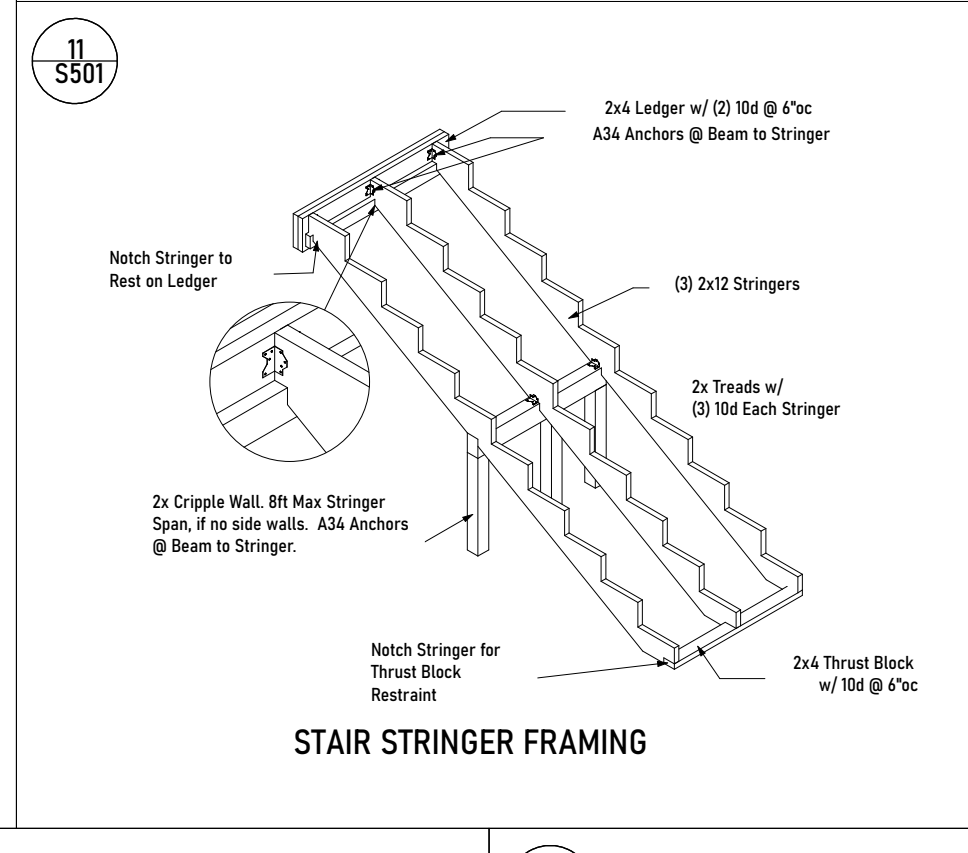
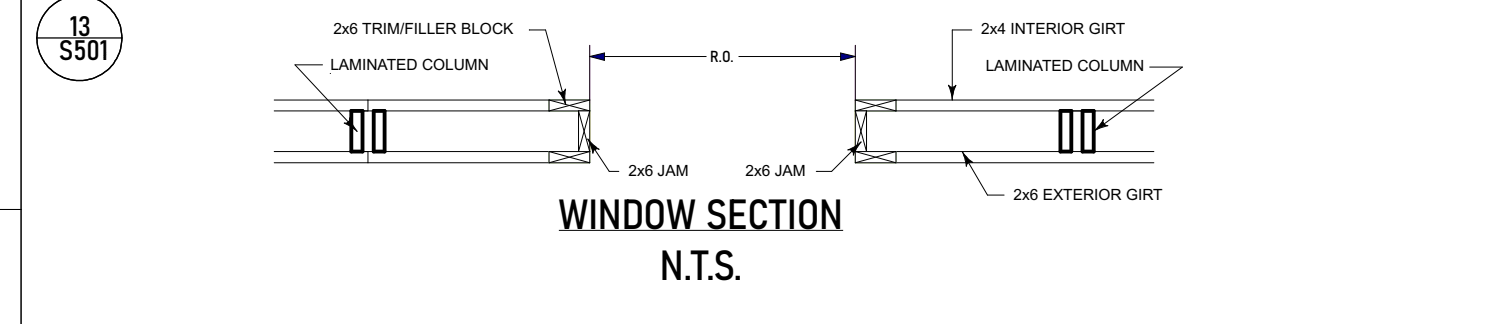
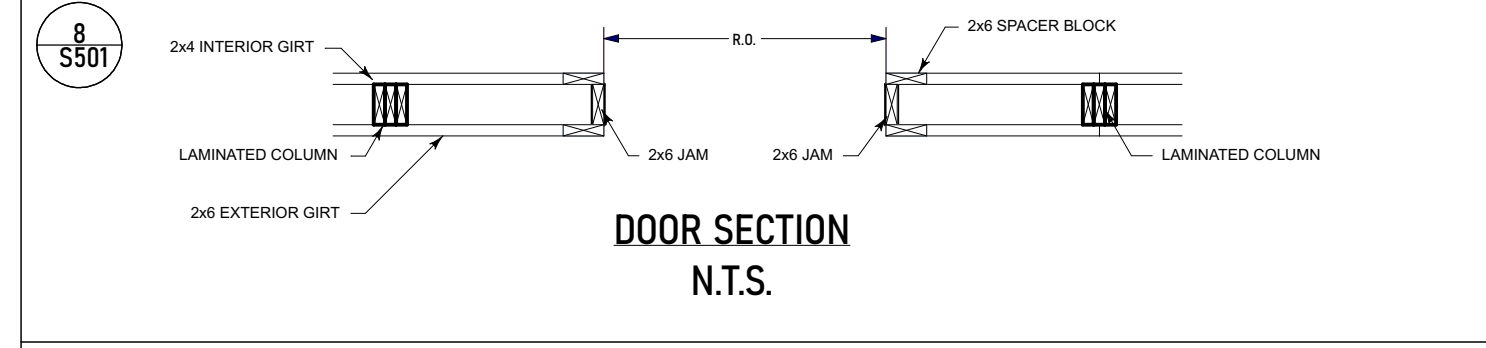
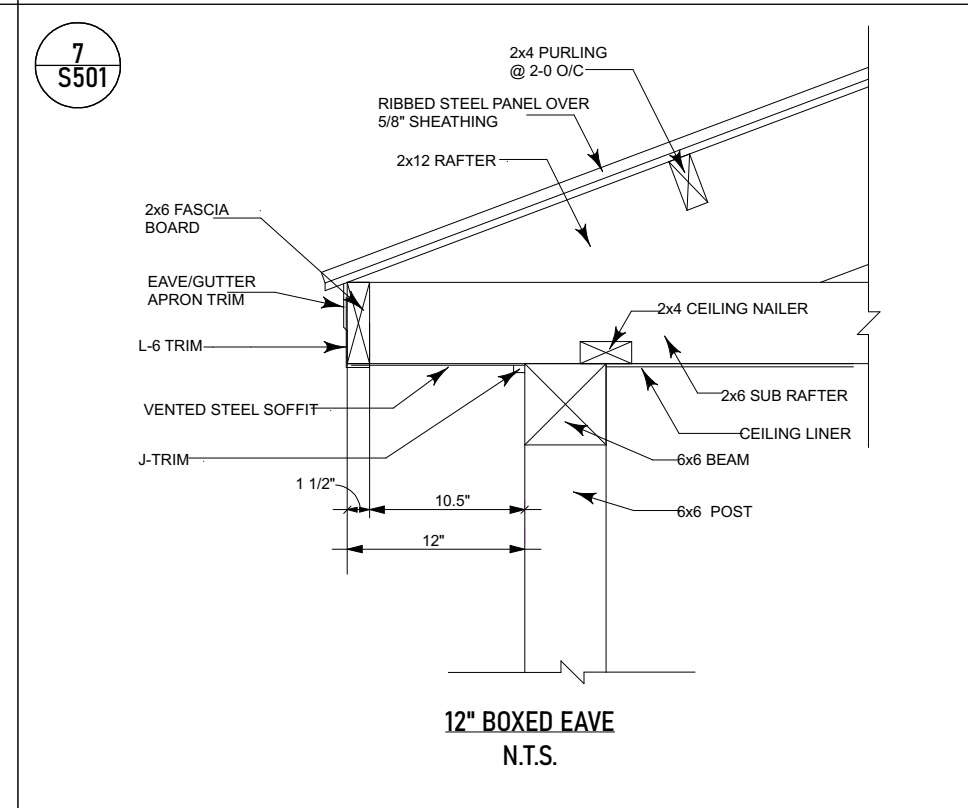
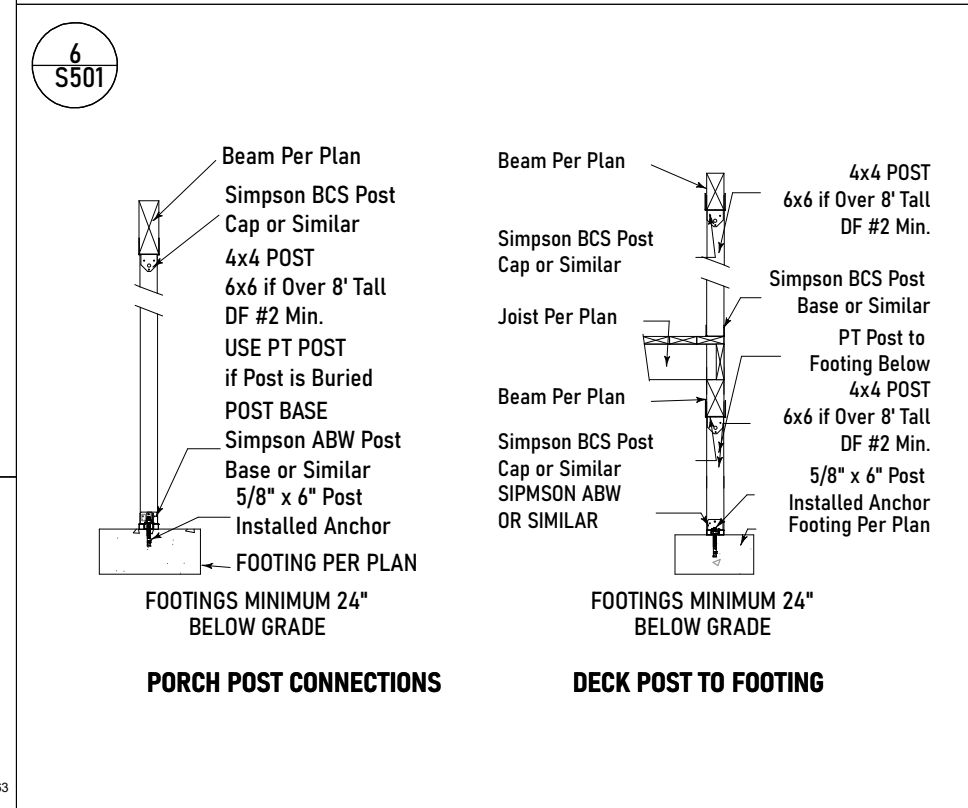
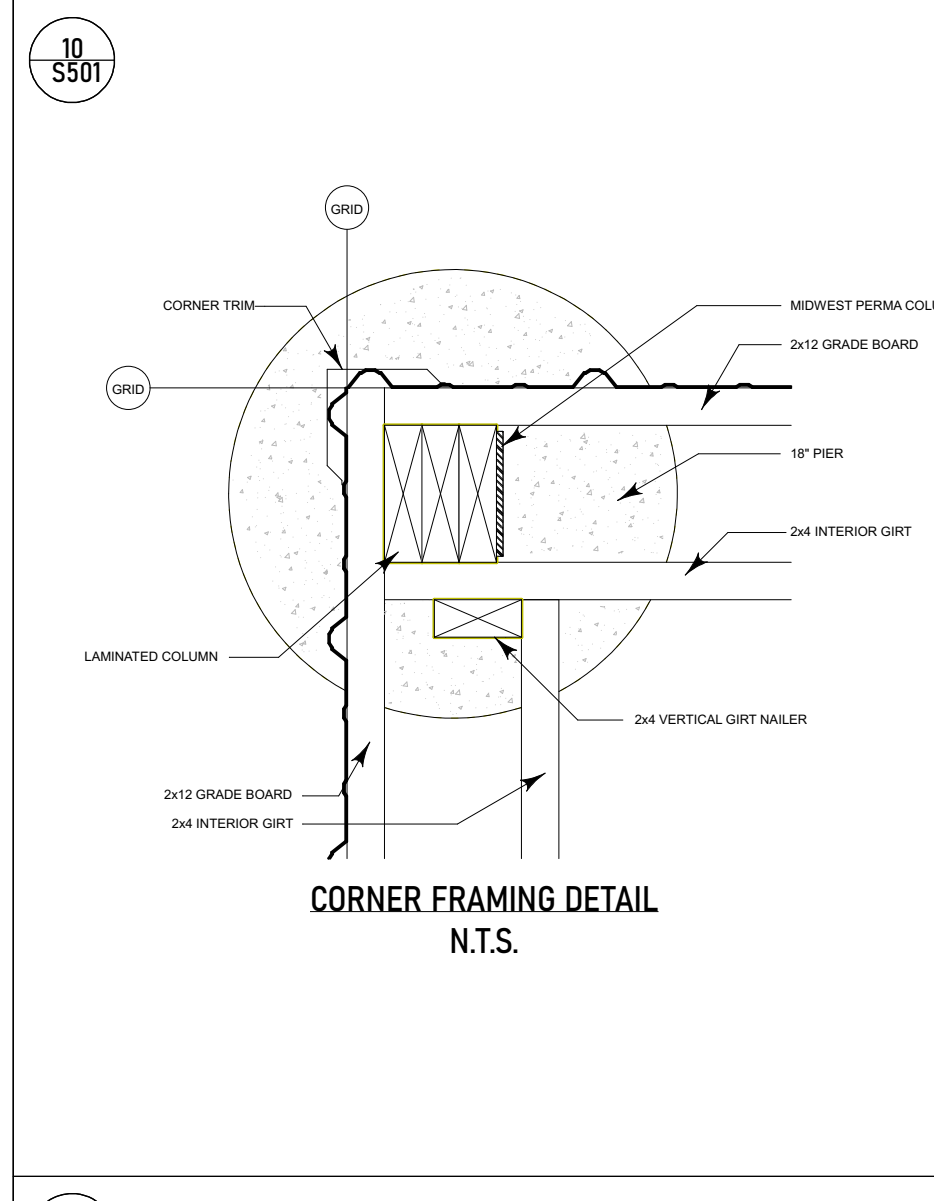
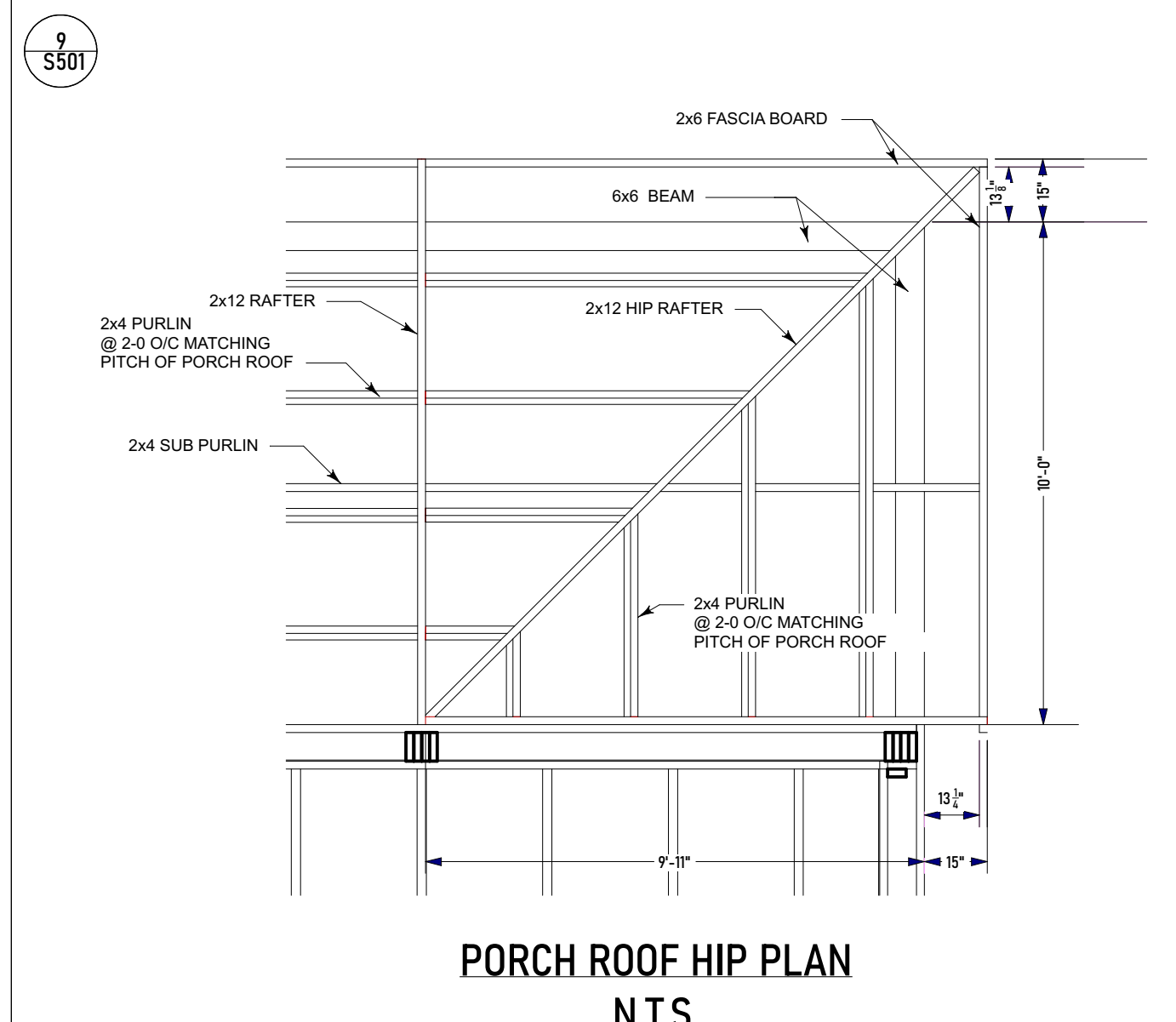
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	ARCH NOTES		RAISED CEILING AREA SECONDARY RAISED PLATE HEIGHT
	FRAMING NOTES		VAULTED CEILING AREA
	ROOF NOTES		
	PLUMBING NOTES		
	FOOTINGS & STEM, WALL NOTES		

