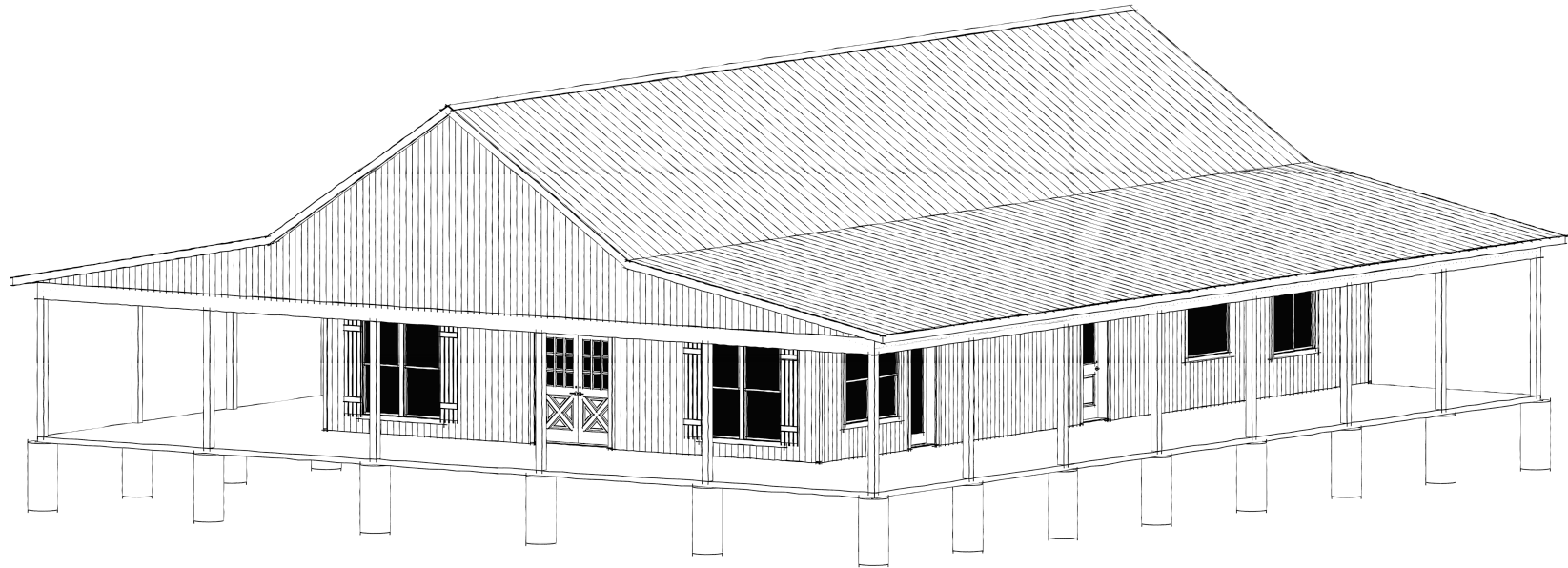


NOTICE TO CONTRACTOR
 This document is the property of Back Forty Building Co. and is subject to their regulations and restrictions.
 APPROVED
 I hereby certify that the above described building complies with all applicable codes and regulations.
 02/20/2025




Slab, walls and attic shall be insulated to 2018 NCR



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 BACK FORTY BUILDING CO. 2025

DESIGNER INFORMATION

Designer	JSH
Company	
Address	
City	
State	
Zip	
Phone	
Website	www.back40building.com

BUILDER INFORMATION

Builder	RAINES RESIDENCE
Address	
City	
State	
Zip	

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION

Client Name	
Address	
City	
State	
Zip	

PROJECT INFORMATION

Job #	24-434
Project Name	WILLIAM CREEK
Address	
City	
State	
Zip	

DESIGN CRITERIA

Design Criteria	
Design Criteria	
Design Criteria	

PLAN AREAS

SQ. FT. TOTALS

LIVING AREAS	
1ST FLOOR	2648 Sq Ft
2ND FLOOR	899 Sq Ft
TOTAL LIVING	3547 Sq Ft
NON-LIVING AREAS	
PORCH, FRONT COVERED	952 Sq Ft
PORCH, SIDE COVERED	954 Sq Ft
TOTAL NON-LIVING	1906 Sq Ft
TOTALS	
TOTAL LIVING / NON	5453 Sq Ft

DRAWINGS INDEX

NO.	DESCRIPTION	DATE
1	3D PERSPECTIVE	02/20/25
2	3D PERSPECTIVE	02/20/25
3	3D PERSPECTIVE	02/20/25
4	3D PERSPECTIVE	02/20/25
5	3D PERSPECTIVE	02/20/25
6	3D PERSPECTIVE	02/20/25
7	3D PERSPECTIVE	02/20/25
8	3D PERSPECTIVE	02/20/25
9	3D PERSPECTIVE	02/20/25
10	3D PERSPECTIVE	02/20/25

Date Printed - 1/2/2025

SHEET INFORMATION

SHEET TITLE:
3D PERSPECTIVE

SHEET ID:
AE101

PAGE # - 1

ELEVATION ARCHITECTURAL NOTES	
Number	Note
AN01	Metal Roofing
AN02	Vertical Metal Siding



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DESIGNER INFORMATION
 Designer: JCB
 Project Manager: []
 Architect: []
 Structural Engineer: []
 Mechanical Engineer: []
 Electrical Engineer: []
 Civil Engineer: []
 Professional Seal: []
 License No.: []
 State: []
 www.back40building.com

BUILDER INFORMATION
 BUILDER: RAINES RESIDENCE
 Architect: []
 Project Manager: []
 Structural Engineer: []
 Mechanical Engineer: []
 Electrical Engineer: []
 Civil Engineer: []
 Professional Seal: []
 License No.: []
 State: []

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION
 Owner: RAINES
 Project No.: []
 Address: []
 City: []
 State: []
 Zip: []

PROJECT INFORMATION
 JOB # 24-434
 Bill of Materials: []
 Material List: []
 Finish Schedule: []
 Top Sheet: []

DESIGN CRITERIA

PLAN AREAS

SQ. FT. TOTALS

AREA	SQ. FT.
LIVING AREAS	
1ST FLOOR -	2848 Sq Ft
2ND FLOOR -	897 Sq Ft
TOTAL LIVING -	3745 Sq Ft
NON-LIVING AREAS	
PORCH, FRONT COVERED -	952 Sq Ft
PORCH, SIDE COVERED -	924 Sq Ft
TOTAL NON-LIVING -	1876 Sq Ft
TOTALS	
TOTAL LIVING / NON -	5621 Sq Ft

DRAWINGS INDEX

TYPE	SHEET	QUANTITY
PLAN	1ST FLOOR	1
PLAN	2ND FLOOR	1
PLAN	FOUNDATION PLAN	1
PLAN	ROOF PLAN	1
PLAN	SCREEN PLAN	1
PLAN	FOUNDATION PLAN	1
PLAN	ROOF PLAN	1
PLAN	FOUNDATION PLAN	1
PLAN	FOUNDATION PLAN	1
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PLAN	FOUNDATION PLAN	1
PLAN	FOUNDATION PLAN	1
PLAN	FOUNDATION PLAN	1

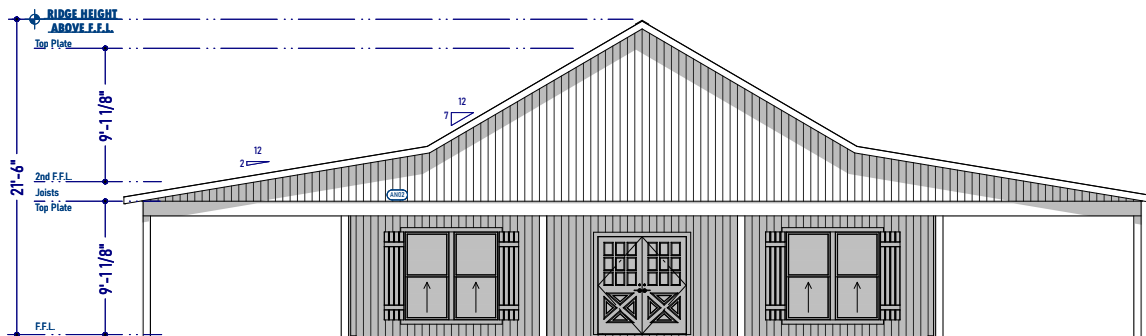
Date Printed - 1/2/2025

SHEET INFORMATION

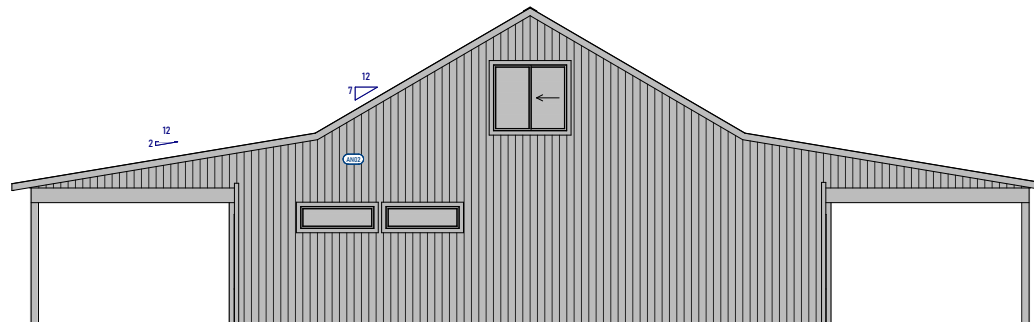
SHEET TITLE
 Elevations

SHEET ID:
AE102

PAGE # - 2



FRONT ELEVATION
 Scale - 1/4" = 1'-0"



BACK ELEVATION
 Scale - 1/4" = 1'-0"

DISCLAIMER:
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ELEVATION ARCHITECTURAL NOTES	
Number	Note
AN01	Metal Roofing
AN02	Vertical Metal Siding



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DESIGNER INFORMATION	
Designer:	JSH
Architect:	
Structural:	
Mechanical:	
Electrical:	
Plumbing:	
Interior:	
Exterior:	
Website:	www.backfortybuilding.com

BUILDER INFORMATION	
Builder:	RAINES RESIDENCE
Address:	
City:	
State:	
Zip:	
Phone:	
Email:	

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION	
Client:	RAINES
Address:	
City:	
State:	
Zip:	
Phone:	
Email:	

PROJECT INFORMATION	
Job #:	24-434
Project Name:	WILLOW CREEK
Address:	
City:	
State:	
Zip:	

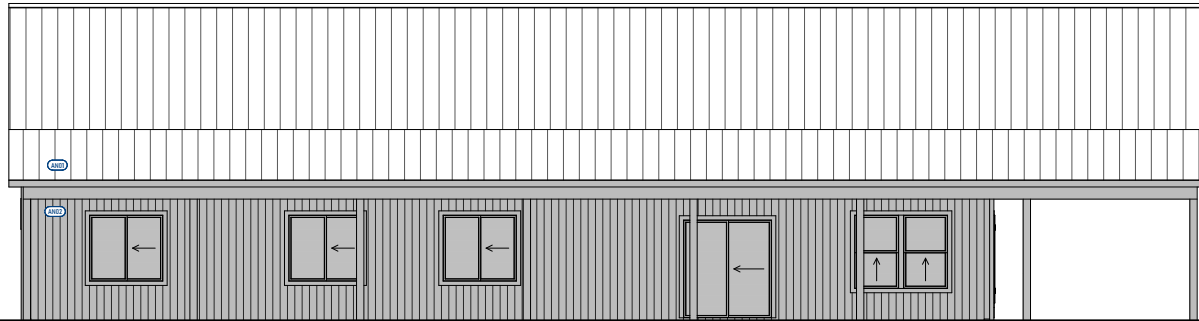
DESIGN CRITERIA

PLAN AREAS

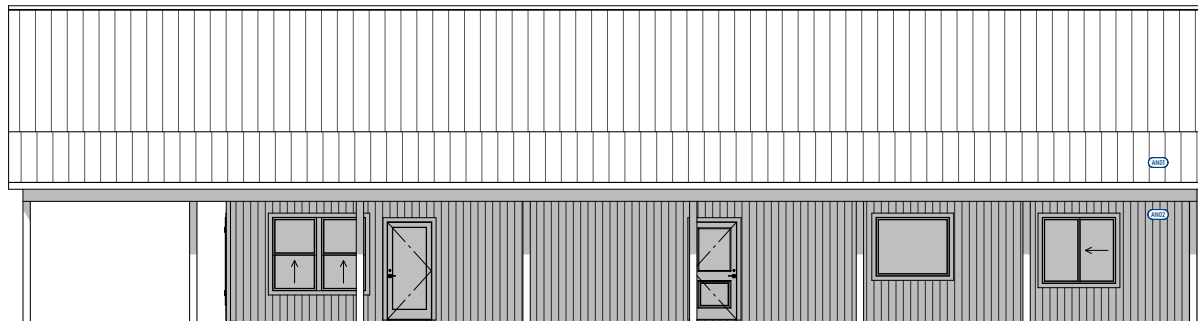
SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR -	2648 Sq Ft
2ND FLOOR -	897 Sq Ft
TOTAL LIVING -	3545 Sq Ft
NON-LIVING AREAS	
PORCH, FRONT COVERED -	952 Sq Ft
PORCH, SIDE COVERED -	948 Sq Ft
TOTAL NON-LIVING -	1900 Sq Ft
TOTALS	
TOTAL LIVING / NON -	5445 Sq Ft

