

**BACK FORTY**  
BUILDING CO.

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**DESIGNER INFORMATION**

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*Designer Website:* www.backfortybuildings.com

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**RAINES  
RESIDENCE**

**CLIENT INFORMATION**

*DRAWN FOR:* RAINES  
*Client Name:*  
*Client Email:*

**PROJECT INFORMATION**

*JOB #:* 24-414  
*Project #:* WILLOW CREEK  
*Builder Job #:*  
*Site Address:* NORTH CAROLINA  
*City/State:*

**DESIGN CRITERIA**

**PLAN AREAS**

**SQ FT TOTALS**

LIVING AREAS	
1ST FLOOR -	2640 Sq Ft
2ND FLOOR -	597 Sq Ft
<b>TOTAL LIVING -</b>	<b>3237 Sq Ft</b>
NON-LIVING AREAS	
PORCH, FRONT COVERED -	952 Sq Ft
PORCH, SIDE COVERED -	1848 Sq Ft
<b>TOTAL NON-LIVING -</b>	<b>2800 Sq Ft</b>
<b>TOTALS</b>	
<b>TOTAL LIVING / NON -</b>	<b>6037 Sq Ft</b>

**DRAWINGS INDEX**

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GN001	GENERAL NOTES	13

Date Printed- 1/2/2025

**SHEET INFORMATION**

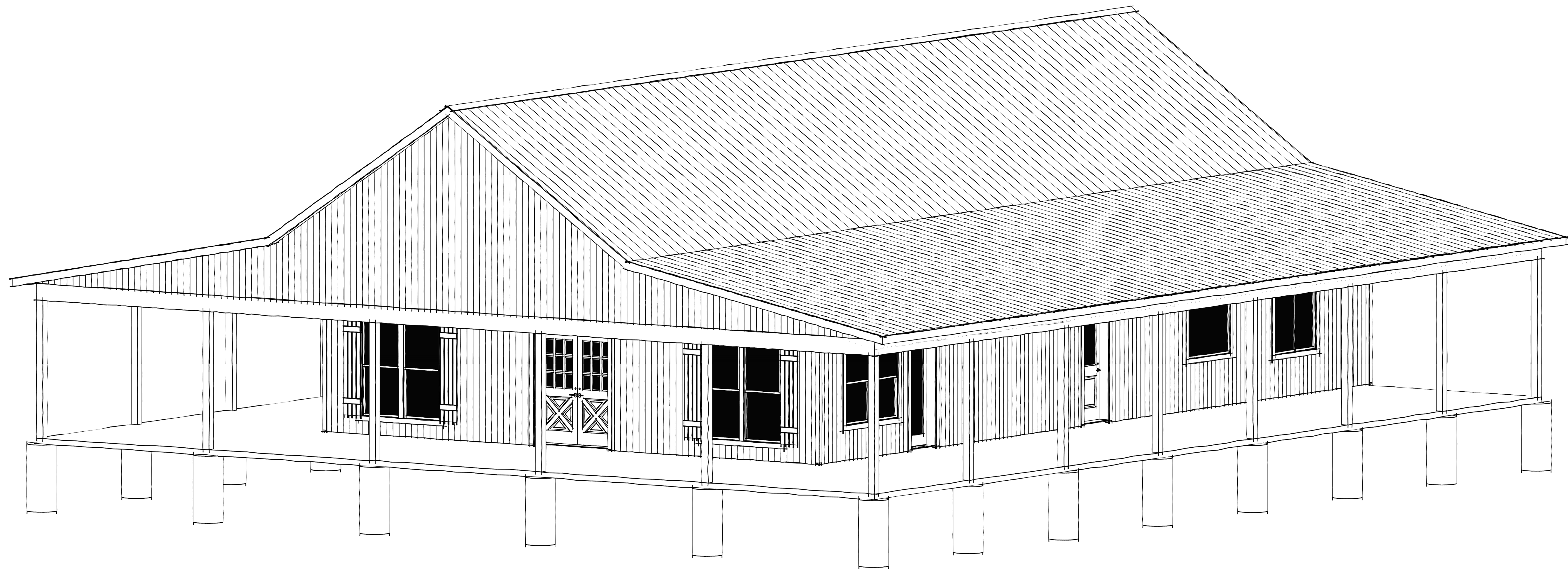
SHEET TITLE:

**3D PERSPECTIVE**

SHEET ID:

**AE101**

PAGE #: 1



ELEVATION ARCHITECTURAL NOTES	
Number	Note
AN01	Metal Roofing
AN02	Vertical Metal Siding



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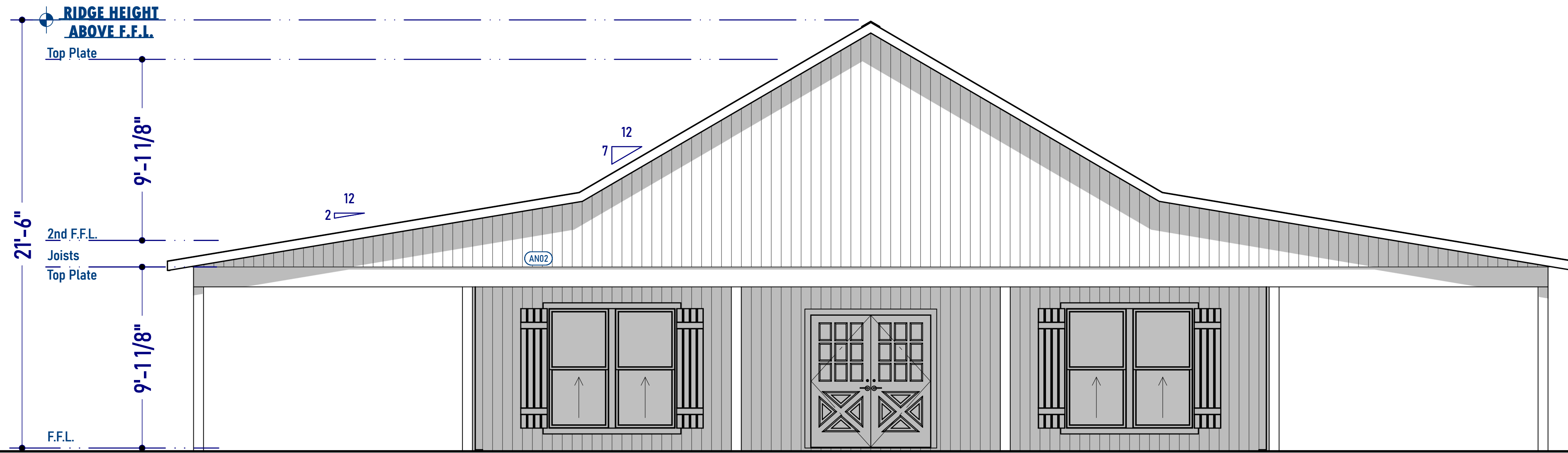
Date Printed- 1/2/2025

**SHEET INFORMATION**

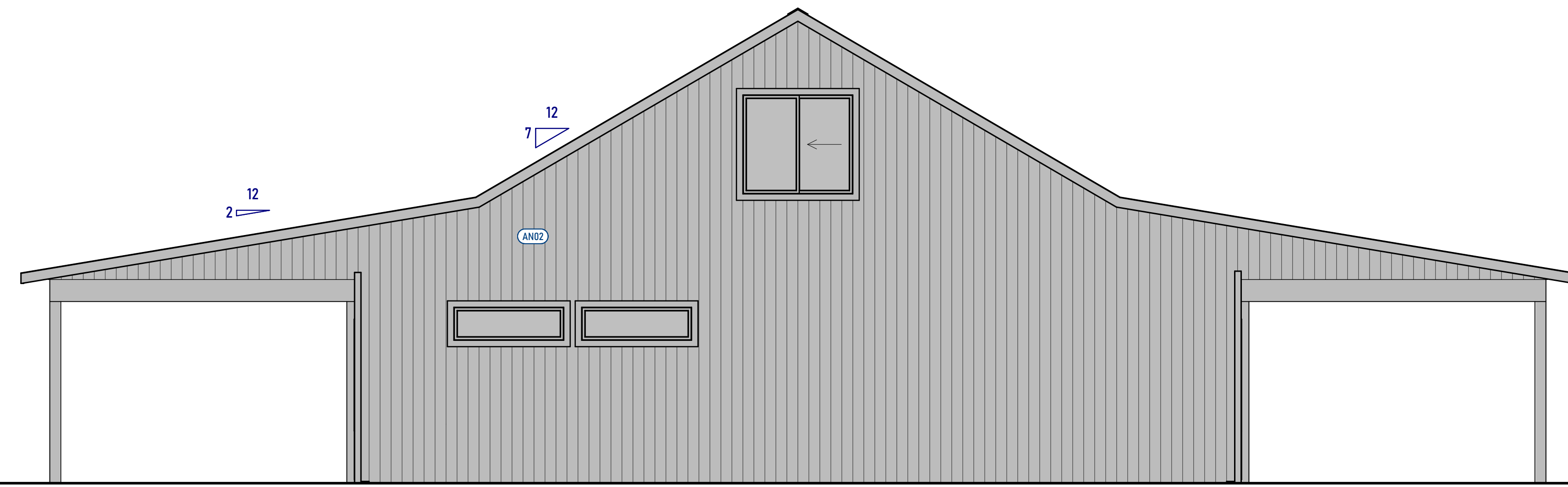
SHEET TITLE:  
**Elevations**

SHEET ID:  
**AE102**

PAGE #: **2**



**FRONT ELEVATION**  
Scale - 1/4" = 1'-0"



**BACK ELEVATION**  
Scale - 1/4" = 1'-0"

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ELEVATION ARCHITECTURAL NOTES	
Number	Note
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AN02	Vertical Metal Siding



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Date Printed - 1/2/2025

**SHEET INFORMATION**

SHEET TITLE:  
**Elevations**

SHEET ID:  
**AE103**

PAGE #: **3**

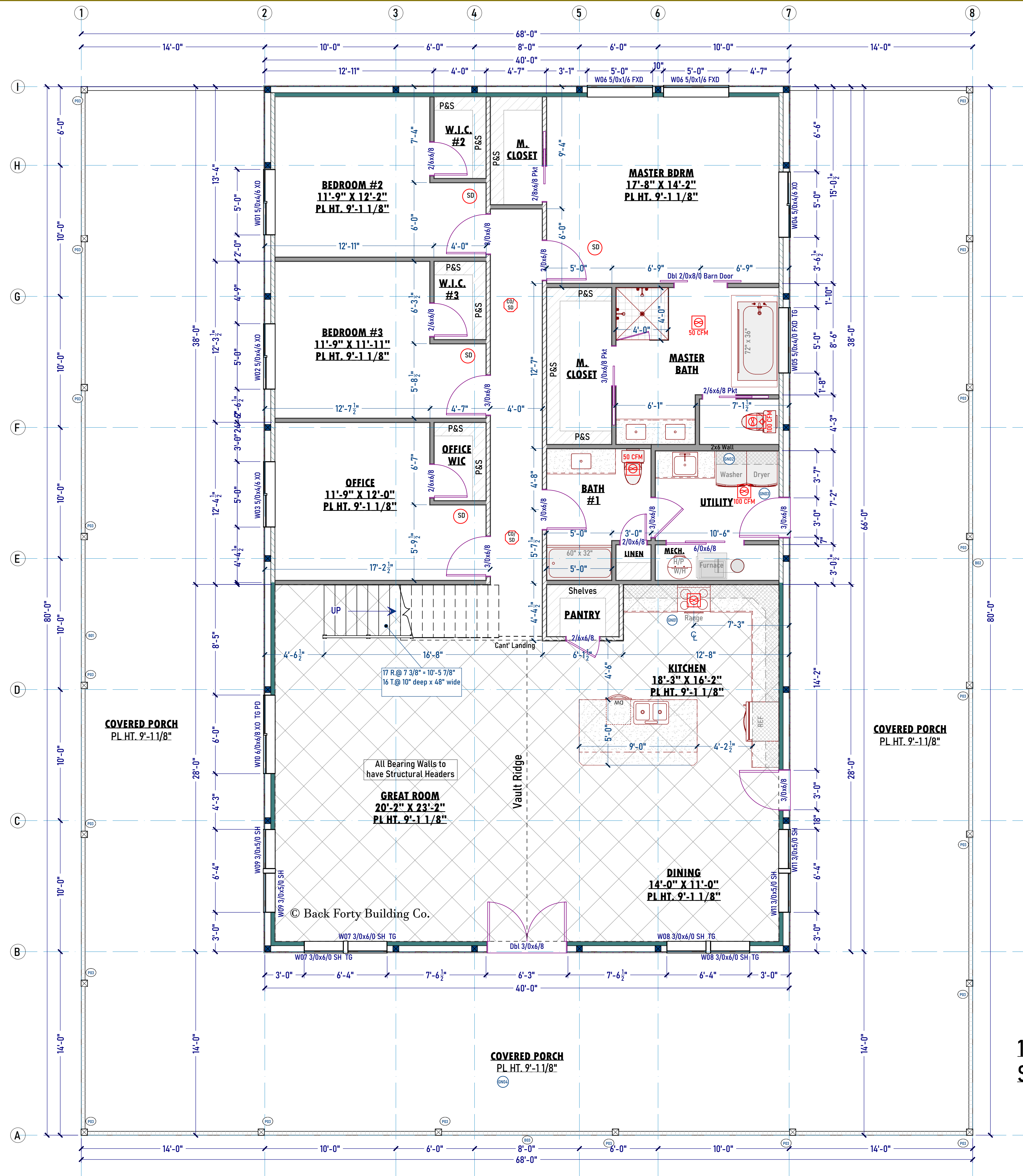


**LEFT ELEVATION**  
Scale - 1/4" = 1'-0"



**RIGHT ELEVATION**  
Scale - 1/4" = 1'-0"

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GENERAL NOTES SCHEDULE	
Number	Note
GN01	100 CFM Range Exhaust Fan
GN02	Water Hammer Arrestor
GN03	Whole House Fan
GN04	Porch & Patio slabs sit minimum of 2" below final floor on the interior w/1% grade away from structure