STANDARD DETAILS FOR POST FRAME BUILDINGS

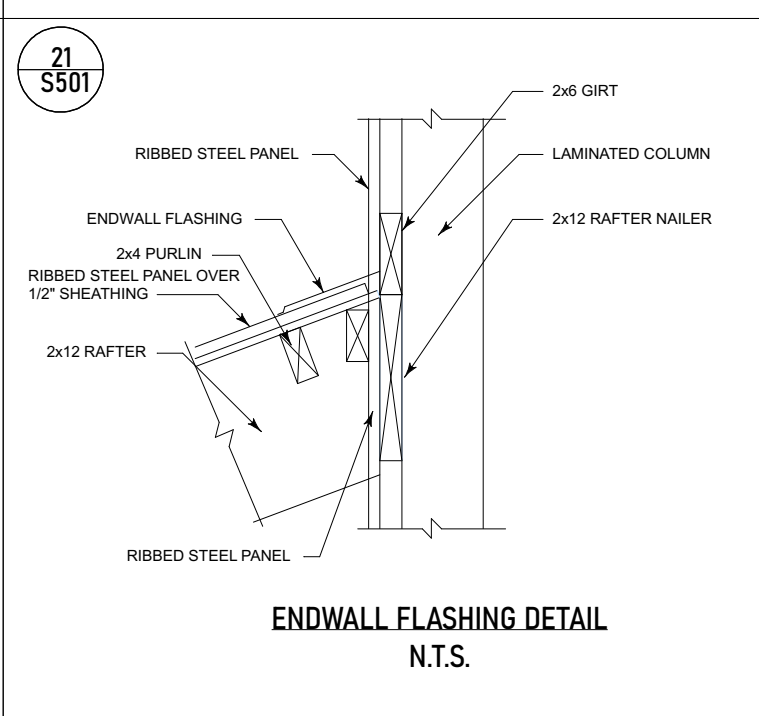
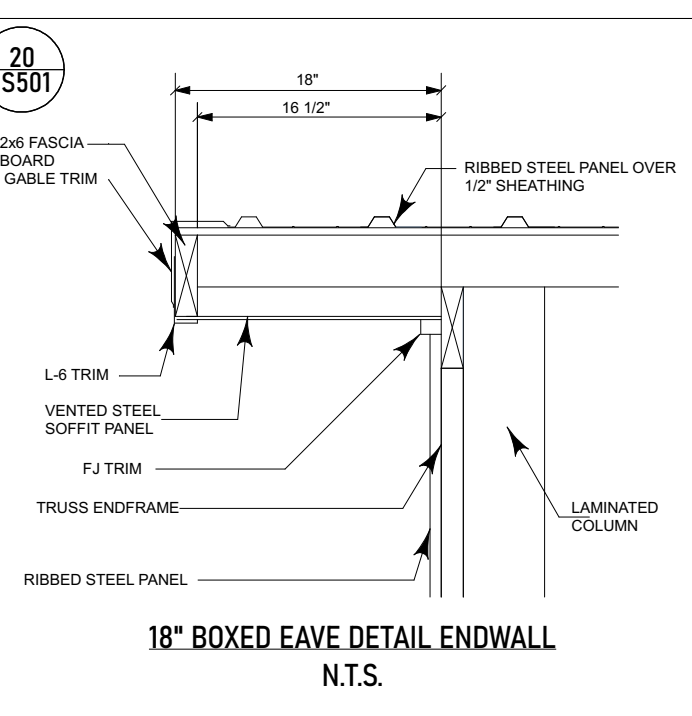
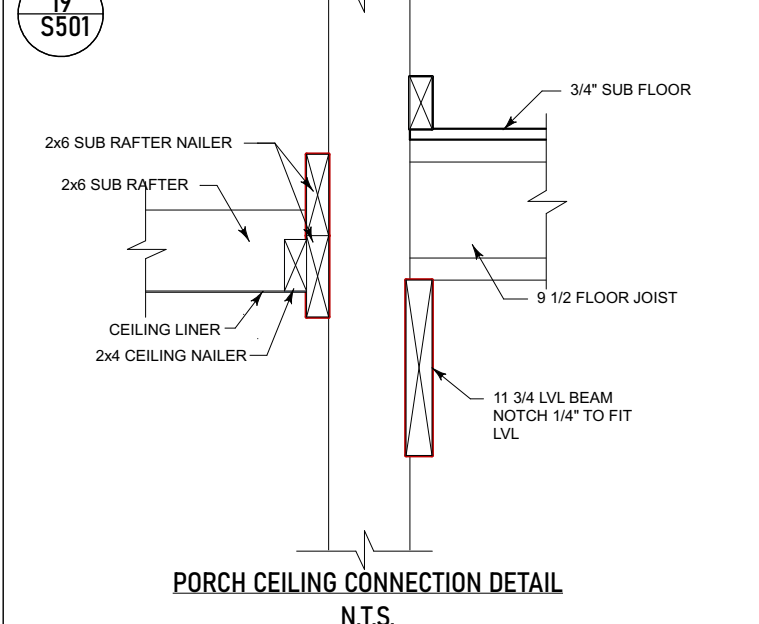
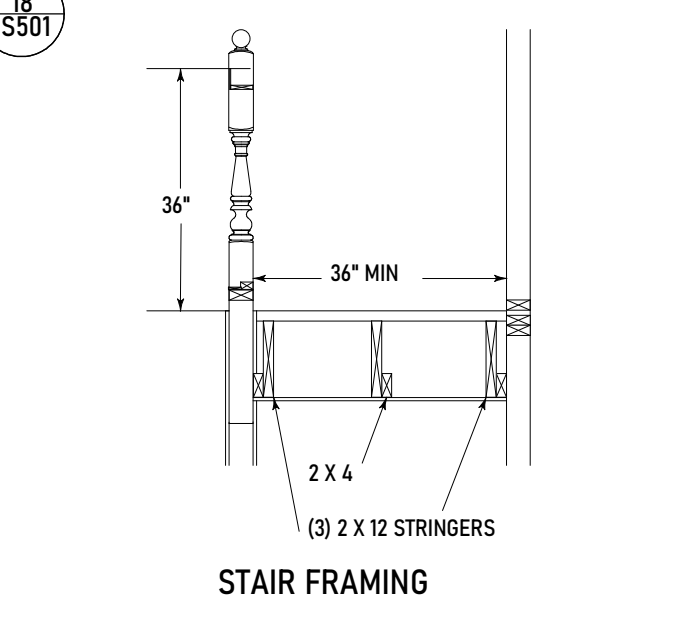
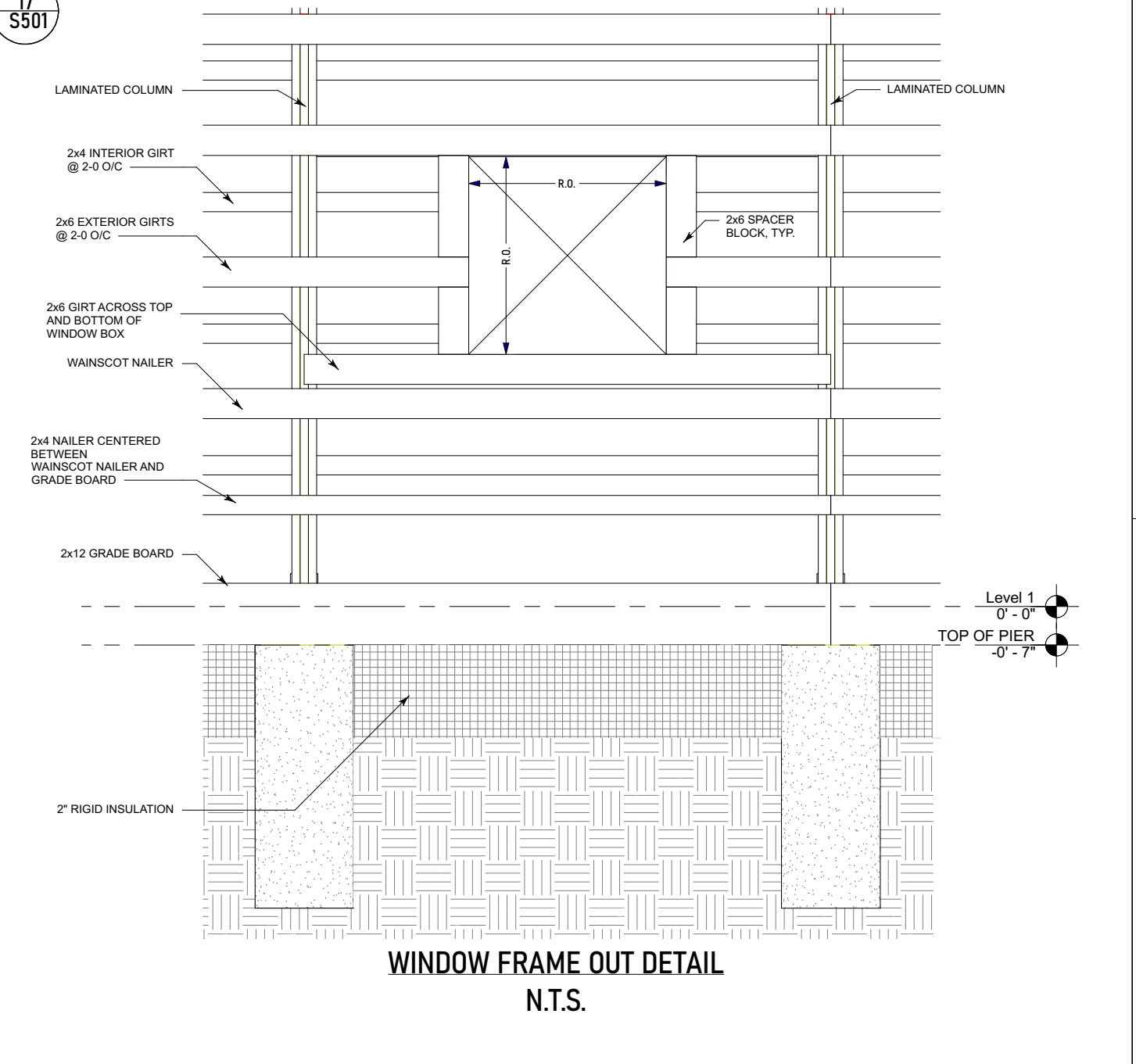
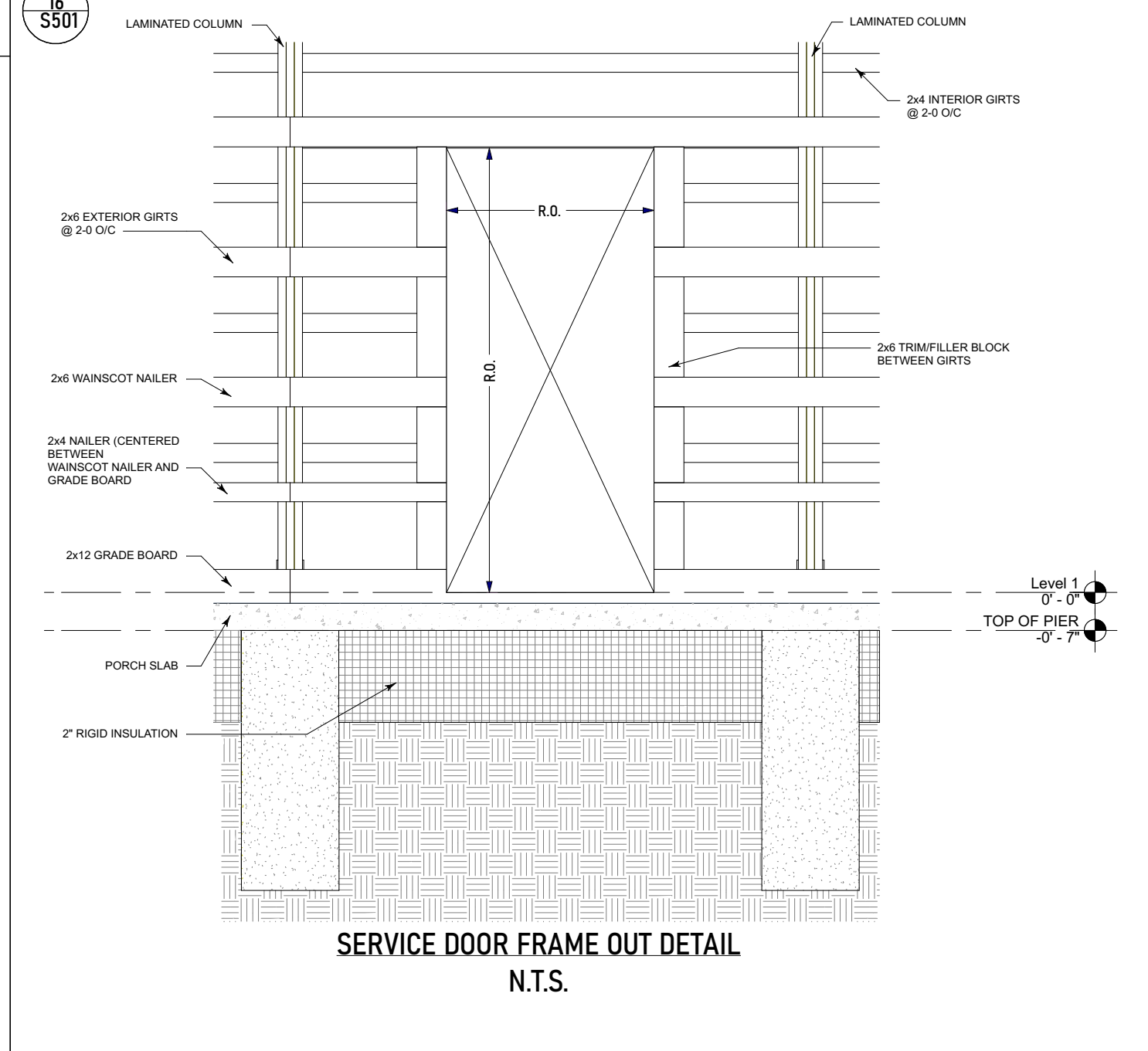
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THIS SPACE NOT USED



THIS SPACE NOT USED



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DESIGNER INFORMATION
DRAWN BY: JSH
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Designer E-Mail: _____
Designer Website: www.backfortybuildings.com

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BUILDER: HERMIS POST FRAME RESIDENCE
Builder Name: _____
Builder Phone: _____
Builder Email: _____
Builder Website: _____

DRAWN FOR:
HERMIS POST FRAME RESIDENCE

CLIENT INFORMATION
DRAWN FOR: HERMIS
Client Name: _____
Client Phone: _____
Client Email: _____

PROJECT INFORMATION
JOB #: 24-445
Project #: HOMESTEAD
Builder Job #: _____
Site Address: _____
City/State: NORTH CAROLINA

DESIGN CRITERIA

PLAN AREAS

SO FT TOTALS	NUMBER
LIVING AREAS	
1ST FLOOR -	1957 Sq Ft
TOTAL LIVING -	1957 Sq Ft
NON-LIVING AREAS	
PATIO, REAR COVERED -	284 Sq Ft
PORCH, FRONT COVERED -	557 Sq Ft
TOTAL NON-LIVING -	841 Sq Ft
TOTALS	
TOTAL LIVING / NON -	2798 Sq Ft

