

BACK FORTY
BUILDING CO.

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DESIGNER INFORMATION	
Designer:	JOB
Project Name:	
Client Name:	
Address:	
City/State/Zip:	
Phone:	
Website:	www.back40building.com

BUILDER INFORMATION	
Builder:	RAINES RESIDENCE
Address:	
City/State/Zip:	
Phone:	
Website:	

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION	
Client Name:	
Address:	
City/State/Zip:	
Phone:	
Website:	

PROJECT INFORMATION	
Job #:	24-434
Architect:	
Interior Designer:	
Structural Engineer:	
MEP Engineer:	
Other:	

DESIGN CRITERIA	
Design Style:	
Material Palette:	
Color Scheme:	
Other:	

PLAN AREAS	
SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR -	2648 Sq Ft
2ND FLOOR -	899 Sq Ft
TOTAL LIVING -	3547 Sq Ft
NON-LIVING AREAS	
PORCH, FRONT COVERED -	952 Sq Ft
PORCH, SIDE COVERED -	954 Sq Ft
TOTAL NON-LIVING -	1906 Sq Ft
TOTALS	
TOTAL LIVING / NON -	5453 Sq Ft

DRAWINGS INDEX		
NO.	DESCRIPTION	DATE
01	3D PERSPECTIVE	1/2/2025
02	FOUNDATION PLAN	
03	FLOOR PLAN	
04	CEILING PLAN	
05	MECHANICAL PLAN	
06	ELECTRICAL PLAN	
07	PLUMBING PLAN	
08	EXTERIOR DETAILS	
09	INTERIOR DETAILS	
10	GENERAL NOTES	

Date Printed - 1/2/2025

SHEET INFORMATION
SHEET TITLE:
3D PERSPECTIVE

SHEET ID:
AE101

PAGE # - 1

ELEVATION ARCHITECTURAL NOTES	
Number	Note
AN01	Metal Roofing
AN02	Vertical Metal Siding



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DESIGNER INFORMATION	
Designer	JSH
Architect	
Structural	
Mechanical	
Electrical	
Plumbing	
Interior	
Exterior	
Website	www.backfortybuilding.com

BUILDER INFORMATION	
Builder	RAINES RESIDENCE
Address	
City	
State	
Zip	
Phone	
Website	

DRAWN FOR:
RAINES RESIDENCE

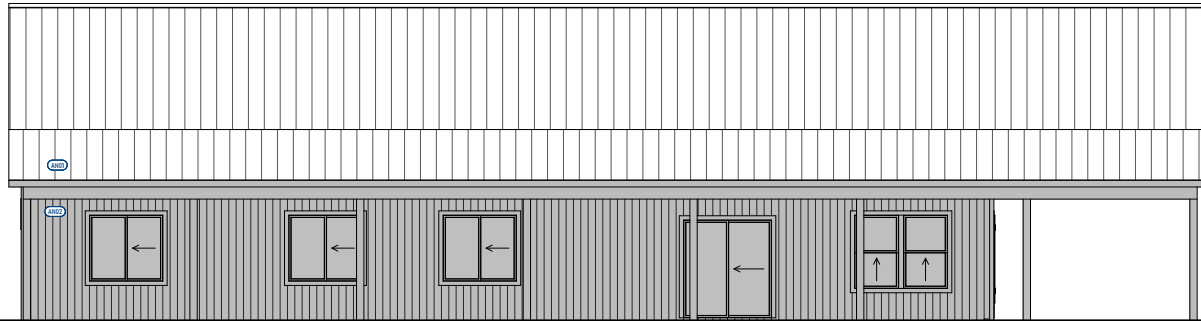
CLIENT INFORMATION	
Client	RAINES
Address	
City	
State	
Zip	
Phone	
Website	

PROJECT INFORMATION	
Job #	24-434
Project	
Location	
Start Date	
End Date	
Project Manager	
Top Scale	

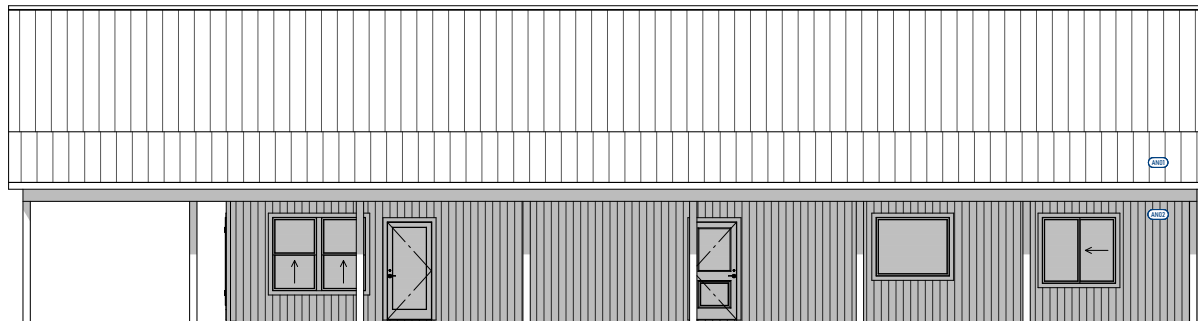
DESIGN CRITERIA	
Design	
Material	
Finish	
Color	
Texture	
Lighting	
Acoustics	
Energy	
Accessibility	
Other	

PLAN AREAS	
SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR -	2648 Sq Ft
2ND FLOOR -	897 Sq Ft
TOTAL LIVING -	3545 Sq Ft
NON-LIVING AREAS	
PORCH, FRONT COVERED -	952 Sq Ft
PORCH, SIDE COVERED -	948 Sq Ft
TOTAL NON-LIVING -	1900 Sq Ft
TOTALS	
TOTAL LIVING / NON -	5445 Sq Ft

DRAWINGS INDEX			
TYPE	NO.	DESCRIPTION	DATE
PLAN	1	1ST FLOOR	1/2/2025
PLAN	2	2ND FLOOR	1/2/2025
PLAN	3	FOUNDATION PLAN	1/2/2025
PLAN	4	SCREENING PLAN	1/2/2025
PLAN	5	SCREENING PLAN	1/2/2025
PLAN	6	SCREENING PLAN	1/2/2025
PLAN	7	SCREENING PLAN	1/2/2025
PLAN	8	SCREENING PLAN	1/2/2025
PLAN	9	SCREENING PLAN	1/2/2025
PLAN	10	SCREENING PLAN	1/2/2025
PLAN	11	SCREENING PLAN	1/2/2025
PLAN	12	SCREENING PLAN	1/2/2025
PLAN	13	SCREENING PLAN	1/2/2025
PLAN	14	SCREENING PLAN	1/2/2025
PLAN	15	SCREENING PLAN	1/2/2025
PLAN	16	SCREENING PLAN	1/2/2025
PLAN	17	SCREENING PLAN	1/2/2025
PLAN	18	SCREENING PLAN	1/2/2025
PLAN	19	SCREENING PLAN	1/2/2025
PLAN	20	SCREENING PLAN	1/2/2025



LEFT ELEVATION
Scale - 1/4" = 1'-0"



RIGHT ELEVATION
Scale - 1/4" = 1'-0"

DISCLAIMER:
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REQUIREMENTS TO PROVIDE STRUCTURAL ENGINEERING
LOCALLY FOR BUILDING PERMITS.