DRAWINGS INDEX

TYPE	NO.	DESCRIPTION	DATE
PLAN	1	1ST FLOOR	1/2/2025
PLAN	2	2ND FLOOR	1/2/2025
PLAN	3	FOUNDATION PLAN	1/2/2025
PLAN	4	SCREENS	1/2/2025
PLAN	5	SCREENS - 2ND FLOOR	1/2/2025
PLAN	6	SCREENS - 1ST FLOOR	1/2/2025
PLAN	7	SCREENS - 2ND FLOOR	1/2/2025
PLAN	8	SCREENS - 1ST FLOOR	1/2/2025
PLAN	9	SCREENS - 2ND FLOOR	1/2/2025
PLAN	10	SCREENS - 1ST FLOOR	1/2/2025
PLAN	11	SCREENS - 2ND FLOOR	1/2/2025
PLAN	12	SCREENS - 1ST FLOOR	1/2/2025
PLAN	13	SCREENS - 2ND FLOOR	1/2/2025
PLAN	14	SCREENS - 1ST FLOOR	1/2/2025
PLAN	15	SCREENS - 2ND FLOOR	1/2/2025



LEFT ELEVATION
Scale - 1/4" = 1'-0"



RIGHT ELEVATION
Scale - 1/4" = 1'-0"

DISCLAIMER:
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Date Printed - 1/2/2025

SHEET INFORMATION

SHEET TITLE:

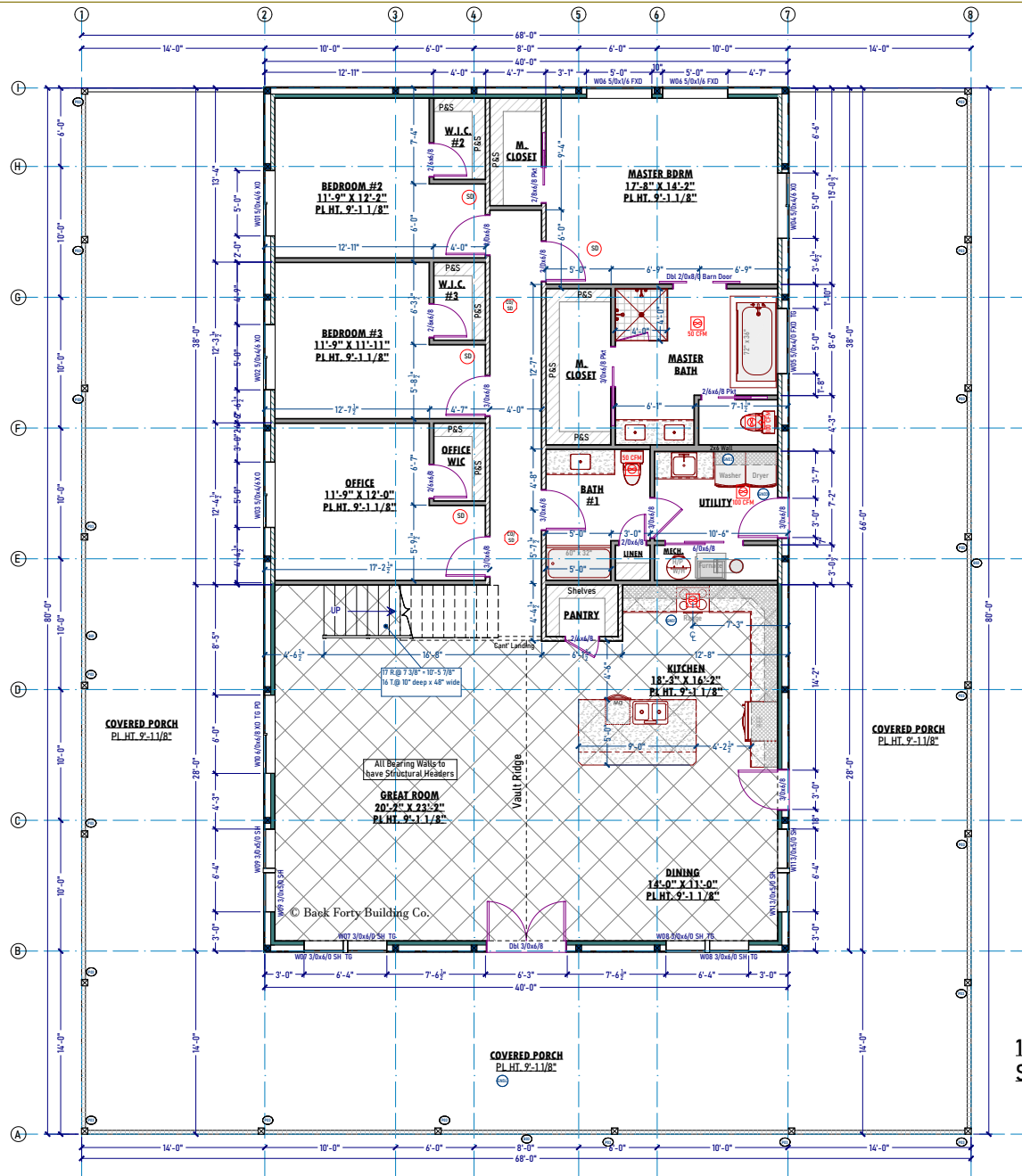
Elevations

SHEET ID:

AE103

PAGE #:

3



GENERAL NOTES SCHEDULE	
Number	Note
GNO1	100 CFM Range Exhaust Fan
GNO2	Water Hammer Arrestor
GNO3	Whole House Fan
GNO4	Porch & Patio slabs sit minimum of 2" below final floor on the interior w/1% grade away from structure



COPYRIGHT © BACK FORTY BUILDING CO. 2025
 DESIGNER INFORMATION
 Designer: [Blank]
 Project Name: [Blank]
 Project Address: [Blank]
 Project City/State: [Blank]
 Project Phone: [Blank]
 Project Email: [Blank]
 Project Website: [Blank]

BUILDER INFORMATION
 Builder Name: RAINES RESIDENCE
 Builder Address: [Blank]
 Builder City/State: [Blank]
 Builder Phone: [Blank]
 Builder Email: [Blank]

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION
 Client Name: [Blank]
 Client Address: [Blank]
 Client City/State: [Blank]
 Client Phone: [Blank]
 Client Email: [Blank]

PROJECT INFORMATION
 Job #: 24-448
 Project Name: [Blank]
 Project Address: [Blank]
 Project City/State: [Blank]
 Project Phone: [Blank]
 Project Email: [Blank]

PLAN AREAS
SQ. FT. TOTALS
LIVING AREAS
 1ST FLOOR - 2848 Sq Ft
 2ND FLOOR - 899 Sq Ft
 TOTAL LIVING - 3747 Sq Ft
NON-LIVING AREAS
 PORCH, FRONT COVERED - 192 Sq Ft
 PORCH, SIDE COVERED - 948 Sq Ft
 TOTAL NON-LIVING - 1140 Sq Ft
TOTALS
 TOTAL LIVING / NON - 4887 Sq Ft

DRAWINGS INDEX
 Title Block 1
 1ST FLOOR PLAN 1
 2ND FLOOR PLAN 1
 3RD FLOOR PLAN 1
 4TH FLOOR PLAN 1
 5TH FLOOR PLAN 1
 6TH FLOOR PLAN 1
 7TH FLOOR PLAN 1
 8TH FLOOR PLAN 1
 9TH FLOOR PLAN 1
 10TH FLOOR PLAN 1
 11TH FLOOR PLAN 1
 12TH FLOOR PLAN 1
 13TH FLOOR PLAN 1
 14TH FLOOR PLAN 1
 15TH FLOOR PLAN 1
 16TH FLOOR PLAN 1
 17TH FLOOR PLAN 1
 18TH FLOOR PLAN 1
 19TH FLOOR PLAN 1
 20TH FLOOR PLAN 1
 21ST FLOOR PLAN 1
 22ND FLOOR PLAN 1
 23RD FLOOR PLAN 1
 24TH FLOOR PLAN 1
 25TH FLOOR PLAN 1
 26TH FLOOR PLAN 1
 27TH FLOOR PLAN 1
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 29TH FLOOR PLAN 1
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 37TH FLOOR PLAN 1
 38TH FLOOR PLAN 1
 39TH FLOOR PLAN 1
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 41ST FLOOR PLAN 1
 42ND FLOOR PLAN 1
 43RD FLOOR PLAN 1
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 46TH FLOOR PLAN 1
 47TH FLOOR PLAN 1
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 89TH FLOOR PLAN 1
 90TH FLOOR PLAN 1
 91ST FLOOR PLAN 1
 92ND FLOOR PLAN 1
 93RD FLOOR PLAN 1
 94TH FLOOR PLAN 1
 95TH FLOOR PLAN 1
 96TH FLOOR PLAN 1
 97TH FLOOR PLAN 1
 98TH FLOOR PLAN 1
 99TH FLOOR PLAN 1
 100TH FLOOR PLAN 1

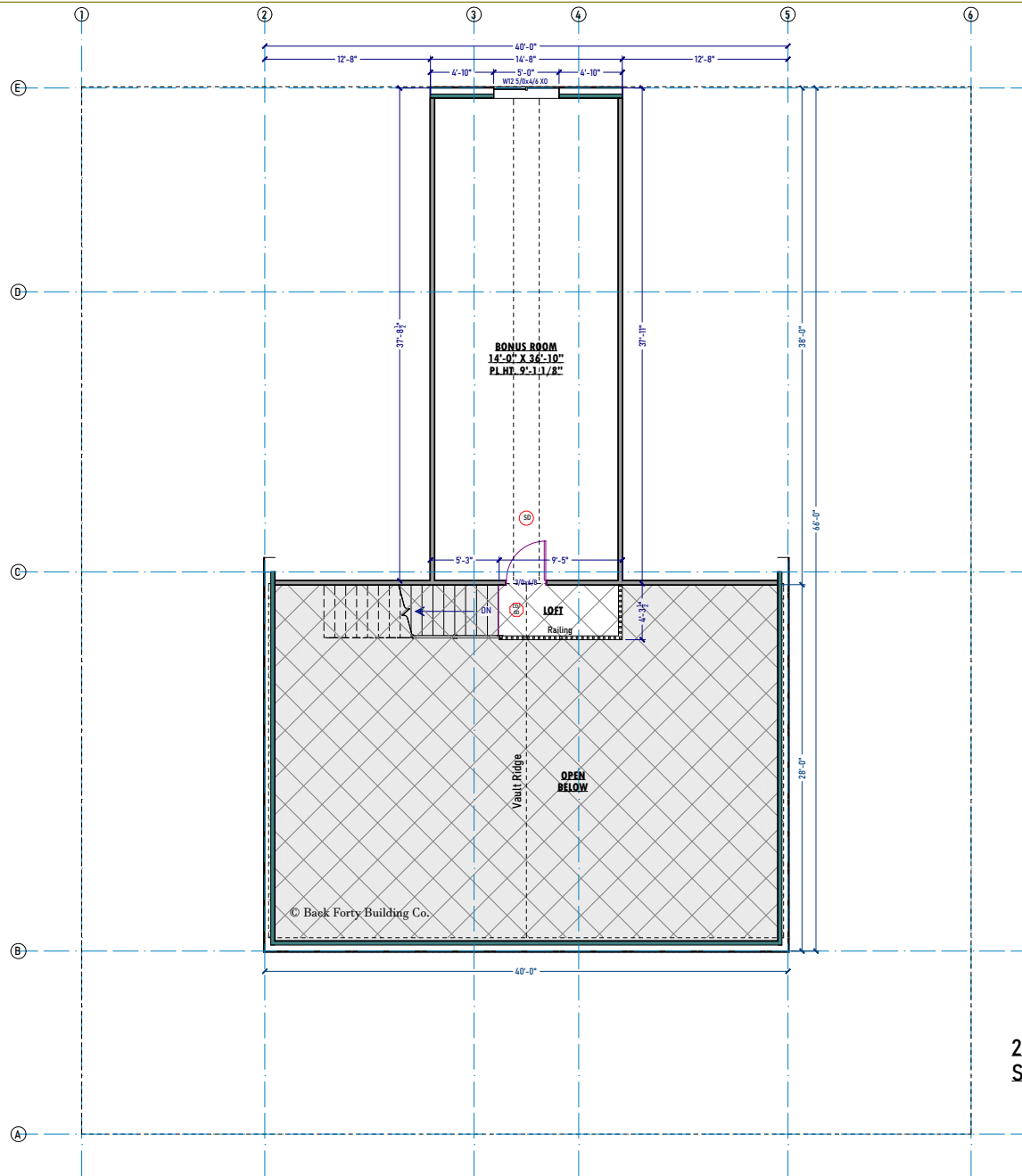
1ST LEVEL FLOOR PLAN
 Scale - 1/4" = 1'-0"

DISCLAIMER:
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RAISED CEILING AREA	PLATE HEIGHT
RAISED CEILING AREA	PLATE HEIGHT
RAISED CEILING AREA	PLATE HEIGHT
RAISED CEILING AREA	PLATE HEIGHT

Date Printed - 1/2/2025
 SHEET INFORMATION
 SHEET TITLE:
Main Floor Plan

SHEET ID:
AE201
 PAGE # - 4



GENERAL NOTES SCHEDULE	
Number	Note
GNO1	100 CFM Range Exhaust Fan
GNO2	Water Hammer Arrestor
GNO3	Whole House Fan
GNO4	Porch & Patio slabs sit minimum of 2" below final floor on the interior w/1% grade away from structure