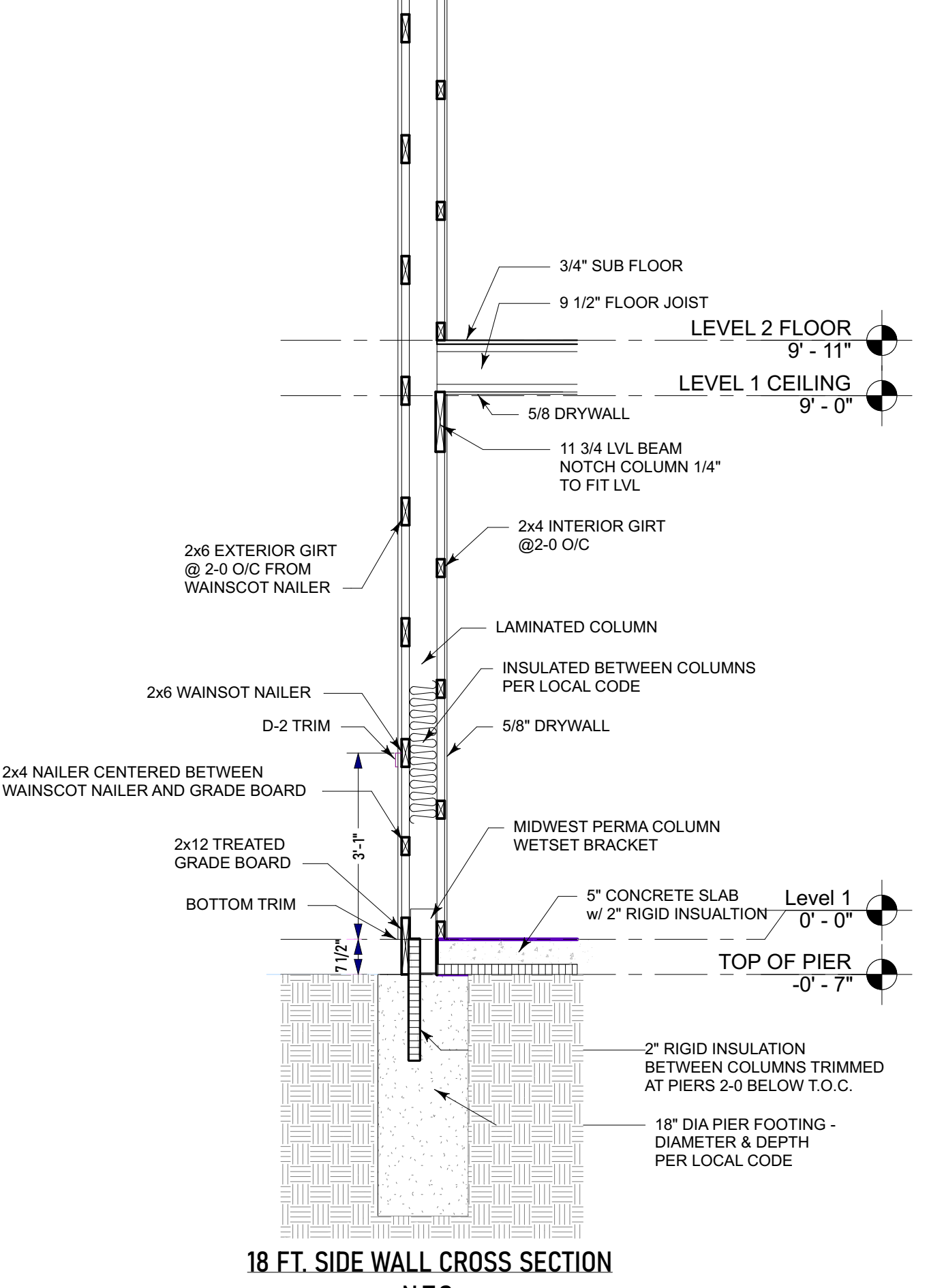
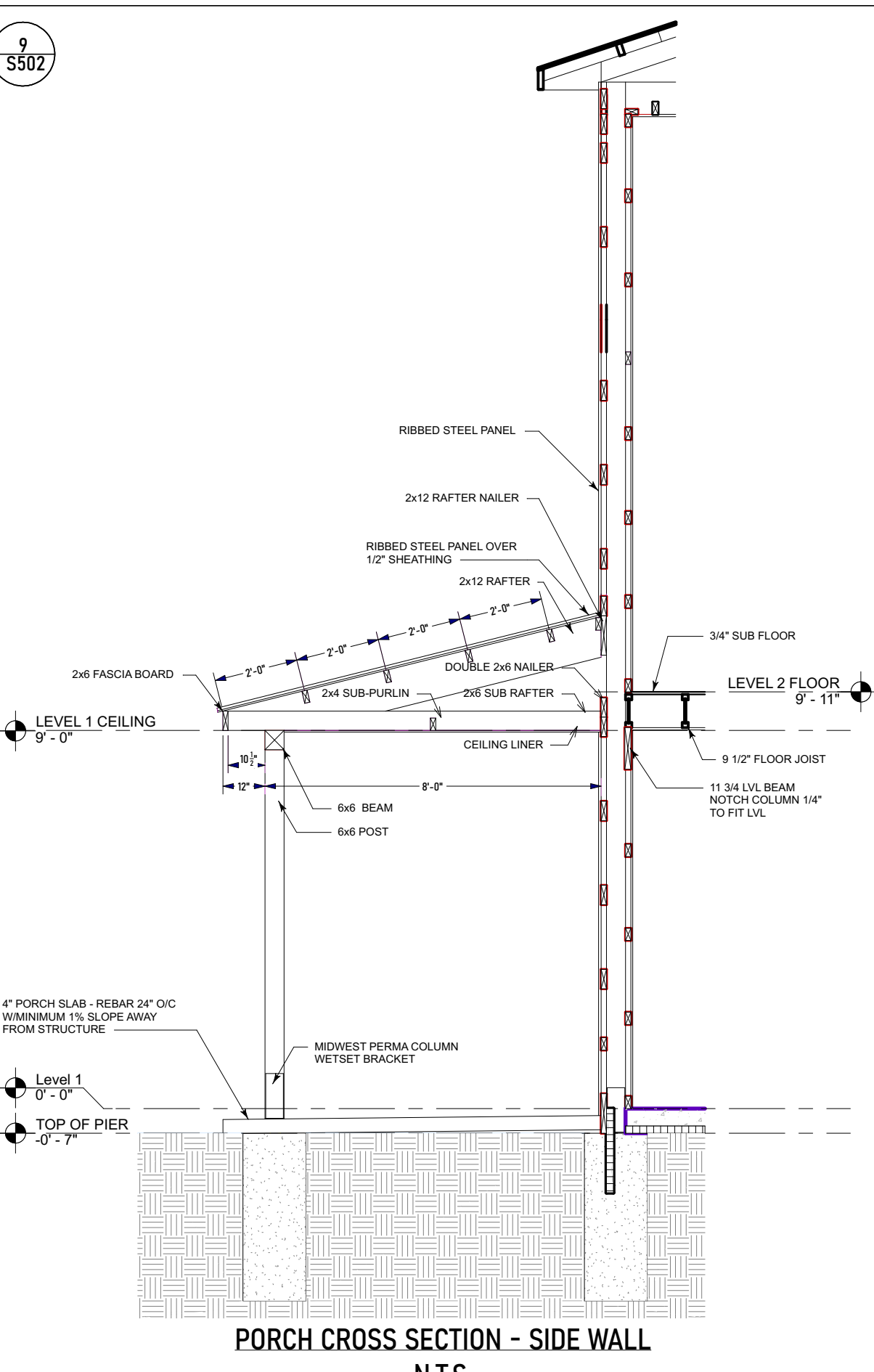
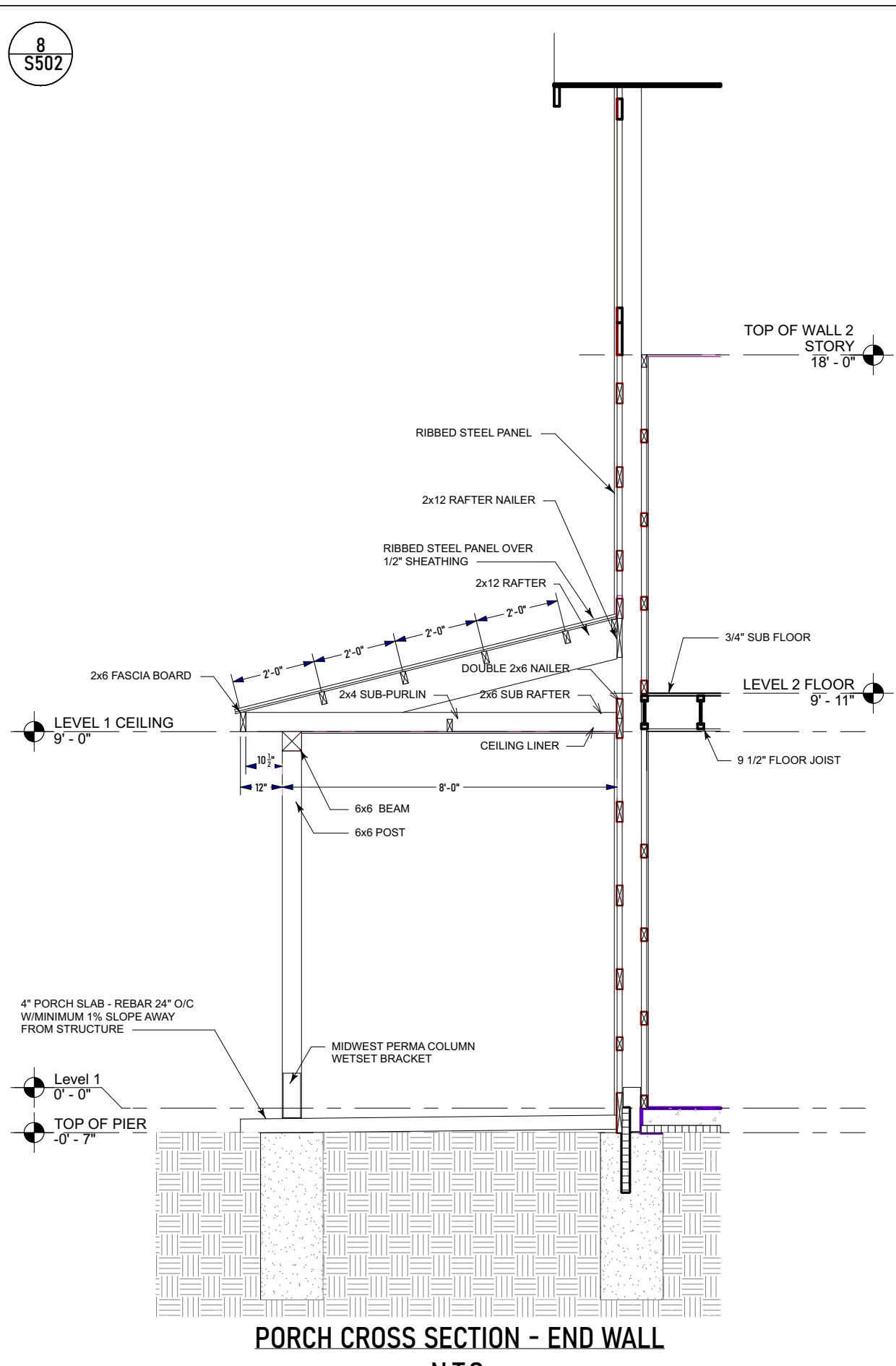
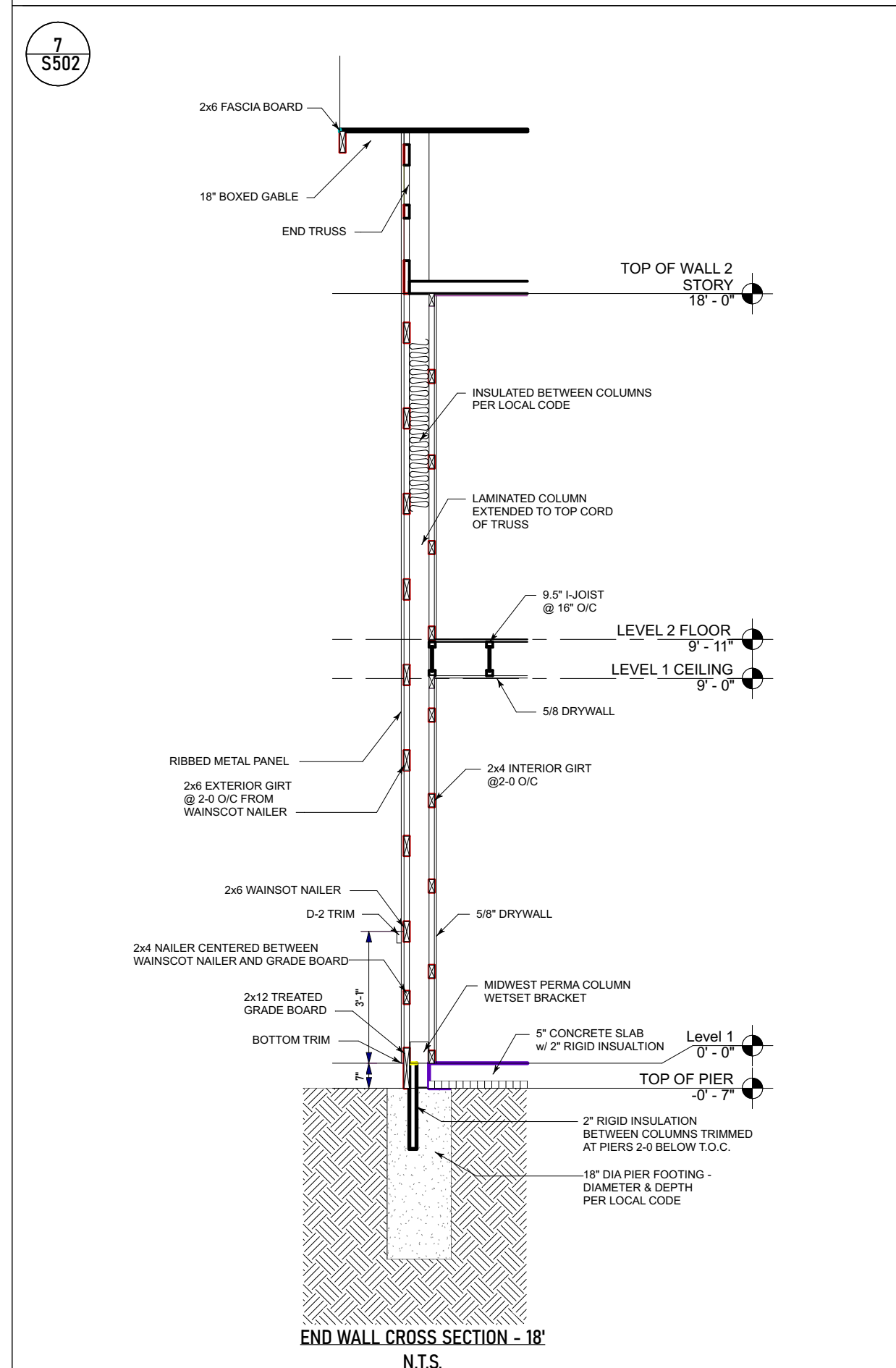
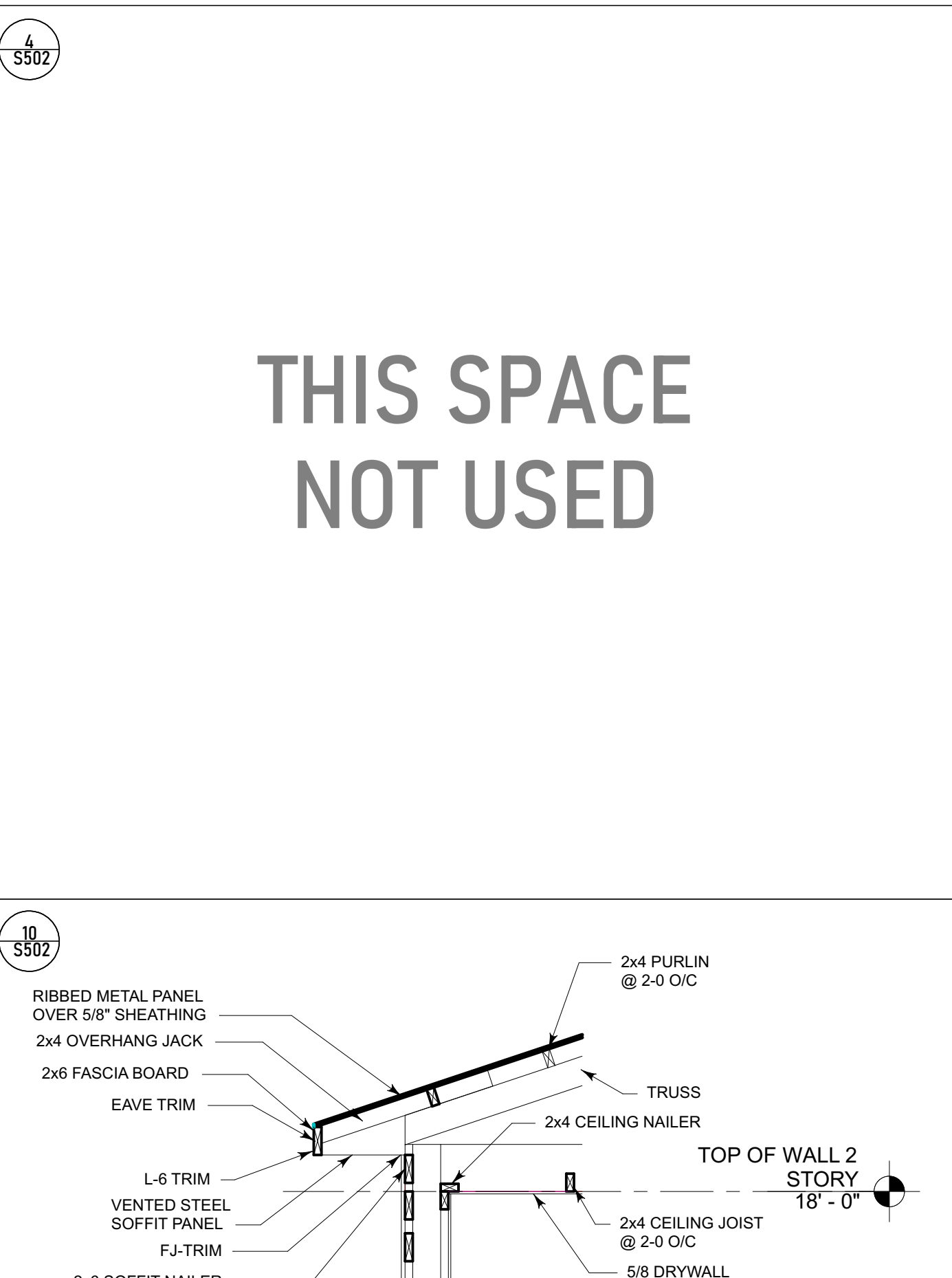
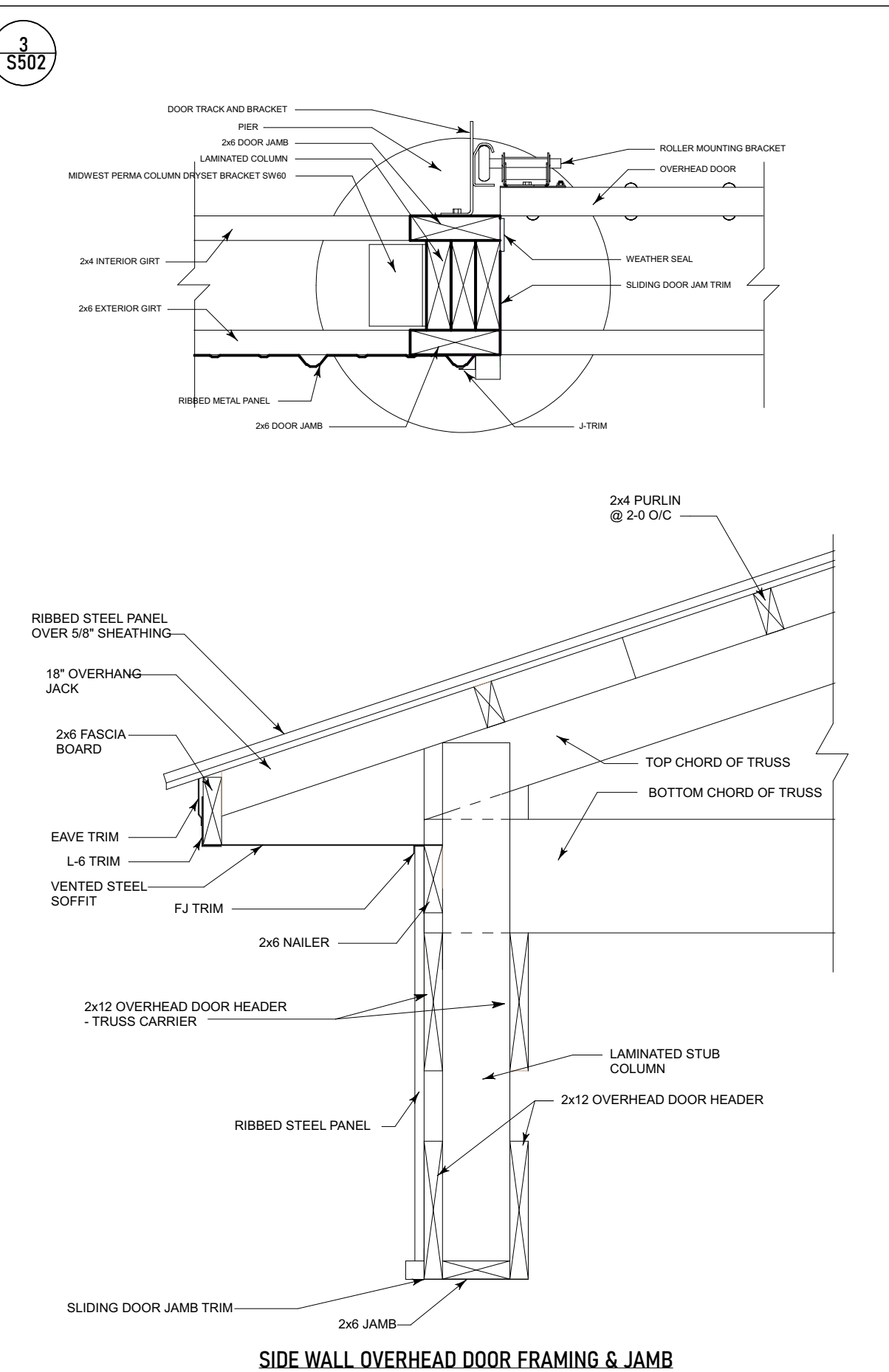
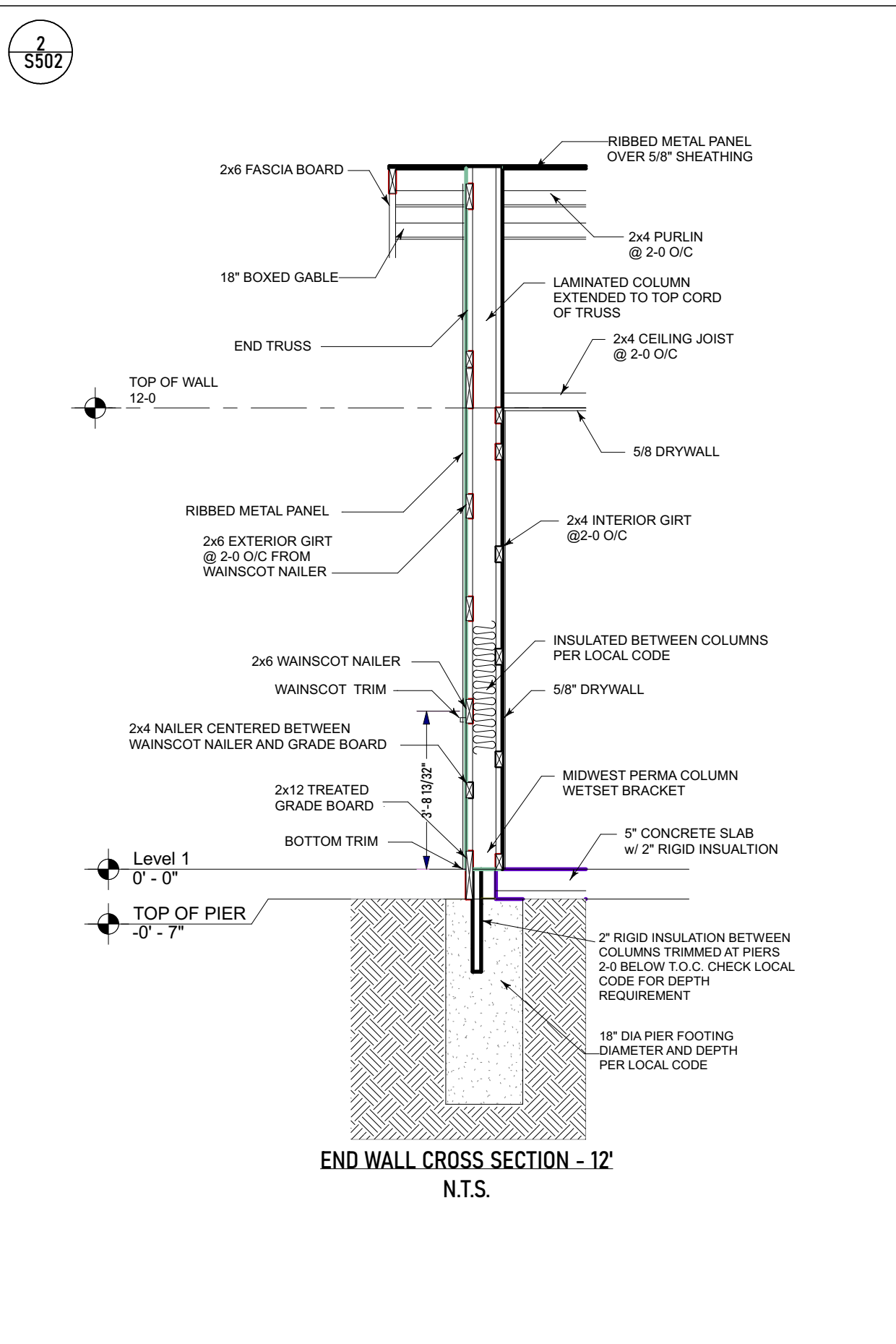
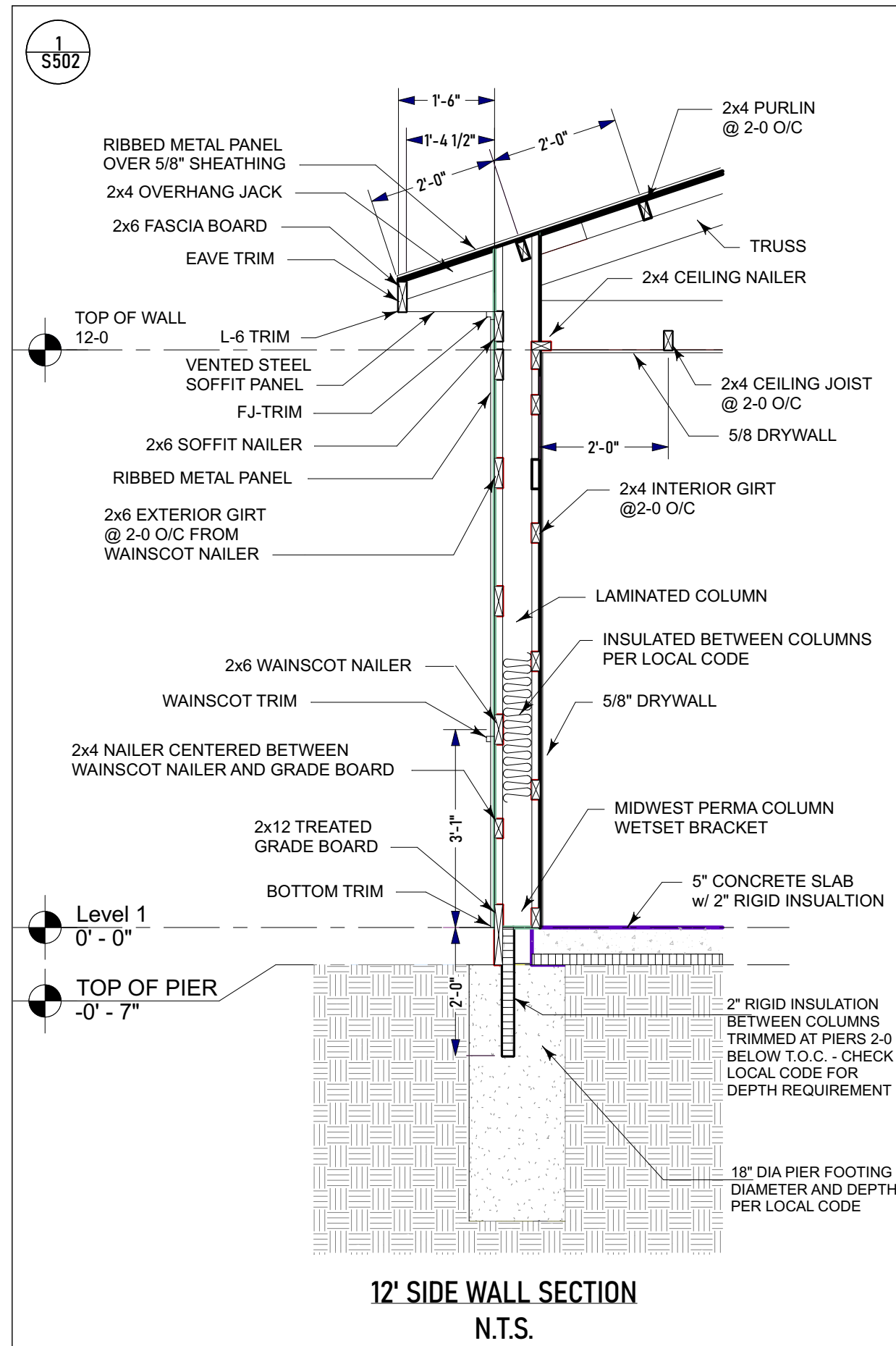
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3	2ND FLOOR ELEVATIONS	3
4	MAIN FLOOR PLAN & SCHED	4
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8	1ST FLOOR LIGHTING PLAN	8
9	POST FRAME BLDG DETAILS	9
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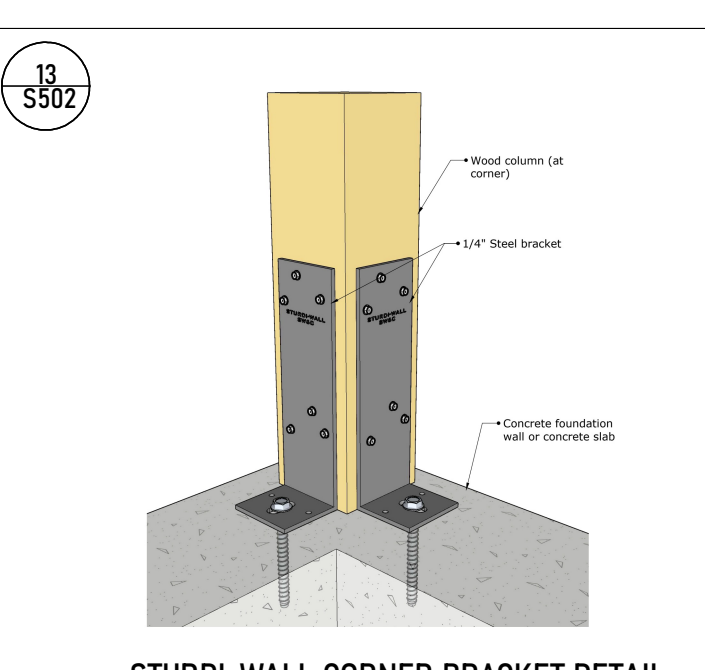
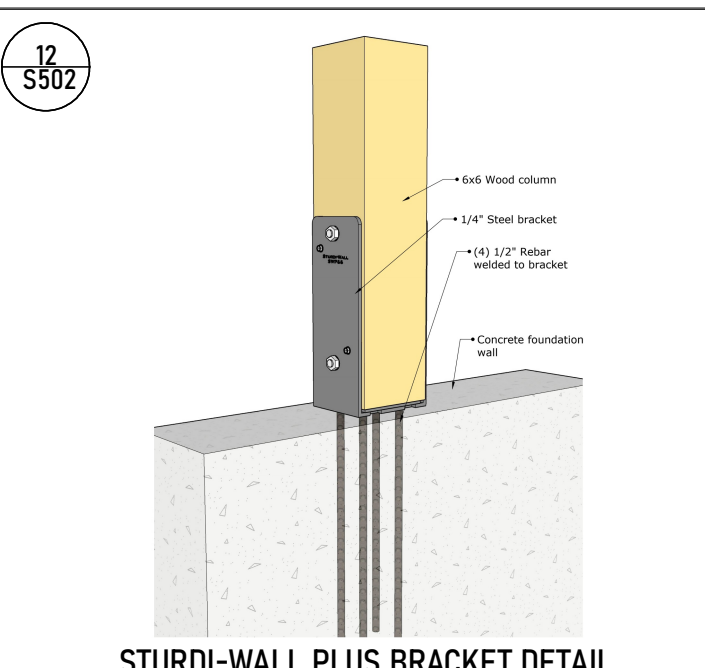
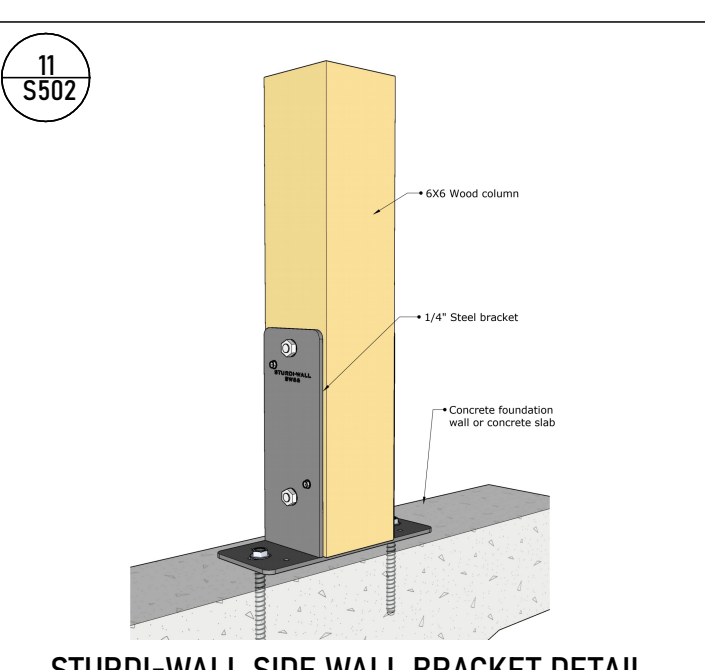
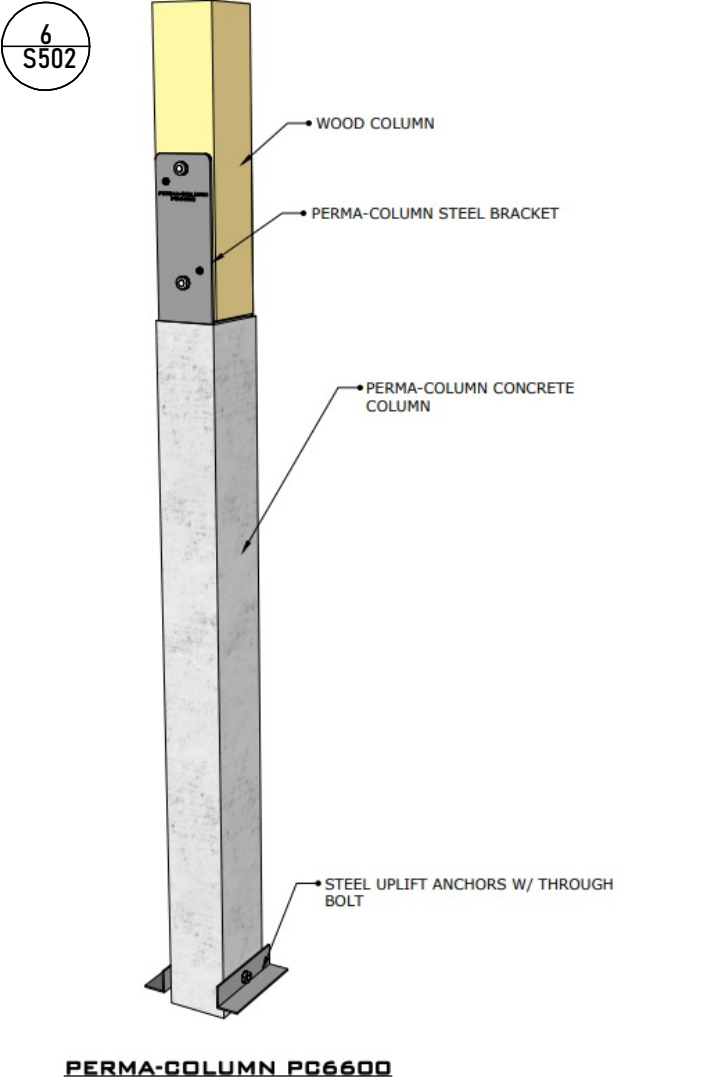
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SHEET INFORMATION
SHEET TITLE: POST FRAME BLDG DETAILS
SHEET ID: S-501
S-501
PAGE #: 9