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**DESIGN CRITERIA**

**PLAN AREAS**

**SQ FT TOTALS**

Area	Sq Ft
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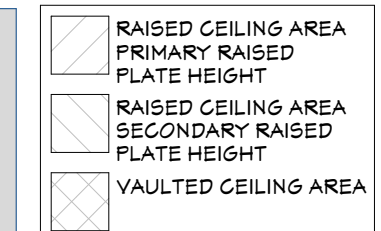
SHEET TITLE: Main Floor Plan

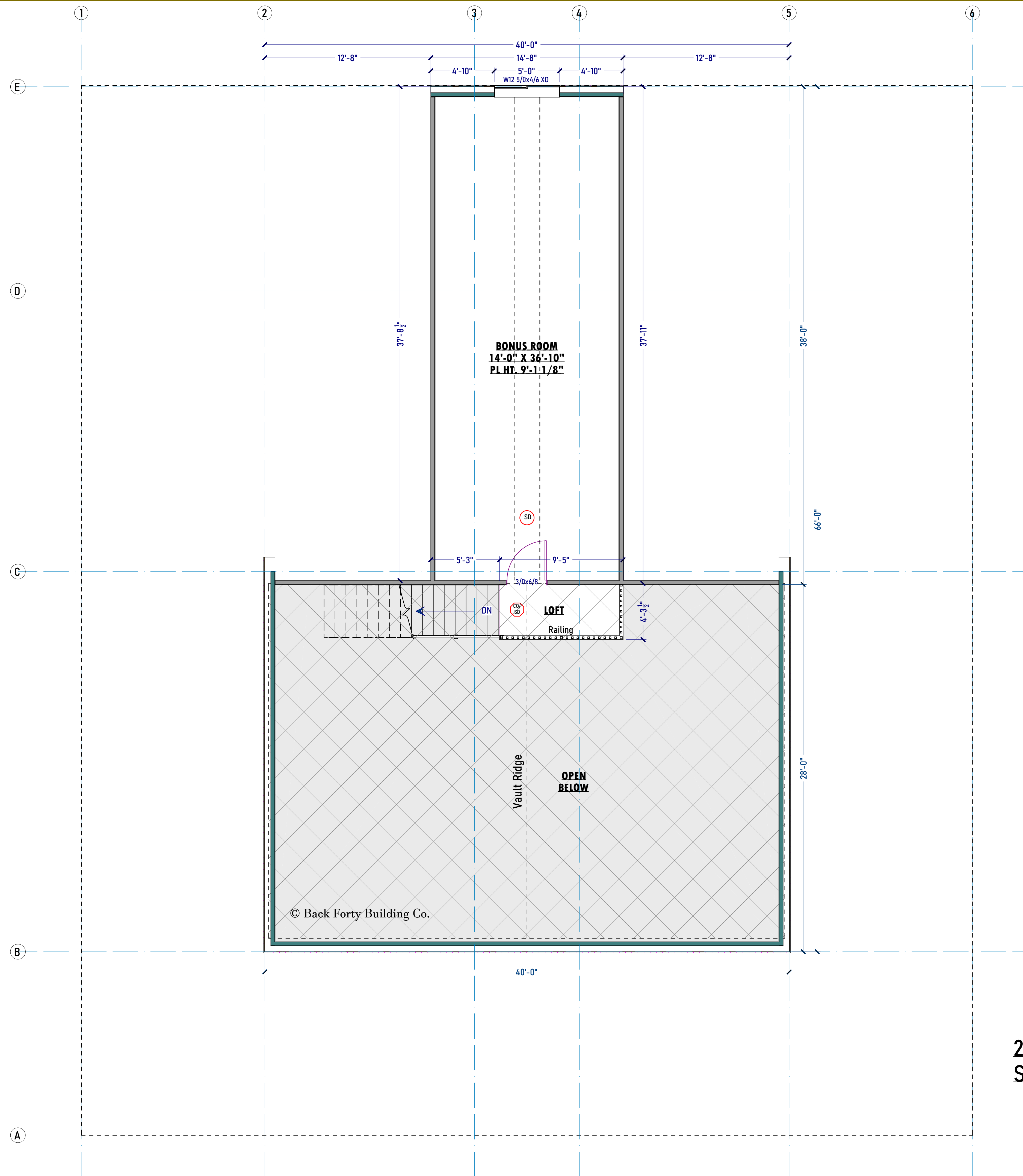
SHEET ID: AE201

PAGE #: 4

**1ST LEVEL FLOOR PLAN**  
Scale - 1/4" = 1'-0"

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GN02	Water Hammer Arrestor
GN03	Whole House Fan
GN04	Porch & Patio slabs sit minimum of 2" below final floor on the interior w/1% grade away from structure



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**DESIGN CRITERIA**

**PLAN AREAS**

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Date Printed - 1/2/2025

**SHEET INFORMATION**

SHEET TITLE:  
**2nd Floor Plan**

SHEET ID:  
**AE202**

PAGE #: **5**

**2ND LEVEL FLOOR PLAN**  
Scale - 1/4" = 1'-0"

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- RAISED CEILING AREA
- PRIMARY RAISED PLATE HEIGHT
- RAISED CEILING AREA
- SECONDARY RAISED PLATE HEIGHT
- VAULTED CEILING AREA

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PROJECT INFORMATION

JOB #: 24-414
Project #: WILLOW CREEK
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DESIGN CRITERIA

PLAN AREAS

Table with SQ FT TOTALS, LIVING AREAS (1st Floor, 2nd Floor, Total Living), NON-LIVING AREAS (Porch, Side Covered, Total Non-Living), and TOTALS (Total Living / Non-Living).

DRAWINGS INDEX

Table with columns: PAGE, TITLE, NUMBER. Lists drawing sheets like AE200, AE201, AE202, etc.

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SHEET INFORMATION

SHEET TITLE: SCHEDULES

SHEET ID:

AE203

PAGE #: 6

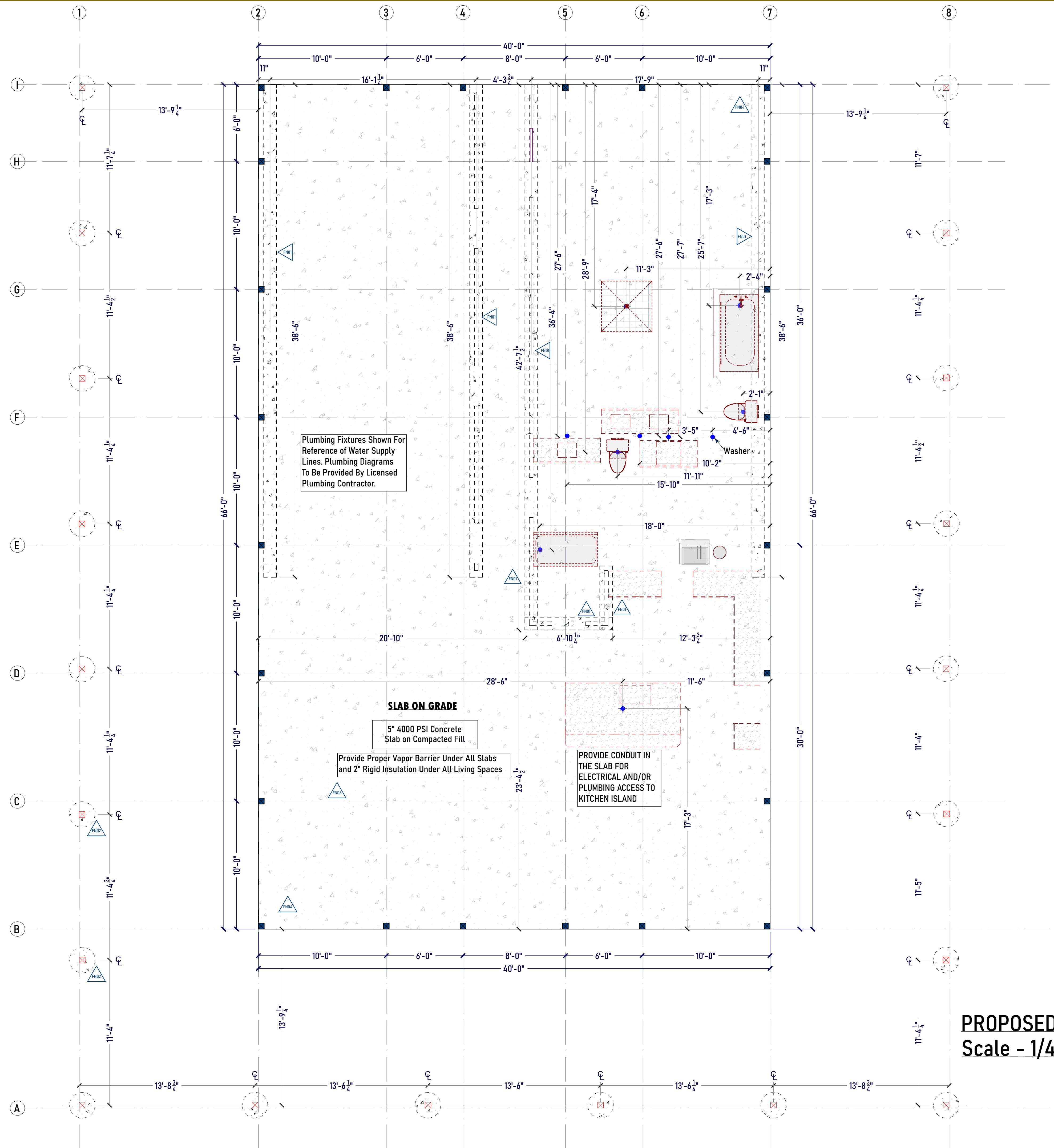
Window Schedule table with columns: Number, Floor, Room Name, Label, SideLight/Transom, Qty, Type, Egress, Temp., Sq Ft, Top, Bottom, Slab To Bottom. Includes rows for W01 through W12 and a Totals row.

Window Schedule

Exterior Door Schedule table with columns: Number, Floor, Room Name, Qty, Label, Door Unit, Hinge, EX/IN, Fire. Includes rows for D01, D02, D03.

Interior Door Schedule table with columns: Number, Floor, Room Name, Qty, Label, Type, Hinge, EX/IN, Fire. Includes rows for D01 through D17.

Door Schedule



STEM WALL & FOOTING SCHEDULE	
Number	Note
FN01	Typ. 12" x 6" Concrete Interior wall bearing footing (or other locally approved method)
FN02	TYP., 24" DIA. x 48" D Conc. Footing (Size & Depth based on location, loads, and soil bearing capacity - to be determined by Contractor)
FN03	All exterior continuous footings and pad bottoms shall follow local requirements based on code and frost depth.
FN04	Steel Column Locations Per Steel Building Mfr

Plumbing Fixtures Shown For Reference of Water Supply Lines. Plumbing Diagrams To Be Provided By Licensed Plumbing Contractor.