Date Printed - 1/2/2025

SHEET INFORMATION

SHEET TITLE

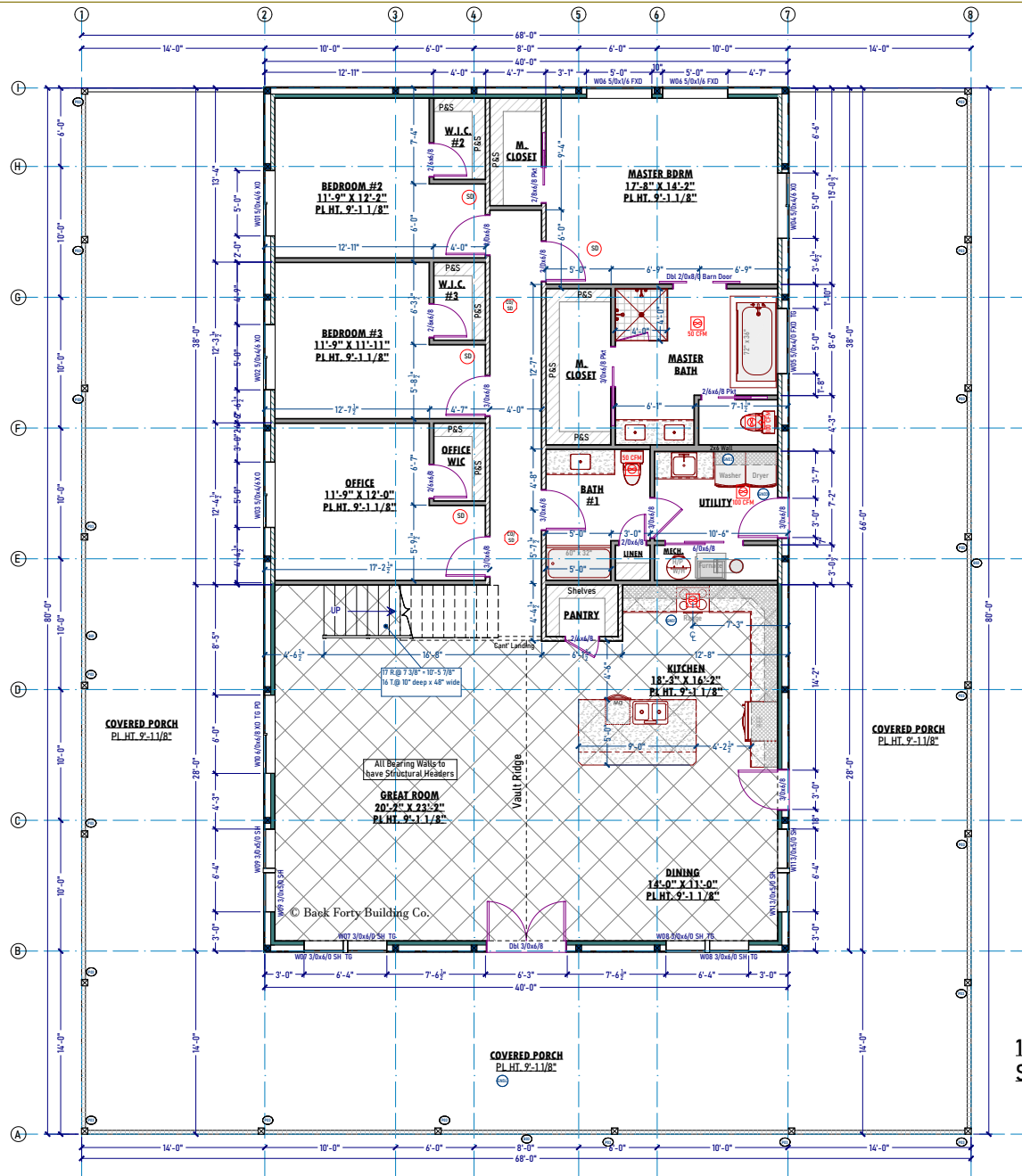
Elevations

SHEET ID:

AE103

PAGE #:

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GENERAL NOTES SCHEDULE	
Number	Note
GNO1	100 CFM Range Exhaust Fan
GNO2	Water Hammer Arrestor
GNO3	Whole House Fan
GNO4	Porch & Patio slabs sit minimum of 2" below final floor on the interior w/1% grade away from structure



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 DESIGNER INFORMATION
 Designer: [Redacted]
 Project Name: [Redacted]
 Project Address: [Redacted]
 Project City: [Redacted]
 Project State: [Redacted]
 Project Zip: [Redacted]
 Project Phone: [Redacted]
 Project Email: [Redacted]
 Project Website: [Redacted]

BUILDER INFORMATION
 Builder Name: RAINES RESIDENCE
 Builder Address: [Redacted]
 Builder City: [Redacted]
 Builder State: [Redacted]
 Builder Zip: [Redacted]
 Builder Phone: [Redacted]
 Builder Email: [Redacted]

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION
 Client Name: [Redacted]
 Client Address: [Redacted]
 Client City: [Redacted]
 Client State: [Redacted]
 Client Zip: [Redacted]
 Client Phone: [Redacted]
 Client Email: [Redacted]

PROJECT INFORMATION
 Job #: 24-434
 Project Name: [Redacted]
 Project Address: [Redacted]
 Project City: [Redacted]
 Project State: [Redacted]
 Project Zip: [Redacted]

PLAN AREAS
SQ. FT. TOTALS
LIVING AREAS
 1ST FLOOR - 2840 Sq Ft
 2ND FLOOR - 899 Sq Ft
 TOTAL LIVING - 3739 Sq Ft
NON-LIVING AREAS
 PORCH, FRONT COVERED - 192 Sq Ft
 PORCH, SIDE COVERED - 948 Sq Ft
 TOTAL NON-LIVING - 1140 Sq Ft
TOTALS
 TOTAL LIVING / NON - 4879 Sq Ft

DRAWINGS INDEX
 Title Block 1
 1ST FLOOR PLAN 1
 2ND FLOOR PLAN 1
 3RD FLOOR PLAN 1
 4TH FLOOR PLAN 1
 5TH FLOOR PLAN 1
 6TH FLOOR PLAN 1
 7TH FLOOR PLAN 1
 8TH FLOOR PLAN 1
 9TH FLOOR PLAN 1
 10TH FLOOR PLAN 1
 11TH FLOOR PLAN 1
 12TH FLOOR PLAN 1
 13TH FLOOR PLAN 1
 14TH FLOOR PLAN 1
 15TH FLOOR PLAN 1
 16TH FLOOR PLAN 1
 17TH FLOOR PLAN 1
 18TH FLOOR PLAN 1
 19TH FLOOR PLAN 1
 20TH FLOOR PLAN 1
 21ST FLOOR PLAN 1
 22ND FLOOR PLAN 1
 23RD FLOOR PLAN 1
 24TH FLOOR PLAN 1
 25TH FLOOR PLAN 1
 26TH FLOOR PLAN 1
 27TH FLOOR PLAN 1
 28TH FLOOR PLAN 1
 29TH FLOOR PLAN 1
 30TH FLOOR PLAN 1
 31ST FLOOR PLAN 1
 32ND FLOOR PLAN 1
 33RD FLOOR PLAN 1
 34TH FLOOR PLAN 1
 35TH FLOOR PLAN 1
 36TH FLOOR PLAN 1
 37TH FLOOR PLAN 1
 38TH FLOOR PLAN 1
 39TH FLOOR PLAN 1
 40TH FLOOR PLAN 1
 41ST FLOOR PLAN 1
 42ND FLOOR PLAN 1
 43RD FLOOR PLAN 1
 44TH FLOOR PLAN 1
 45TH FLOOR PLAN 1
 46TH FLOOR PLAN 1
 47TH FLOOR PLAN 1
 48TH FLOOR PLAN 1
 49TH FLOOR PLAN 1
 50TH FLOOR PLAN 1
 51ST FLOOR PLAN 1
 52ND FLOOR PLAN 1
 53RD FLOOR PLAN 1
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 62ND FLOOR PLAN 1
 63RD FLOOR PLAN 1
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 65TH FLOOR PLAN 1
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 67TH FLOOR PLAN 1
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 70TH FLOOR PLAN 1
 71ST FLOOR PLAN 1
 72ND FLOOR PLAN 1
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 75TH FLOOR PLAN 1
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 77TH FLOOR PLAN 1
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 89TH FLOOR PLAN 1
 90TH FLOOR PLAN 1
 91ST FLOOR PLAN 1
 92ND FLOOR PLAN 1
 93RD FLOOR PLAN 1
 94TH FLOOR PLAN 1
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 97TH FLOOR PLAN 1
 98TH FLOOR PLAN 1
 99TH FLOOR PLAN 1
 100TH FLOOR PLAN 1

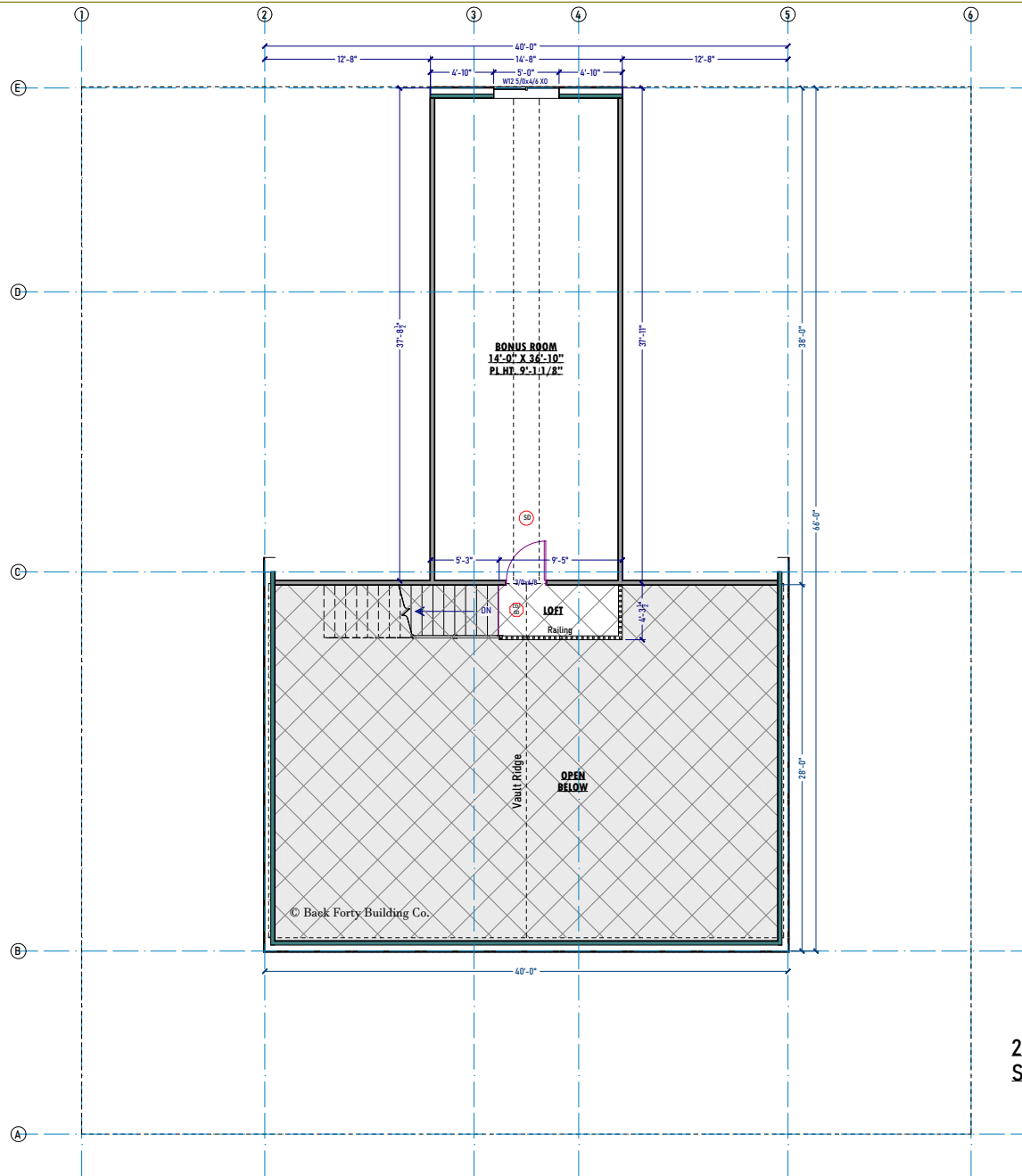
1ST LEVEL FLOOR PLAN
 Scale - 1/4" = 1'-0"