STANDARD DETAILS FOR POST FRAME BUILDINGS

ALL DETAILS/NOTES MAY NOT APPLY. NOTES ON THE PLANS OR IN THE ENGINEER'S NOTES, DETAILS AND DRAWINGS SUPERCEDE THESE. DETAILS REFLECT THE MINIMUM VALUES OF THE 2021 IRC. DETAILS ARE NOT TO SCALE.



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DESIGNER INFORMATION
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 DRAWN FOR: HERMIS
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DESIGN CRITERIA

PLAN AREAS

SQ FT TOTALS	
LIVING AREAS	
1ST FLOOR -	1957 Sq Ft
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PAGE	TITLE	NUMBER
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AE10	ELEVATIONS	2
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AC20	ROOF PLAN/ RISE SCHED	7
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GN01	GENERAL NOTES	11

Date Printed - 2/11/2025
SHEET INFORMATION
 SHEET TITLE: POST FRAME BLDG DETAILS
 SHEET ID: **S-502**
 PAGE #: 10

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2021 IRC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

2021 RC, 2021 WSEC AND 2018 IEC SHALL BE USED. THE BUILDER/OWNER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK.

THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB.

THE GENERAL CONTRACTOR/ HOME OWNER IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

INSTALL CAULKING AT FLOOR AND PLATE LINES. OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 50 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT. THE BUILDER/OWNER SHALL VERIFY PROPERTY CORNERS BEFORE STARTING EXCAVATION.

SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/ STRENGTHS FROM NON-SPECIFIED MANUFACTURERS.

IMPORTANT: ACTUAL DESIGN AND LAYOUT INCLUDING COLORS, TEXTURES AND UPGRADES MAY DIFFER FROM MLS LISTINGS AND CONTRACTUAL DOLLAR AMOUNT ON THE SELECTION SHEETS. ALL SELECTION SHEET ALLOWANCES ARE TO SUPERCEDEWHAT IS REPRESENTED ON THE APPROVED PLANS.

EXTERIOR WALLS: ALL EXTERIOR WALLS TO BE 2x6 @ 16" O.C. UNLESS OTHERWISE NOTED. INTERIOR WALLS: ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.

PLUMBING WALLS: ALL PLUMBING WALLS TO BE 2x6 @ 16" O.C. AND ARE NOTED ON PLAN. ANGLED WALLS: ALL ANGLED WALLS ARE AT A 45 DEG INCREMENT UNLESS OTHERWISE NOTED.

FRAMING: FRAMING PACKAGE TO BE DIMENSIONAL LUMBER UNLESS OTHERWISE NOTED. EMERGENCY EGRESS: AT LEAST ONE WINDOW IN EACH BEDROOM SHALL HAVE AN EMERGENCY EGRESS OF NO LESS THAN 5.7 SQ FT W/ THE BOTTOM OF THE WINDOW OPENING NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT.

CEILING HEIGHTS: FIRST FLOOR TO HAVE 9' PLATE HEIGHT. SECOND FLOOR TO HAVE 8' PLATE HEIGHT. BASEMENT TO HAVE 8' PLATE HEIGHT. UNLESS OTHERWISE NOTED. HEADER HEIGHTS: WINDOW HEADERS TO BE PLACED AT 93 3/8" UNLESS OTHERWISE NOTED.