**SLAB ON GRADE**

5" 4000 PSI Concrete Slab on Compacted Fill

Provide Proper Vapor Barrier Under All Slabs and 2" Rigid Insulation Under All Living Spaces

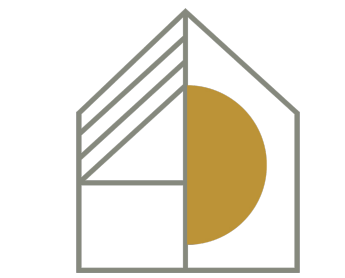
PROVIDE CONDUIT IN THE SLAB FOR ELECTRICAL AND/OR PLUMBING ACCESS TO KITCHEN ISLAND

**PROPOSED FOUNDATION PLAN**  
Scale - 1/4" = 1'-0"

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	Side Wall Columns
	End Wall Columns
	Plumbing Drop

LEGEND



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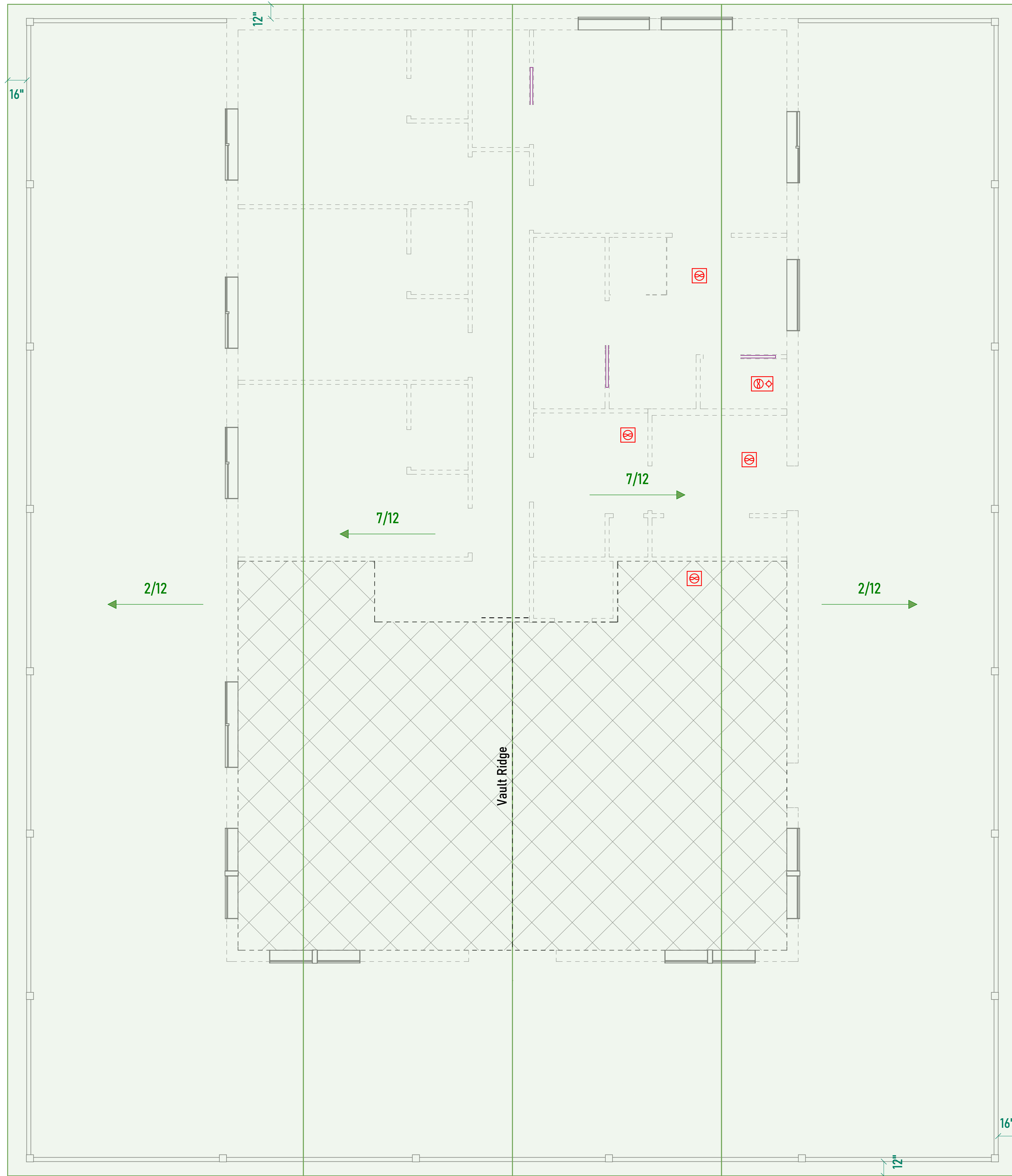
**SHEET INFORMATION**

SHEET TITLE:  
**Foundation Plan**

SHEET ID:  
**SB201**

PAGE #: 7

Manufactured  
Trusses w/  
Pitch As Noted



Minimum Roof Ventilation  
5440 Sq Ft of Roof Area / 300  
18.13 Sq Ft Roof Venting  
= 27 Vents (Intake And Exhaust) OR  
= 73 Ln Ft of Ridge Vent AND  
9.07 Sq Ft Soffit Venting

PORCH BEAM SCHEDULE - See Calc Sheets or Engineering for Sizes					
Number	Label	Floor	Qty	Length	Top
B01	B.B.O. Porch Beam	1	1	951"	109 1/8"
B02	B.B.O. Porch Beam	1	1	960"	109 1/8"
B03	B.B.O. Porch Beam	1	1	814 1/4"	109 1/8"

POST SCHEDULE					
Number	Label	Floor	Qty	Length	Top
P03	6x6 Post	1	20	99 1/8"	97 1/8"

ROOF PLAN  
Scale - 1/4" = 1'-0"

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ROOF FAN VENT LOCATION:  
WHEN POSSIBLE, ALL FAN DUCTS & PLUMBING  
STACKS SHALL TERMINATE ON THE BACK SIDE OF  
THE ROOF.



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SHEET INFORMATION

SHEET TITLE:

Roof Plan & Sched

SHEET ID:

AE204

PAGE #: 8





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Builder Job #:
Site Address: NORTH CAROLINA
City/State:

DESIGN CRITERIA

PLAN AREAS

SQ FT TOTALS

LIVING AREAS

1ST FLOOR - 2440 Sq Ft
2ND FLOOR - 597 Sq Ft
TOTAL LIVING - 3227 Sq Ft

NON-LIVING AREAS

PORCH, FRONT COVERED - 952 Sq Ft
PORCH, SIDE COVERED - 1848 Sq Ft
TOTAL NON-LIVING - 2800 Sq Ft

TOTALS

TOTAL LIVING / NON - 6037 Sq Ft

DRAWINGS INDEX

Table with 3 columns: PAGE, TITLE, NUMBER. Lists drawing sheets like AE200, AE201, AE202, etc.

Date Printed - 1/2/2025

SHEET INFORMATION

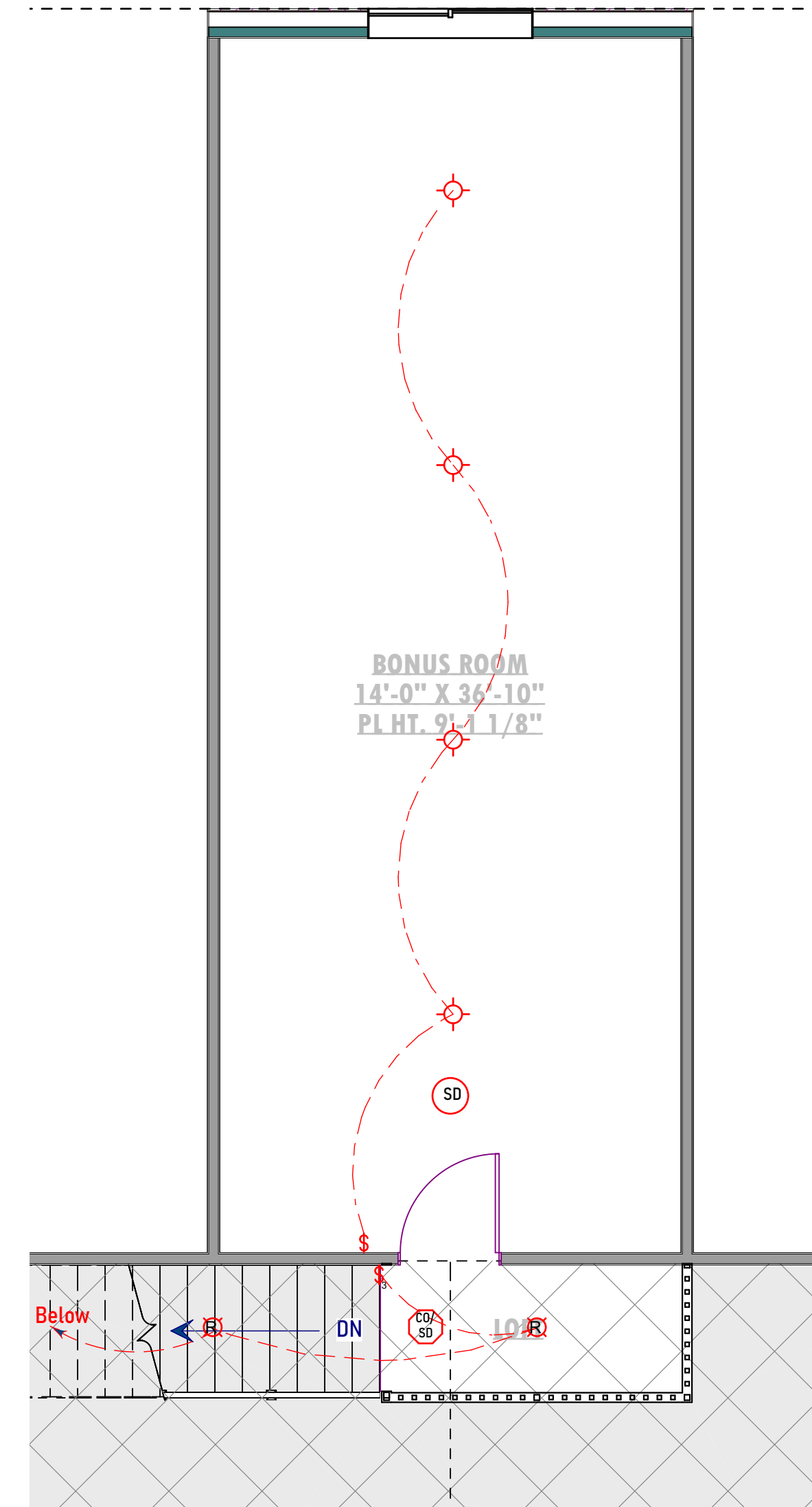
SHEET TITLE: 1st Flr Lighting

SHEET ID: E-201

PAGE #: 9



1ST FLOOR PROPOSED LIGHTING PLAN Scale - 1/4" = 1'-0"



BONUS PROPOSED LIGHTING PLAN Scale - 1/4" = 1'-0"

Electrical Legend table listing symbols for Ceiling Fan, Chandelier Light Fixture, Hanging Light Fixture, Sconce Light Fixture, Bar Light Fixture, Tube Light Fixture, Smoke Detector, CO, Smoke/CO, Electrical Panel, Low Volt Panel, Thermostat, Alarm Control Unit, Intercom, Doorbell, Audio Video: Control Panel, Switch, Speakers: Ceiling Mount, Wall Mount, Security Cameras, Ventilation Fans, Recessed Light Fixtures, Flush Mount Light Fixture, Pendant, Semi-Flush Light Fixture, Flood Light, Wall Mounted Light Fixture, Emergency Light & Exit, 110V Outlets: Duplex, W. Proof, GFCI, AFCI, Switch, 110V Outlets: 50A, 30A, Floor Outlet, Freezer, 110V Outlets: USB, WFI, Switched, 220V Receptacle, Junction Box, Switches: Single Pole, 3-Way, 4-Way, Weather Proof, Switches: Dimmer, Timer, Occupancy Sensor, Outlet, Wall Jacks: TV, Telephone, CAT5, CAT5-TV, CAT6, Electrical Connection Line, Low Volt Connection

ELECTRICAL LEGEND

ELECTRICAL NOTES:

BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:

- 1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.C.E. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH OWNER/BUILDER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH OWNER/BUILDER.
5. FIXTURES TO BE SELECTED BY OWNER/BUILDER.
6. OUTLETS TO CODE.