DISCLAIMER:
 THESE PLANS HAVE BEEN DESIGNED TO BE USED IN ANY PART OF THE USA. REFER TO LOCAL BUILDING REQUIREMENTS TO PROVIDE STRUCTURAL ENGINEERING LOCALLY FOR BUILDING PERMITS.

RAISED CEILING AREA	PLATE HEIGHT
PRIMARY RAISED	RAISED CEILING AREA
SECONDARY RAISED	PLATE HEIGHT
VAULTED CEILING AREA	

Date Printed - 1/2/2025
 SHEET INFORMATION
 SHEET TITLE:
Main Floor Plan

SHEET ID:
AE201
 PAGE # - 4



GENERAL NOTES SCHEDULE	
Number	Note
GNO1	100 CFM Range Exhaust Fan
GNO2	Water Hammer Arrestor
GNO3	Whole House Fan
GNO4	Porch & Patio slabs sit minimum of 2" below final floor on the interior w/1% grade away from structure



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DESIGNER INFORMATION	
Designer	JSH
Checker	
Drawn	
Scale	
Discipline	
Project No.	
Client Name	
Project Address	
Project City/State	
Project Phone	
Project Email	
Company Website	www.backfortybuilding.com

BUILDER INFORMATION	
Builder Name	RAINES RESIDENCE
Builder Address	
Builder Phone	
Builder Email	

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION	
Client Name	RAINES
Client Address	
Client Phone	
Client Email	

PROJECT INFORMATION	
Job #	24-434
Project Name	WILLOW CREEK
Project Address	
Project City/State	
Project Phone	
Project Email	

DESIGN CRITERIA	
Design Standard	
Design Code	
Design Date	

PLAN AREAS	
50 FT TOTALS	
LIVING AREAS	
1ST FLOOR	2640 Sq Ft
2ND FLOOR	897 Sq Ft
TOTAL LIVING	3537 Sq Ft
NON-LIVING AREAS	
POORCH FRONT COVERED	192 Sq Ft
POORCH SIDE COVERED	948 Sq Ft
TOTAL NON-LIVING	1140 Sq Ft
TOTALS	
TOTAL LIVING / NON-LIVING	4677 Sq Ft

DRAWINGS INDEX		
TYPE	NO.	DATE
ARCH	101	10/20/2024
ARCH	102	10/20/2024
ARCH	103	10/20/2024
ARCH	104	10/20/2024
ARCH	105	10/20/2024
ARCH	106	10/20/2024
ARCH	107	10/20/2024
ARCH	108	10/20/2024
ARCH	109	10/20/2024
ARCH	110	10/20/2024
ARCH	111	10/20/2024
ARCH	112	10/20/2024
ARCH	113	10/20/2024
ARCH	114	10/20/2024
ARCH	115	10/20/2024
ARCH	116	10/20/2024
ARCH	117	10/20/2024
ARCH	118	10/20/2024
ARCH	119	10/20/2024
ARCH	120	10/20/2024

2ND LEVEL FLOOR PLAN
Scale - 1/4" = 1'-0"

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<input checked="" type="checkbox"/>	RAISED CEILING AREA
<input checked="" type="checkbox"/>	PRIMARY RAISED PLATE HEIGHT
<input checked="" type="checkbox"/>	SECONDARY RAISED PLATE HEIGHT
<input checked="" type="checkbox"/>	VAULTED CEILING AREA

Date Printed - 1/2/2025

SHEET INFORMATION

SHEET TITLE

2nd Floor Plan

SHEET ID: **AE202**

PAGE #: 5

DESIGNER INFORMATION	
DESIGNER	JSM
DATE	
PROJECT	
CLIENT	
ADDRESS	
PHONE	
EMAIL	
WEBSITE	www.back40building.com

BUILDER INFORMATION	
BUILDER	RAINES RESIDENCE
ADDRESS	
PHONE	
EMAIL	

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION	
CLIENT	RAINES
ADDRESS	
PHONE	
EMAIL	

PROJECT INFORMATION	
JOB #	24-434
DATE	
PROJECT	

DESIGN CRITERIA

PLAN AREAS

SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR	2680 Sq Ft
2ND FLOOR	577 Sq Ft
TOTAL LIVING	3257 Sq Ft
NON-LIVING AREAS	
PORCH, FRONT COVERED	192 Sq Ft
PORCH, SIDE COVERED	948 Sq Ft
TOTAL NON-LIVING	2140 Sq Ft
TOTALS	
TOTAL LIVING / NON -	5397 Sq Ft

DRAWINGS INDEX

NO.	DATE	DESCRIPTION
001		CONCEPTUAL
002		PRELIMINARY
003		SCHEMATIC
004		PERMISSION PLAN
005		PERMISSIONS
006		PERMISSIONS PLAN
007		CONTRACT
008		CONTRACT
009		CONTRACT
010		CONTRACT
011		CONTRACT
012		CONTRACT
013		CONTRACT
014		CONTRACT
015		CONTRACT
016		CONTRACT
017		CONTRACT

Date Printed - 1/2/2025

SHEET INFORMATION

SHEET TITLE:
SCHEDULES

SHEET ID:

AE203

PAGE # 6

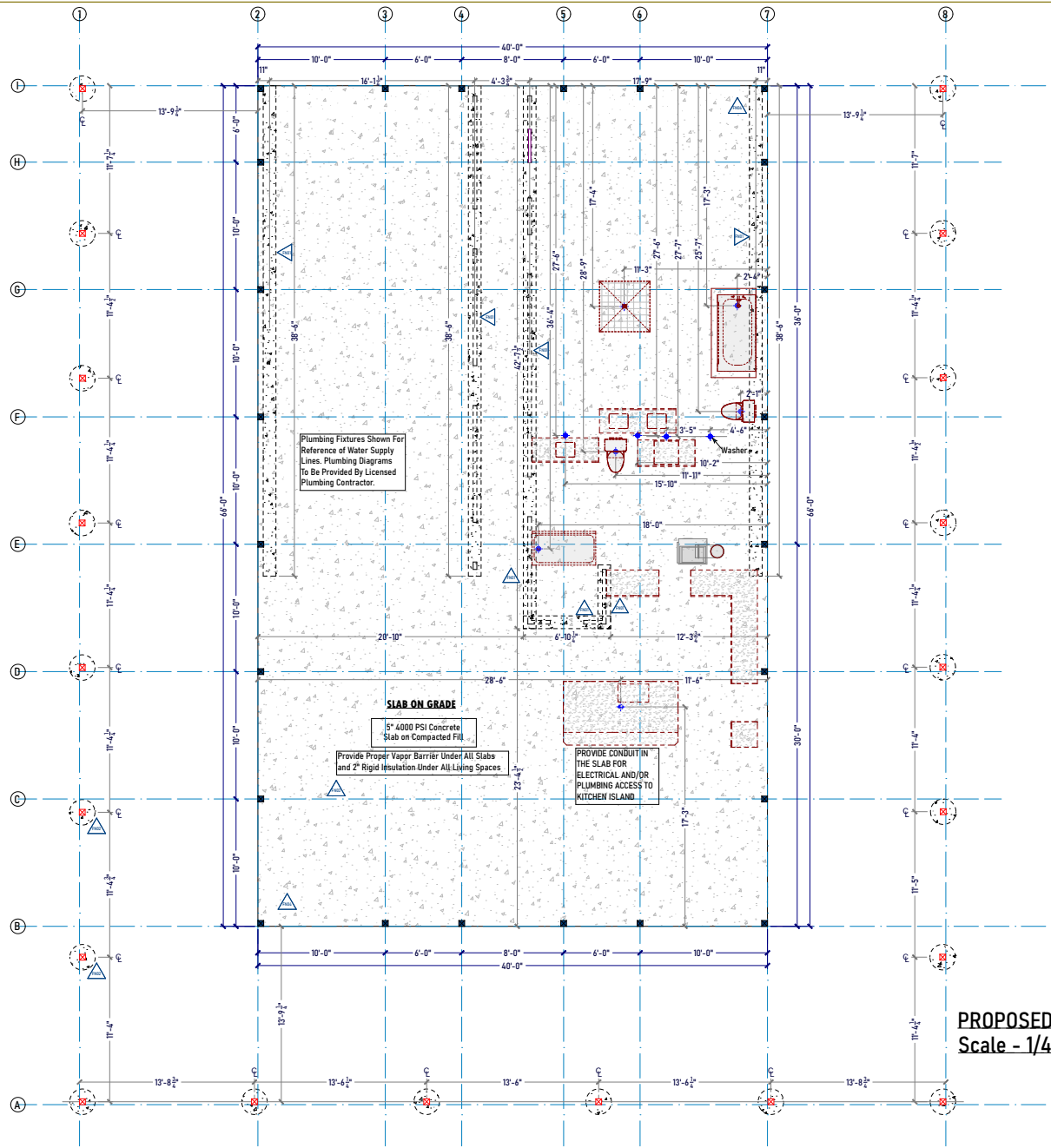
Window Schedule												
Number	Floor	Room Name	Label	SideLight/Transom	Qty	Type	Egress	Temp.	Sq Ft	Top	Bottom	Slab To Bottom
W01	1	Bedroom #2/Covered Porch	W01 5/0x4/6 XO		1	Right Sliding	Yes		22.5	84"	30"	
W02	1	Bedroom #3/Covered Porch	W02 5/0x4/6 XO		1	Right Sliding	Yes		22.5	84"	30"	
W03	1	Office/Covered Porch	W03 5/0x4/6 XO		1	Right Sliding	Yes		22.5	84"	30"	
W04	1	Master Bdrm/Covered Porch	W04 5/0x4/6 XO		1	Right Sliding	Yes		22.5	84"	30"	
W05	1	Master Bath/Covered Porch	W05 5/0x4/0 FXD TG		1	Fixed Glass		Yes	20	84"	36"	
W06	1	Master Bdrm	W06 5/0x1/6 FXD		2	Fixed Glass			7.5	94"	76"	
W07	1	Great Room/Covered Porch	W07 3/0x6/0 SH TG		2	Single Hung	Yes	Yes	18	84"	12"	
W08	1	Dining/Covered Porch	W08 3/0x6/0 SH TG		2	Single Hung	Yes	Yes	18	84"	12"	
W09	1	Great Room/Covered Porch	W09 3/0x5/0 SH		2	Single Hung	Yes	Yes	15	84"	24"	
W10	1	Great Room/Covered Porch	W10 6/0x6/8 XO TG PD		1	Right Sliding	Yes	Yes	40	80"	0"	
W11	1	Dining/Covered Porch	W11 3/0x5/0 SH		2	Single Hung	Yes	Yes	15	84"	24"	
W12	2	Bonus Room	W12 5/0x4/6 XO		1	Right Sliding	Yes		22.5	84"	30"	155 7/8"
Totals:									319.5			

Window Schedule

Exterior Door Schedule									
Number	Floor	Room Name	Qty	Label	Door Unit	Hinge	EX/IN	Fire	
D01	1	Great Room/Covered Porch	1	D01 3/0x4/8			Hidden (6)	EX	
D02	1	Kitchen/Covered Porch	1	3/0x4/8			Hidden (3)	EX	
D03	1	Utility/Covered Porch	1	3/0x4/8			Hidden (3)	EX	

Interior Door Schedule									
Number	Floor	Room Name	Qty	Label	Type	Hinge	EX/IN	Fire	
D01	1	Bedroom #2/Hall	1	3/0x6/8	Hinged	L	IN		
D02	1	Hall/Master Bdrm	1	3/0x4/8	Hinged	R	IN		
D03	1	Bedroom #3/Hall	1	3/0x4/8	Hinged	L	IN		
D04	1	Office/Hall	1	3/0x6/8	Hinged	L	IN		
D05	1	Bedroom #2/W.I.C. #2	1	2/6x6/8	Hinged	R	IN		
D06	1	Bedroom #3/W.I.C. #3	1	2/6x6/8	Hinged	R	IN		
D07	1	Office/Office WIC	1	2/6x6/8	Hinged	R	IN		
D08	1	M. Closet/Master Bdrm	1	2/8x6/8 Pkt	Pocket	L	IN		
D09	1	Master Bath/Master Bdrm	1	D01 2/0x8/0 Barn Door	Double Barn	L/R	IN		
D10	1	M. Closet/Master Bath	1	3/0x6/8 Pkt	Pocket	R	IN		
D11	1	Master Bath/Master Bath	1	2/6x6/8 Pkt	Pocket	R	IN		
D12	1	Hall/Bath #1	1	3/0x6/8	Hinged	R	IN		
D13	1	Bath #1/Utility	1	3/0x6/8	Hinged	R	IN		
D14	1	Linen/Bath #1	1	2/0x6/8	Hinged	R	IN		
D15	1	Pantry/Kitchen	1	2/6x6/8	Hinged	R	IN		
D16	1	Mech./Utility	1	6/0x6/8	Slider	R	IN		
D17	2	Bonus Room/Loft	1	3/0x6/8	Hinged	R	IN		

Door Schedule



STEM WALL & FOOTING SCHEDULE	
Number	Note
FN01	Typ. 12" x 8" Concrete Interior wall bearing footing (or other locally approved method)
FN02	Typ. 24" DIA x 48" D Conc. Footing (Size & Depth based on location, loads, and soil bearing capacity - to be determined by Contractor)
FN03	All exterior continuous footings and pad bottoms shall follow local requirements based on code and frost depth.
FN04	Steel Column Locations Per Steel Building Mfr

Plumbing Fixtures Shown For Reference of Water Supply Lines. Plumbing Diagrams To Be Provided By Licensed Plumbing Contractor.

SLAB ON GRADE
 5" 4000 PSI Concrete Slab on Compacted Fill
 Provide Proper Vapor Barrier Under All Slabs and 2" Rigid Insulation Under All Living Spaces

PROVIDE CONDUIT IN THE SLAB FOR ELECTRICAL AND/OR PLUMBING ACCESS TO KITCHEN ISLAND.

PROPOSED FOUNDATION PLAN
 Scale - 1/4" = 1'-0"

DISCLAIMER: THESE PLANS HAVE BEEN DESIGNED TO BE USED IN ANY PART OF THE USA. REFER TO LOCAL BUILDING REQUIREMENTS TO PROVIDE STRUCTURAL ENGINEERING LOCALLY FOR BUILDING PERMITS.

☒	Side Wall Columns
☒	End Wall Columns
+	Plumbing Drop

LEGEND



DESIGNER INFORMATION

Author	JSM
Checker	
Designer	
Project Manager	
Client	
Company	www.backfortybuilding.com

BUILDER INFORMATION

Builder	RAINES RESIDENCE
Address	
City	
State	
Zip	

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION

Client Name	RAINES
Client Address	
Client City	
Client State	
Client Zip	

PROJECT INFORMATION

Job #	24-434
Project Name	WILLOW CREEK
Project Address	
Project City	
Project State	
Project Zip	

DESIGN CRITERIA

Design Standard	
Design Load	
Design Wind	
Design Snow	

PLAN AREAS

SQ FT TOTALS	
LIVING AREAS	
1500 FLOOR	2640 Sq Ft
2000 FLOOR	895 Sq Ft
TOTAL LIVING	3535 Sq Ft
NON-LIVING AREAS	
PORCH, FRONT COVERED	192 Sq Ft
PORCH, SIDE COVERED	948 Sq Ft
TOTAL NON-LIVING	1140 Sq Ft
TOTALS	
TOTAL LIVING / NON	4675 Sq Ft

DRAWINGS INDEX

NO.	DESCRIPTION	DATE
1	FOUNDATION PLAN	11/2/2024
2	FOUNDATION PLAN	11/2/2024
3	FOUNDATION PLAN	11/2/2024
4	FOUNDATION PLAN	11/2/2024
5	FOUNDATION PLAN	11/2/2024
6	FOUNDATION PLAN	11/2/2024
7	FOUNDATION PLAN	11/2/2024
8	FOUNDATION PLAN	11/2/2024
9	FOUNDATION PLAN	11/2/2024
10	FOUNDATION PLAN	11/2/2024