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DESIGNER INFORMATION	
Designer	JSH
Checker	
Drawn	
Scale	
Discipline	
Project No.	
Client Name	
Client Address	
Client Phone	
Client Email	
Company Website	www.backfortybuilding.com

BUILDER INFORMATION	
Builder Name	RAINES RESIDENCE
Builder Address	
Builder Phone	
Builder Email	

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION	
Client Name	RAINES
Client Address	
Client Phone	
Client Email	

PROJECT INFORMATION	
Job #	24-434
Project Name	WILLOW CREEK
Project Address	
Project City	
Project State	
Project Zip	

DESIGN CRITERIA	
Design Standard	
Design Code	
Design Date	

PLAN AREAS	
50 FT TOTALS	
LIVING AREAS	
1ST FLOOR	2640 Sq Ft
2ND FLOOR	897 Sq Ft
TOTAL LIVING	3537 Sq Ft
NON-LIVING AREAS	
PORCH, FRONT COVERED	192 Sq Ft
PORCH, SIDE COVERED	948 Sq Ft
TOTAL NON-LIVING	1140 Sq Ft
TOTALS	
TOTAL LIVING / NON-LIVING	4677 Sq Ft

DRAWINGS INDEX		
TYPE	NO.	DATE
ARCH	101 PRELIMINARY	10/2024
ARCH	102 PRELIMINARY	10/2024
ARCH	103 PRELIMINARY	10/2024
ARCH	104 PRELIMINARY	10/2024
ARCH	105 PRELIMINARY	10/2024
ARCH	106 PRELIMINARY	10/2024
ARCH	107 PRELIMINARY	10/2024
ARCH	108 PRELIMINARY	10/2024
ARCH	109 PRELIMINARY	10/2024
ARCH	110 PRELIMINARY	10/2024
ARCH	111 PRELIMINARY	10/2024
ARCH	112 PRELIMINARY	10/2024
ARCH	113 PRELIMINARY	10/2024
ARCH	114 PRELIMINARY	10/2024
ARCH	115 PRELIMINARY	10/2024
ARCH	116 PRELIMINARY	10/2024
ARCH	117 PRELIMINARY	10/2024
ARCH	118 PRELIMINARY	10/2024
ARCH	119 PRELIMINARY	10/2024
ARCH	120 PRELIMINARY	10/2024

2ND LEVEL FLOOR PLAN
Scale - 1/4" = 1'-0"

DISCLAIMER:
THESE PLANS HAVE BEEN DESIGNED TO BE USED IN ANY PART OF THE USA. REFER TO LOCAL BUILDING REQUIREMENTS TO PROVIDE STRUCTURAL ENGINEERING LOCALLY FOR BUILDING PERMITS.

<input checked="" type="checkbox"/>	RAISED CEILING AREA
<input checked="" type="checkbox"/>	PRIMARY RAISED PLATE HEIGHT
<input checked="" type="checkbox"/>	SECONDARY RAISED PLATE HEIGHT
<input checked="" type="checkbox"/>	VAULTED CEILING AREA

Date Printed - 1/2/2025

SHEET INFORMATION

SHEET TITLE
2nd Floor Plan

SHEET ID:
AE202

PAGE #: 5

DESIGNER INFORMATION	
DESIGNER	JSM
DATE	
PROJECT	
LOCATION	
CLIENT	
CONTACT	
PHONE	
EMAIL	
WEBSITE	www.back40building.com

BUILDER INFORMATION	
BUILDER	RAINES RESIDENCE
ADDRESS	
CITY	
STATE	
ZIP	

DRAWN FOR:

**RAINES
RESIDENCE**

CLIENT INFORMATION

CLIENT	NAME
OWNER	
CONTACT	
PHONE	
EMAIL	

PROJECT INFORMATION

JOB #	DATE
24-434	
DATE	
LOCATION	
CLIENT	

DESIGN CRITERIA

PLAN AREAS

SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR	2640 Sq Ft
2ND FLOOR	577 Sq Ft
TOTAL LIVING	3217 Sq Ft
NON-LIVING AREAS	
PORCH, FRONT COVERED	192 Sq Ft
PORCH, SIDE COVERED	948 Sq Ft
TOTAL NON-LIVING	1140 Sq Ft
TOTALS	
TOTAL LIVING / NON -	4357 Sq Ft

DRAWINGS INDEX

NO.	DATE	DESCRIPTION
001		CONCEPTUAL
002		PRELIMINARY
003		SCHEMATIC
004		PERMISSION
005		PERMISSION
006		PERMISSION
007		PERMISSION
008		PERMISSION
009		PERMISSION
010		PERMISSION
011		PERMISSION
012		PERMISSION
013		PERMISSION
014		PERMISSION
015		PERMISSION
016		PERMISSION
017		PERMISSION

Date Printed - 1/2/2025

SHEET INFORMATION

SHEET TITLE:

SCHEDULES

SHEET ID:

AE203

PAGE # 6

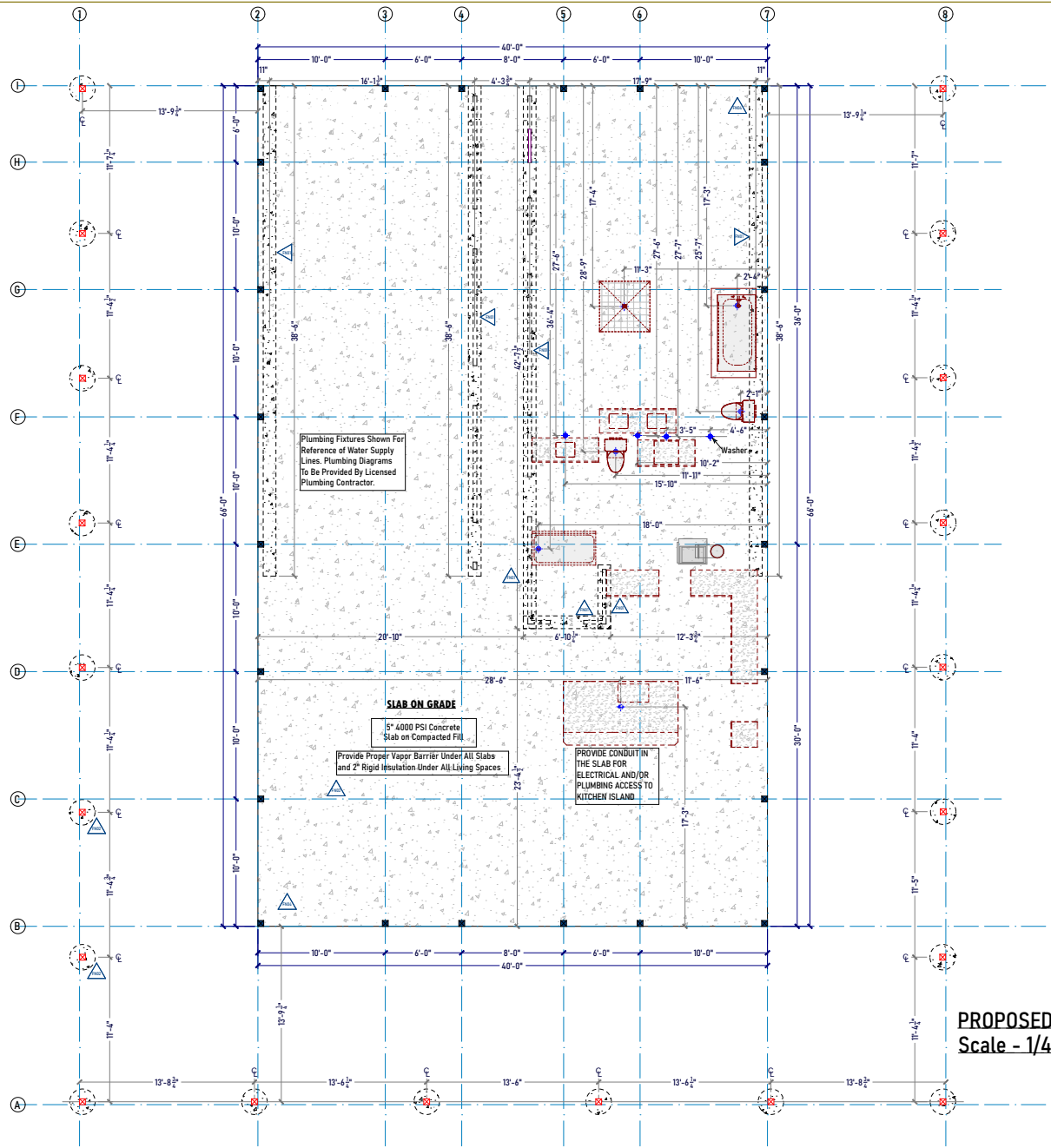
Window Schedule												
Number	Floor	Room Name	Label	SideLight/ Transom	Qty	Type	Egress	Temp.	Sq Ft	Top	Bottom	Slab To Bottom
W01	1	Bedroom #2/Covered Porch	W01 5/0x4/6 XO		1	Right Sliding	Yes		22.5	84"	30"	
W02	1	Bedroom #3/Covered Porch	W02 5/0x4/6 XO		1	Right Sliding	Yes		22.5	84"	30"	
W03	1	Office/Covered Porch	W03 5/0x4/6 XO		1	Right Sliding	Yes		22.5	84"	30"	
W04	1	Master Bdrm/Covered Porch	W04 5/0x4/6 XO		1	Right Sliding	Yes		22.5	84"	30"	
W05	1	Master Bath/Covered Porch	W05 5/0x4/0 FXD TG		1	Fixed Glass		Yes	20	84"	36"	
W06	1	Master Bdrm	W06 5/0x1/6 FXD		2	Fixed Glass			7.5	94"	76"	
W07	1	Great Room/Covered Porch	W07 3/0x6/0 SH TG		2	Single Hung	Yes	Yes	18	84"	12"	
W08	1	Dining/Covered Porch	W08 3/0x6/0 SH TG		2	Single Hung	Yes	Yes	18	84"	12"	
W09	1	Great Room/Covered Porch	W09 3/0x5/0 SH		2	Single Hung	Yes	Yes	15	84"	24"	
W10	1	Great Room/Covered Porch	W10 6/0x6/8 XO TG PD		1	Right Sliding	Yes	Yes	40	80"	0"	
W11	1	Dining/Covered Porch	W11 3/0x5/0 SH		2	Single Hung	Yes	Yes	15	84"	24"	
W12	2	Bonus Room	W12 5/0x4/6 XO		1	Right Sliding	Yes		22.5	84"	30"	155 7/8"
Totals:									319.5			

Window Schedule

Exterior Door Schedule									
Number	Floor	Room Name	Qty	Label	Door Unit	Hinge	EX/IN	Fire	
D01	1	Great Room/Covered Porch	1	D01 3/0x4/8			Hidden (6)	EX	
D02	1	Kitchen/Covered Porch	1	3/0x4/8			Hidden (3)	EX	
D03	1	Utility/Covered Porch	1	3/0x4/8			Hidden (3)	EX	

Interior Door Schedule									
Number	Floor	Room Name	Qty	Label	Type	Hinge	EX/IN	Fire	
D01	1	Bedroom #2/Hall	1	3/0x4/8	Hinged	L	IN		
D02	1	Hall/Master Bdrm	1	3/0x4/8	Hinged	R	IN		
D03	1	Bedroom #3/Hall	1	3/0x4/8	Hinged	L	IN		
D04	1	Office/Hall	1	3/0x4/8	Hinged	L	IN		
D05	1	Bedroom #2/W.I.C. #2	1	2/6x6/8	Hinged	R	IN		
D06	1	Bedroom #3/W.I.C. #3	1	2/6x6/8	Hinged	R	IN		
D07	1	Office/Office WIC	1	2/6x6/8	Hinged	R	IN		
D08	1	M. Closet/Master Bdrm	1	2/8x6/8 Pkt	Pocket	L	IN		
D09	1	Master Bath/Master Bdrm	1	D01 2/0x8/0 Barn Door	Double Barn	L/R	IN		
D10	1	M. Closet/Master Bath	1	3/0x4/8 Pkt	Pocket	R	IN		
D11	1	Master Bath/Master Bath	1	2/6x6/8 Pkt	Pocket	R	IN		
D12	1	Hall/Bath #1	1	3/0x4/8	Hinged	R	IN		
D13	1	Bath #1/Utility	1	3/0x4/8	Hinged	R	IN		
D14	1	Linen/Bath #1	1	2/0x6/8	Hinged	R	IN		
D15	1	Pantry/Kitchen	1	2/6x6/8	Hinged	R	IN		
D16	1	Mech./Utility	1	6/0x6/8	Slider	R	IN		
D17	2	Bonus Room/Loft	1	3/0x4/8	Hinged	R	IN		

Door Schedule



STEM WALL & FOOTING SCHEDULE	
Number	Note
FN01	Typ. 12" x 8" Concrete Interior wall bearing footing (or other locally approved method)
FN02	Typ. 24" DIA x 48" D Conc. Footing (Size & Depth based on location, loads, and soil bearing capacity - to be determined by Contractor)
FN03	All exterior continuous footings and pad bottoms shall follow local requirements based on code and frost depth.
FN04	Steel Column Locations Per Steel Building Mfr

Plumbing Fixtures Shown For Reference of Water Supply Lines. Plumbing Diagrams To Be Provided By Licensed Plumbing Contractor.