ATTIC ACCESS: ATTIC ACCESS NOTED ON PLAN.

CARPENTRY:

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES.

ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED.

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES.

PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, BCI OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

ROOF FRAMING / TRUSS NOTES: TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS. ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

TYPICAL EXTERIOR WALL TO BE 2x6 SINGLE WALL OR DOUBLE WALL CONSTRUCTION. TYPICAL INTERIOR WALL TO BE 2x4 WALL CONSTRUCTION. SEE JOIST LAYOUT FOR JOIST TYPE AND SPACING.

LUMBER SPECIES: 1. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE #2 or Better. 2. SILLS, PLATES BLOCKING, AND BRIDGING TO BE #2 or Better. 3. ALL STUDS TO BE #2 OR BETTER.

GENERAL PLUMBING & HVAC NOTES: HVAC SHALL HAVE ONE ZONE, UNLESS OTHERWISE NOTED. METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND.

DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD.

3D RENDERINGS ARE NOT TO SCALE; ALL 3D RENDERINGS ARE FOR ARTISTIC DEPICTION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN 3D RENDERINGS. 3D RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.

FINAL FINISHES SHALL BE CONFIRMED WITH THE HOME OWNER / CONTRACTOR PRIOR TO APPLICATION. NAILING NOTES: JOIST TO SILL OR GIRDER TOE NAIL (3)-8d BRIDGING TO JOIST TOE NAIL EA. END (2)-8d

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 36". HAND RAILS MAY ENCR OACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH. TREADS SHALL HAVE A MIN. WIDTH OF 10". RISERS SHALL HAVE A MAX. RISE OF 7 3/4".

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH THE BOTTOM OF THE WINDOW OPENING NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENING AREA OF 5.7 SQ. FT.

INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING DOORS BETWEEN LIVING AND NON-LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A FIRE RATING OF 20 MINUTES.

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

CONCRETE NOTES: ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. PROPOSED CONSTRUCTION AREAS SHOULD BE CLEARED & GRUBBED OF ALL ORGANIC TOPSOIL & VEGETATION

VENTILATION NOTES: ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

LOW VOLTAGE NOTES: BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

LOW VOLTAGE/AUDIO: (IF INCLUDED) 1. LOCATE SPEAKERS & AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR

HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/ OR SAVED, OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.

KITCHEN AND CABINET NOTES:

CONFIRM STAIN COLOR & WOOD SPECIES WITH HOME OWNER PRIOR TO ORDERING. CONFIRM DOOR & DRAWER STYLES WITH HOME OWNER PRIOR TO ORDERING.

EXTERIOR FINISH NOTES: EXTERIOR FINISH TO BE METAL, STUCCO, FIBER CEMENT OR LP SIDING AND/OR SHAKE OVER 7/16 OSB. COLOR BY OWNER.

SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE.

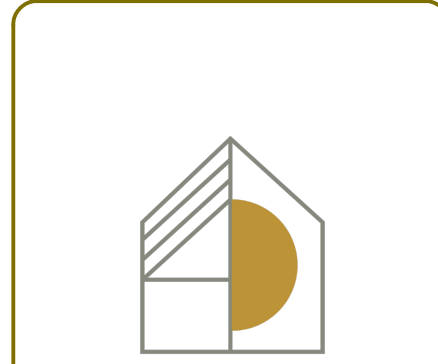
PROVIDE CRAWLSPACE VENTING TO MEET THE REQUIREMENTS OF THE 2015 EDITION OF THE I.R.C.

ELECTRICAL NOTES: BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

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DATE PRINTED - 2/11/2025 SHEET INFORMATION SHEET TITLE: General Notes

SHEET ID: GNO01 PAGE #: 11



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BUILDER INFORMATION

BUILDER: HERMIS POST FRAME RESIDENCE Builder Name: Builder Phone: Builder Email: Builder Website:

DRAWN FOR:

HERMIS POST FRAME RESIDENCE

CLIENT INFORMATION

DRAWN BY: HERMIS FOR: Client Name: Client Email:

PROJECT INFORMATION

JOB #: 24-445 Project of: HOMESTEAD Builder Job # Site Address: NORTH CAROLINA City/State:

DESIGN CRITERIA

PLAN AREAS

SQ FT TOTALS

LIVING AREAS 1ST FLOOR - 1957 Sq Ft TOTAL LIVING - 1957 Sq Ft

NON-LIVING AREAS

PATIO, REAR COVERED - 284 Sq Ft PORCH, FRONT COVERED - 557 Sq Ft TOTAL NON-LIVING - 841 Sq Ft

TOTALS TOTAL LIVING / NON - 2798 Sq Ft

DRAWINGS INDEX

Table with 3 columns: PAGE, TITLE, NUMBER. Lists drawing sheets like A1200 3D PERSPECTIVE, A1300 ELEVATIONS, etc.

Date Printed - 2/11/2025

SHEET INFORMATION

SHEET TITLE:

General Notes

SHEET ID:

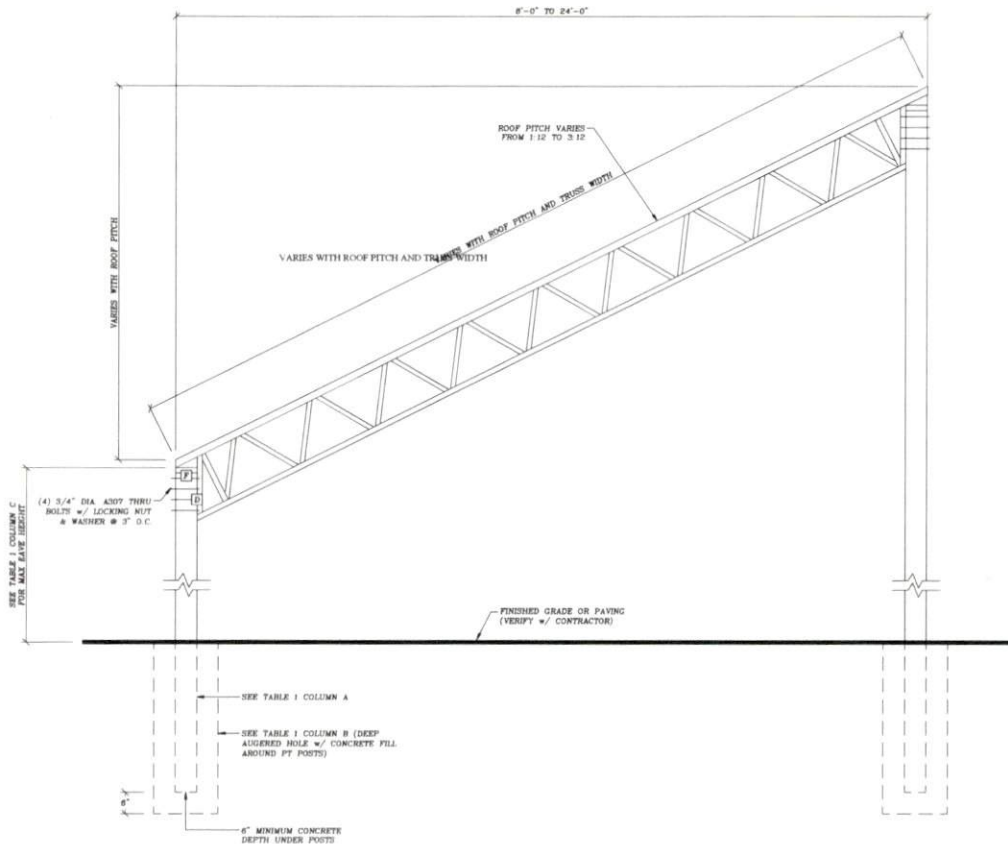
GNO01

PAGE #: 11

These plans were drawn to the owner's and/or builder's specifications and any changes made to them after prints are made will be done at the owner's and/or builder's expense and responsibility. The design drawings were not prepared or checked by a licensed engineer or architect.

1) ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES 2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER/ OWNER TO CHECK FOR ANY ERROR OR OMISSIONS TO THE PLANS.

- DESIGN LOADS**
- STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE 2018 NCBC. REFER TO RELEVANT CODE FOR ADDITIONAL INFORMATION.
 - THE E.O.R. IS NOT RESPONSIBLE FOR ANY ERRORS OR MISTAKES ASSOCIATED WITH DIMENSIONING, ARCHITECTURAL DETAILING, WATERPROOFING, PLUMBING, ELECTRICAL OR MECHANICAL INFORMATION OR ANY PART OF THE PLAN NOT PERTAINING TO THE STRUCTURAL INFORMATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND NOTIFYING THE E.O.R. OF ANY CHANGES OR NECESSARY CORRECTIONS.



NOTES FOR WELDS & CONNECTORS

- 1/4" STEEL-FORMED CUPS SHOP WELDED TO TOP CHORD OF TRUSSES
- EACH 2x8 PURLIN ATTACHED TO EACH STEEL CUP w/ (4) SCREW CONNECTOR

A 8'-0" TO 24'-0" WIDE TRUSS, SEE TABLE 1 COLUMN D FOR SPACING (WET SET EMBEDMENT)
 SI 3/4" - 1'-0"

- MATERIAL LIST**
- A - TOP CHORD L 1 1/2" x 1 1/2" x 3/16"
 - B - BOTTOM CHORD L 1 1/2" x 1 1/2" x 3/16"
 - C - DIAGONAL WEB L 1 1/4" x 1 1/4" x 1/8"
 - D - VERTICAL END L 1 1/2" x 1 1/2" x 3/16"
 - E - HORIZONTAL TIE L 1 1/4" x 1 1/4" x 3/16"
 - F - BASE L 1 1/2" x 1 1/2" x 3/16"

- GENERAL NOTES**
- TRUSS DEPTH = 18" (18" CHORD) (1)-HORIZONTAL TIE ROPE
 - TRUSS SPACING = 10'-0" TO 12'-0" O.C.
 - TOP CHORD PURLIN SPACE @ 2'-0" O.C. (2" x 6" SFF NO.1 PURLINS MIN.)
 - EACH 2" x 6" ATTACHED TO EACH STEEL CUP w/ MIN (2) #12 x 1 1/2" EA. SIDE
 - BOTTOM CHORD BRACING / BOTTOM CHORD PURLIN SPACE @ 8'-0" O.C. (MAX)
 - ALL WELDS SHALL BE 3/16" MINIMUM FILLET WELD (TYP.)
 - ALL STEEL SHALL BE A36 MINIMUM STRENGTH
 - CONNECTOR BOLTS, STEEL TO STEEL SHALL BE A307 MIN
 - ROOF MATERIAL: 29ga METAL 36" WIDE MATERIAL 2" O.C HORIZONTAL 24" MAX SPAN
 - STEEL TRUSS BOTTOM CHORDS ARE DESIGNED FOR 5 P.S.F MAX LOAD, NO CEILING FINISH

- DESIGN LOAD**
- DL = 14 psf
 - LL = 20 psf
 - LL = 20 psf (GROUND)
 - WL = 120 mph
 - EXPOSURE CATEGORY C
 - RISK CATEGORY I OR II
 - DESIGN SOIL BEARING CAPACITY = ±2,000 psf
 - ±1,000 psi MINIMUM CONCRETE STRENGTH MIX

TABLE 1				
SCENARIO	A	B	C	D
1A	6x6 POSTS	18" DIA x4FT. PIERS	UP TO 16'-0" EAVE HEIGHT	12' SPACING
1B	8x8 POSTS	24" DIA x4FT. PIERS	18'-0" EAVE HEIGHT	10' SPACING

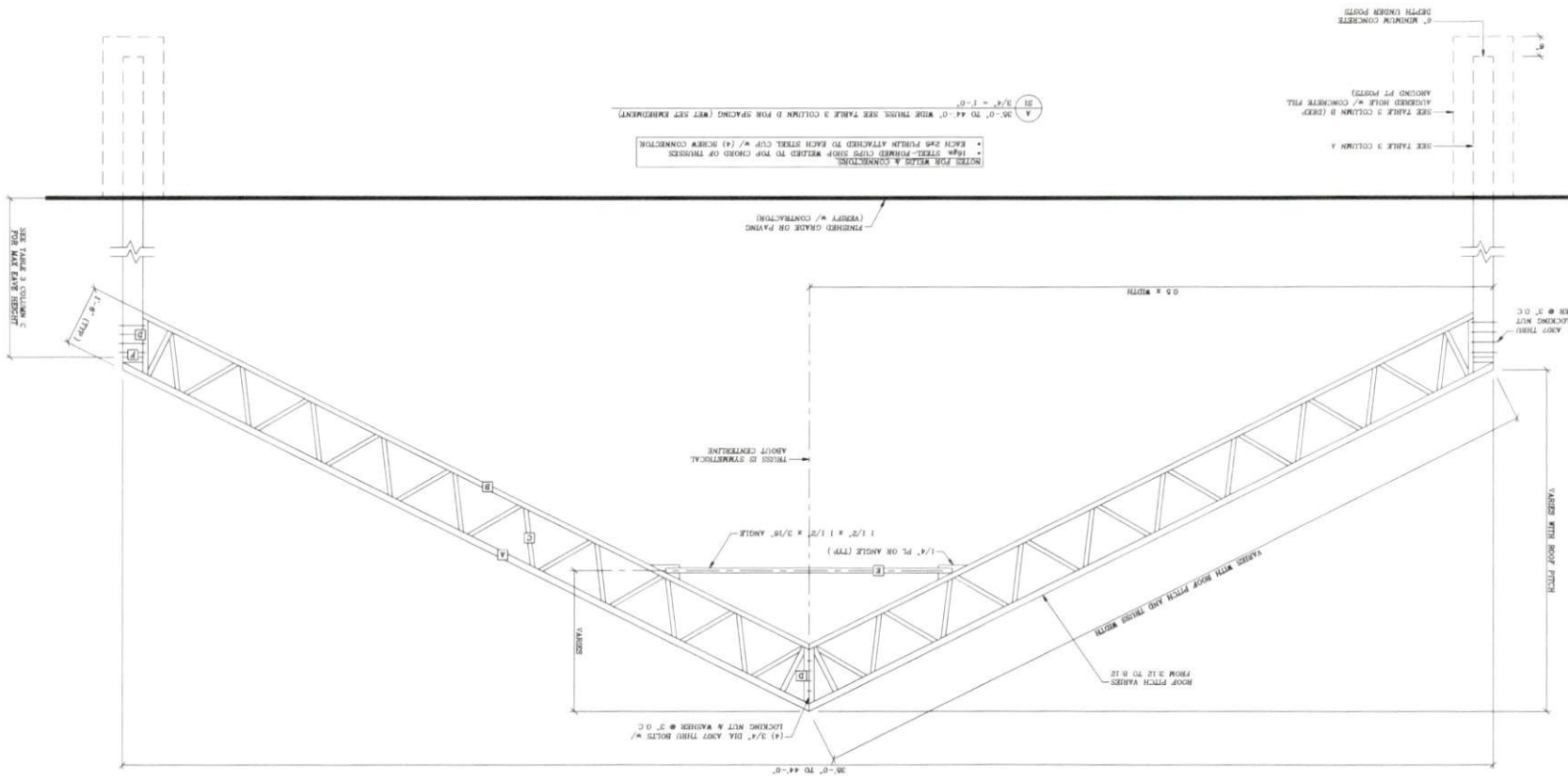


Digitally signed by Jim Lee, P.E.
 Reason: I am approving this document with my legally binding signature
 Location: 1378 Melvinye St. Statesville, NC 28677, USA
 Date: 2024.08.14 18:30:29-04'00'

LEE SOLUTIONS & SERVICES PLLC 1378 MELVINEY STREET STATESVILLE, NC 28677-3702 ENGINEERING LICENSE # P-2722	
LEE SOLUTIONS & SERVICES PLLC 1378 MELVINEY STREET STATESVILLE, NC 28677-3702 WWW.LSOPLLC.COM	
PROJECT NAME	
8'-0" TO 24'-0" WIDE TRUSS 1:12 TO 3:12 ROOF PITCH 10'-0" TO 12'-0" SPACING (WET SET EMBEDMENT)	
OWNER	
BAR IRONWORKS	
PROJECT ADDRESS	
NORTH CAROLINA USA	
PROJECT NUMBER	
NC24082	
DATE	
08/14/2024	
DRAWN BY	
C. KRECH	
SCALE	
AS NOTED	
APPROVED BY	
J. LEE	
SHEET NO.	
BAR TRUSS DIAGRAMS (WET SET EMBEDMENT)	
DRAWING NUMBER	
SI = 1	

DRAWN: JLO/ML

1. STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE 2018 NCEM. REFER TO RETAYAT CODE FOR ADDITIONAL INFORMATION.
2. THE E.O.R. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS ASSOCIATED WITH NEIGHBORING, ADJACENT, OR RELATED STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, OR MECHANICAL INSTALLATION OR ANY PART OF THE PLAN NOT RELATING TO THE STRUCTURAL INSTALLATION.
3. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND NOTING THE E.O.R. OF ANY CHANGES OR NECESSARY CORRECTIONS.