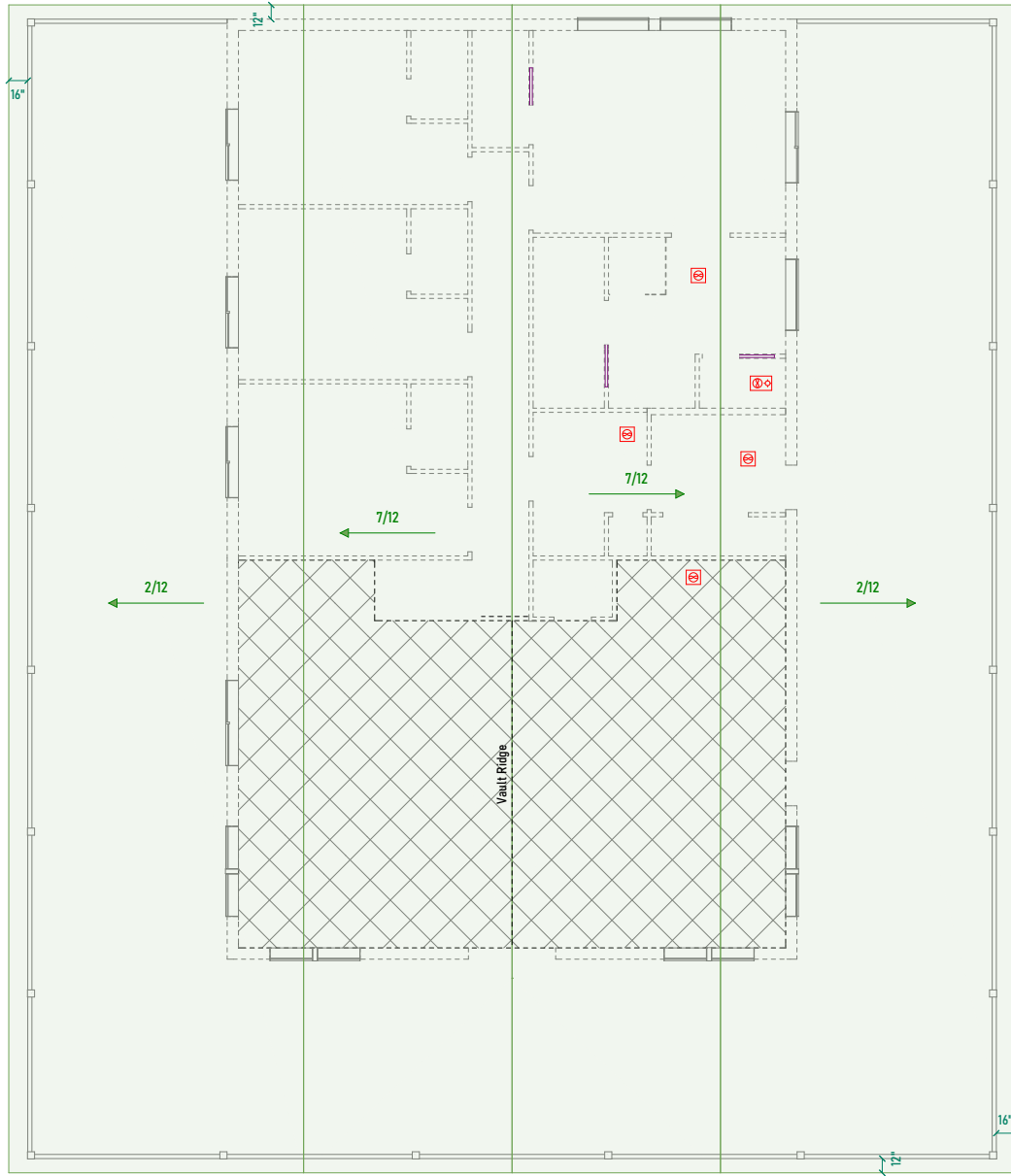
Date Printed - 1/2/2025

SHEET INFORMATION

SHEET TITLE: Foundation Plan

SHEET ID: **SB201**
 PAGE #: 7

Manufactured
Trusses w/
Pitch As Noted



Minimum Roof Ventilation
5440 Sq Ft of Roof Area / 300
18.13 Sq Ft Roof Venting
= 27 Vents (Intake And Exhaust) OR
= 73 Ln Ft of Ridge Vent AND
9.07 Sq Ft Soffit Venting

ROOF PLAN
Scale - 1/4" = 1'-0"

DISCLAIMER:
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ANY PART OF THE USA. REFER TO LOCAL BUILDING
REQUIREMENTS TO PROVIDE STRUCTURAL ENGINEERING
LOCALLY FOR BUILDING PERMITS.

ROOF-FAN VENT LOCATION:
WHEN POSSIBLE, ALL FAN DUCTS & PLUMBING
STACKS SHALL TERMINATE ON THE BACK SIDE OF
THE ROOF.

PORCH BEAM SCHEDULE - See Calc Sheets or Engineering for Sizes				
Number	Label	Floor	Qty	Length Top
B01	B.B.O. Porch Beam	1	1	95'
B02	B.B.O. Porch Beam	1	1	96"
B03	B.B.O. Porch Beam	1	1	81 1/4"

POST SCHEDULE				
Number	Label	Floor	Qty	Length Top
P03	6x6 Post	1	20	99 1/8"



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BUILDING CO.

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DESIGNER INFORMATION	
Designer	JSE
Checker	
Drawn	
Scale	
Sheet No.	
Project No.	
Company	www.backfortybuilding.com

BUILDER INFORMATION	
Builder	RAINES RESIDENCE
Address	
City	
State	
Zip	

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION	
Client Name	RAINES
Client Address	
Client City	
Client State	
Client Zip	

PROJECT INFORMATION	
Job #	24-434
Project Name	WILLIAM CREEK
Project Address	
Project City	
Project State	
Project Zip	

DESIGN CRITERIA

PLAN AREAS

SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR	2640 Sq Ft
2ND FLOOR	897 Sq Ft
TOTAL LIVING	3537 Sq Ft
NON-LIVING AREAS	
PORCH, FRONT COVERED	952 Sq Ft
PORCH, SIDE COVERED	948 Sq Ft
TOTAL NON-LIVING	1900 Sq Ft
TOTALS	
TOTAL LIVING / NON-LIVING	5437 Sq Ft

DRAWINGS INDEX

NO.	DATE	DESCRIPTION	BY
1		PRELIMINARY	JSE
2		REVISED	JSE
3		REVISED	JSE
4		REVISED	JSE
5		REVISED	JSE
6		REVISED	JSE
7		REVISED	JSE
8		REVISED	JSE
9		REVISED	JSE
10		REVISED	JSE
11		REVISED	JSE
12		REVISED	JSE
13		REVISED	JSE
14		REVISED	JSE

Date Printed - 1/2/2025

SHEET INFORMATION

SHEET TITLE

Roof Plan & Sched

SHEET ID:

A204

PAGE #:

8

DESIGNER INFORMATION	
Designer:	Back Forty Building Co.
Project Name:	Raines Residence
Project Address:	
Client Name:	
Client Address:	
Client Phone:	
Client Email:	
Website:	www.back40building.com

BUILDER INFORMATION	
Builder Name:	Raines Residence
Builder Address:	
Builder Phone:	
Builder Email:	

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION	
Client Name:	Raines
Client Address:	
Client Phone:	
Client Email:	

PROJECT INFORMATION	
Job #:	24-434
Architect:	Willow Green
Architect Address:	
Architect Phone:	
Architect Email:	

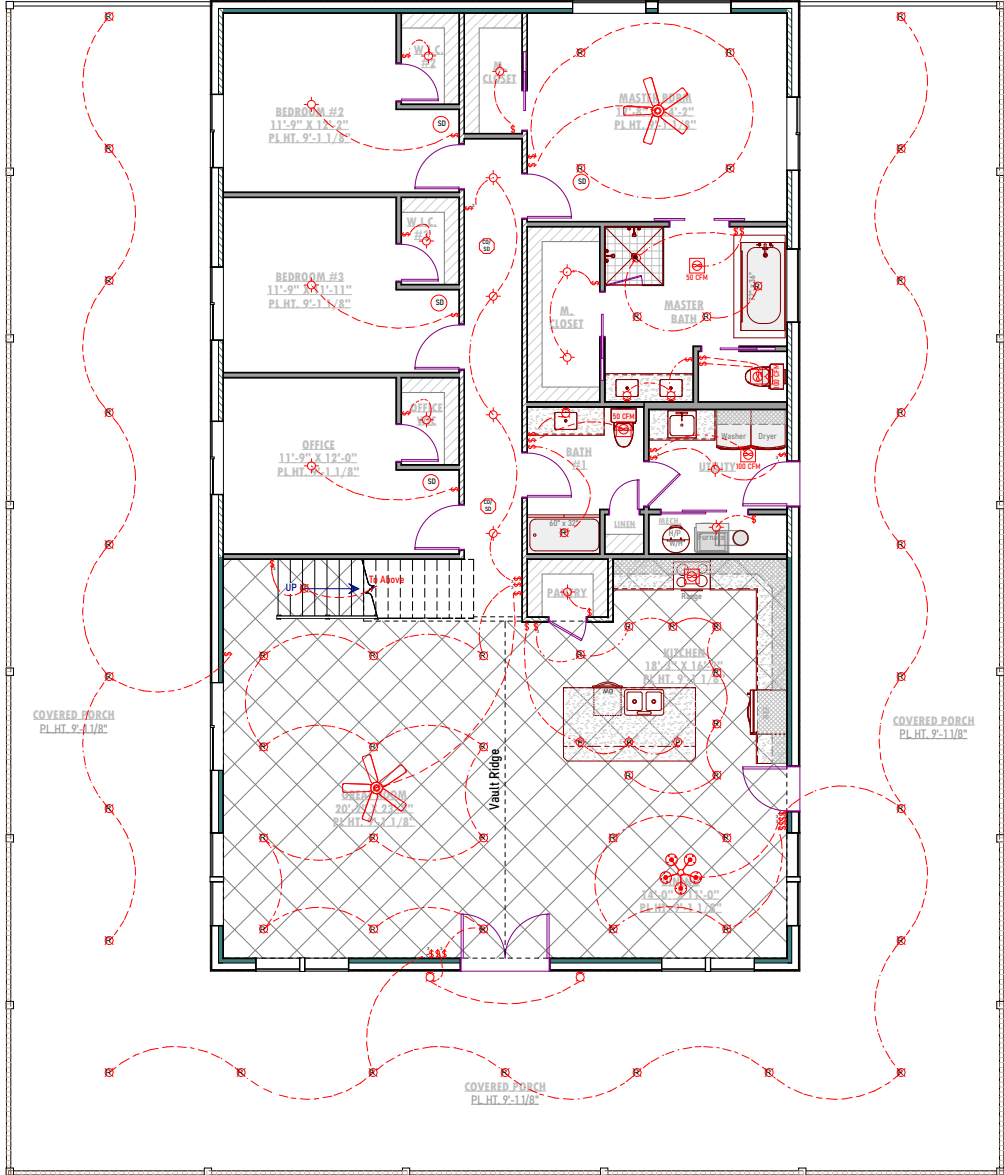
DESIGN CRITERIA	
Design Criteria:	