LOW VOLTAGE NOTES:

BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, CABLE, DATA, PHONE, AUDIO, ETC.

LOW VOLTAGE/AUDIO: (IF INCLUDED)

- 1. LOCATE SPEAKERS & AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR
2. AUDIO SPEAKERS TO BE APPROVED BY BUILDER/OWNER.
3. LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY BUILDER/OWNER
4. LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA/LOW VOLTAGE PANEL; SYSTEM TO BE APPROVED BY BUILDER/OWNER

DISCLAIMER: THESE PLANS HAVE BEEN DESIGNED TO BE USED IN ANY PART OF THE USA. REFER TO LOCAL BUILDING REQUIREMENTS TO PROVIDE STRUCTURAL ENGINEERING LOCALLY FOR BUILDING PERMITS.

Legend for ceiling areas: RAISED CEILING AREA PRIMARY RAISED PLATE HEIGHT, RAISED CEILING AREA SECONDARY RAISED PLATE HEIGHT, VAULTED CEILING AREA

# STEEL BUILDING DETAILS

ALL DETAILS/NOTES MAY NOT APPLY. NOTES ON THE PLANS OR IN THE ENGINEER'S NOTES, DETAILS AND DRAWINGS SUPERCEDE THESE. DETAILS ARE NOT TO SCALE.

**1 S501** Girt to Hot Rolled Endwall Column

**2 S501** Girt to Cold Form Endwall Column - Partially Open

**3 S501** Girt to Hot Rolled Endwall Column - Partially Open

**4 S501** Girt to Cold Form Corner Column

**5 S501** Endwall Column Base Plate

**6 S501** Door Jamb Base Plate

**7 S501** Cold Form Endwall Column Base Plate

**8 S501** Cold Form Endwall Column to Rafter

**9 S501** Endwall Bearing Frame - Cold Form Double Cee Rafter Splice At Ridge

**10 S501** Purlin to Rigid Frame

**11 S501** Girt to Rigid Frame

**12 S501** Girt to Rigid Frame

**13 S501** Girt to Single Cold Form Jamb/Sub Jamb

**14 S501** Single Cold Form Jamb/Sub Jamb to Low Side Eave Strut

**15 S501** Purlin to Bearing Frame Double Cold Form Rafter

**16 S501** Hot Rolled Endwall Column to Rafter

**17 S501** Purlin with Anti-Roll Back-up Clip at Rafter

**18 S501** Girt to Cold Form Column

**19 S501** Single Cold Form Jamb/Sub Jamb to Girt

**20 S501** Header to Cold Form Jamb/Sub Jamb

**21 S501** Rod Brace Attachment at Web

**22 S501** Diagonal Brace Clip to Floor

**23 S501** Anchor Rods At Frame Column

**24 S501** Bolts At Rigid Frame Rafter Connection

**25 S501** Bolts At Rigid Frame Rafter to Column Connection

**26 S501** PBR Wall Panel Panel Side Lap

**27 S501** PBR Wall Panel Fastener Location

**28 S501** PBR Roof Panel Fastener And Tape Sealant Location

**29 S501** PBR Roof Panel Side Lap And End Lap Details

**30 S501** PBR Wall Panel Panel End Lap

**31 S501** PBR Wall Panel Base Angle Without Panel Recess

**32 S501** PBR Roof Panel Fixed Ridge Detail

**33 S501** PBU Soffit End Lap Details



**DESIGNER INFORMATION**  
 DRAWN BY: JSH  
 Designer Name: \_\_\_\_\_  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Designer Phone: \_\_\_\_\_  
 Designer E-Mail: \_\_\_\_\_  
 Designer Website: www.backfortybuildings.com

**BUILDER INFORMATION**  
 BUILDER: RAINES RESIDENCE  
 Builder Name: \_\_\_\_\_  
 Builder Phone: \_\_\_\_\_  
 Builder Email: \_\_\_\_\_  
 Builder Website: \_\_\_\_\_

**CLIENT INFORMATION**  
 DRAWN FOR: RAINES FOR  
 Client Name: \_\_\_\_\_  
 Client Email: \_\_\_\_\_

**PROJECT INFORMATION**  
 JOB #: 24-414  
 Project: WILLOW CREEK  
 Builder Job #: \_\_\_\_\_  
 Site Address: \_\_\_\_\_  
 City/State: NORTH CAROLINA

**DESIGN CRITERIA**

**PLAN AREAS**

**SQ FT TOTALS**

**LIVING AREAS**

1ST FLOOR - 2440 Sq Ft  
 2ND FLOOR - 597 Sq Ft

**TOTAL LIVING - 3037 Sq Ft**

**NON-LIVING AREAS**

PORCH, FRONT COVERED - 952 Sq Ft  
 PORCH, SIDE COVERED - 1848 Sq Ft

**TOTAL NON-LIVING - 2800 Sq Ft**

**TOTALS**

**TOTAL LIVING / NON - 6837 Sq Ft**

**DRAWINGS INDEX**

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Date Printed - 1/2/2025  
**SHEET INFORMATION**  
 SHEET TITLE: Standard Details

SHEET ID: S-501  
 PAGE #: 10

# STEEL BUILDING DETAILS

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**BACK FORTY**  
BUILDING CO.

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**DESIGNER INFORMATION**

**DRAWN BY:** JSH  
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 Designer Phone: \_\_\_\_\_  
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**BUILDER INFORMATION**

**BUILDER:** RAINES RESIDENCE  
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 Builder Phone: \_\_\_\_\_  
 Builder Email: \_\_\_\_\_  
 Builder Website: \_\_\_\_\_

**DRAWN FOR:**

**RAINES RESIDENCE**

**CLIENT INFORMATION**

**DRAWN FOR:** RAINES  
 Client Name: \_\_\_\_\_  
 Client Phone: \_\_\_\_\_  
 Client Email: \_\_\_\_\_

**PROJECT INFORMATION**

**JOB #:** 24-414  
 Project #: WILLOW CREEK  
 Builder Job #: \_\_\_\_\_  
 Site Address: \_\_\_\_\_  
 City/State: NORTH CAROLINA

**DESIGN CRITERIA**

**PLAN AREAS**

**SQ FT TOTALS**

LIVING AREAS	
1ST FLOOR -	2640 Sq Ft
2ND FLOOR -	597 Sq Ft
<b>TOTAL LIVING -</b>	<b>3237 Sq Ft</b>
NON-LIVING AREAS	
PORCH, FRONT COVERED -	953 Sq Ft
PORCH, SIDE COVERED -	1848 Sq Ft
<b>TOTAL NON-LIVING -</b>	<b>2800 Sq Ft</b>
<b>TOTALS</b>	
<b>TOTAL LIVING / NON -</b>	<b>6037 Sq Ft</b>

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E-200	1ST FLOOR LIGHTING	10
S-500	STANDARD DETAILS	11
S-501	STANDARD DETAILS	12
SN001	GENERAL NOTES	13

Date Printed - 1/2/2025

**SHEET INFORMATION**

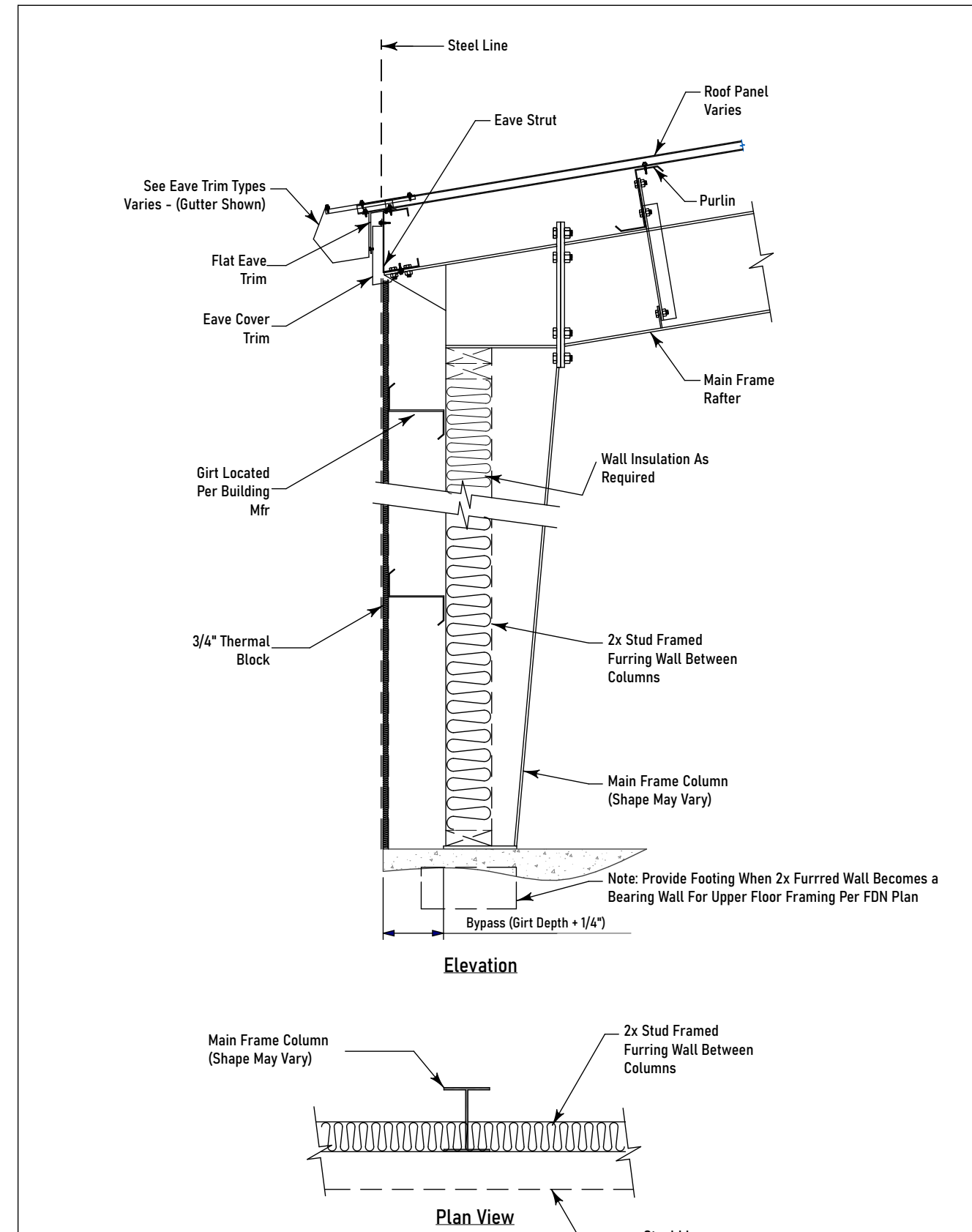
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Standard Details