SLAB ON GRADE
5" 4000 PSI Concrete Slab on Compacted Fill
Provide Proper Vapor Barrier Under All Slabs and 2" Rigid Insulation Under All Living Spaces

PROVIDE CONDUIT IN THE SLAB FOR ELECTRICAL AND/OR PLUMBING ACCESS TO KITCHEN ISLAND.

PROPOSED FOUNDATION PLAN
Scale - 1/4" = 1'-0"

DISCLAIMER: THESE PLANS HAVE BEEN DESIGNED TO BE USED IN ANY PART OF THE USA. REFER TO LOCAL BUILDING REQUIREMENTS TO PROVIDE STRUCTURAL ENGINEERING LOCALLY FOR BUILDING PERMITS.

	Side Wall Columns
	End Wall Columns
	Plumbing Drop

LEGEND



DESIGNER INFORMATION

Author	JSM
Checker	
Designer	
Project Manager	
Client	
Company	www.backfortybuilding.com

BUILDER INFORMATION

Builder	RAINES RESIDENCE
Address	
City	
State	
Zip	

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION

Client Name	RAINES
Client Address	
Client City	
Client State	
Client Zip	

PROJECT INFORMATION

Job #	24-434
Project Name	WILLOW CREEK
Project Address	
Project City	
Project State	
Project Zip	

DESIGN CRITERIA

Design Standard	
Design Load	
Design Wind	
Design Snow	

PLAN AREAS

SQ FT TOTALS	
LIVING AREAS	
1500 FLOOR	2640 Sq Ft
200 FLOOR	895 Sq Ft
TOTAL LIVING	3535 Sq Ft
NON-LIVING AREAS	
PORCH, FRONT COVERED	192 Sq Ft
PORCH, SIDE COVERED	948 Sq Ft
TOTAL NON-LIVING	1140 Sq Ft
TOTALS	
TOTAL LIVING / NON	4675 Sq Ft

DRAWINGS INDEX

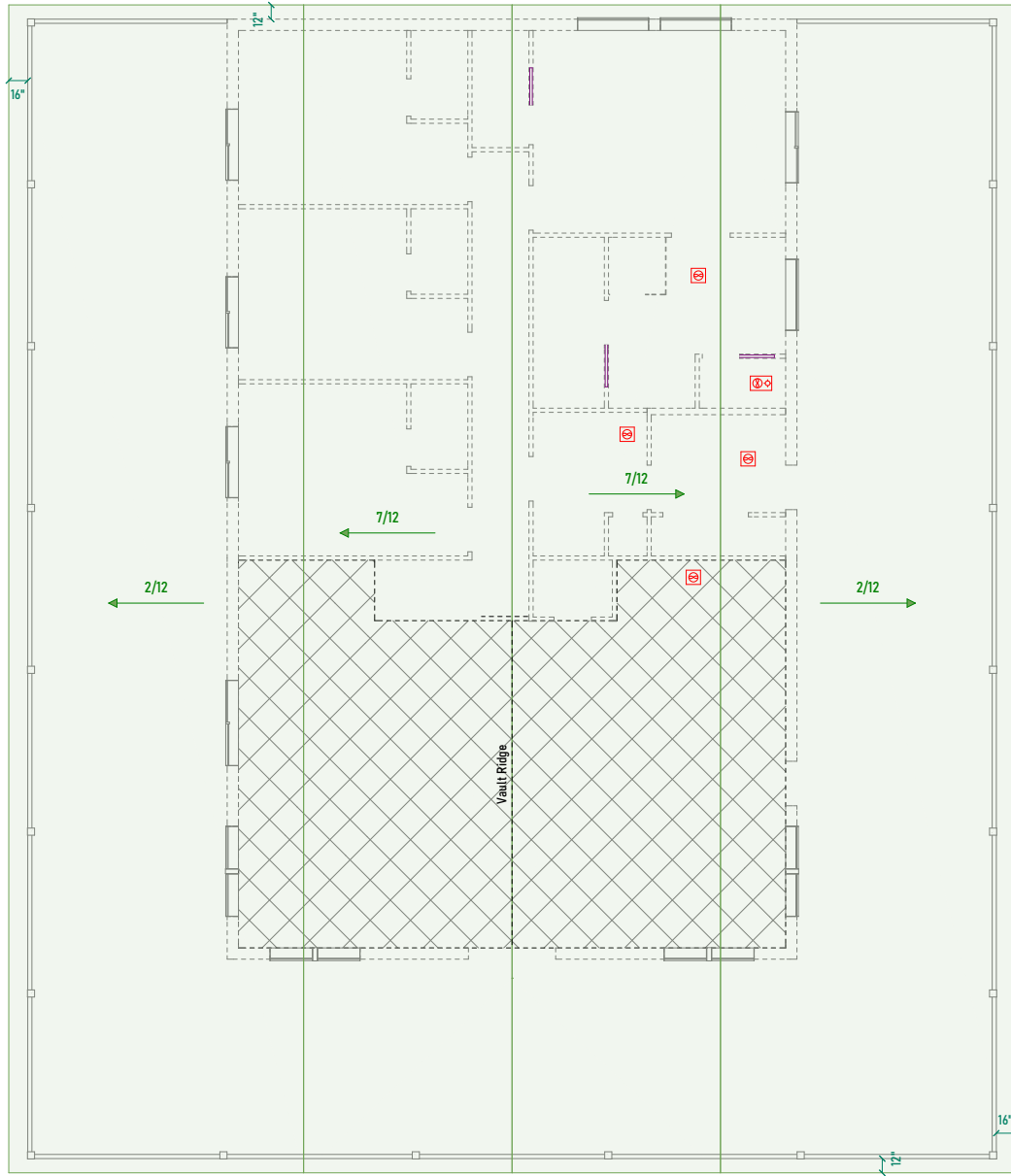
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1	10/20/24	PRELIMINARY
2	10/20/24	REVISED
3	10/20/24	REVISED
4	10/20/24	REVISED
5	10/20/24	REVISED
6	10/20/24	REVISED
7	10/20/24	REVISED
8	10/20/24	REVISED
9	10/20/24	REVISED
10	10/20/24	REVISED

Date Printed - 1/2/2025

SHEET INFORMATION
Foundation Plan

SHEET ID:
SB201
PAGE # 7

Manufactured
Trusses w/
Pitch As Noted



Minimum Roof Ventilation
5440 Sq Ft of Roof Area / 300
18.13 Sq Ft Roof Venting
= 27 Vents (Intake And Exhaust) OR
= 73 Ln Ft of Ridge Vent AND
9.07 Sq Ft Soffit Venting

ROOF PLAN
Scale - 1/4" = 1'-0"

DISCLAIMER:
THESE PLANS HAVE BEEN DESIGNED TO BE USED IN
ANY PART OF THE USA. REFER TO LOCAL BUILDING
REQUIREMENTS TO PROVIDE STRUCTURAL ENGINEERING
LOCALLY FOR BUILDING PERMITS.

ROOF-FAN VENT LOCATION:
WHEN POSSIBLE, ALL FAN DUCTS & PLUMBING
STACKS SHALL TERMINATE ON THE BACK SIDE OF
THE ROOF.

PORCH BEAM SCHEDULE - See Calc Sheets or Engineering for Sizes					
Number	Label	Floor	Qty	Length	Top
B01	B.B.O. Porch Beam	1	1	95'	109 1/8"
B02	B.B.O. Porch Beam	1	1	96"	109 1/8"
B03	B.B.O. Porch Beam	1	1	81 1/4"	109 1/8"

POST SCHEDULE					
Number	Label	Floor	Qty	Length	Top
P03	6x6 Post	1	20	99 1/8"	97 1/8"



BACK FORTY
BUILDING CO.

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DESIGNER INFORMATION	
Designer	JSE
Checker	
Drawn	
Scale	
Sheet No.	
Project No.	
Client Name	
Client Address	
Client Phone	
Client Email	
Client Website	
Client Notes	

BUILDER INFORMATION	
Builder Name	
Builder Address	
Builder Phone	
Builder Email	
Builder Website	

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION	
Client Name	RAINES
Client Address	
Client Phone	
Client Email	

PROJECT INFORMATION	
Job #	24-434
Project Name	
Project Address	
Project Phone	
Project Email	

DESIGN CRITERIA	
Design Criteria	
Design Notes	

PLAN AREAS	
SQ. FT. TOTALS	
LIVING AREAS	
1ST FLOOR -	2640 Sq Ft
2ND FLOOR -	897 Sq Ft
TOTAL LIVING -	3537 Sq Ft
NON-LIVING AREAS	
PORCH FRONT COVERED -	952 Sq Ft
PORCH SIDE COVERED -	948 Sq Ft
TOTAL NON-LIVING -	1900 Sq Ft
TOTALS	
TOTAL LIVING / NON -	5437 Sq Ft

DRAWINGS INDEX		
NO.	DESCRIPTION	DATE
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2	100 PRELIMINARY	10/2024
3	100 PRELIMINARY	10/2024
4	100 PRELIMINARY	10/2024
5	100 PRELIMINARY	10/2024
6	100 PRELIMINARY	10/2024
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11	100 PRELIMINARY	10/2024
12	100 PRELIMINARY	10/2024
13	100 PRELIMINARY	10/2024
14	100 PRELIMINARY	10/2024

Date Printed - 1/2/2025

SHEET INFORMATION

SHEET TITLE

Roof Plan & Sched

SHEET ID:

A204

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DESIGNER INFORMATION	
Designer:	JSM
Project Name:	
Project Address:	
Client Name:	
Client Address:	
Client Phone:	
Client Email:	
Company Website:	www.back40building.com

BUILDER INFORMATION	
Builder Name:	RAINES RESIDENCE
Builder Address:	
Builder Phone:	
Builder Email:	

DRAWN FOR:
RAINES RESIDENCE

CLIENT INFORMATION	
Client Name:	RAINES
Client Address:	
Client Phone:	
Client Email:	

PROJECT INFORMATION	
Job #:	24-434
Project Name:	WILLOW GREEN
Project Address:	
Project Phone:	
Project Email:	

DESIGN CRITERIA	
Design Standard:	
Design Date:	
Design Version:	

PLAN AREAS	
SOA ET TOTALS	
LIVING AREAS	
1ST FLOOR -	2848 Sq Ft
2ND FLOOR -	899 Sq Ft
TOTAL LIVING -	3747 Sq Ft
NON-LIVING AREAS	
PORCH, FRONT COVERED -	192 Sq Ft
PORCH, SIDE COVERED -	848 Sq Ft
TOTAL NON-LIVING -	1040 Sq Ft
TOTALS	
TOTAL LIVING / NON -	4787 Sq Ft

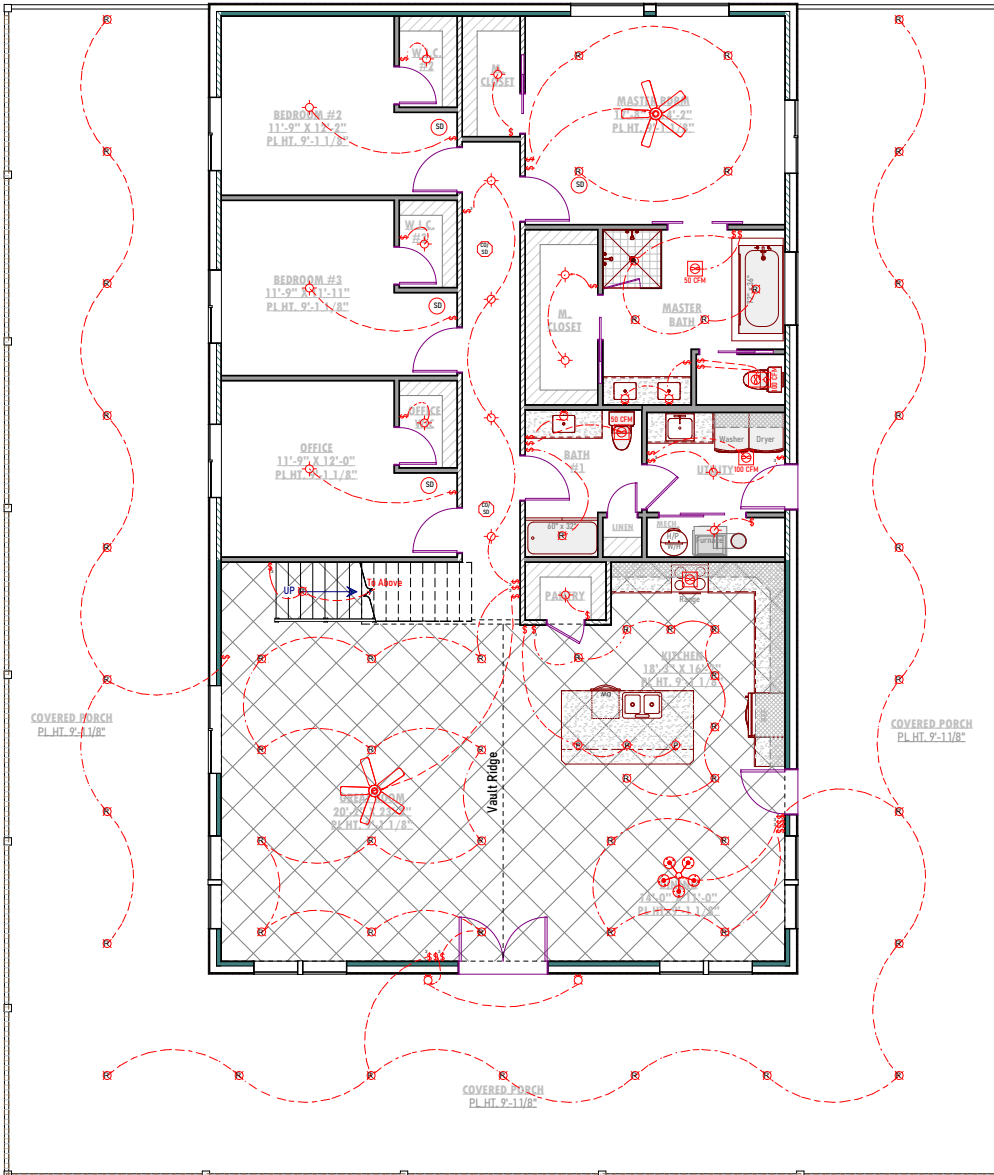
DRAWINGS INDEX		
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2ND FLOOR PLAN	2	1/2/2025
3RD FLOOR PLAN	3	1/2/2025
4TH FLOOR PLAN	4	1/2/2025
5TH FLOOR PLAN	5	1/2/2025
6TH FLOOR PLAN	6	1/2/2025
7TH FLOOR PLAN	7	1/2/2025
8TH FLOOR PLAN	8	1/2/2025
9TH FLOOR PLAN	9	1/2/2025
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15TH FLOOR PLAN	15	1/2/2025
16TH FLOOR PLAN	16	1/2/2025
17TH FLOOR PLAN	17	1/2/2025
18TH FLOOR PLAN	18	1/2/2025
19TH FLOOR PLAN	19	1/2/2025
20TH FLOOR PLAN	20	1/2/2025