PLAN AREAS	
SOA ET TOTALS	
LIVING AREAS	
1ST FLOOR -	2848 Sq Ft
2ND FLOOR -	899 Sq Ft
TOTAL LIVING -	3747 Sq Ft
NON-LIVING AREAS	
PORCH FRONT COVERED -	192 Sq Ft
PORCH SIDE COVERED -	948 Sq Ft
TOTAL NON-LIVING -	1140 Sq Ft
TOTALS	
TOTAL LIVING / NON -	4887 Sq Ft

DRAWINGS INDEX	
PLAN - SHEET	NO.
1ST FLOOR	1
2ND FLOOR	2
3RD FLOOR	3
4TH FLOOR	4
5TH FLOOR	5
6TH FLOOR	6
7TH FLOOR	7
8TH FLOOR	8
9TH FLOOR	9
10TH FLOOR	10
11TH FLOOR	11
12TH FLOOR	12
13TH FLOOR	13
14TH FLOOR	14
15TH FLOOR	15
16TH FLOOR	16
17TH FLOOR	17
18TH FLOOR	18
19TH FLOOR	19
20TH FLOOR	20
21ST FLOOR	21
22ND FLOOR	22
23RD FLOOR	23
24TH FLOOR	24
25TH FLOOR	25
26TH FLOOR	26
27TH FLOOR	27
28TH FLOOR	28
29TH FLOOR	29
30TH FLOOR	30
31ST FLOOR	31
32ND FLOOR	32
33RD FLOOR	33
34TH FLOOR	34
35TH FLOOR	35
36TH FLOOR	36
37TH FLOOR	37
38TH FLOOR	38
39TH FLOOR	39
40TH FLOOR	40
41ST FLOOR	41
42ND FLOOR	42
43RD FLOOR	43
44TH FLOOR	44
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47TH FLOOR	47
48TH FLOOR	48
49TH FLOOR	49
50TH FLOOR	50

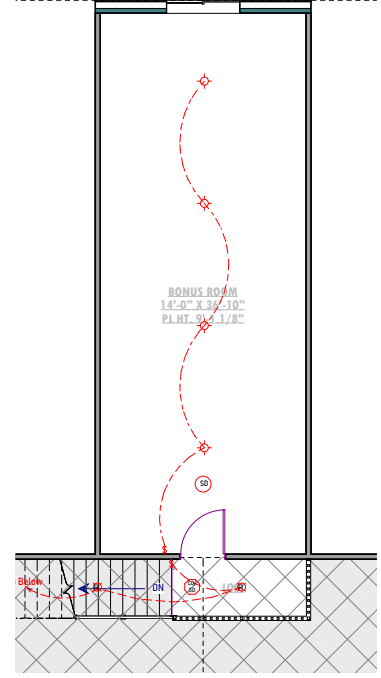
Date Printed - 1/2/2025
SHEET INFORMATION
SHEET TITLE:
1st Flr Lighting

SHEET ID:
E-201
PAGE #: 9



1ST FLOOR PROPOSED LIGHTING PLAN
Scale - 1/4" = 1'-0"

DISCLAIMER:
THESE PLANS HAVE BEEN DESIGNED TO BE USED IN ANY PART OF THE USA. REFER TO LOCAL BUILDING REQUIREMENTS TO PROVIDE STRUCTURAL ENGINEERING LOCALLY FOR BUILDING PERMITS.



BONUS ROOM PROPOSED LIGHTING PLAN
Scale - 1/4" = 1'-0"

Symbol	Description
	Ceiling Fan
	Chandelier Light Fixture
	Hanging Light Fixture
	Sconce Light Fixture
	Star Light Fixture
	Tube Light Fixture
	Smoke Detector, CO, Smoke/CO
	Electrical Panel, Low Volt Panel
	Thermostat, Alarm Control Unit
	Intercom, Doorbell
	Audio Video Control Panel, Switch
	Speakers, Ceiling Mount, Wall Mount
	Security Camera
	Ventilation Fans
	Recessed Light Fixtures
	Flush Mount Light Fixture, Pendant
	Semi-Flush Light Fixture, Flood Light
	Wall Mounted Light Fixture, Emergency Light & Exit
	100V Outlets, Duplex, W. Prod, 4FCI, 4FCI, Switch
	100V Outlets, 60A, 30A, Floor Outlet, Breaker
	100V Outlets, USB, WI, Switched
	220V Receptacle, Junction Box
	Switches Single Pole, 3-Way, 4-Way, Weather Proof
	Switches Double, Timer, Occupancy Sensor, Outlet
	Wall Jacks, TV, Telephone, CAT5, CAT5E, CAT6
	Electrical Connection Line, Low Volt Connection

ELECTRICAL LEGEND

ELECTRICAL NOTES:
BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:
1. ELECTRICAL RECEPTABLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE GFI ORG. F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH OWNER/BUILDER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH OWNER/BUILDER.
5. FIXTURES TO BE SELECTED BY OWNER/BUILDER.
6. OUTLETS TO CODE.

LOW VOLTAGE NOTES:
BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, CABLE, DATA, PHONE, AUDIO, ETC.
LOW VOLTAGE/VIDEO IF INCLUDED:
1. LOCATE SPEAKERS & AUDIO CONTROL AS INDICATED IN THE PLAN. RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR.
2. AUDIO SPEAKERS TO BE APPROVED BY BUILDER/OWNER.
3. LOCATE SECURITY PANELS AS INDICATED IN THE PLAN. SYSTEM TO BE APPROVED BY BUILDER/OWNER.
4. LOCATE JACKS AS INDICATED IN THE PLAN. INSTALL DATA/LOW VOLTAGE PANEL. SYSTEM TO BE APPROVED BY BUILDER/OWNER.

Symbol	Description
	STRUCTURAL NOTES
	MECHANICAL NOTES
	PLUMBING NOTES
	HVAC NOTES
	RAISED CEILING AREA
	VAULTED CEILING AREA

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2021 IRC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2021 IRC, 2018 WEEC AND 2020 IRC SHALL BE USED. THE BUILDER/OWNER SHALL VERIFY THAT ALL CONDITIONS ARE CONSISTENT WITH BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWNLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES. VERIFY DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB. GARAGE AREAS, PORCHES, DECKS & FIREPLACE ENCLOSURES ARE NOT INCLUDED IN LIVING AREA SQ FT. THE GENERAL CONTRACTOR/HOME OWNER IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONTRACTOR MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECTS DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR. THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED. INSTALL CALLING OUT FLOOR AND PLATE LINES, OPENINGS IN WALLS, CORNER STUD CAVITIES AND AROUND SODD AND WINDOW ROUGH OPENING CAVITIES. EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 50 CFM (MIN) FANS TO PROVIDE A 45 DEGREE INCREASE IN METAL BATHS CONTAINING TUB AND /OR SHOWERS AND IN LAUNDRY ROOMS. PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS. NOT OTHERWISE PROVIDED SUPPORT THE BUILDER/OWNER SHALL VERIFY PROPERTY CORNERS BEFORE STARTING EXCAVATION. MANUFACTURERS AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING EQUIVALENT APPLIANCES OF EQUAL QUALITY, WEIGHTS/TENSILE STRENGTHS FROM NON-SPECIFIED MANUFACTURERS. THE OWNER/BUILDER MAY SUBSTITUTE MATERIALS PROVIDED THEY MEET CURRENT BUILD, CODE, AND ARE APPLIED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL. PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