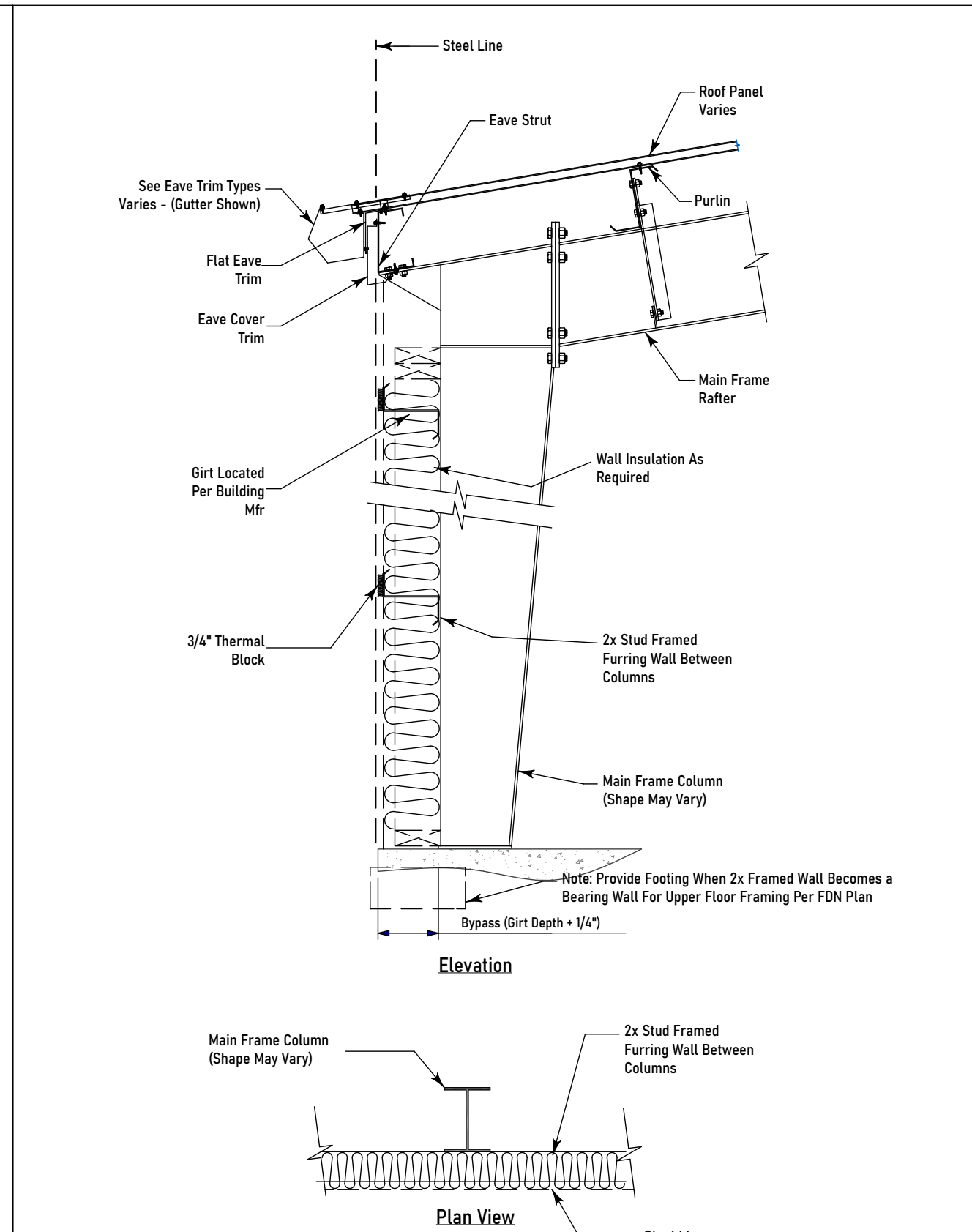
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**S-502**

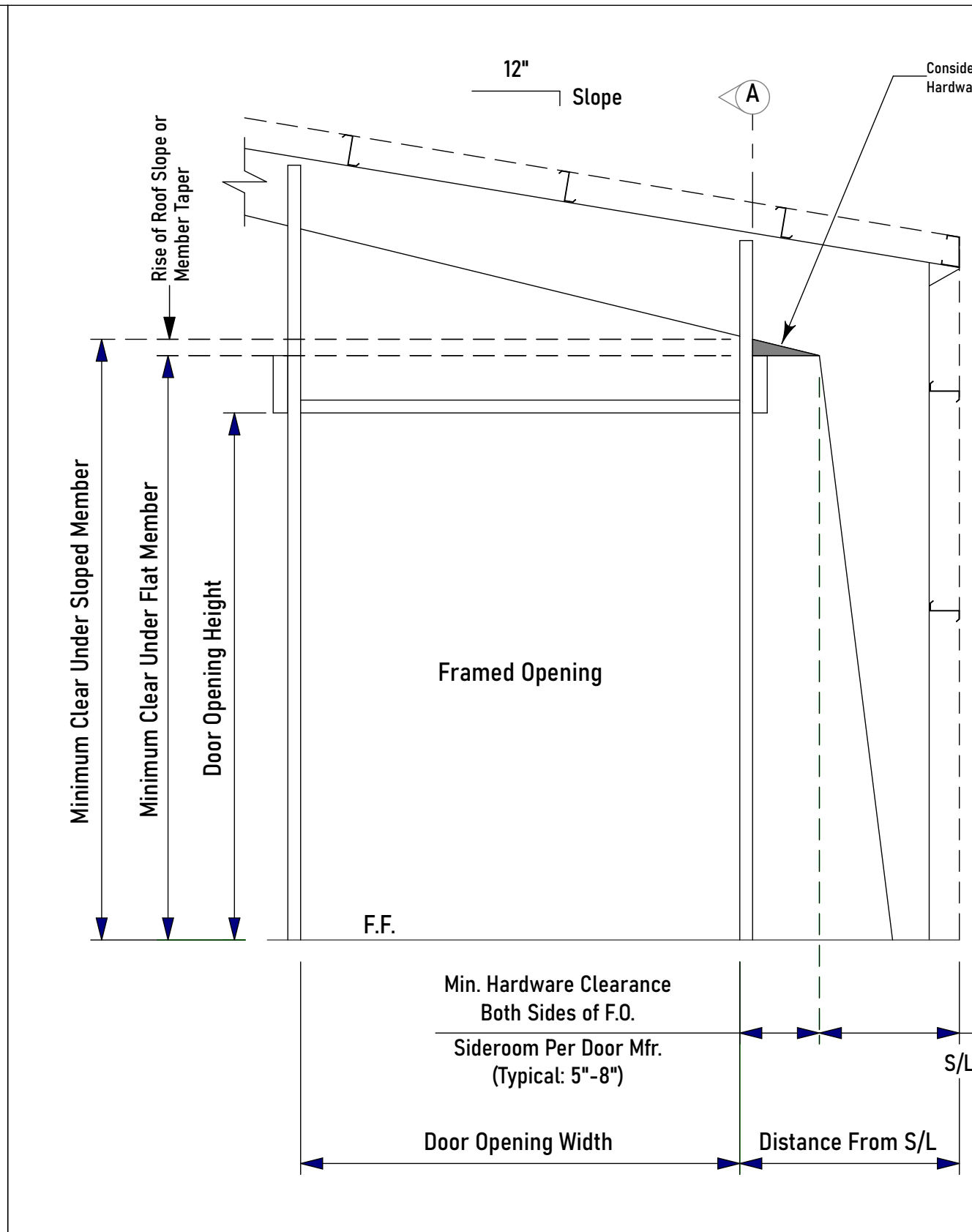
PAGE #: 11



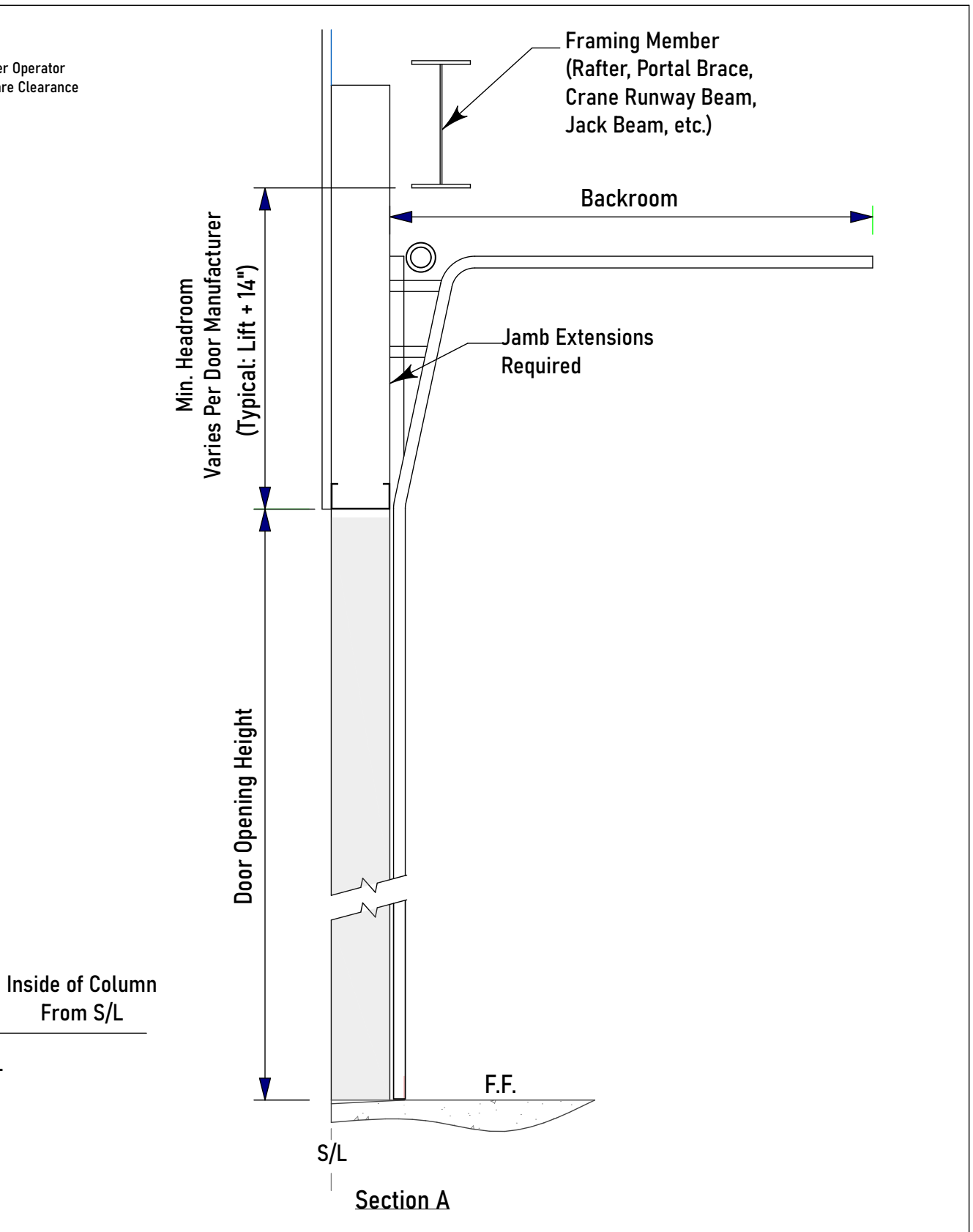
Typical Wall Section With Furred Wall S502