NOTES FOR WELDS & CONNECTIONS:
• 1/4\"/>

1. 30'-0\"/>



GENERAL NOTES:
• ROOF CHORD: 1 1/2\"/>

GENERAL NOTES:
• STEEL TRUSS BOTTOM CHORDS ARE DESIGNED FOR 8 PSF MAX LOAD, NO CEILING FINISH.
• ROOF MATERIAL: 3/4\"/>

SCENARIO	A	B	C	D
6x6 POSTS	24\"/>			

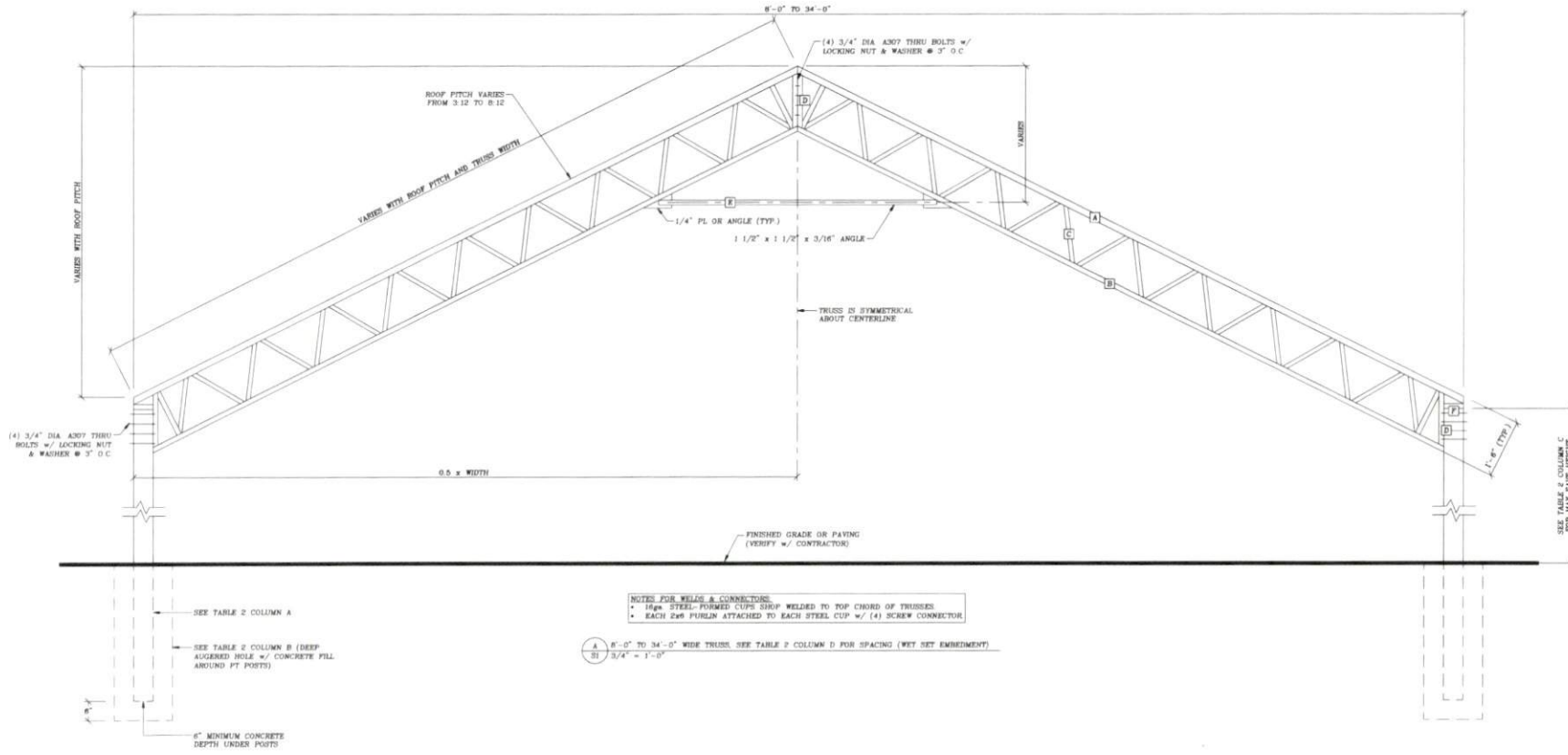


Digitally signed by Jim Lee, P.E.
Reason: I am approving this document with my legally binding signature
Location: 1373 Markham St.
Stateville, NC 28677 USA
Date: 2024.08.14 19:31:17-04:00

PROJECT NAME	LEE SOLUTIONS & SERVICES LLC 3733 WILKINSON STREET STATEVILLE, NC 28677-3733 WWW.LEESOLUTIONS.COM
PROJECT NUMBER	2024-08-14
DATE	08/14/2024
AS NOTED	
REVISIONS	
DESIGNED BY	J. LEE
CHECKED BY	
DATE	
SCALE	
PROJECT LOCATION	3733 WILKINSON STREET STATEVILLE, NC 28677-3733
ENGINEERING LICENSE #	1978
STATE	NC

DESIGN LOADS

- STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE 2018 NCIRC. REFER TO RELEVANT CODE FOR ADDITIONAL INFORMATION
- THE E.O.R. IS NOT RESPONSIBLE FOR ANY ERRORS OR MISTAKES ASSOCIATED WITH DIMENSIONING, ARCHITECTURAL DETAILING, WATERPROOFING, PLUMBING, ELECTRICAL, OR MECHANICAL INFORMATION OR ANY PART OF THE PLAN NOT PERTAINING TO THE STRUCTURAL DISCIPLINE
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND NOTIFYING THE E.O.R. OF ANY CHANGES OR NECESSARY CORRECTIONS



NOTES FOR WELDS & CONNECTIONS

- * HIGH STRENGTH FORGED CUPS SHIP WELDED TO TOP CHORD OF TRUSSES
- * EACH 2#6 PURLIN ATTACHED TO EACH STEEL CUP w/ (4) SCREW CONNECTOR

A 6'-0" TO 34'-0" WIDE TRUSS SEE TABLE 2 COLUMN D FOR SPACING (WET SET EMBEDMENT)
BI 3/4" = 1'-0"

MATERIAL LIST

- A - TOP CHORD L 1 1/2" x 1 1/2" x 3/16"
- B - BOTTOM CHORD L 1 1/2" x 1 1/2" x 3/16"
- C - DIAGONAL WEB L 1 1/4" x 1 1/4" x 3/16"
- D - VERTICAL END L 1 1/2" x 1 1/2" x 3/16"
- E - HORIZONTAL TIE L 1 1/4" x 1 1/4" x 3/16"
- F - BASE L 1 1/2" x 1 1/2" x 3/16"

GENERAL NOTES

- TRUSS DEPTH = 18" (18" CHORD) (1)-HORIZONTAL TIE ROD
- TRUSS SPACING = 12'-0" O.C
- TOP CHORD PURLIN SPACE @ 2'-0" O.C (2" x 6" SFF NO.1 PURLIN MIN.)
- EACH 2" x 6" ATTACHED TO EACH STEEL CUP w/ MIN. (2) #10 x 1 1/2" EA. SIDE
- BOTTOM CHORD BRACING / BOTTOM CHORD PURLIN SPACE @ 6'-0" O.C (MAX)
- ALL WELDS SHALL BE 3/16" MINIMUM FILLET WELD (TYP.)
- ALL STEEL SHALL BE A572 MINIMUM STRENGTH
- CONNECTION BOLTS, STEEL TO STEEL SHALL BE A307 MIN
- ROOF MATERIAL 28ga. METAL 36" WIDE MATERIAL 7" O.C HORIZONTAL 24" MAX SPAN
- STEEL TRUSS BOTTOM CHORDS ARE DESIGNED FOR 6 PSF MAX LOAD, NO CEILING FINISH

DESIGN LOADS

- DL = 14 psf
- LL = 20 psf
- SL = 20 psf (GROUND)
- WE = 120 mph
- EXPOSURE CATEGORY C
- RISE CATEGORY I OR B
- DESIGN SOIL BEARING CAPACITY = ±2,000 psf
- +3,000 psf MINIMUM CONCRETE STRENGTH MIN

	A	B	C	D
SCENARIO				
2A	6x8 POSTS	18" DIA.x4FT. PIERS	UP TO 14'-0" FAVE HEIGHT	12' SPACING
2B	8x8 POSTS	24" DIA.x4FT. PIERS	16'-0" LEAVE HEIGHT	12' SPACING

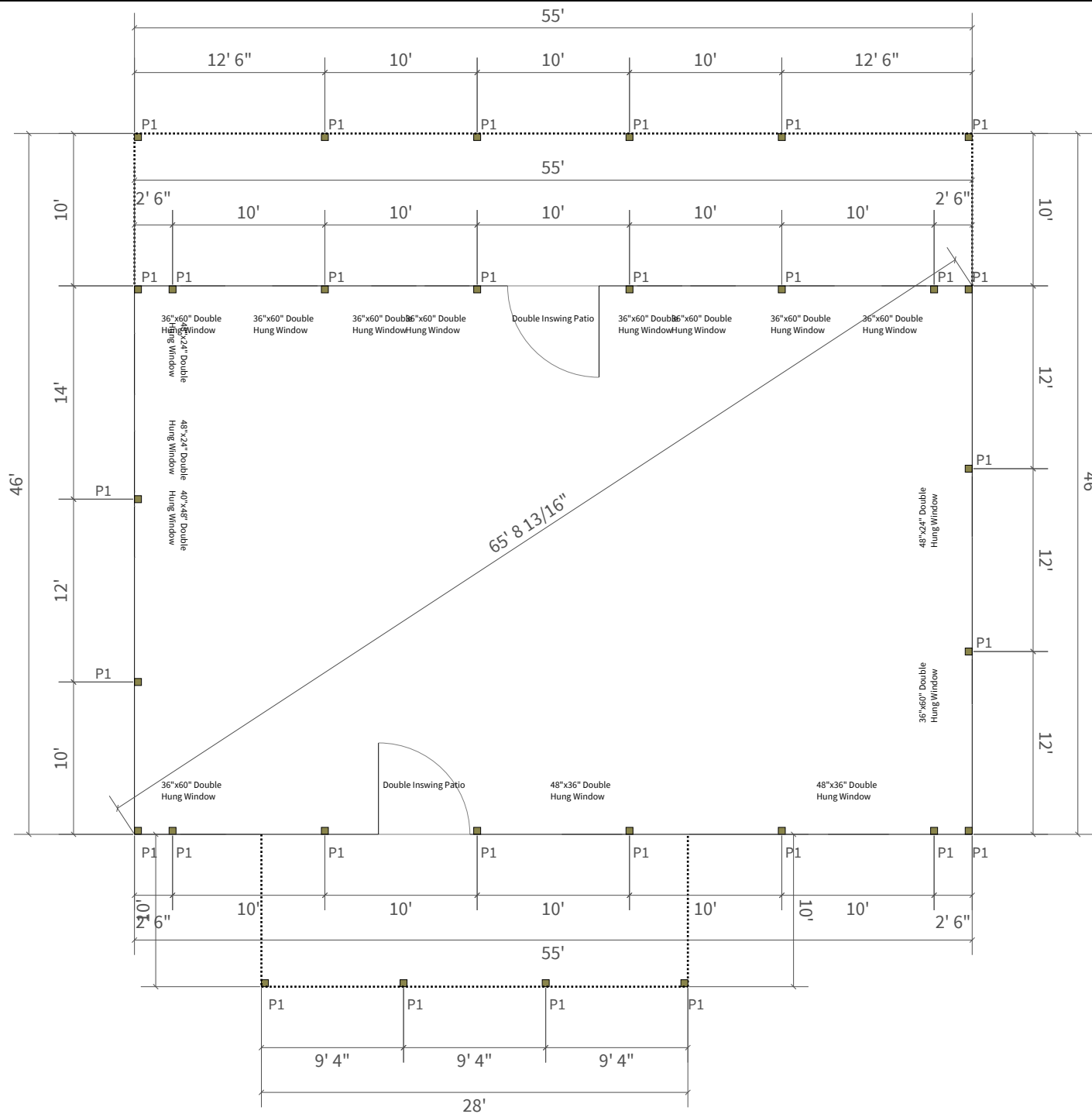


Digitally signed by Jim Lee, P.E.
Reason: I am approving this document with my legally binding signature
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Date: 2024.08.14 18:30:55-04'00'

LEE SOLUTIONS & SERVICES PLLC 1378 MELVINEY STREET STATESVILLE, NC 28677-3722 ENGINEERING LICENSE # P-2722
LEE SOLUTIONS & SERVICES PLLC 1378 MELVINEY STREET STATESVILLE, NC 28677-3722 980.823.5963 www.LEESPLLC.com
PROJECT NAME 8'-0" TO 34'-0" WIDE TRUSS 3:12 TO 8:12 ROOF PITCH 12'-0" SPACING (WET SET EMBEDMENT)
OWNER BAR IRONWORKS
PROJECT ADDRESS NORTH CAROLINA USA
PROJECT NUMBER NC24082
DATE 08/14/2024
DRAWN BY C. REICH
SCALE AS NOTED
APPROVED BY J. LEE
SHEET TITLE BAR TRUSS DIAGRAM (WET SET EMBEDMENT)
DRAWING NUMBER SI / 1

Post Layout

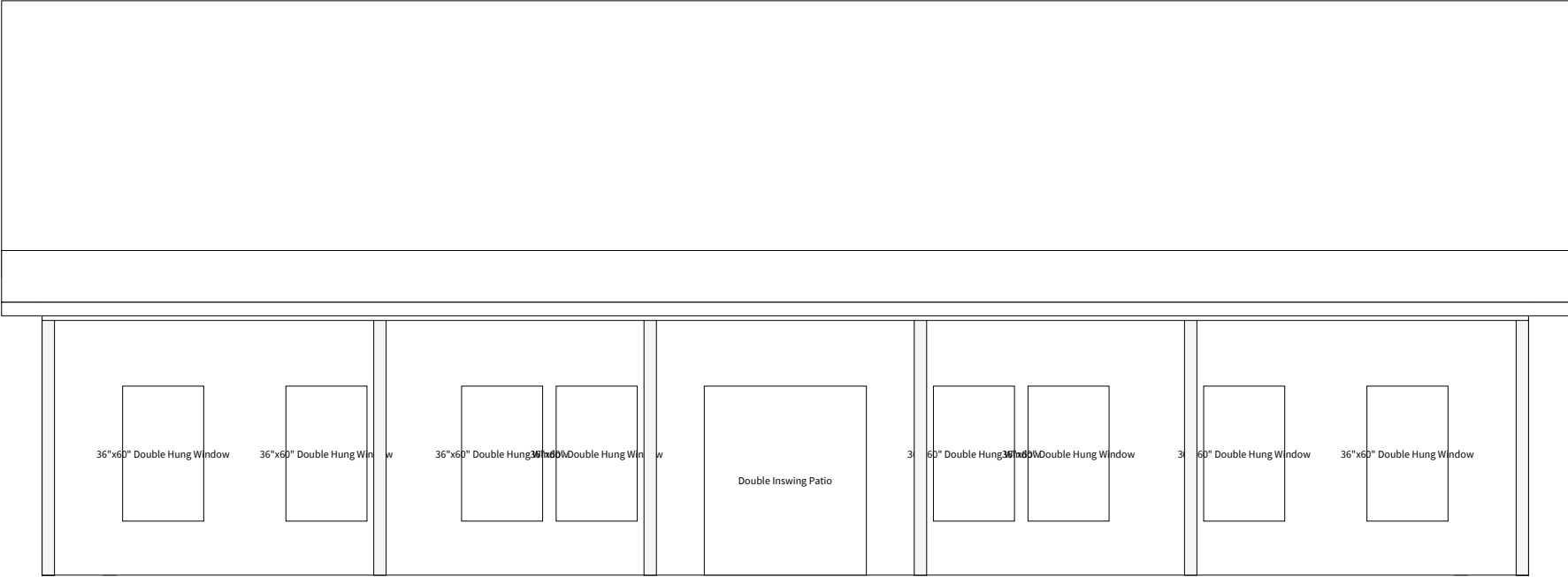
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	Treated 6x6
	15" Precast Concrete Cookie
P1	1' 4"x4' Hole Depth
	80 # Bag Of Sackrete