FLOOR PLANS NOTES

IMPORTANT: ACTUAL DESIGN AND LAYOUT INCLUDING COLORS, TEXTURES AND UPGRADES MAY DIFFER FROM MATERIAL LISTINGS AND CONTRACTOR COLLAR AMOUNT ON THE SELECTION SHEETS. ALL SELECTION SHEET ALLOWANCES ARE TO SUPERCEDE WHAT IS REPRESENTED ON THE APPROVED PLANS. DIMENSIONS EXTERIOR DIMENSIONS ARE FROM OUTSIDE OF WALL STUD TO OUTSIDE OF WALL STUD. INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. EXTERIOR WALLS: ALL EXTERIOR WALLS TO BE 2X6 @ 24" O.C. UNLESS OTHERWISE NOTED. INTERIOR WALLS: ALL INTERIOR WALLS TO BE 2X4 @ 24" O.C. UNLESS OTHERWISE NOTED. PLUMBING WALLS: ALL PLUMBING WALLS TO BE 2X6 @ 24" O.C. AND ARE NOTED ON PLAN. ANGLD WALLS: ALL ANGLD WALLS ARE AT A 45 DEG INCREMENT UNLESS OTHERWISE NOTED. FRAMING FRAMING PACKAGE TO BE DIMENSIONAL LUMBER UNLESS OTHERWISE NOTED. EMERGENCY EGRESS: AT LEAST ONE WINDOW IN EACH BEDROOM SHALL HAVE AN EMERGENCY EGRESS OF LESS THAN 5.7 SQ FT W/ THE BOTTOM OF THE WINDOW OPENING NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT. WALLWAYS: THERE IS A MIN. CLEAR WIDTH AT ALL HALLWAYS, STAIRS, TO KITCHEN ISLANDS, ETC... CEILING HEIGHTS: FIRST FLOOR TO HAVE 9' PLATE HEIGHT. SECOND FLOOR TO HAVE 9' PLATE HEIGHT. BASEMENT TO HAVE 8' PLATE HEIGHT, UNLESS OTHERWISE NOTED. HEADER HEIGHTS: WINDOW HEADERS TO BE PLACED AT 93 3/8" UNLESS OTHERWISE NOTED. ATTIC ACCESS: ATTIC ACCESS NOTED ON PLAN. EXTERIOR STEPS: NUMBER OF EXTERIOR STEPS SHOWN AT ANY EXIT OR PORCH ARE APPROXIMATE AND WILL VARY PER LOT UPGRADES: CONSULT WITH CONTRACTOR/BUILDER/OWNER FOR ADDITIONAL UPGRADES SUCH AS APPLIANCES, PLUMBING FIXTURES, FLOORING, ETC... SELECTION ITEMS: SELECTION ITEMS SHOWN ARE FOR REFERENCE ONLY. THIS INCLUDES APPLIANCES, CABINET LOCATIONS AND BUILT-INS OR PLAN MAY NOT BE INCLUDED. ELEVATIONS: ELEVATIONS SHOWN ARE FOR REFERENCE ONLY. APPROXIMATE GRADE, EXTERIOR STEPS, COLORS AND MATERIALS MAY VARY.

30 RENDRINGS ARE NOT TO SCALE. ALL 30 RENDRINGS ARE FOR ARTISTIC DEFINITION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN 30 RENDRINGS. 30 RENDRINGS SHALL NOT BE USED FOR CONSTRUCTION. FINAL FINISHES SHALL BE COORDINATED WITH THE HOME OWNER / CONTRACTOR PRIOR TO APPLICATION. NAILING NOTES:

Table with 2 columns: Description and Nail Specification. Includes items like JOIST TO SILL OR GIRDER BRIDGING TO JOIST, STUD TO SOLID PLATE, DOUBLE STUDS, DOUBLE STUD TOP PLATES, CONTINUOUS HEADER, TWO PIECES W/ 1/2" SPACER, TOP PLATES, LAPS AND INTERSECTIONS, CEILING JOISTS TO PLATE, CONTINUOUS HEADER TO STUD, CEILING JOISTS, LAPS OVER PARTITIONS, CEILING JOISTS TO PARALLEL RAFTERS, RAFTERS TO EACH STUD AND PLATE, BUILT-UP CORNER STUDS, 2" PLANKS, 7/8" OSB ROOF AND WALL, SHEATHING, 7/8" OSB ROOF AND WALL EDGES, 3/4" PLYWOOD OSB SUBFLOOR, 2x MULTIPLE JOISTS - STAGGER @ 15" OC W/ (2) EA. END OR SPLICE (3) OR FEWER @ 12" OC, (4) OR MORE 1/2" DIA. MB. W/ STANDARD NUT AND WASHERS.

CARPENTRY

SAFEN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAFEN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. CONCRETE SPECIFICALLY NOTED TO BE OF #2 OR BETTER. ALL WORK IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HJ OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL STEEL WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS. OR NOT DIPPED (GALVANIZED BOX NAILS). FRAMING NAILS SHALL BE PER IRC TABLE 2304.91 OR IRC TABLE RA2.30.

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PPO-188 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/2" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL HAVE EDGES SUPPORTED BY PLAYS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.2(1).

PRE-MANUFACTURED WOOD JOISTS: PRE-MANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, BO OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. PRE-MANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBO APPROVED.

LUMBER SPECIES: POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2 OR HF-#2. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER. SILL, PLATES BLOCKING, AND BRIDGING TO BE DF-#2 OR HF-#2. ALL STUDS TO BE DF-#2 OR HF-#2 OR BETTER. PLYWOOD SHEATHING SHALL BE AS FOLLOWS: ROOF SHEATHING SHALL BE 1/2" OSB INT-APA RATED 24/24 OR 7/8" OSB. WALL SHEATHING SHALL BE 1/2" INT-APA RATED 15/32" OR 7/8" OSB. FLOOR SHEATHING SHALL BE 1/2" OSB INT-APA RATED 24/24 OR 7/8" OSB. JOISTS SHALL BE MANUFACTURED BY TRUS JOIST, BO OR ENGINEER APPROVED EQUAL. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

ROOF FRAMING / TRUSS NOTES

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS. ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP. TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS. ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON FILE FOR FRAMING INSPECTION. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER. ALL ROOF FRAMING 24" O.C. ATTIC VENTILATION: REQUIRED ABOVE HOUSE. 1.50 FT PER 300 SQ FT OF CEILING UPLIFT LOAD REACTION THAT ARE IN EXCESS OF 175 LBS. MUST HAVE A MECHANICAL CONNECTOR CAPABLE OF RESISTING THE UPLIFT LOADS OF EACH TRUSS IN ACCORDANCE WITH THE 2015 IRC. MIN. SNOW LOAD 25 LBS PER SQUARE FOOT.

FRAMING NOTES

TYPICAL EXTERIOR WALL TO BE 2X6 WALL CONSTRUCTION. TYPICAL INTERIOR WALL TO BE 2X4 WALL CONSTRUCTION. USE JOIST LAYOUT FOR JOIST TYPE AND SPACING. PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER SPACE AT VAULTED CEILING AREAS. PROVIDE FIRE BLOCKING, BRAD STOPS AND APA RATED OSB. PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT. ALL WOOD IN CONTACT WITH CONCRETE OR SOIL SHALL BE PRESSURE TREATED. LUMBER SPECIES: 1. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE #2 or Better. 2. SILL, PLATES BLOCKING, AND BRIDGING TO BE #2 or Better. 3. ALL STUDS TO BE #2 OR BETTER. 4. PLYWOOD/OSB SHEATHING SHALL BE AS FOLLOWS: ROOF SHEATHING SHALL BE 1/2" PLYWOOD OR 7/8" OSB. WALL SHEATHING SHALL BE 1/2" PLYWOOD OR 7/8" OSB. FLOOR SHEATHING SHALL BE 3/4" T & G OSB FOR JOISTS 18", 19" OR 24" O.C. & 1 1/8" FOR JOISTS 32" O.C. 5. JOISTS SHALL BE MANUFACTURED BY J-1 JOIST MANUFACTURER OR ENGINEER APPROVED EQUAL.

GENERAL PLUMBING & HVAC NOTES:

HVAC SHALL HAVE ONE ZONE, UNLESS OTHERWISE NOTED. METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING. "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOISTS SHALL BE TAPED TO PREVENT BURST OR EXPLOSION TO WEATHER. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F. WATER SUSTAINER UNIT IF INCLUDED, SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE. EACH HOSE BIBB SHALL BE EQUIPPED WITH A BACK FLOW PREVENTION DEVICE. HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED TO CODE.

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 36". HAND RAILS MAY ENCRASH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH. STAIRS SHALL HAVE A MIN. WIDTH OF 36". RIGERS SHALL HAVE A MAX. RISE OF 7 3/4". STAIR TREADS MUST BE 1" UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8". TREADS SHALL HAVE MIN. 4" OF HEADROOM AT THE NOSE OF THE STAIR. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5' X 7" TYPE "X" GLASS W/ 1/2" TYPICAL WALL EDGE. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE FINISH OF TREADS AND LANDINGS. THE HAND GRIP PORTIONS OF HANDRAILS SHALL NOT BE LESS THAN 1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION. HANDRAILS SHALL BE CONTINUOUS OF THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO BALUST OR TERMINATE INTO A NEWEL POST. SAFETY TERMINAL STAIRWAYS HAVING LESS THAN 3 RISERS DO NOT REQUIRE A HAND RAIL. 3/4" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 30" BELOW. RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH.