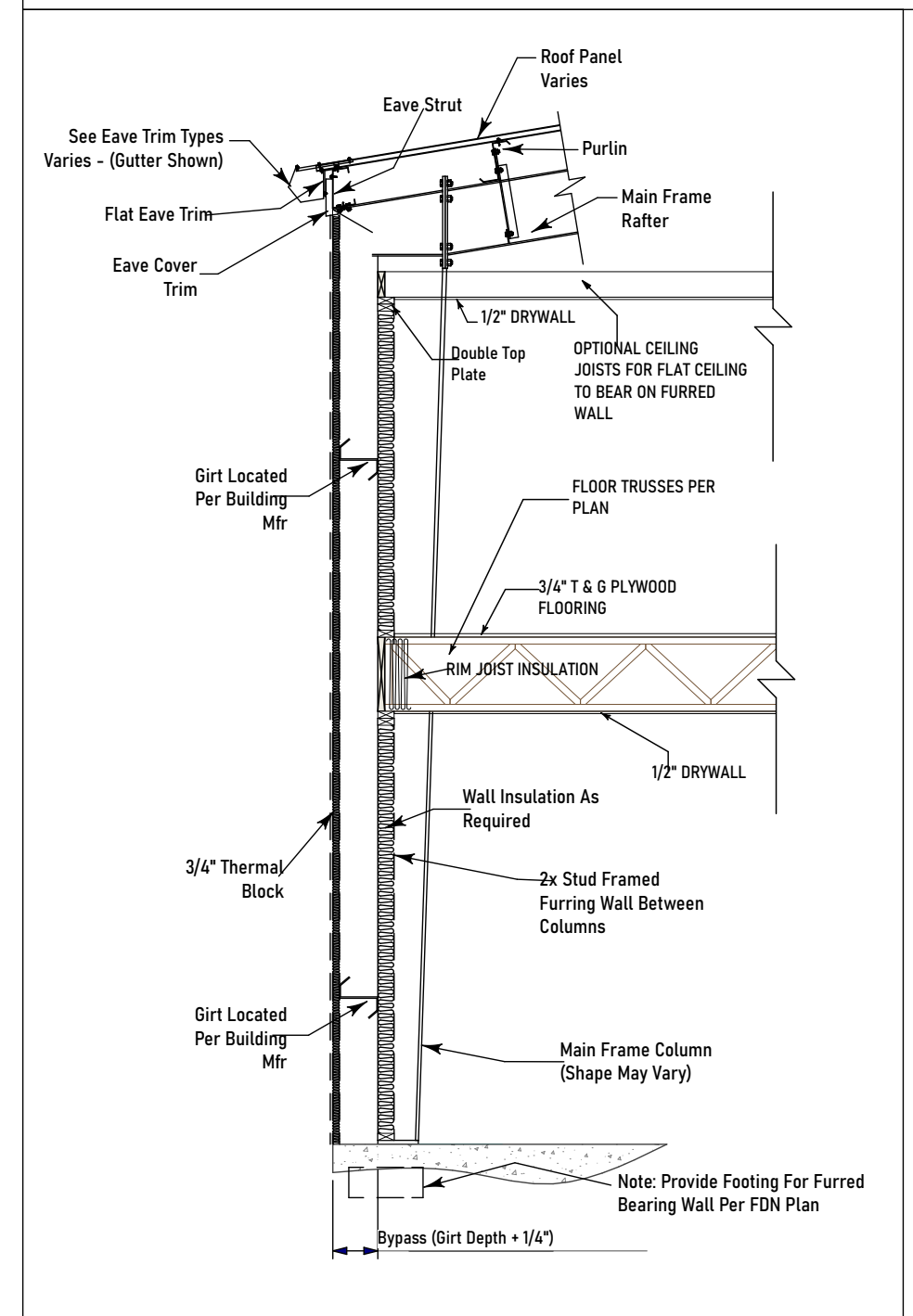
Typical Wall Section S502



Doors - Sectional - High Lift Track S502



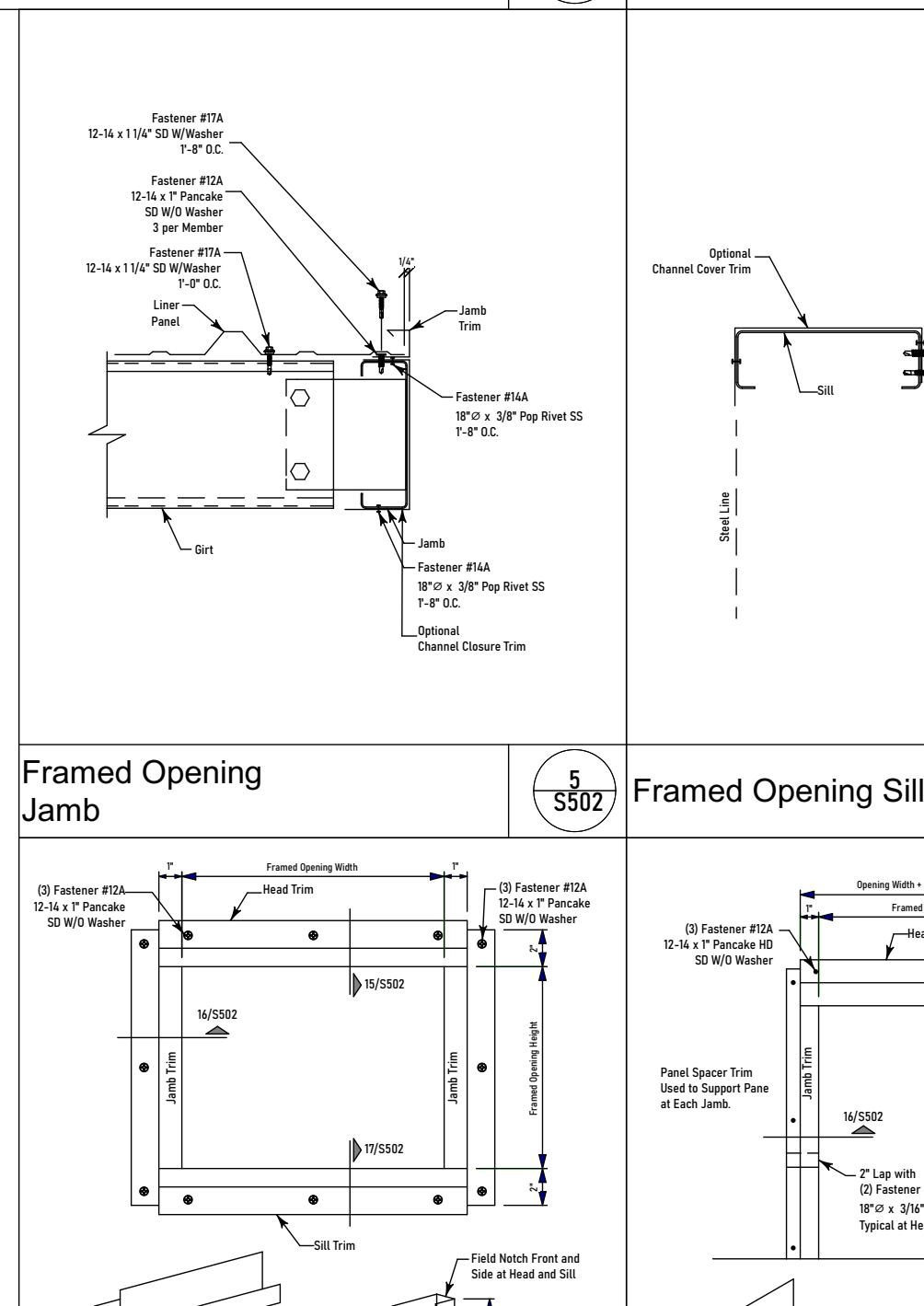
Section A S502



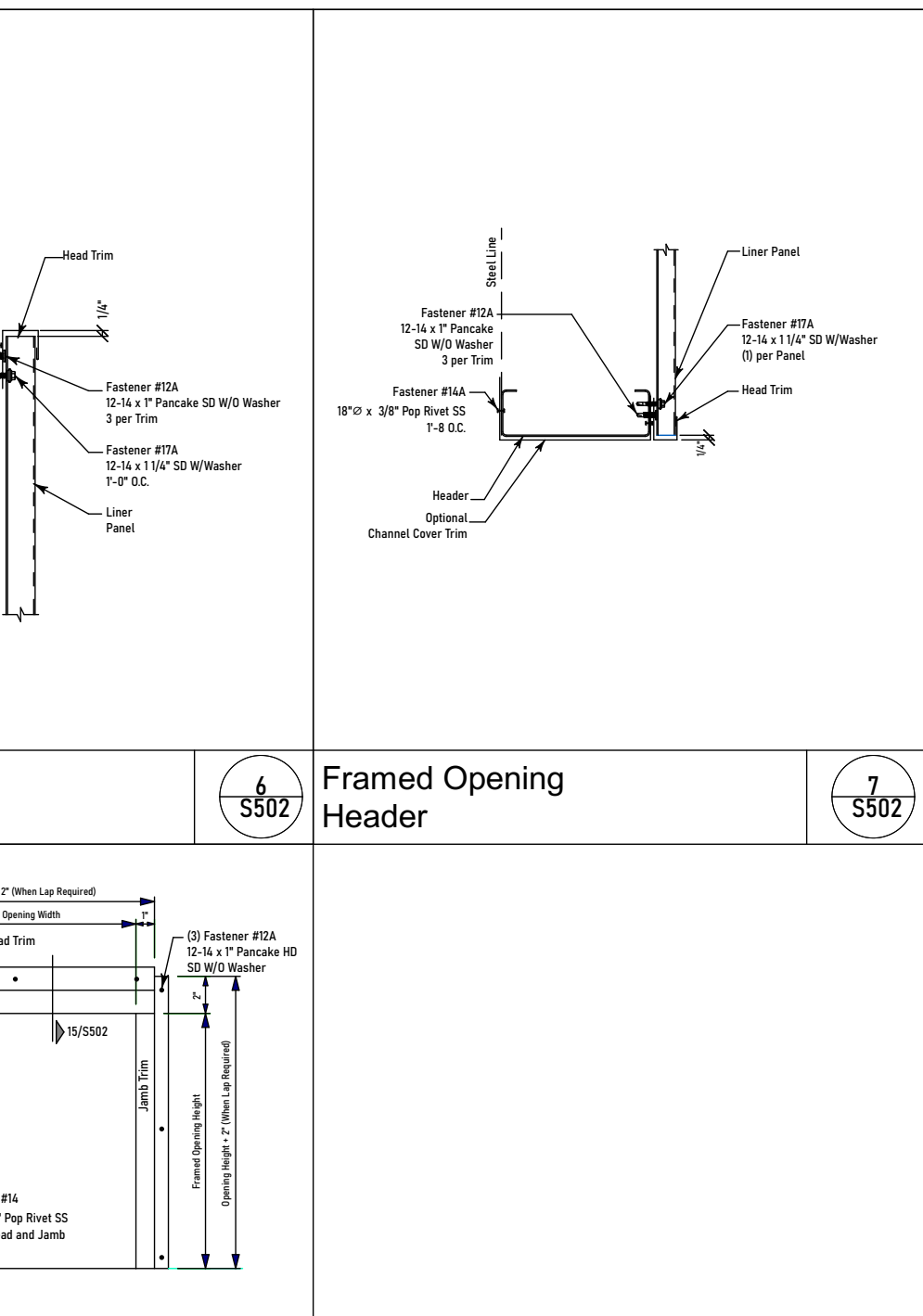
Typical 2 Story Wall Section S502



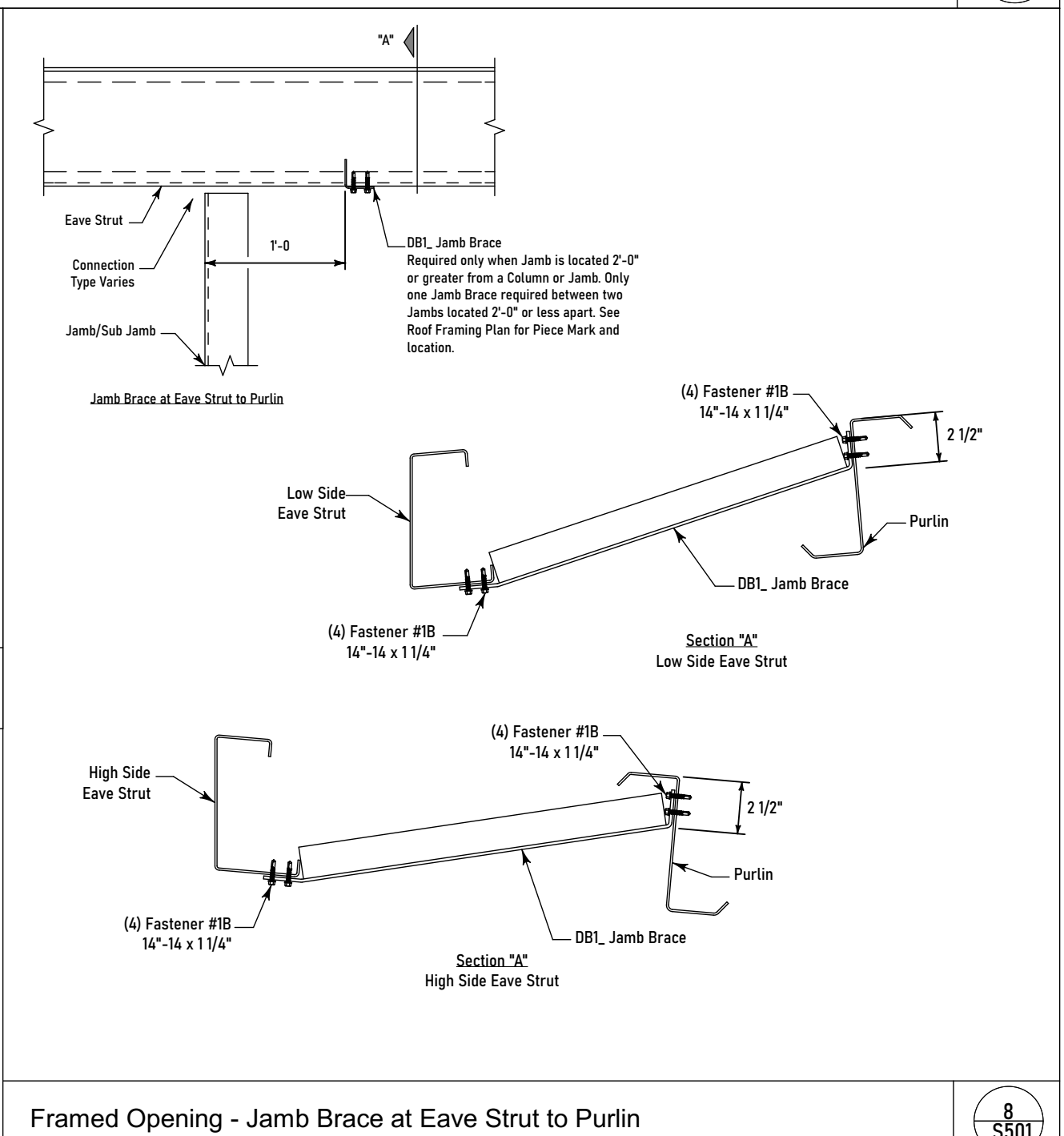
Framed Opening Jamb S502



Framed Opening Sill S502



Framed Opening Header S502



Framed Opening - Jamb Brace at Eave Strut to Purlin S501



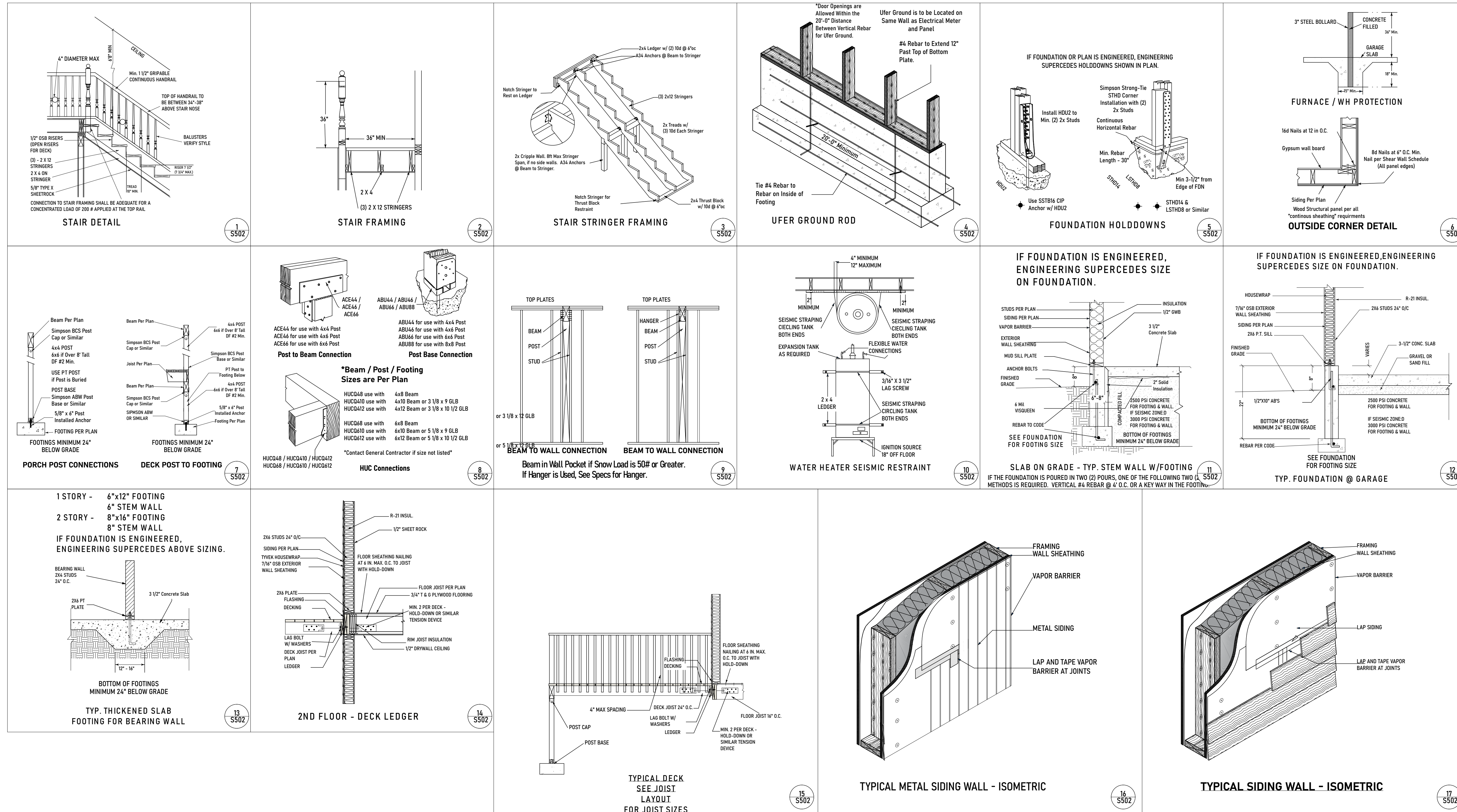
Four Sided Framed Opening S502



Three Sided Framed Opening S502

# TYPICAL DETAILS

ALL DETAILS/NOTES MAY NOT APPLY. NOTES ON THE PLANS OR IN THE ENGINEER'S NOTES, DETAILS AND DRAWINGS SUPERCEDE THESE. DETAILS REFLECT THE MINIMUM VALUES OF THE 2015 IRC. DETAILS ARE NOT TO SCALE. DETAILS ARE DRAWN TO CODE MINIMUM. ENERGY CREDIT OPTIONS CHOSEN BY THE BUILDER/HOMEOWNER THAT REQUIRE GREATER R VALUES SHALL SUPERCEDE MINIMUM VALUES NOTED IN THE DETAILS.



**DESIGNER INFORMATION**

Designer Name: \_\_\_\_\_  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Designer Phone: \_\_\_\_\_  
 Designer E-Mail: \_\_\_\_\_  
 Designer Website: www.backfortybuildings.com

**BUILDER INFORMATION**

Builder Name: RAINES RESIDENCE  
 Builder Phone: \_\_\_\_\_  
 Builder Email: \_\_\_\_\_  
 Builder Website: \_\_\_\_\_

**CLIENT INFORMATION**

Client Name: RAINES  
 Client Phone: \_\_\_\_\_  
 Client Email: \_\_\_\_\_

**PROJECT INFORMATION**

Job #: 24-414  
 Project Name: WILLOW CREEK  
 Site Address: \_\_\_\_\_  
 City/State: NORTH CAROLINA

**DESIGN CRITERIA**

**PLAN AREAS**

**SQ FT TOTALS**

**LIVING AREAS**

1ST FLOOR - 2640 Sq Ft  
 2ND FLOOR - 597 Sq Ft  
**TOTAL LIVING - 3237 Sq Ft**

**NON-LIVING AREAS**

PORCH, FRONT COVERED - 952 Sq Ft  
 PORCH, SIDE COVERED - 1848 Sq Ft  
**TOTAL NON-LIVING - 2800 Sq Ft**

**TOTALS**

**TOTAL LIVING / NON - 6037 Sq Ft**

**DRAWINGS INDEX**

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ALL NOTES MAY NOT APPLY. NOTES ON THE PLANS OR IN THE ENGINEER'S NOTES AND DRAWINGS SUPERCEDE THESE DETAILS. DETAILS NOT TO SCALE.

## GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2021 IRC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2021 IRC, 2018 WSEC AND 2020 IEC SHALL BE USED. THE BUILDER/OWNER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES. WRITTEN DIMENSIONS ON THESE DRAWINGS HAVE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB. GARAGE AREAS, PORCHES, DECKS & FIREPLACE ENCLOSURES ARE NOT INCLUDED IN LIVING AREA SQ FT. THE GENERAL CONTRACTOR/ HOME OWNER IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR. THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED. INSTALL CAULKING AT FLOOR AND PLATE