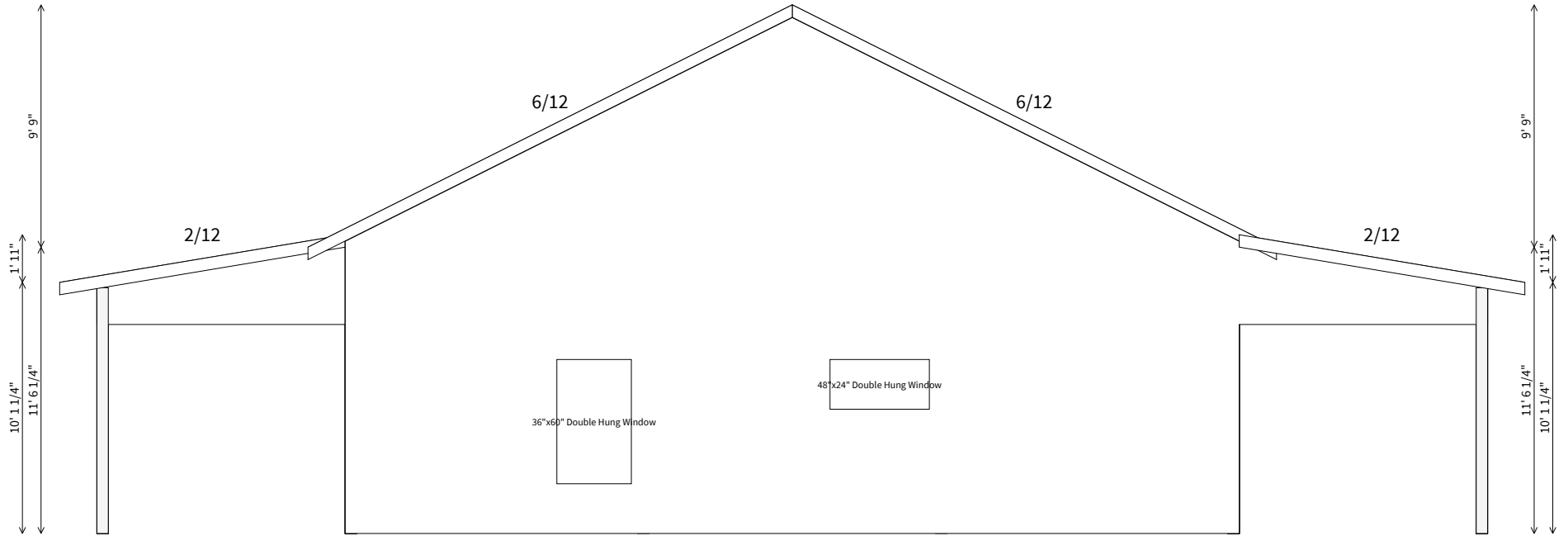
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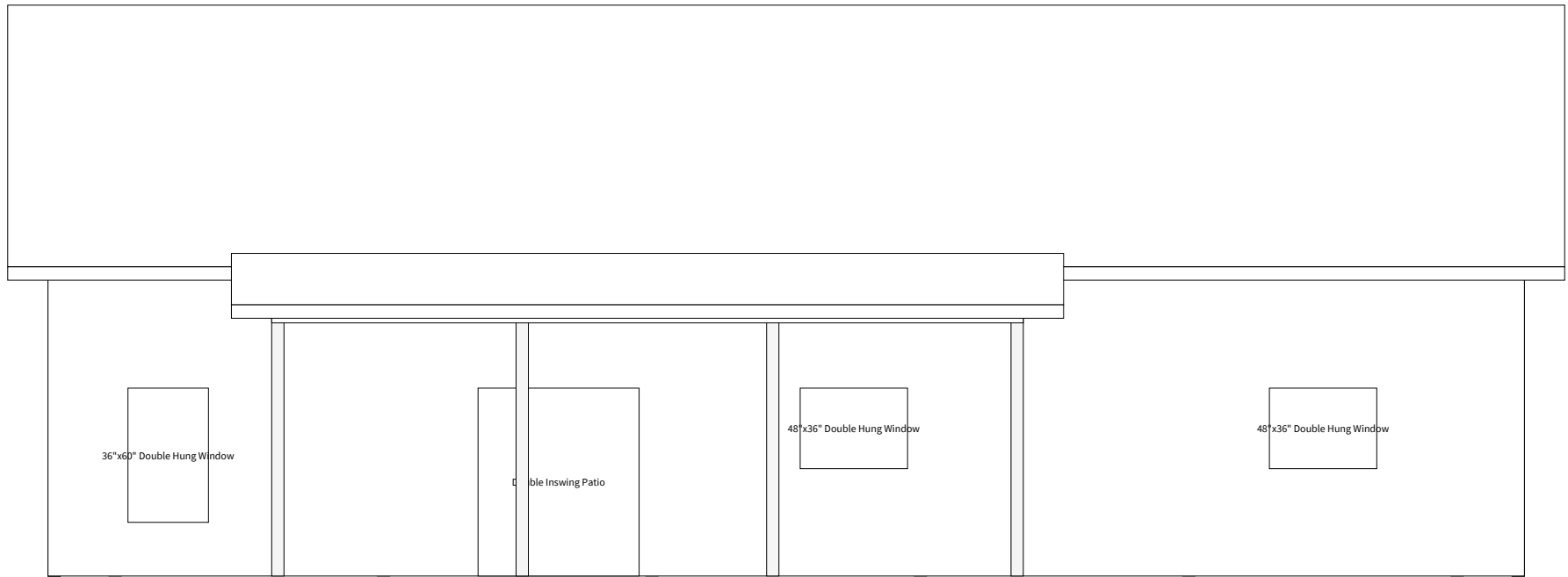
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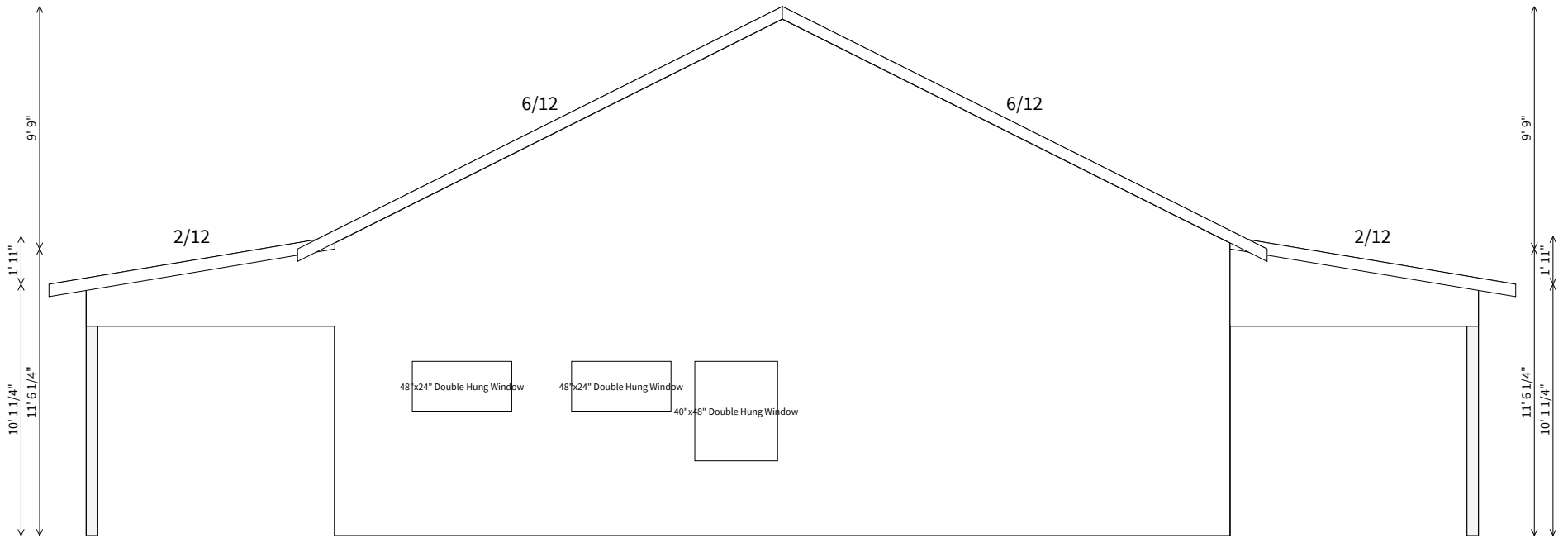
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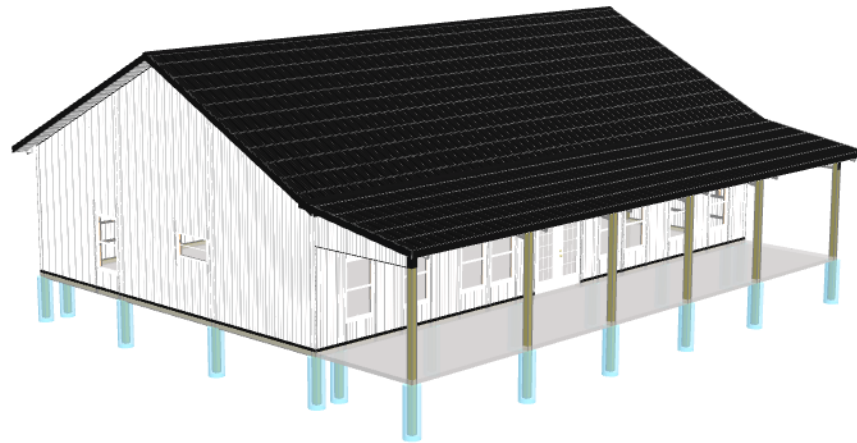
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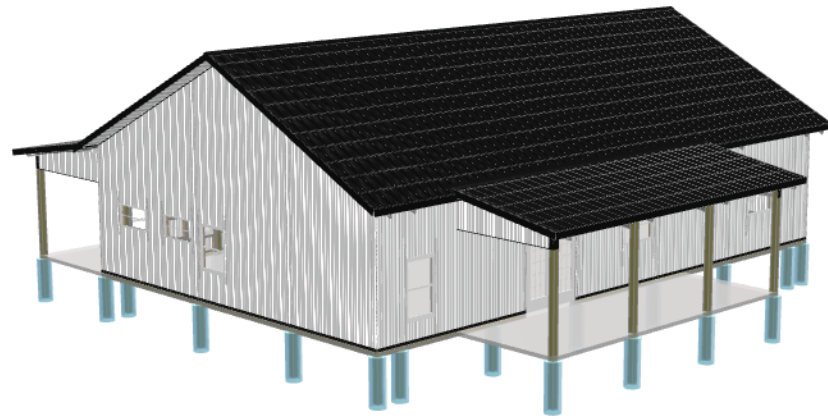
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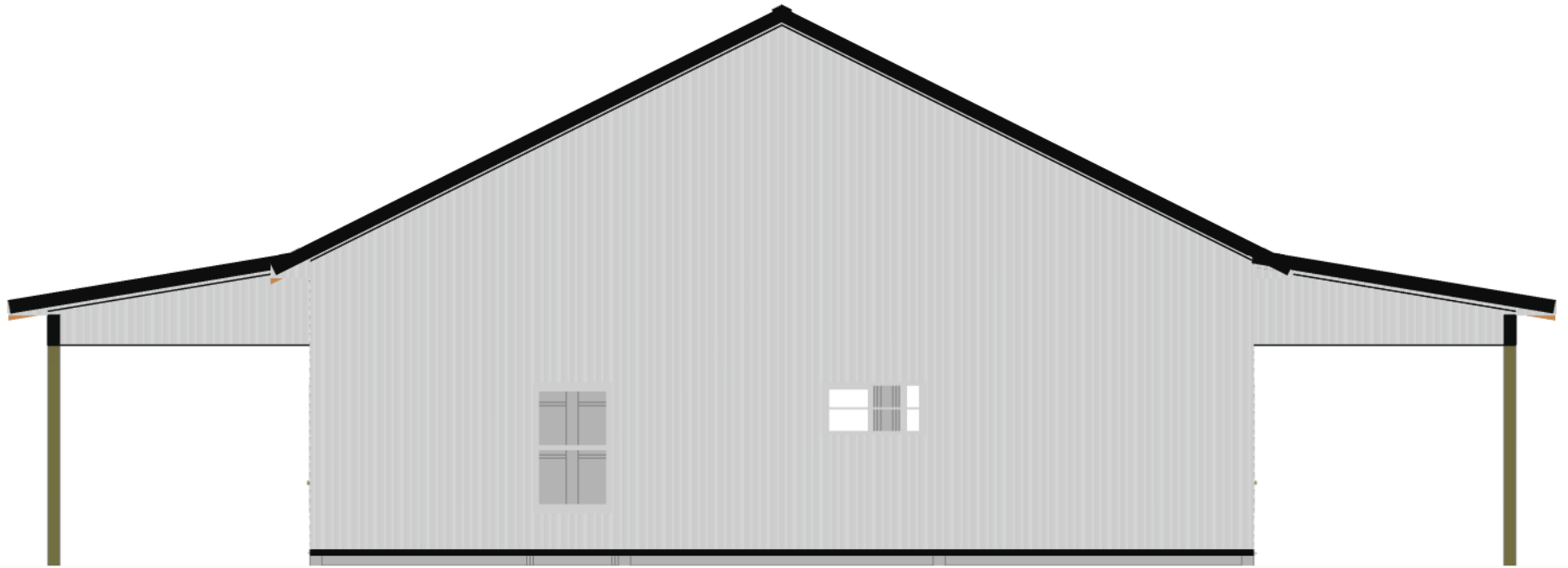
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Date: 1/28/2025
Time: 11:13 AM



Front Elevation

Job: Guy Hermis
Date: 1/28/2025
Time: 11:13 AM

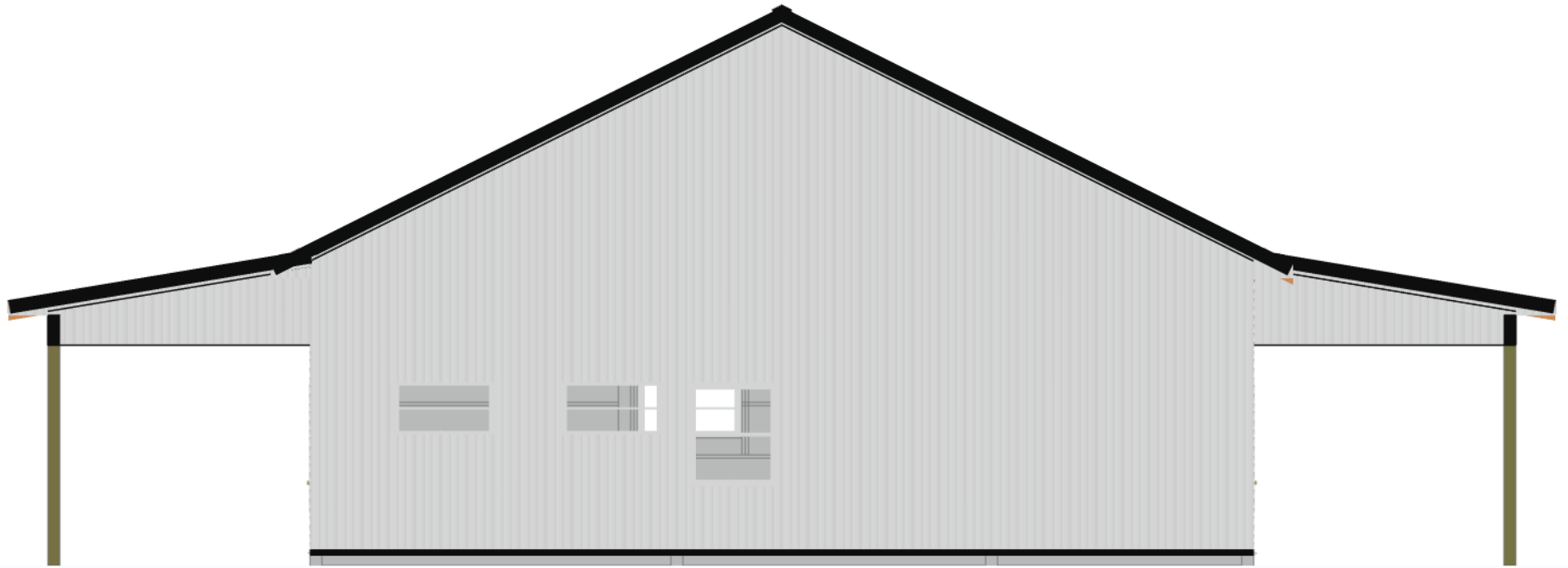


Left Elevation



Back Elevation

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Time: 11:13 AM

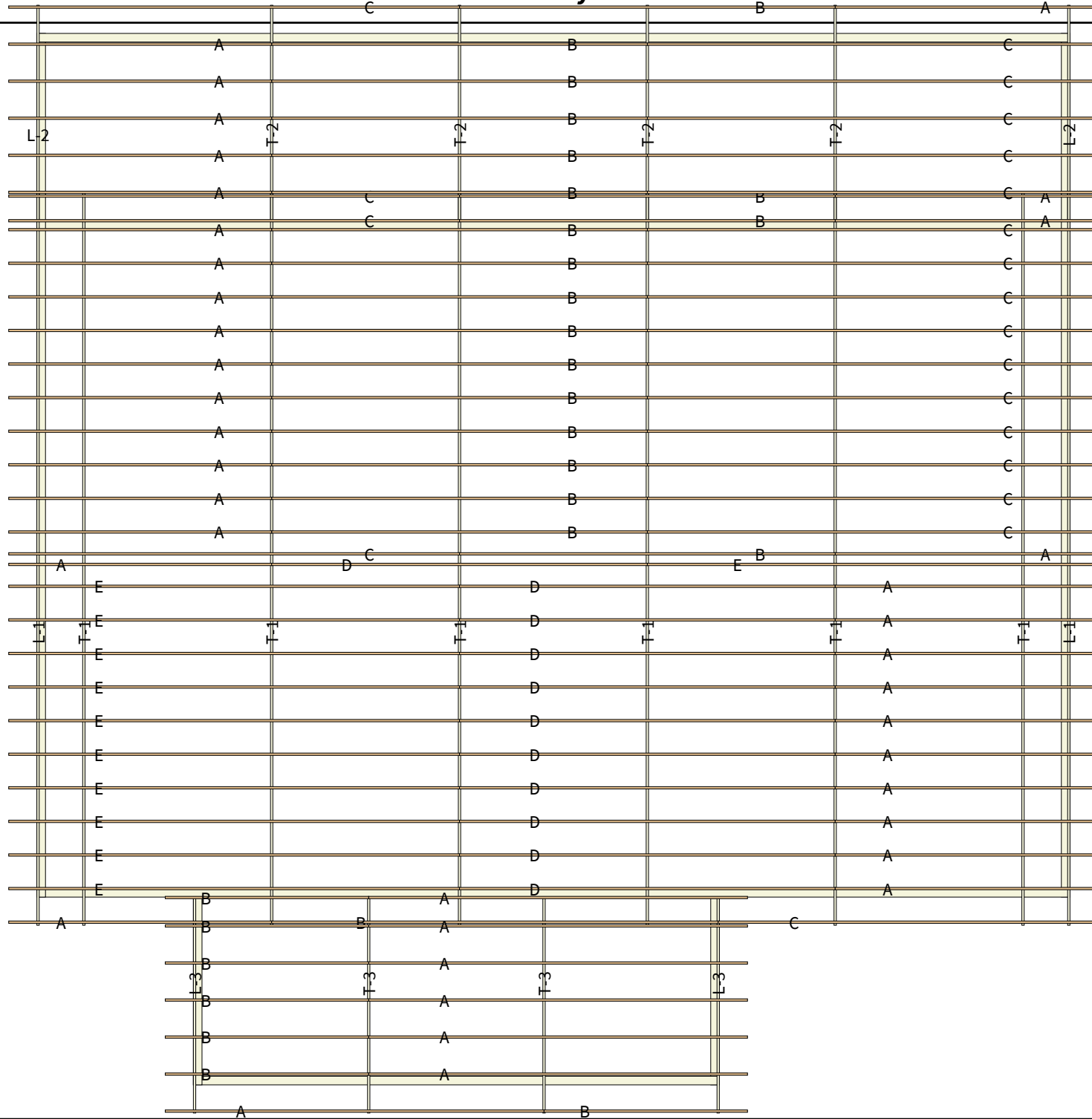


Right Elevation

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Date: 1/28/2025
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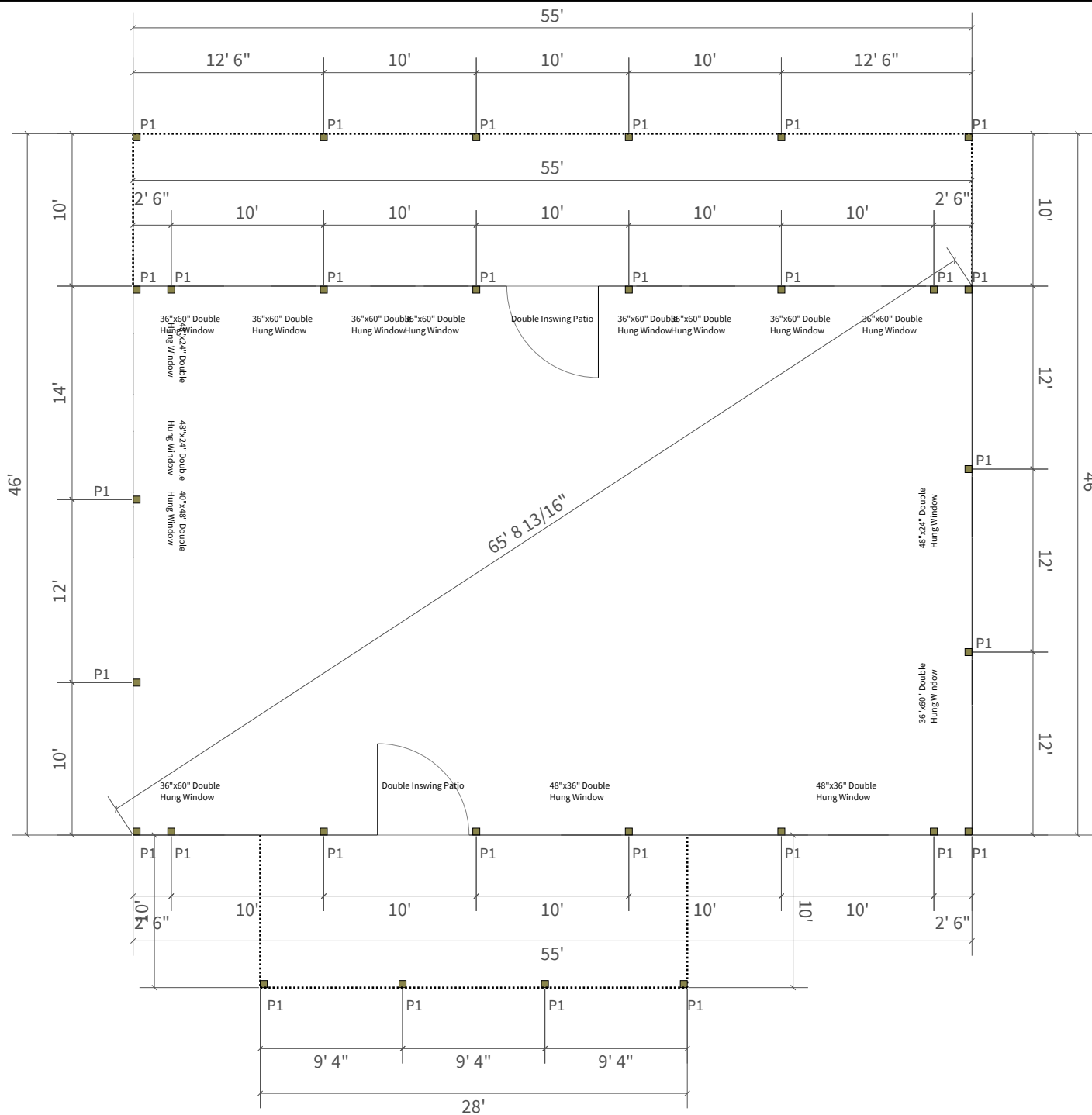