Date Printed - 1/2/2025
SHEET INFORMATION

SHEET TITLE:
1st Flr Lighting

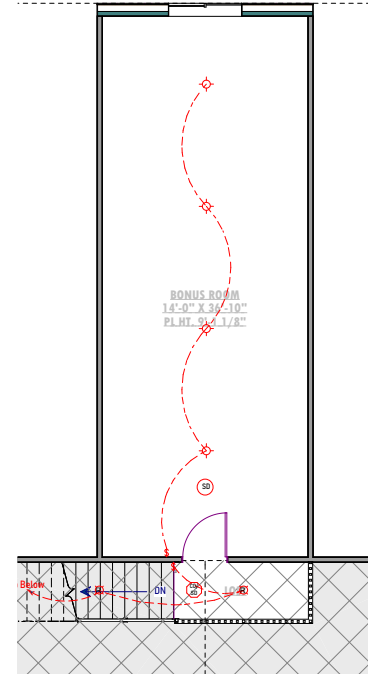
SHEET ID:
E-201

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1ST FLOOR PROPOSED LIGHTING PLAN
Scale - 1/4" = 1'-0"

DISCLAIMER:
THESE PLANS HAVE BEEN DESIGNED TO BE USED IN ANY PART OF THE USA. REFER TO LOCAL BUILDING REQUIREMENTS TO PROVIDE STRUCTURAL ENGINEERING LOCALLY FOR BUILDING PERMITS.



BONUS PROPOSED LIGHTING PLAN
Scale - 1/4" = 1'-0"

Symbol	Description
	Ceiling Fan
	Chandelier Light Fixture
	Hanging Light Fixture
	Sconce Light Fixture
	Star Light Fixture
	Tube Light Fixture
	Smoke Detector, CO, Smoke/CO
	Electrical Panel, Low Volt Panel
	Thermostat, Alarm Control Unit
	Intercom, Doorbell
	Audio Video Control Panel, Switch
	Speakers, Ceiling Mount, Wall Mount
	Security Camera
	Ventilation Fans
	Recessed Light Fixtures
	Flush Mount Light Fixture, Pendant
	Semi-Flush Light Fixture, Flood Light
	Wall Mounted Light Fixture, Emergency Light & Exit
	100V Outlets, Duplex, W. Prod, 4FCI, 4FCI, Switch
	120V Outlets, 15A, 20A, Floor Outlet, Freezer
	200V Outlets, USB, W/L, Switched
	220V Receptacle, Junction Box
	Switches, Single Pole, 3-Way, 4-Way, Weather Proof
	Data Outlets, Ethernet, Telephone, Occupancy Sensor, Outlet
	Wall Jacks, TV, Telephone, CAT5, CAT5E, CAT6
	Electrical Connection Line, Low Volt Connection

ELECTRICAL LEGEND

ELECTRICAL NOTES:
BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:
1. ELECTRICAL RECEPTABLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE GFI OR GFI PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH OWNER/BUILDER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR LIGHTS AND DIMMERS SHALL BE VERIFIED WITH OWNER/BUILDER.
5. FIXTURES TO BE SELECTED BY OWNER/BUILDER.
6. OUTLETS TO CODE.

LOW VOLTAGE NOTES:
BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, CABLE, DATA, PHONE, AUDIO, ETC.

LOW VOLTAGE/AUDIO/IF INCLUDED:
1. LOCATE SPEAKERS & AUDIO CONTROL AS INDICATED IN THE PLAN. RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR.
2. AUDIO SPEAKERS TO BE APPROVED BY BUILDER/OWNER.
3. LOCATE SECURITY PANELS AS INDICATED IN THE PLAN. SYSTEM TO BE APPROVED BY BUILDER/OWNER.
4. LOCATE JACKS AS INDICATED IN THE PLAN. INSTALL DATA/LOW VOLTAGE PANEL. SYSTEM TO BE APPROVED BY BUILDER/OWNER.

Symbol	Description
	STRUCTURAL NOTES
	MECHANICAL NOTES
	PLUMBING NOTES
	HVAC NOTES
	RAISED CEILING AREA - PRIMARY RAISED PLATE HEIGHT
	RAISED CEILING AREA - SECONDARY RAISED PLATE HEIGHT
	VAULTED CEILING AREA

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2021 IRC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2021 IRC, 2018 WEEC AND 2020 IRC SHALL BE USED. THE BUILDER/OWNER SHALL VERIFY THAT ALL CONDITIONS ARE CONSISTENT WITH BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWNLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB. GARAGE AREAS, PORCHES, DECKS & FIREPLACE ENCLOSURES ARE NOT INCLUDED IN LIVING AREA SQ. FT. THE GENERAL CONTRACTOR/ HOME OWNER IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, AND DEFECTS DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR. THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED. INSTALL, CALCULATE AND FLOOR AND PLATE LINES, OPENINGS IN FACTS, CORNER STUD CAVITIES AND AROUND SJOIST AND WINDOW ROUGH OPENING CAVITIES. EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 50 CFM MIN FANS TO PROVIDE A 30 PSI AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND /OR SHOWERS AND IN LAUNDRY ROOMS. PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS. NOT OTHERWISE SPECIFIED, PROVIDE JOIST BRACING THE BUILDER/OWNER SHALL VERIFY PROPERTY CORNERS BEFORE STARTING EXCAVATION. MANUFACTURERS AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING SIMILAR APPLIANCES OF EQUAL QUALITY, WEIGHT, STRENGTHS FROM NON-SPECIFIED MANUFACTURERS. THE OWNER/BUILDER MAY SUBSTITUTE MATERIALS PROVIDED THEY MEET CURRENT BUILDING CODE, AND ARE APPLIED FOR THAT SPECIFIC USE BY THE BUILDING OFFICE. PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

FLOOR PLANS NOTES:

IMPORTANT: ACTUAL DESIGN AND LAYOUT INCLUDING COLORS, TEXTURES AND UPGRADES MAY DIFFER FROM MANUFACTURER LISTINGS AND CONTRACTOR COLLAR AMOUNT ON THE SELECTION SHEETS. ALL SELECTION SHEET ALLOWANCES ARE TO SUPERCEDE WHAT IS REPRESENTED ON THE APPROVED PLANS. DIMENSIONS EXTERIOR DIMENSIONS ARE FROM OUTSIDE OF WALL STUD TO OUTSIDE OF WALL STUD. INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. EXTERIOR WALLS: ALL EXTERIOR WALLS TO BE 2X6 @ 24" O.C. UNLESS OTHERWISE NOTED. INTERIOR WALLS: ALL INTERIOR WALLS TO BE 2X4 @ 24" O.C. UNLESS OTHERWISE NOTED. PLUMBING WALLS: ALL PLUMBING WALLS TO BE 2X6 @ 24" O.C. AND ARE NOTED ON PLAN. ANGLED WALLS: ALL ANGLED WALLS ARE AT A 45 DEG INCREMENT UNLESS OTHERWISE NOTED. FRAMING FRAMING PACKAGE TO BE DIMENSIONAL LUMBER UNLESS OTHERWISE NOTED. EMERGENCY EGRESS: AT LEAST ONE WINDOW IN EACH BEDROOM SHALL HAVE AN EMERGENCY EGRESS OF LESS THAN 5.7 SQ FT W/ THE BOTTOM OF THE WINDOW OPENING NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT. WALLWAYS: THERE IS A MIN. CLEAR WIDTH AT ALL HALLWAYS, STAIRS, TO KITCHEN ISLANDS, ETC... CEILING HEIGHTS: FIRST FLOOR TO HAVE 8' PLATE HEIGHT. SECOND FLOOR TO HAVE 8' PLATE HEIGHT. BASEMENT TO HAVE 8' PLATE HEIGHT, UNLESS OTHERWISE NOTED. HEADER HEIGHTS: WINDOW HEADERS TO BE PLACED AT 19 3/8" UNLESS OTHERWISE NOTED. ATTIC ACCESS: ATTIC ACCESS NOTED ON PLAN. EXTERIOR STEPS: NUMBER OF EXTERIOR STEPS SHOWN AT ANY ENT OR PORCH ARE APPROXIMATE AND WILL VARY PER LOT UPGRADES: CONSULT WITH CONTRACTOR/BUILDER/OWNER FOR ADDITIONAL UPGRADES SUCH AS APPLIANCES, PLUMBING FIXTURES, FLOORING, ETC... SELECTION ITEMS: SELECTION ITEMS SHOWN ARE FOR REFERENCE ONLY. THIS INCLUDES APPLIANCES, CABINET LOCATIONS AND BUILT-INS. THIS PLAN MAY NOT BE INCLUDED. ELEVATIONS: ELEVATIONS SHOWN ARE FOR REFERENCE ONLY. APPROXIMATE GRADE, EXTERIOR STEPS, COLORS AND MATERIALS MAY VARY.

30 RENDERS ARE NOT TO SCALE. ALL 30 RENDERS ARE FOR ARTISTIC DEFINITION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN 30 RENDERS. 30 RENDERS SHALL NOT BE USED FOR CONSTRUCTION. FINAL FINISHES SHALL BE COORDINATED WITH THE HOME OWNER / CONTRACTOR PRIOR TO APPLICATION.

- JOIST TO SILL OR GIRDER: TOE NAIL (3)-8d
- BRIDGING TO JOIST: TOE NAIL EA, END (2)-8d
- JOIST OR JOIST OR BLDG: FACE NAIL 16d @ 24" OC
- STUD TO SOLIC PLATE: TOE NAIL (4)-8d, END NAIL (2) 16d
- TOP PLATE TO STUD: END NAIL (3)-16d
- DOUBLE STUDS: FACE NAIL 16d @ 24" OC
- TIE STUDS: FACE NAIL 16d @ 18" OC
- CONTINUOUS HEADER, TWO PIECES: 16d @ 18" OC ALONG EA. EDGE
- BUILT-UP HEADER, TWO PIECES W/ 1/2" SPACER: 16d @ 18" OC ALONG EA. EDGE
- TOP PLATES, LAPS AND INTERSECTIONS: FACE NAIL (2)-8d
- CEILING JOISTS TO PLATE: TOE NAIL (3)-8d
- CONTINUOUS HEADER TO STUD: TOE NAIL (4)-8d
- CEILING JOISTS, LAPS OVER PARTITIONS: FACE NAIL (3)-16d
- CEILING JOISTS TO PARALLEL RAFTERS: FACE NAIL (3)-16d
- RAFTER TO STUD: TOE NAIL (2)-16d
- 1" BRACE TO EACH STUD AND PLATE: FACE NAIL (2)-8d
- BUILT-UP CORNER STUDS: TOE NAIL (2)-16d LABRG.
- 2" PLANKS: 10d @ 24" OC
- 7/8" OSB ROOF AND WALL: EDGES 8d @ 4" OC
- SHEATHING: INTERMEDIATE 8d @ 12" OC
- 7/8" OSB ROOF AND WALL EDGES 11/2" Staple @ 8" OC
- 3/4" PLYWOOD/OSB SUBFLOOR: EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC
- 2" PLANKS: TOE NAIL (2)-16d LABRG.
- 7/8" OSB ROOF AND WALL EDGES 11/2" Staple @ 8" OC
- 3/4" PLYWOOD/OSB SUBFLOOR: EDGES 8d @ 6" OC INTERMEDIATE 8d @ 12" OC
- 2x MULTIPLE JOISTS - STAGGER @ 15" OC W/ (2) EA. END OR SPLICE (3) OR FEMER @ 12" OC
- (4) OR MORE 1/2" DIA. M.B. W/ STANDARD NUT AND WASHERS

CARPENTRY

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. CONCRETE SPECIFICALLY NOTED TO BE OF #2 OR BETTER. ALL WORK IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED USING AN APPROVED BRAND'S PROVIDER. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HJ OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL CLEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS. OR NOT DIPPED GALLVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IRC TABLE 2304.91 OR IRC TABLE R602.3(3)

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRQ-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/4" SPACING AT PANEL ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(3).