LINES. OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES. EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 50 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS. PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT. THE BUILDER/OWNER SHALL VERIFY PROPERTY CORNERS BEFORE STARTING EXCAVATION. SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/ STRENGTHS FROM NON-SPECIFIED MANUFACTURERS. THE OWNER/BUILDER MAY SUBSTITUTE MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL. PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

## FLOOR PLANS NOTES:

IMPORTANT: ACTUAL DESIGN AND LAYOUT INCLUDING COLORS, TEXTURES AND UPGRADES MAY DIFFER FROM MLS LISTINGS AND CONTRACTUAL DOLLAR AMOUNT ON THE SELECTION SHEETS. ALL SELECTION SHEET ALLOWANCES ARE TO SUPERSEDEWHAT IS REPRESENTED ON THE APPROVED PLANS. DIMENSIONS: EXTERIOR DIMENSIONS ARE FROM OUTSIDE OF WALL STUD TO OUTSIDE OF WALL STUD. INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. EXTERIOR WALLS: ALL EXTERIOR WALLS TO BE 2x6 @ 24" O.C. UNLESS OTHERWISE NOTED. INTERIOR WALLS: ALL INTERIOR WALLS TO BE 2x4 @ 24" O.C. UNLESS OTHERWISE NOTED. PLUMBING WALLS: ALL PLUMBING WALLS TO BE 2x6 @ 24" O.C. AND ARE NOTED ON PLAN. ANGLED WALLS: ALL ANGLED WALLS ARE AT A 45 DEG INCREMENT UNLESS OTHERWISE NOTED. FRAMING: FRAMING PACKAGE TO BE DIMENSIONAL LUMBER UNLESS OTHERWISE NOTED. EMERGENCY EGRESS: AT LEAST ONE WINDOW IN EACH BEDROOM SHALL HAVE AN EMERGENCY EGRESS OF NO LESS THAN 5.7 SQ FT W/ THE BOTTOM OF THE WINDOW OPENING NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT. WALKWAYS: THERE IS A MIN. CLEAR WIDTH AT ALL HALLWAYS, STAIRS, TO KITCHEN ISLANDS, ETC... CEILING HEIGHTS: FIRST FLOOR TO HAVE 9' PLATE HEIGHT. SECOND FLOOR TO HAVE 8' PLATE HEIGHT. BASEMENT TO HAVE 8' PLATE HEIGHT, UNLESS OTHERWISE NOTED. HEADER HEIGHTS: WINDOW HEADERS TO BE PLACED AT 93 3/8" UNLESS OTHERWISE NOTED. ATTIC ACCESS: ATTIC ACCESS NOTED ON PLAN. EXTERIOR STEPS: NUMBER OF EXTERIOR STEPS SHOWN AT ANY EXIT OR PORCH ARE APPROXIMATE AND WILL VARY PER LOT. UPGRADES: CONSULT WITH CONTRACTOR/HOMEOWNER FOR ADDITIONAL UPGRADES SUCH AS APPLIANCES, PLUMBING FIXTURES, FLOORING, ETC... SELECTION ITEMS: SELECTION ITEMS SHOWN ARE FOR REFERENCE ONLY. THIS INCLUDES APPLIANCES, CABINET LOCATIONS AND BUILT-INS ON PLAN MAY NOT BE INCLUDED. ELEVATIONS: ELEVATIONS SHOWN ARE FOR REFERENCE ONLY. APPROXIMATE GRADE, EXTERIOR STEPS, COLORS AND MATERIALS MAY VARY.

3D RENDERINGS ARE NOT TO SCALE; ALL 3D RENDERINGS ARE FOR ARTISTIC DEPICTION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN 3D RENDERINGS. 3D RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION. FINAL FINISHES SHALL BE CONFIRMED WITH THE HOME OWNER / CONTRACTOR PRIOR TO APPLICATION.