WINDOW AND DOOR NOTES:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH THE BOTTOM OF THE WINDOW OPENING NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH. 24" MINIMUM ELEVATION OF WINDOW OPENING ABOVE SECOND LEVEL FINISHED FLOOR.

INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING. DOORS BETWEEN LIVING AND NON-LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A FIRE RATING OF 20 MINUTES. DOOR SHALL BE SELF CLOSING.

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS.

GRADE NOTES:

- 1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
- 2. PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION.
- 3. FINAL GRADE TO CONVEY SURFACE DRAINAGE TO STREET.
- 4. AREAS TO BE FILLED SHALL BE CLEANED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBSTRUCTION & MATERIAL AND STRIPPED TO TOP SOIL.
- 5. PLACE FILL SLOPES WITH A GRADIENT STEEPER THAT 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

Concrete Notes:

- All footings to rest on clean, firm undisturbed soil. Proposed construction areas should be cleared & grubbed of all organic topsoil & vegetation.
- Concrete dimensions are typically to face of wall.
- All concrete slabs in conditioned space shall be minimum 4" thick placed over 6 mil poly vapor barrier over a minimum 4" bed of compacted gravel/sand.
- Provide Anchor Bolts sizes as indicated (min. 1/2"x6") on these drawings, at top of concrete foundation walls at a minimum of 1'-0" from corners and maximum 6'-0" O.C. for balance of perimeter walls, two per plate minimum.
- All concrete footings shall bear on undisturbed virgin soil or engineered fill, at least 2' below grade with presumptive bearing capacity of 1,500 psi.
- See Foundation for Footing Sizes. Typical Footing for a 4 Story shall be 12" wide by 18" High. Foundation wall for a 4 Story shall be 16" wide by 8" High. Foundation wall for a 2 Story shall be 8" High. (See IRC table RA2.10.2).
- NOTES ON THE PLAN OR ENGINEERING SHALL SUPERSEDE THESE NOTES OR DETAILS.
- Rebar in footing, wall and slab shall be to local code. If the foundation is poured in two (2) pours, one of the two (2) following methods is REQUIRED. Vertical 4" Rebar @ 4' O.C. OR a key way in the footing.
- Footings shall be stepped, if required, no greater than 1'-foot vertical to 2'-foot horizontal.
- All exterior foundation footings and slab bottoms shall extend to a minimum of 24" below grade to frost depth.
- Concrete foundation walls that exceed 9'-0" in height must be reinforced with steel designed by a licensed Structural Engineer.
- Joists may sit in recessed beam pockets on top of foundation.
- Slope garage slab 1/8" per foot towards garage door.
- All concrete shall have the minimum 28 day strength: Garage Slab 3000 psi - Basement Slab 3000 psi Exterior Slab 3000 psi - Foundation Slab 3000 psi Footings 2500 psi - Foundation Wall 2500 psi.

VENTILATION NOTES:

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES. ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 300 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED VENTS W/ SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION. EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL OR FLEXIBLE DUCTS. PROVIDE 50 CFM (MIN) FANS TO PROVIDE A 45 DEGREE INCREASE IN METAL BATHS CONTAINING TUB AND /OR SHOWERS AND IN LAUNDRY ROOMS. UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 50 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAPPED INTO THE CONCRETE STEM WALLS & COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION. FOUNDATION VENTS SHALL NOT INTERFERE WITH DIRECT LOAD PATH OF COLUMNS. LOCATE ONE VENT WITHIN 3 FEET OF EACH CORNER OF THE BUILDING, EXCEPT ONE SIDE SHALL BE PERMITTED TO HAVE NO VENTS.

These plans were drawn to the owner's and/or builder's specifications and any changes made to them after prints are made will be done at the owner's and/or builder's expense and responsibility. The design drawings were not prepared or checked by a licensed engineer or architect. While every effort has been made in the preparation of this design to avoid mistakes, Back Forty Buildings will not be responsible for any damages resulting from the accuracy and overall integrity of the design plans. The owner/contractor must check and verify all dimensions and other plan details prior to construction and be solely responsible thereafter. NOTE THAT THE FINAL PRODUCT WILL NOT LOOK EXACTLY LIKE THESE PLANS AND THE FINAL PRODUCT WILL VARY IN APPEARANCE FROM THE PLANS AND THE ARTIST'S CONCEPTUAL DRAWINGS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES (7) IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER/OWNER TO CHECK FOR ANY ERROR OR OMISSIONS TO THE PLANS. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER DIMENSIONS TO THE PLAN. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER DIMENSIONS TO THE PLAN. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER DIMENSIONS TO THE PLAN. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER DIMENSIONS TO THE PLAN. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER DIMENSIONS TO THE PLAN.

KITCHEN AND CABINET NOTES:

CONFIRM STAIN COLOR & WOOD SPECIES WITH HOME OWNER PRIOR TO ORDERING. HOME OWNER TO CHOOSE DOOR & DRAWER STYLES WITH HOME OWNER PRIOR TO ORDERING. INSTALL CROWN MOLDING ON SITE, MATCH CABINET COLOR, CONFIRM PROFILE AND DIMENSION WITH THESE PLANS BEFORE ORDERING. VERIFY APPLIANCE SPECIFICATIONS & OPENINGS. INSTALL HOOD AND ALL APPLIANCES PER MANUFACTURER SPECIFICATIONS. ALL APPLIANCES TO BE INSTALLED ON DEDICATED CIRCUITS. USE MIN 4" DUCT FOR HOOD. CONFIRM FINAL MATERIALS FOR BACKSPLASH AND COUNTERTOP WITH HOME OWNER PRIOR TO ORDERING.

EXTERIOR FINISH NOTES:

EXTERIOR FINISH TO BE STUCCO, FIBER CEMENT OR LP SIDING AND/OR SHAKO OVER 7/16" COLOR. COLOR BY OWNER. ROOFING TO BE 30 YEAR 120 MPH RATED ASPHALT OVER 15# FELT, 7/16" OSB. COLOR BY OWNER. DECKING TO BE COMPOSITE OR WOOD. FINAL MATERIAL AND COLOR BY OWNER. CHIMNEYS ARE DECORATIVE AND PROVIDE FOR VENTING OF GAS FIREPLACES ONLY. ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE PER THE SITE PLAN. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.

MISCELLANEOUS NOTES:

EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM OPENING WIDTH OF 20 IN. IN THE BOTTOM OF THE WINDOW OPENING NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT. ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 40 IN. OF TUB OR SHOWER FLOOR, 40 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING.

SKYLIGHTS ARE TO BE GLAZED WITH TAMPED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 28 IN. AND FRAME IS TO BE ATTACHED TO A CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OR GRADE.

PROVIDE COMBUSTION AIR VENTS (W/SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.C.E. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

INSULATE ALL ACCESS DOORS/HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. UNLS ON PLANS: ATTIC - PER PLAN WALLS - PER PLAN FLOORS - PER PLAN

PROVIDE CRAWLSPACE VENTING TO MEET THE REQUIREMENTS OF THE 2015 EDITION OF THE I.R.C.

ELECTRICAL NOTES:

BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

- ELECTRICAL NOTES: 1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.C.E. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- 2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL LISTS.
- 3. CIRCUITS SHALL BE VERIFIED WITH OWNER/BUILDER PRIOR TO WIRE INSTALLATION.
- 4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH OWNER/BUILDER.
- 5. FUTURES TO BE SELECTED BY OWNER/BUILDER.
- 6. OUTLETS TO CODE.

LOW VOLTAGE NOTES:

LOW VOLTAGE/AUDIO: (IF INCLUDED) 1. LOCATE SPEAKERS AUDIO CONTROLS AS INDICATED IN THE PLAN. RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PLANK, SPECIFIED BY SYSTEM 2. AUDIO SYSTEM SHALL BE APPROVED BY BUILDER/OWNER. 3. LOCATE SECURITY PLANS AS INDICATED IN THE PLAN. SYSTEM TO BE APPROVED BY BUILDER/OWNER. 4. LOCATE JACKS AS INDICATED IN THE PLAN. INSTALL DATA/DW VOLTAGE PANEL, SYSTEM TO BE APPROVED BY BUILDER/OWNER.

HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR DAMENGE ITEMS OF VALUE TO BE REUSED AND/OR SAVED OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.



BACK FORTY BUILDING CO.

Table with columns: Designer Information and Designer Contact. Includes fields for Name, Address, Phone, Email, etc.

Table with columns: Builder Signature and Designer Signature. Includes fields for Name and Title.

Table with columns: Client Information and Client Contact. Includes fields for Name, Address, Phone, Email, etc.

RAINES RESIDENCE

Table with columns: Project Information and Project Contact. Includes fields for Job #, Address, Phone, Email, etc.

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Table with columns: Non-Living Areas and Non-Living Contact. Includes fields for Name, Address, Phone, Email, etc.

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Table with columns: Sheet Information and Sheet Contact. Includes fields for Name, Address, Phone, Email, etc.

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GENERAL NOTES