PRE-MANUFACTURED WOOD JOISTS: PRE-MANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, BCI OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. PRE-MANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBO APPROVED.

ROOF FRAMING / TRUSS NOTES:

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS. ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP. TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS. ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON FILE FOR FRAMING INSPECTION. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER. ALL ROOF FRAMING 24" O.C. ATTIC VENTILATION: REQUIRED ABOVE HOUSE. 1.50 FT PER 300 SQ FT OF CEILING UPLIFT LOAD REACTION THAT ARE IN EXCESS OF 775 LBS. MUST HAVE A MECHANICAL CONNECTOR CAPABLE OF RESISTING THE UPLIFT LOADS OF EACH TRUSS IN ACCORDANCE WITH THE 2015 IRC. MIN. SNOW LOAD 25 LBS PER SQUARE FOOT.

FRAMING NOTES:

TYPICAL EXTERIOR WALL TO BE 2X6 WALL CONSTRUCTION. TYPICAL INTERIOR WALL TO BE 2X4 WALL CONSTRUCTION. USE JOIST LAYOUT FOR JOIST TYPE AND SPACING. PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER SPACE AT VAULTED CEILING AREAS. PROVIDE FIRE BLOCKING, BRAT STOPS AND APA RATED STOPS. PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT. ALL WOOD IN CONTACT WITH CONCRETE OR SOIL SHALL BE PRESSURE TREATED. LUMBER SPECIES: 1. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE #2 or Better. 2. SILLS, PLATES BLOCKING, AND BRIDGING TO BE #2 or Better. 3. ALL STUDS TO BE #2 OR BETTER. 4. PLYWOOD/OSB SHEATHING SHALL BE AS FOLLOWS: ROOF SHEATHING SHALL BE 1/2" PLYWOOD OR 7/16" OSB. WALL SHEATHING SHALL BE 1/2" PLYWOOD OR 7/16" OSB. FLOOR SHEATHING SHALL BE 3/4" 1" G OR G508 FOR JOISTS 18", 19" 2" OR 24" O.C. @ 6" 11/8" FOR JOISTS 32" O.C. 5.1- JOISTS SHALL BE MANUFACTURED BY I- JOIST MANUFACTURER OR ENGINEER APPROVED EQUAL.

GENERAL PLUMBING & HVAC NOTES:

HVAC SHALL HAVE ONE ZONE, UNLESS OTHERWISE NOTED. METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE AND OUTSIDE. "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOISTS SHALL BE TAPE OR STEEL BRIDGE OVER EXPOSURE TO WEATHER. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F. WATER SUSTAINER UNIT IF INCLUDED, SHALL CONDUIT WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE. EACH HOSE BIBB SHALL BE EQUIPPED WITH A BACK FLOW PREVENTION DEVICE. HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED TO CODE.

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 36". HAND RAILS MAY ENCRoACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH. STAIRS SHALL HAVE A MIN. WIDTH OF 36". RISERS SHALL HAVE A MAX. RISE OF 7 3/4". STAIR TREADS MUST BE ONE UNIFORM AND CAN NOT VARY FROM THE SMALLEST TO THE LARGEST BY MORE THAN 3/8". TREADS SHALL HAVE MIN. 4"-6" OF HEARDOAT AT THE NOSE OF THE STAIR. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 1/4" TYPE 17" CYCLUM WALL BOARDS. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE FINISH OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION. HANDRAILS SHALL BE CONTINUOUS OF THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST TERMINAL. SAFETY SIGNALS: STAIRWAYS HAVING LESS THAN 3 RISERS DO NOT REQUIRE A HAND RAIL. 3/4" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 30" BELOW. RAILING AND GUARDRAIL BALUSTERS SPACING SHALL BE NO GREATER THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH.

WINDOW AND DOOR NOTES:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH THE BOTTOM OF THE WINDOW OPENING NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH. 24" MINIMUM ELEVATION OF WINDOW OPENING ABOVE SECOND LEVEL FINISHED FLOOR. INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING. INTERIOR ENTRY DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GARAGE DOORS TO BE SECTIONAL OVERHEAD DOORS.

GRADE NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. 2. PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION. 3. FINAL GRADE TO CONVEY SURFACE DRAINAGE TO STREET. 4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBSTACLES & MATERIAL AND STRIPPED TO TOP SOIL. 5. PLACE FILL SLOPES WITH A GRADIENT STEEPER THAT 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

Concrete Notes:

All footings to rest on clean, firm undisturbed soil. Proposed construction areas should be cleared & grubbed of all organic topsoil & vegetation. 1. Concrete dimensions are typically to face of wall. 2. All concrete slabs in conditioned space shall be minimum 4" thick placed over 6 mil poly vapor barrier over a minimum 4" bed of compacted gravel/sand. 3. Provide Anchor Bolts sizes as indicated (min. 1/2"x6d) on these drawings, at top of concrete foundation walls at a minimum of 1'-0" from corners and maximum 6'-0" O.C. for balance of perimeter walls, two per plate minimum. 4. All concrete footings shall bear on undisturbed virgin soil or engineered fill, at least 2" below grade with presumptive bearing capacity of 1,500 psi. 5. See Foundation for Footing Sizes. Typical Footing for a 1 Story shall be 12" Wide by 18" High. Foundation wall for a 1 Story shall be 6" Wide by 8" High. Foundation wall for a 2 Story shall be 8" High. See IRC table R602.3(2). 6. NOTES ON THE PLAN OR ENGINEERING SHALL SUPERSEDE THESE NOTES OR DETAILS. 7. Rebar in footing, wall and slab shall be the local code. If the foundation is poured in two (2) pours, one of the two (2) following methods is REQUIRED: Vertical 4# Rebar @ 4' O.C. OR a key way in the footing. 8. Footings shall be stopped, if required, no greater than 1'-foot vertical to 2'-feet horizontal. 9. All exterior continuous footings and slab bottoms shall extend to a minimum of 24" below grade to frost depth. 10. Concrete foundation walls that exceed 9'-0" in height must be reinforced with steel designed by a licensed Structural Engineer. 11. Joists may sit in recessed beam pockets on top of foundation. 12. Slope garage slab 1/8" per foot towards garage door. 13. All Concrete shall have the minimum 28 day strength: Garage Slab 3000 psi - Basement Slab 3000 psi Exterior Slab 3000 psi - Foundation Slab 3000 psi Footings 2500 psi - Foundation Wall 2500 psi

VENTILATION NOTES:

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES. ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 300 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED VENTS WHEN SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION. EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL OR FLEXIBLE DUCTS. PROVIDE 50 CFM MIN FANS TO PROVIDE A AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND /OR SHOWERS AND IN LAUNDRY ROOMS. UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 50 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAPED INTO THE CONCRETE STEM WALLS & COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION. FOUNDATION VENTS SHALL NOT INTERFERE WITH DIRECT LOAD PATH OF COLUMNS. LOCATE ONE VENT WITHIN 3 FEET OF EACH CORNER OF THE BUILDING, EXCEPT ONE SIDE SHALL BE PERMITTED TO HAVE NO VENTS.

KITCHEN AND CABINET NOTES:

CONFIRM STAIN COLOR & WOOD SPECIES WITH HOME OWNER PRIOR TO ORDERING. COUNTER TOP AND CABINETS SHALL BE ORDERED WITH HOME OWNER PRIOR TO ORDERING. INSTALL CROWN MOLDING ON SITE. MATCH CABINET COLOR, CONFIRM PROFILE AND DIMENSION WITH THESE PLANS. VERIFY APPLIANCE SPECIFICATIONS & OPENINGS. INSTALL HOOD AND ALL APPLIANCES PER MANUFACTURER SPECIFICATIONS. ALL APPLIANCES TO BE ORDERED & DELIVERED TO JOB ON DEDICATED CIRCUITS. USE MIN 4" DUCT FOR HOOD. CONFIRM FINAL MATERIALS FOR BACKSPLASH AND COUNTERTOP WITH HOME OWNER PRIOR TO ORDERING.

EXTERIOR FINISH NOTES:

EXTERIOR FINISH TO BE STUCCO, FIBER CEMENT OR LP SIDING AND/OR SHAKE OVER 7/16 OSB COLOR BY OWNER. ROOFING TO BE 30 YEAR 120 MPH RATED ASPHALT FIBER 15# FELT, 7/16 OSB. COLOR BY OWNER. DECKING TO BE COMPOSITE OR WOOD. FINAL MATERIAL AND COLOR BY OWNER. CHIMNEYS ARE DECORATIVE AND PROVIDE FOR VENTING OF GAS FIREPLACES ONLY. ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE PER THE SITE PLAN. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.

MISCELLANEOUS NOTES:

EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM OPENING WIDTH OF 20 IN. THE BOTTOM OF THE WINDOW OPENING NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT. ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 40 IN. OF TUB OR SHOWER FLOOR, 40 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING. SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 28 IN. AND FRAME IS TO BE ATTACHED TO A CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE. ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS. ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OR GRADE. PROVIDE COMBUSTION AIR VENTS (SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME. BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR CHANGES PER HOUR. RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR F.G.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS. INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. UNLS. ON PLANS: ATTIC - PER PLAN WALLS - PER PLAN FLOORS - PER PLAN PROVIDE CRAWLSPACE VENTING TO MEET THE REQUIREMENTS OF THE 2015 EDITION OF THE I.R.C.

ELECTRICAL NOTES:

BUILDER/OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC. ELECTRICAL NOTES: 1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR F.G.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS. 2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL LISTS. 3. CIRCUITS SHALL BE VERIFIED WITH OWNER/BUILDER PRIOR TO WIRE INSTALLATION. 4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH OWNER/BUILDER. 5. FUTURES TO BE SELECTED BY OWNER/BUILDER. 6. OUTLETS TO CODE.

LOW VOLTAGE NOTES:

LOW VOLTAGE/AUDIO: (IF INCLUDED) 1. LOCATE SPEAKERS AUDIO CONTROLS AS INDICATED IN THE PLAN. RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PLAN. SPECIFY BY SYSTEM 2. AUDIO SYSTEM SHALL BE APPROVED BY BUILDER/OWNER. 3. LOCATE SECURITY PANELS AS INDICATED IN THE PLAN. SYSTEM TO BE APPROVED BY BUILDER/OWNER 4. LOCATE JACKS AS INDICATED IN THE PLAN. INSTALL DATA/DATA VOLTAGE PANEL, SYSTEM TO BE APPROVED BY BUILDER/OWNER

HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR DAMAGED ITEMS OF VALUE TO BE REUSED AND/OR SAVED. OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.



DESIGNER INFORMATION table with columns: INFORMATION, PLAN NO., DATE, AUTHOR, CHECKED, DESIGNED, SCALE, SHEET NO. OF TOTAL SHEETS.

BUILDER INFORMATION table with columns: INFORMATION, PLAN NO., DATE, AUTHOR, CHECKED, DESIGNED, SCALE, SHEET NO. OF TOTAL SHEETS.

CLIENT INFORMATION table with columns: INFORMATION, PLAN NO., DATE, AUTHOR, CHECKED, DESIGNED, SCALE, SHEET NO. OF TOTAL SHEETS.

PROJECT INFORMATION table with columns: INFORMATION, PLAN NO., DATE, AUTHOR, CHECKED, DESIGNED, SCALE, SHEET NO. OF TOTAL SHEETS.

DESIGN CRITERIA table with columns: INFORMATION, PLAN NO., DATE, AUTHOR, CHECKED, DESIGNED, SCALE, SHEET NO. OF TOTAL SHEETS.

PLAN AREAS table showing SQ. FT. TOTALS for LIVING AREAS and NON-LIVING AREAS.

TOTALS table showing SUMMARY TOTALS for LIVING AREAS and NON-LIVING AREAS.

DRAWINGS INDEX table listing drawing titles and sheet numbers.

Date Printed - 1/2/2025

SHEET INFORMATION table with columns: SHEET TITLE, SHEET NO.