## NAILING NOTES:

JOIST TO SILL OR GIRDER	TOE NAIL (3)-8d
BRIDGING TO JOIST	TOE NAIL, EA. END (2)-8d
SOLE TO JOIST OR BULK'	FACE NAIL 16d @ 16"OC
STUD TO SOLE PLATE	TOE NAIL (4)-8d, END NAIL (2) 16d
TOP PLATE TO STUD	END NAIL (2)-16d
DOUBLE STUDS	FACE NAIL 16d @ 24" OC
DOUBLE TOP PLATES	FACE NAIL 16d @ 16" OC
CONTINUOUS HEADER, TWO PIECES	16d @ 16" OC ALONG EA. EDGE
BUILT-UP HEADER, TWO PIECES W/ 1/2" SPACER	16d @ 16" OC ALONG EA. EDGE
TOP PLATES, LAPS AND INTERSECTIONS	FACE NAIL (2)-16d
CEILING JOISTS TO PLATE	TOE NAIL (3)-8d
CONTINUOUS HEADER TO STUD	TOE NAIL (4)-8d
CEILING JOISTS, LAPS OVER PARTITIONS	FACE NAIL (3)-10d
CEILING JOISTS TO PARALLEL RAFTERS	FACE NAIL (3)-10d
RAFTER TO PLATE	TOE NAIL (2)-16d
1" BRACE TO EACH STUD AND PLATE	FACE NAIL (2)-8d
BUILT-UP CORNER STUDS	10d @ 24" OC
2" PLANKS	(2)-16d @ EA. BRG.
7/16" OSB ROOF AND WALL SHEATHING	EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC
7/16" OSB ROOF AND WALL EDGES	1 1/2" Staple @ 4" OC
SHEATHING	INTERMEDIATE 1 1/2" Staple @ 8" OC
3/4" PLYWOOD/OSB SUBFLOOR	EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC
2x MULTIPLE JOISTS - STAGGER @ 15" OC W/(2) @ EA. END OR SPLICE (3) OR FEWER 16d NAILS	
(4) OR MORE 1/2" DIA. M.B.	
W/ STANDARD NUT AND WASHERS	

## CARPENTRY:

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(1).

PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, BCI OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBG APPROVED.

## LUMBER SPECIES:

POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2 OR HF-#2. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2 OR HF-#2. ALL STUDS TO BE DF-#2 OR HF-#2 OR BETTER. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:

ROOF SHEATHING SHALL BE 1/2" CDX INT-APA RATED 32/16 OR 7/16" OSB. WALL SHEATHING SHALL BE 1/2" INT-APA RATED 15/32" OR 7/16" OSB. FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB. 1" JOISTS SHALL BE MANUFACTURED BY TRUS JOIST, BCI OR ENGINEER APPROVED EQUAL. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

## ROOF FRAMING / TRUSS NOTES:

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS. ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP. ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS. ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER. ALL ROOF FRAMING 24" O.C. ATTIC VENTILATION: REQUIRED ABOVE HOUSE. 1 SQ FT PER 300 SQ FT OF CEILING UPLIFT LOAD REACTION THAT ARE IN EXCESS OF 175 LBS. MUST HAVE A MECHANICAL CONNECTOR CAPABLE OF RESISTING THE UPLIFT LOADS OF EACH TRUSS IN ACCORDANCE WITH THE 2015 IRC. MIN. SNOW LOAD 25 LBS PER SQUARE FOOT.

## FRAMING NOTES:

TYPICAL EXTERIOR WALL TO BE 2x6 SINGLE WALL OR DOUBLE WALL CONSTRUCTION. TYPICAL INTERIOR WALL TO BE 2x4 WALL CONSTRUCTION. SEE JOIST LAYOUT FOR JOIST TYPE AND SPACING. PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER SPACE AT VAULTED CEILING AREAS. PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS WHERE APPLICABLE. PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT. ALL WOOD IN CONTACT WITH CONCRETE OR SOIL SHALL BE PRESSURE TREATED. LUMBER SPECIES: 1. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE #2 or Better. 2. SILLS, PLATES BLOCKING, AND BRIDGING TO BE #2 or Better. 3. ALL STUDS TO BE #2 OR BETTER. 4. PLYWOOD/OSB SHEATHING SHALL BE AS FOLLOWS: ROOF SHEATHING SHALL BE 1/2" PLYWOOD OR 7/16" OSB. WALL SHEATHING SHALL BE 1/2" PLYWOOD OR 7/16" OSB. FLOOR SHEATHING SHALL BE 3/4" T & G OSB FOR JOISTS 16", 19.2" OR 24" O.C. & 1 1/8" FOR JOISTS 32" O.C. 5. 1-JOISTS SHALL BE MANUFACTURED BY 1-JOIST MANUFACTURER OR ENGINEER APPROVED EQUAL.

## GENERAL PLUMBING & HVAC NOTES:

HVAC SHALL HAVE ONE ZONE, UNLESS OTHERWISE NOTED. METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING. "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F. WATER SOFTENER UNIT, IF INCLUDED, SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE. EACH HOSE BIBB SHALL BE EQUIPPED WITH A BACK FLOW PREVENTION DEVICE. HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED TO CODE.

## RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 36". HAND RAILS MAY ENCROACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH. TREADS SHALL HAVE A MIN. WIDTH OF 10". RISERS SHALL HAVE A MAX. RISE OF 7 3/4". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8". STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL. STAIRWAYS HAVING LESS THAN 3 RISERS DO NOT REQUIRE A HAND RAIL. 36" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 30" BELOW. RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

## WINDOW AND DOOR NOTES:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH THE BOTTOM OF THE WINDOW OPENING NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH. 24" MINIMUM ELEVATION OF WINDOW OPENING ABOVE SECOND LEVEL FINISHED FLOOR.

INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING

DOORS BETWEEN LIVING AND NON-LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A FIRE RATING OF 20 MINUTES. DOOR SHALL BE SELF CLOSING.

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS.

## GRADING NOTES:

- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- FINAL GRADE TO CONVEY SURFACE DRAINAGE TO STREET.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.
- PLACE FILL SLOPES WITH A GRADIENT STEEPER THAT 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

## Concrete Notes:

All footings to rest on clean, firm undisturbed soil. Proposed construction areas should be cleared & grubbed of all organic topsoil & vegetation 1. Concrete dimensions are typically to face of wall. 2. All concrete slabs in conditioned space shall be minimum 4" thick placed over 6 mil poly vapor barrier over a minimum 4" bed of compacted gravel/sand. 3. Provide Anchor Bolts sizes as indicated (min. 1/2" dia) on these drawings, at top of concrete foundation walls at a minimum of 1'-0" from corners and maximum 6'-0" O.C. for balance of perimeter walls, two per plate minimum. 4. All concrete footings shall bear on undisturbed virgin soil or engineered fill, at least 2' below grade with presumptive bearing capacity of 1,500 psf. 5. See Foundation for Footing Sizes. Typical Footing for a 1 Story shall be 12" Wide by 6" High. Foundation wall for a 1 Story shall be 6" Wide. Typical Footing for a 2 Story shall be 16" Wide by 8" High. Foundation wall for a 2 Story shall be 8" Wide. (See IRC table R403.1(1)) 6. NOTES ON THE PLAN OR ENGINEERING SHALL SUPERSEDE THESE NOTES OR DETAILS. 7. Rebar in footing, wall and slab shall be to local code. If the foundation is poured in two (2) pours, one of the two (2) following methods is REQUIRED. Vertical #4 Rebar @ 4' O.C. OR a key way in the footing. 8. Footings shall be stepped, if required, no greater than 1-foot vertical to 2-feet horizontal 9. All exterior continuous footings and pad bottoms shall extend to a minimum of 24" below grade to frost depth. 10. Concrete foundation walls that exceed 9'-0" in height must be reinforced with steel designed by a licensed Structural Engineer. 11. Joists may sit in recessed beam pockets or on top of foundation. 12. Slope garage slab 1/8" per foot towards garage door. 13. All Concrete shall have the minimum 28 day strength: Garage Slab 3000 psi - Basement Slab 3000 psi Exterior Slab 3000 psi - Foundation Slab 3000 psi Footings 2500 psi - Foundation Wall 2500 psi

## VENTILATION NOTES:

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES. ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 300 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION. EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL OR FLEXIBLE DUCTS, PROVIDE 50 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS. UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION. FOUNDATION VENTS SHALL NOT INTERFERE WITH DIRECT LOAD PATH OF COLUMNS. LOCATE ONE VENT WITHIN 3 FEET OF EACH CORNER OF THE BUILDING, EXCEPT ONE SIDE SHALL BE PERMITTED TO HAVE NO VENTS.

## KITCHEN AND CABINET NOTES:

CONFIRM STAIN COLOR & WOOD SPECIES WITH HOME OWNER PRIOR TO ORDERING. CONFIRM DOOR & DRAWER STYLES WITH HOME OWNER PRIOR TO ORDERING. INSTALL CROWN MOLDING ON SITE; MATCH CABINET COLOR; CONFIRM PROFILE AND DIMENSION WITH HOME OWNER. VERIFY APPLIANCE SPECIFICATIONS & OPENINGS. INSTALL HOOD AND ALL APPLIANCES PER MANUFACTURER SPECIFICATIONS. ALL APPLIANCES TO BE ON DEDICATED CIRCUITS. USE MIN 6" DUCT FOR HOOD. CONFIRM FINAL MATERIALS FOR BACKSPLASH AND COUNTERTOP WITH HOME OWNER PRIOR TO ORDERING

## EXTERIOR FINISH NOTES:

EXTERIOR FINISH TO BE STUCCO, FIBER CEMENT OR LP SIDING AND/OR SHAKE OVER 7/16 OSB. COLOR BY OWNER. ROOFING TO BE 30 YEAR 130 MPH RATED ARCH ASPHALT OVER 15# FELT, 7/16 OSB. COLOR BY OWNER. DECKING TO BE COMPOSITE OR WOOD. FINAL MATERIAL AND COLOR BY OWNER. CHIMNEYS ARE DECORATIVE AND PROVIDE FOR VENTING OF GAS FIREPLACES ONLY. ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE PER THE SITE PLAN. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.

## MISCELLANEOUS NOTES:

EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM OPENING WIDTH OF 20 IN. THE BOTTOM OF THE WINDOW OPENING NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT.

ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING

SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE.

PROVIDE COMBUSTION AIR VENTS (W/SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. U.N.O. ON PLANS. ATTIC - PER PLAN WALLS - PER PLAN FLOORS - PER PLAN

PROVIDE CRAWLSPACE VENTING TO MEET THE REQUIREMENTS OF THE 2015 EDITION OF THE I.R.C.

## ELECTRICAL NOTES:

BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES: 1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS. 2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS. 3. CIRCUITS SHALL BE VERIFIED WITH OWNER/BUILDER PRIOR TO WIRE INSTALLATION. 4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH OWNER/BUILDER. 5. FIXTURES TO BE SELECTED BY OWNER/BUILDER. 6. OUTLETS TO CODE.

## LOW VOLTAGE NOTES:

BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, CABLE, DATA, PHONE, AUDIO, ETC.

## LOW VOLTAGE/AUDIO: (IF INCLUDED)

- LOCATE SPEAKERS & AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL PROVIDED BY FLOOR
- AUDIO SPEAKERS TO BE APPROVED BY BUILDER/OWNER.
- LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY BUILDER/OWNER
- LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA/LOW VOLTAGE PANEL; SYSTEM TO BE APPROVED BY BUILDER/OWNER

HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/ OR SAVED, OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.



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BUILDING CO.

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## DESIGNER INFORMATION

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**RAINES RESIDENCE**

## CLIENT INFORMATION

<b>DRAWN FOR:</b>	RAINES
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Client Email	

## PROJECT INFORMATION

<b>JOB #:</b>	24-414
Project	WILLOW CREEK
Builder Job #	
Site Address	
City/State	NORTH CAROLINA

## DESIGN CRITERIA

## PLAN AREAS

## SQ. FT. TOTALS

<b>LIVING AREAS</b>	
1ST FLOOR -	2640 Sq Ft
2ND FLOOR -	597 Sq Ft
<b>TOTAL LIVING -</b>	<b>3237 Sq Ft</b>
<b>NON-LIVING AREAS</b>	
PORCH, FRONT COVERED -	953 Sq Ft
PORCH, SIDE COVERED -	1848 Sq Ft
<b>TOTAL NON-LIVING -</b>	<b>2800 Sq Ft</b>
<b>TOTALS</b>	
<b>TOTAL LIVING / NON -</b>	<b>6037 Sq Ft</b>

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Date Printed - 1/2/2025

## SHEET INFORMATION

SHEET TITLE:

**General Notes**

SHEET ID:

**GNO1**

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1) ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES 2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER/ OWNER TO CHECK FOR ANY ERROR OR OMISSIONS TO THE PLANS. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. 3) VERIFY LOCATION OF ALL ELECTRICAL FIXTURES AND OUTLETS. 4) VERIFY ALL BEAM SIZES AND LOCATIONS. 5) VERIFY GIRDER TRUSS LOCATION AND POINT LOADS. 6) VERIFY ALL FOOTING PAD LOCATIONS AND SIZES.