Truss Layout



Post Layout

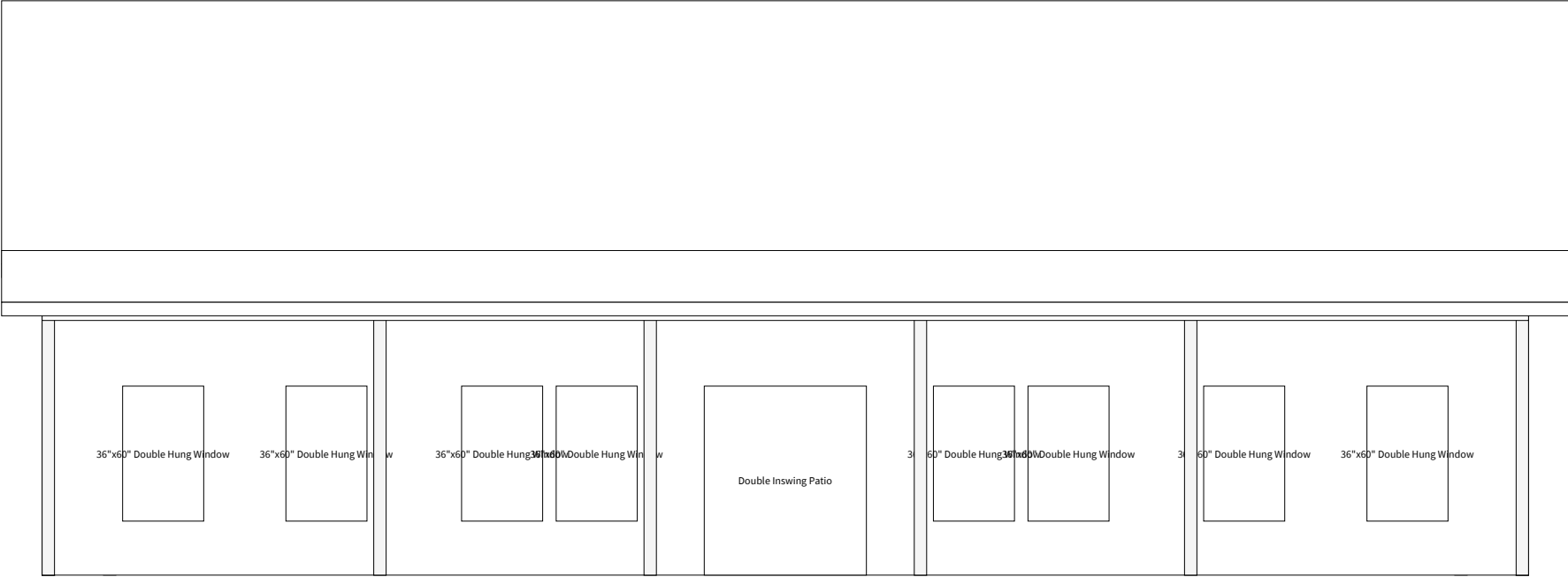
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Time: 11:13 AM



	Treated 6x6
	15" Precast Concrete Cookie
P1	1' 4"x4' Hole Depth
	80 # Bag Of Sackrete

Left Elevation

Job: Guy Hermis
Date: 1/28/2025
Time: 11:13 AM



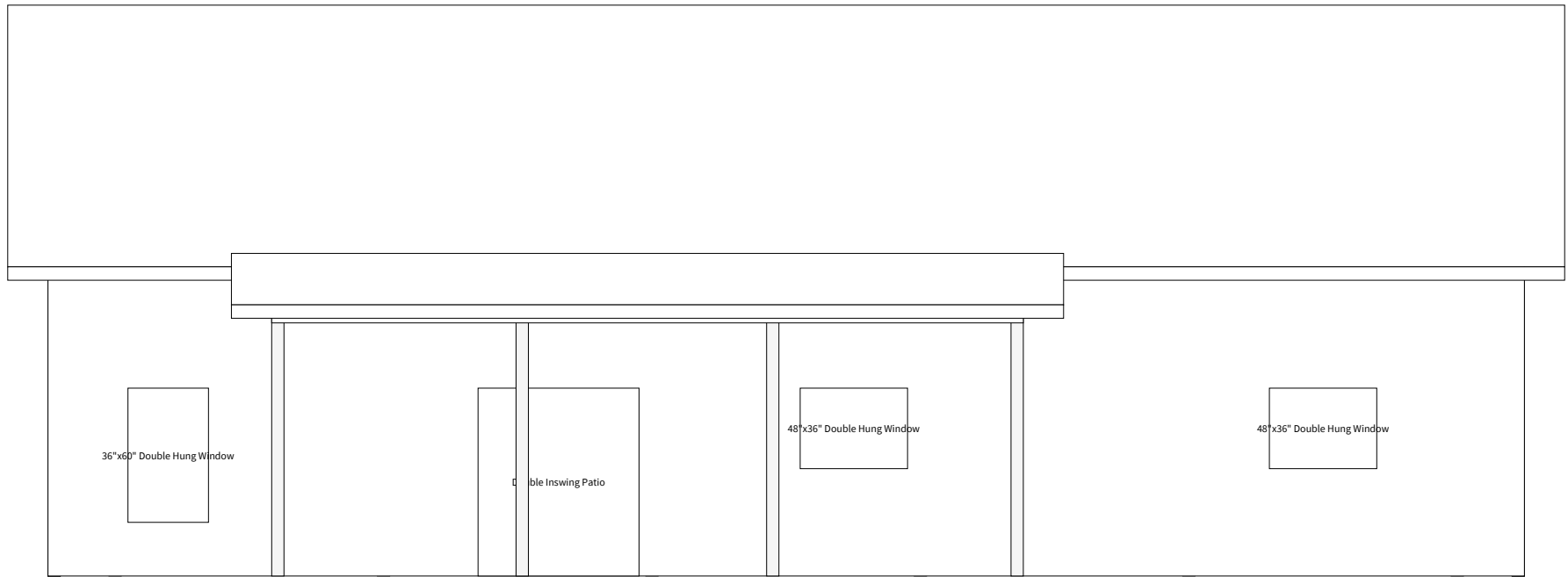
Front Elevation

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Date: 1/28/2025
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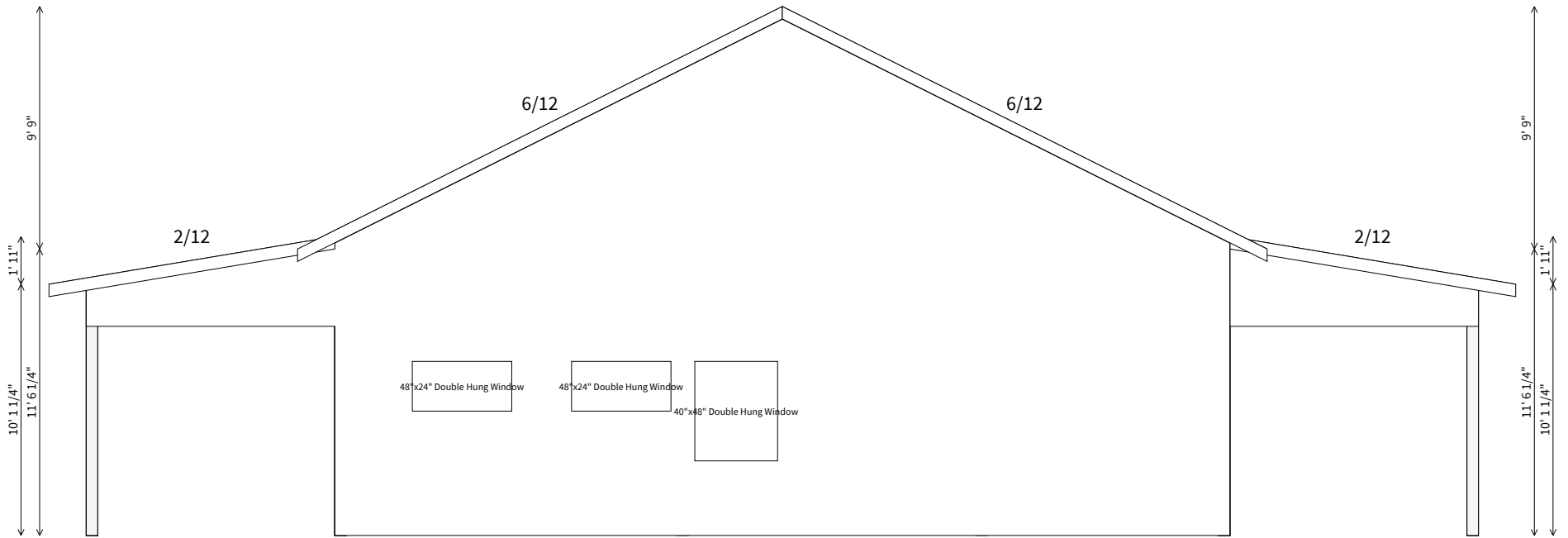
Right Elevation

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Date: 1/28/2025
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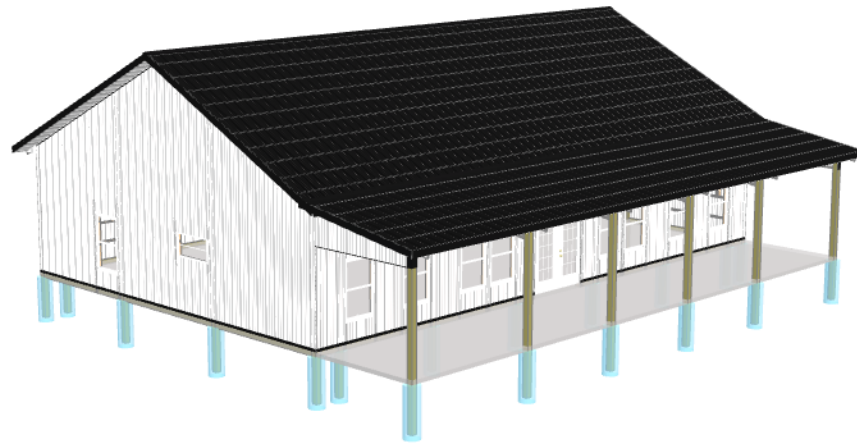
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Job: Guy Hermis
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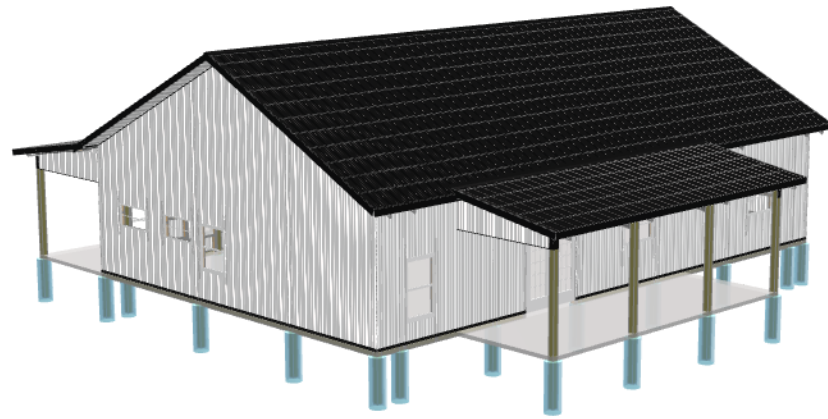
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Job: Guy Hermis
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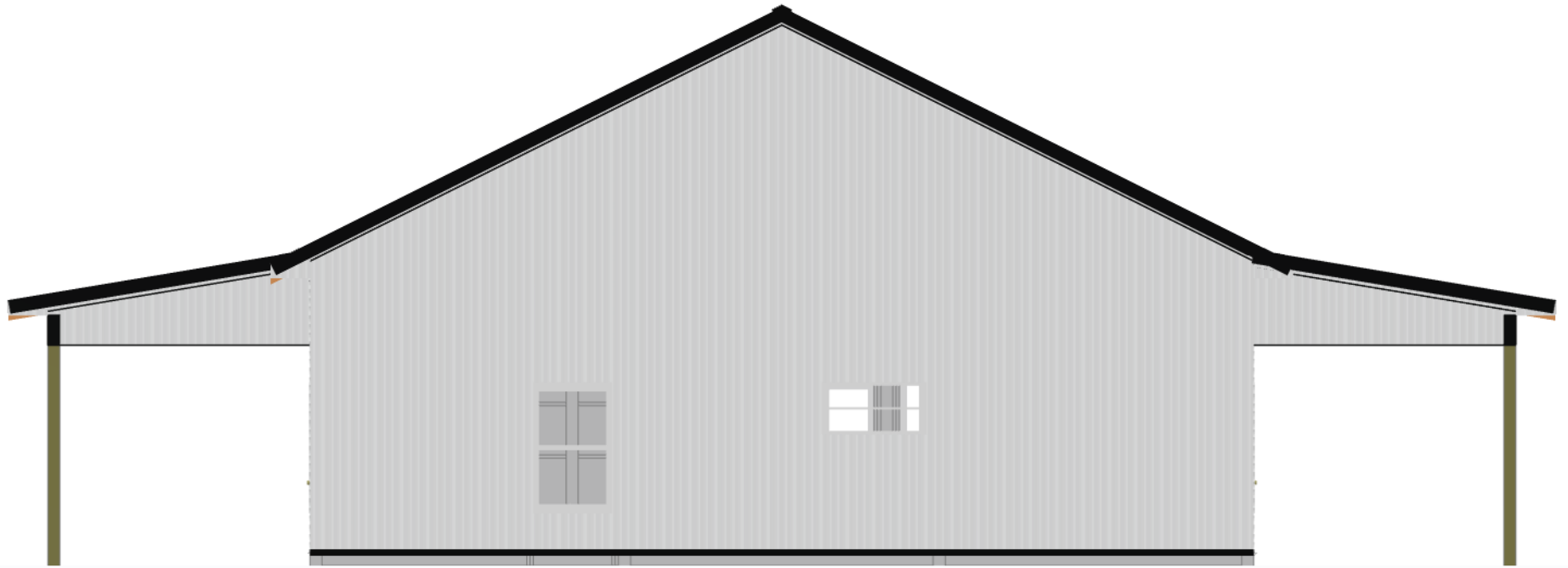
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Front Elevation

Job: Guy Hermis
Date: 1/28/2025
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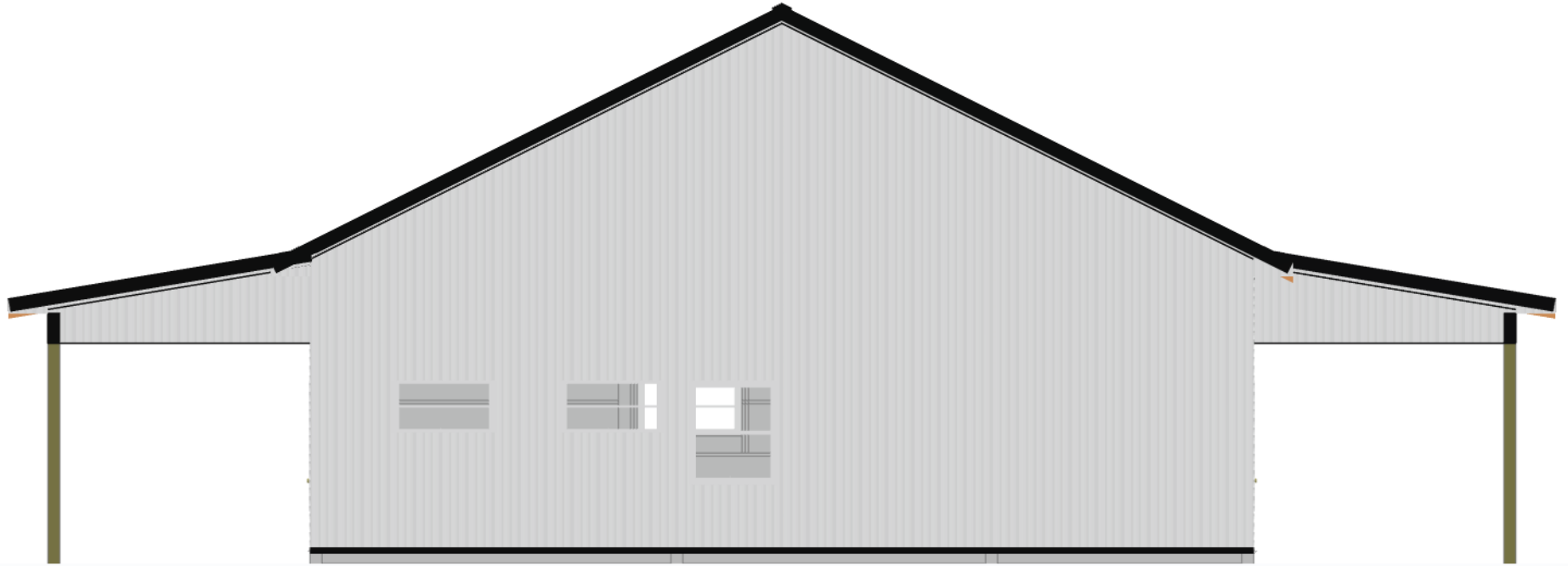
Left Elevation

Job: Guy Hermis
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Back Elevation

Job: Guy Hermis
Date: 1/28/2025
Time: 11:13 AM



Right Elevation

Job: Guy Hermis
Date: 1/28/2025
Time: 11:13 AM



Truss Layout