General Notes

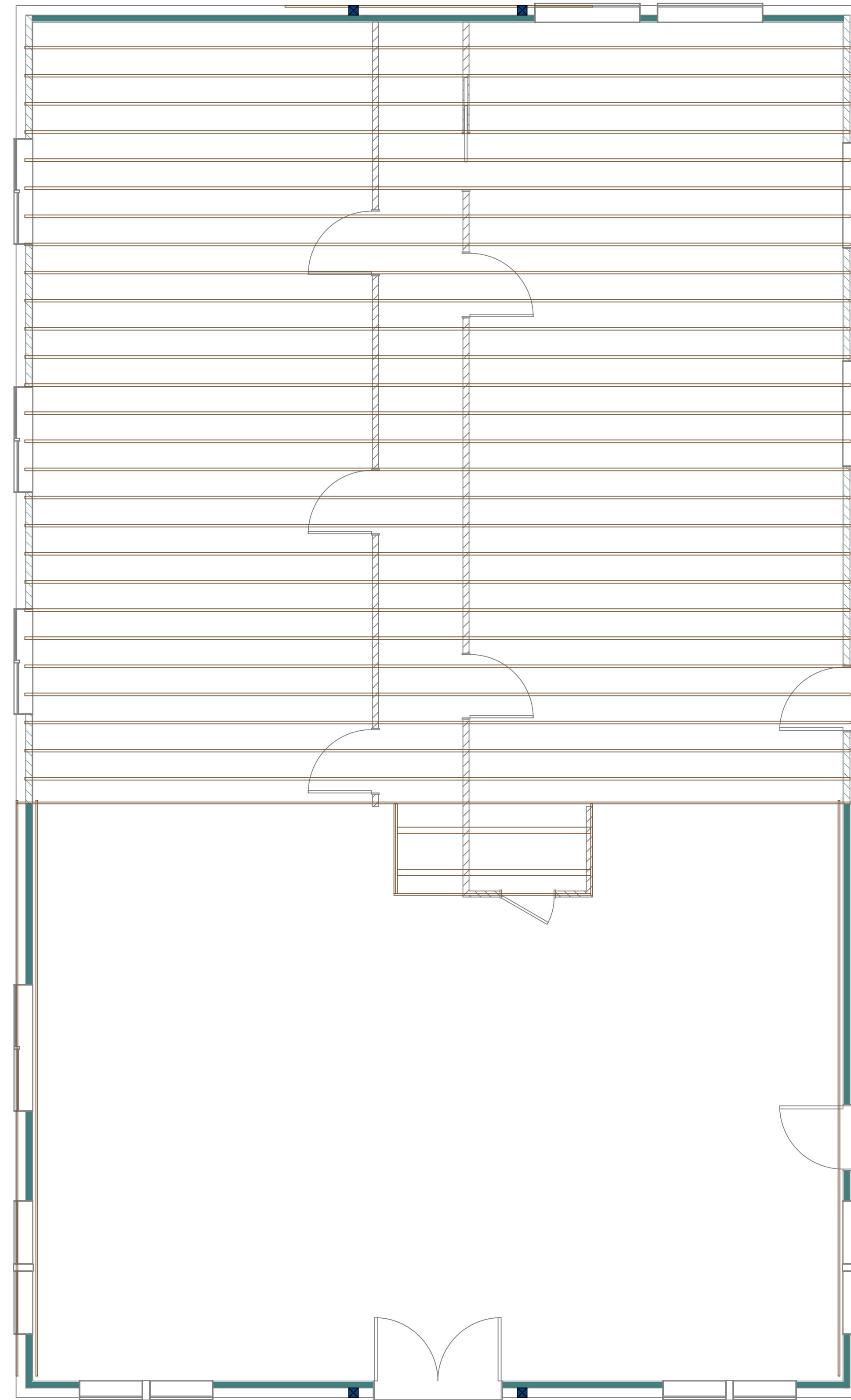


PAGE #: 13

These plans were drawn to the owner's and/or builder's specifications and any changes made to them after prints are made will be done at the owner's and/or builder's expense and responsibility. The design drawings were not prepared or checked by a licensed engineer or architect. While every effort has been made in the preparation of this design to avoid mistakes, BACK Forty Buildings will not be responsible for any damages resulting from the accuracy and overall integrity of the design plans. The owner/contractor must check and verify all dimensions and other plan details prior to construction and be solely responsible thereafter. NOTE THAT THE FINAL PRODUCT WILL NOT LOOK EXACTLY LIKE THESE PLANS AND THE FINAL PRODUCT WILL VARY IN APPEARANCE FROM THE PLANS AND THE ARTISTS' CONCEPTUAL DRAWINGS

(1) ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES (2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER/OWNER TO CHECK FOR ANY ERROR OR OMISSIONS TO THE PLANS. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER DIMENSIONS TO BE KEPT IN VIEW OF THE LOCATION OF ALL ELECTRICAL, FIXTURES AND OUTLETS. (3) VERIFY ALL BEAM SIZES AND LOCATIONS. (4) VERIFY ALL FOOTING PAD LOCATIONS AND SIZES.

FOR ENGINEERING PURPOSES
(DO NOT PRINT)



2nd Floor Framing - 11 7/8" Floor Trusses @ 16" O.C.
Scale - 1/4" = 1'-0"

PORCH BEAM SCHEDULE - See Calc Sheets or Engineering for Sizes

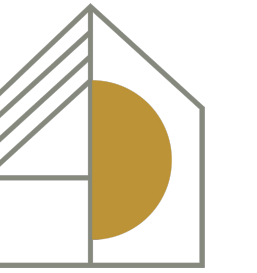
Number	Label	Floor	Qty	Length	Top
B01	B.B.O. Porch Beam	1	1	951"	109 1/8"
B02	B.B.O. Porch Beam	1	1	960"	109 1/8"
B03	B.B.O. Porch Beam	1	1	814 1/4"	109 1/8"

POST SCHEDULE

Number	Label	Floor	Qty	Length	Top
P03	6x6 Post	1	20	99 1/8"	97 1/8"

GENERAL NOTES	RAISED CEILING AREA
ARCH. NOTES	PRIMARY RAISED
FRAMING NOTES	PLATE HEIGHT
ROOF NOTES	RAISED CEILING AREA
PLUMBING NOTES	SECONDARY RAISED
FOOTING & STEM	PLATE HEIGHT
WALL NOTES	VAULTED CEILING AREA

BEAM BY OTHERS (B.B.O.)
SEE BEAM CALC SHEET



BACK FORTY
BUILDING CO.

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DESIGNER INFORMATION

DRAWN BY: JSH
Designer Name: _____
Street Address: _____
City/State/Zip: _____
Designer Phone: _____
Designer E-Mail: _____
Designer Website: www.backfortybuildings.com

BUILDER INFORMATION

BUILDER: RAINES RESIDENCE
Builder Name: _____
Builder Phone: _____
Builder Email: _____
Builder Website: _____

DRAWN FOR:

RAINES
RESIDENCE

CLIENT INFORMATION

DRAWN FOR: RAINES
Client Name: _____
Client Phone: _____
Client Email: _____

PROJECT INFORMATION

JOB #: 24-414
Project #: _____
Builder Job #: _____
Site Address: _____
City/State: _____

DESIGN CRITERIA

PLAN AREAS

SQ FT TOTALS

LIVING AREAS

1ST FLOOR -	2640 Sq Ft
2ND FLOOR -	597 Sq Ft
TOTAL LIVING -	3237 Sq Ft

NON-LIVING AREAS

PORCH, FRONT COVERED -	953 Sq Ft
PORCH, SIDE COVERED -	1848 Sq Ft
TOTAL NON-LIVING -	2800 Sq Ft

TOTALS

TOTAL LIVING / NON -	6037 Sq Ft
-----------------------------	-------------------

DRAWINGS INDEX

PLATE	TITLE	NUMBER
AC00	3D PERSPECTIVE	1
AE00	ELEVATIONS	2
AE01	ELEVATIONS	3
AE200	MAIN FLOOR PLAN	4
AE202	2ND FLOOR PLAN	5
AE203	SCHEDULES	6
ES001	FOUNDATION PLAN	7
AE204	ROOF PLAN & SCHED	8
E-200	1ST FLR LIGHTING	9
S-500	STANDARD DETAILS	10
S-502	STANDARD DETAILS	11
S-503	TYPICAL DETAILS	12
SN001	GENERAL NOTES	13

Date Printed - 1/2/2025

SHEET INFORMATION

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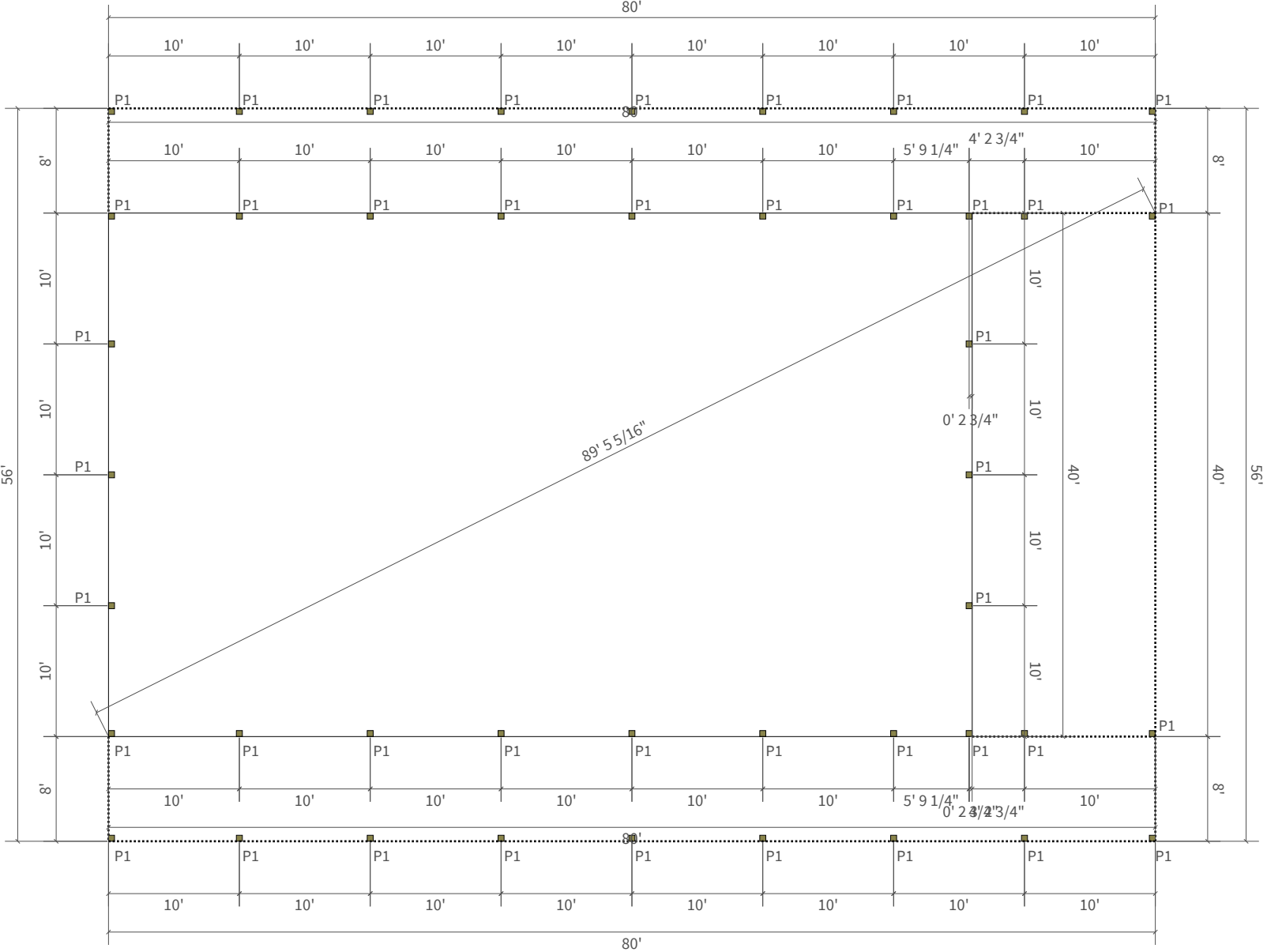
Floor Framing
Reference Plan

SHEET ID:

SF201

PAGE #: 15

Post Layout



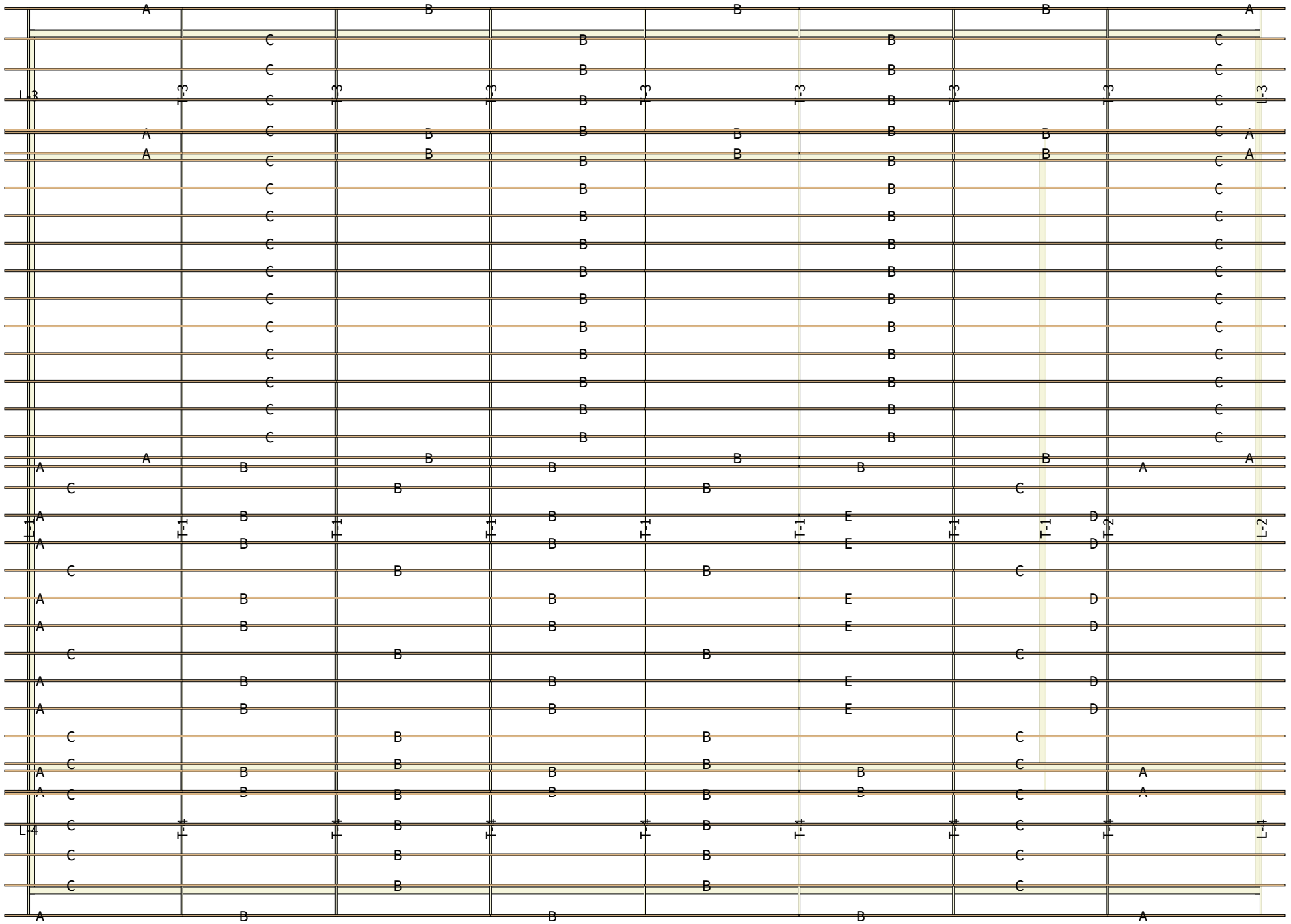
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	15" Precast Concrete Cookie
P1	1' 4"x4' Hole Depth
	80 # Bag Of Sackrete

Truss Layout

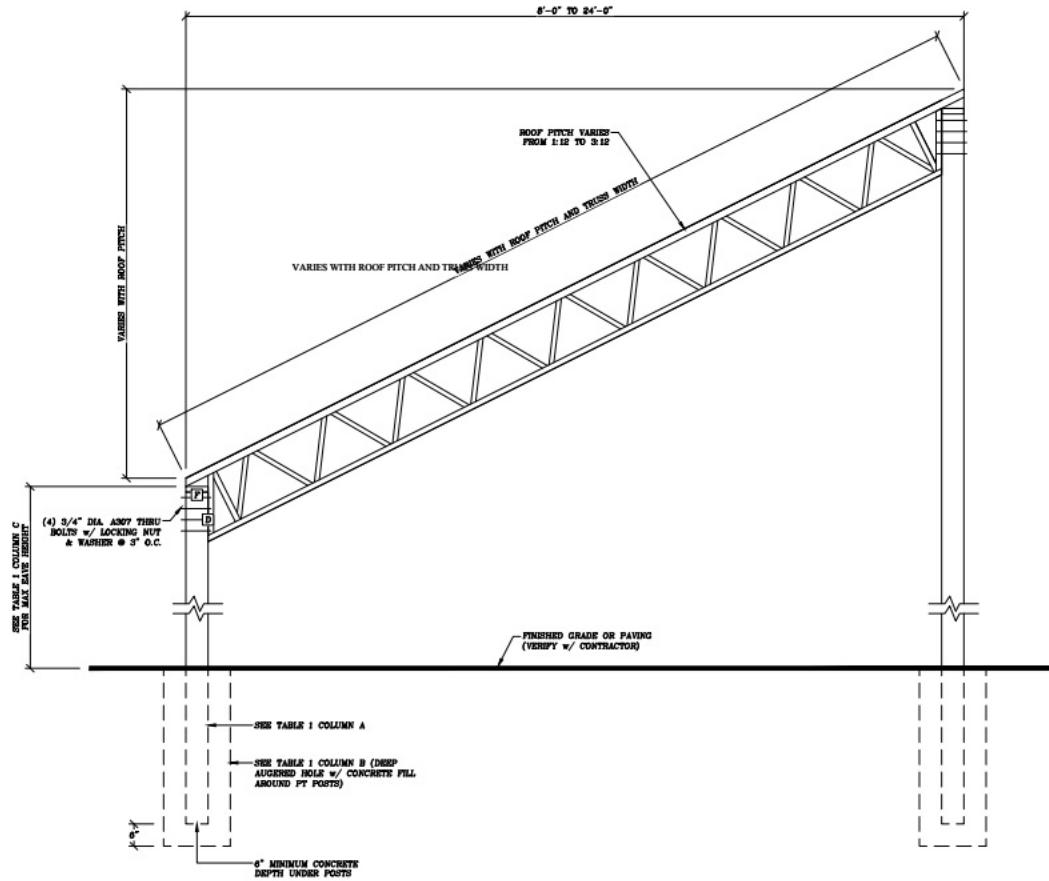
Job: Alicia Hermis

Date: 2/10/2025

Time: 11:39 AM



- DESIGN LOADS.**
- STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE 2018 NCBC. REFER TO RELEVANT CODE FOR ADDITIONAL INFORMATION.
 - THE E.O.R. IS NOT RESPONSIBLE FOR ANY ERRORS OR MISTAKES ASSOCIATED WITH DIMENSIONING, ARCHITECTURAL DETAILING, WATERPROOFING, PLUMBING, ELECTRICAL, OR MECHANICAL INFORMATION OR ANY PART OF THE PLAN NOT PERTAINING TO THE STRUCTURAL INFORMATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND NOTIFYING THE E.O.R. OF ANY CHANGES OR NECESSARY CORRECTIONS.



- NOTES FOR WELDS & CONNECTORS:**
- 10ga. STEEL-FORMED CUPS SHD WP WELDED TO TOP CHORD OF TRUSSES.
 - EACH 2x6 PURLIN ATTACHED TO EACH STEEL CUP w/ (4) SCREW CONNECTOR.

- A** 8'-0" TO 24'-0" WIDE TRUSS, SEE TABLE I COLUMN D FOR SPACING (WET SET EMBEDMENT)
B 3/4" = 1'-0"

- MATERIAL LST:**
- A - TOP CHORD L 1 1/2" x 1 1/2" x 3/16"
 - B - BOTTOM CHORD L 1 1/2" x 1 1/2" x 3/16"
 - C - DIAGONAL WEB L 1 1/4" x 1 1/4" x 1/8"
 - D - VERTICAL END L 1 1/2" x 1 1/2" x 3/16"
 - E - HORIZONTAL END L 1 1/4" x 1 1/4" x 3/16"
 - F - BASE L 1 1/2" x 1 1/2" x 3/16"

- GENERAL NOTES:**
- TRUSS DEPTH = 18" (18" CHORD) (1)-HORIZONTAL THE ROOF.
 - TRUSS SPACING = 10'-0" TO 12'-0" O.C.
 - TOP CHORD PURLIN SPACE @ 2'-0" O.C. (2' x 6" SPP NO.1 PURLIN MIN).
 - EACH 2' x 6" ATTACHED TO EACH STEEL CUP w/ MIN. (2) #12 x 1 1/2" EA SIDE.
 - BOTTOM CHORD BRACING / BOTTOM CHORD PURLIN SPACE @ 8'-0" O.C. (MAX).
 - ALL WELDS SHALL BE 3/16" MINIMUM WELLY FIELD (TYP.).
 - ALL STEEL SHALL BE A36 MINIMUM STRENGTH.
 - CONNECTION BOLDS STEEL TO STEEL SHALL BE A307 MEX.
 - ROOF MATERIAL: 30ga. METAL, 36" WIDE MATERIAL, 7" O.C. HORIZONTAL, 24" MAX SPAN.
 - STEEL TRUSS BOTTOM CHORDS ARE DESIGNED FOR 5 PPF MAX LOAD, NO CEILING FINISH.

- DESIGN LOAD:**
- DL = 14 pcf
 - LL = 80 pcf
 - SL = 80 pcf (GROUND)
 - WL = 120 mph
 - EXPOSURE CATEGORY C
 - RISK CATEGORY I or II
 - WIND SOIL BEARING CAPACITY = 2.5,000 pcf
 - 2.5,000 pcf MINIMUM CONCRETE STRENGTH MIX

TABLE 1				
SCENARIO	A	B	C	D
1A	6x6 POSTS	18" DIA.x4FT. piers	UP TO 16'-0" EAVE HEIGHT	12' SPACING
1B	8x8 POSTS	24" DIA.x4FT. piers	18'-0" EAVE HEIGHT	10' SPACING

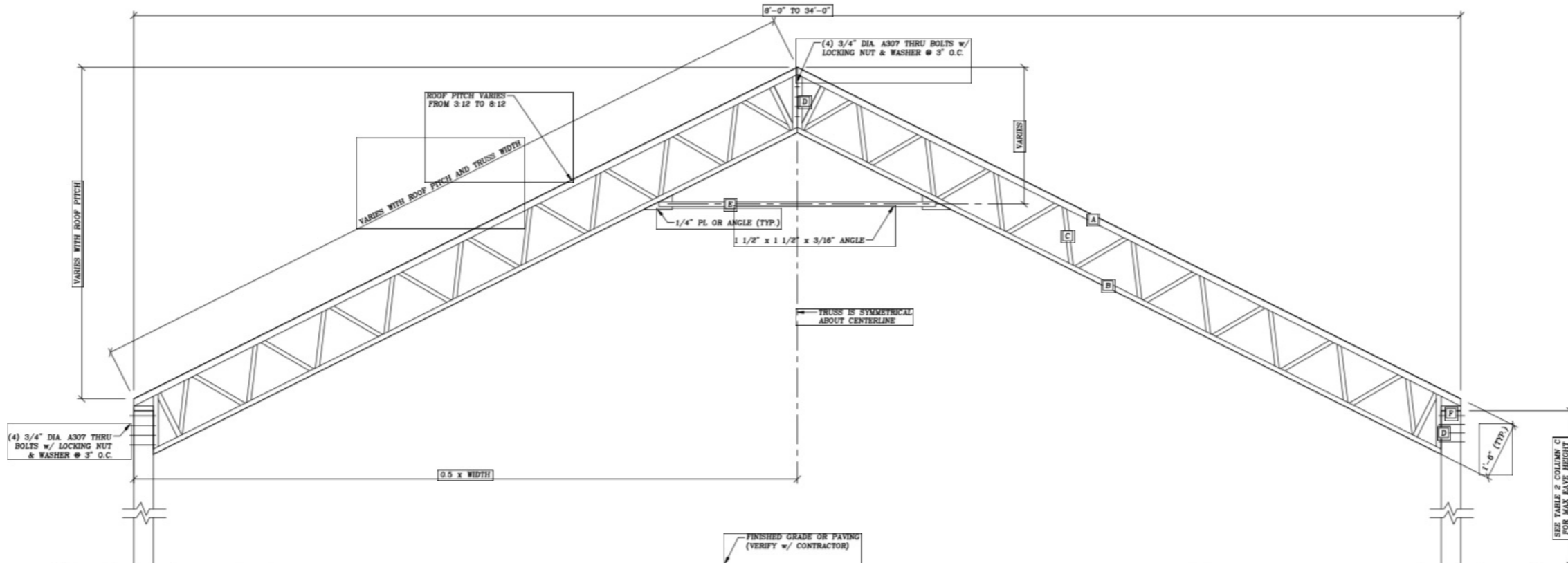


Digitally signed by Jim Lee, P.E.
Reason: I am approving this document with my legally binding signature
Location: 1378 Melviney St, Statesville, NC 28677, USA
Date: 2024.08.14 18:30:29-04'00'

LEE SOLUTIONS & SERVICES, P.L.L.C. 1378 MELVINEY STREET STATESVILLE, NC 28677-3702 ENGINEERING LICENSE # P-2702	
LEE SOLUTIONS & SERVICES, P.L.L.C. 1378 MELVINEY STREET STATESVILLE, NC 28677-3702 (800) 223-5696 WWW.LEESOLUTIONS.COM	
PROJECT NAME:	
8'-0" TO 24'-0" WIDE TRUSS 1:12 TO 3:12 ROOF FITCH 10'-0" TO 12'-0" SPACING (WET SET EMBEDMENT)	
OWNER:	
BAR IRONWORKS	
PROJECT ADDRESS:	
NORTH CAROLINA USA	
PROJECT NUMBER:	
NC24082	
DATE:	
08/14/2024	
DRAWN BY:	
C. REICH	
SCALE:	
AS NOTED	
APPROVED BY:	
J. LEE	
SHEET NO.:	
BAR TRUSS DIAGRAM (WET SET EMBEDMENT)	
DRAWING NUMBER:	
S1 of 1	

DESIGN LOADS:

- STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE 2018 NCR. REFER TO RELEVANT CODE FOR ADDITIONAL INFORMATION.
- THE E.O.R IS NOT RESPONSIBLE FOR ANY ERRORS OR MISTAKES ASSOCIATED WITH DIMENSIONING, ARCHITECTURAL DETAILING, WATERPROOFING, PLUMBING, ELECTRICAL, OR MECHANICAL INFORMATION OR ANY PART OF THE PLAN NOT PERTAINING TO THE STRUCTURAL INFORMATION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND NOTIFYING THE E.O.R OF ANY CHANGES OR NECESSARY CORRECTIONS.



NOTES FOR WELDS & CONNECTORS:

- 16ga. STEEL-FORMED CUPS SHOP WELDED TO TOP CHORD OF TRUSSES
- EACH 2x6 PURLIN ATTACHED TO EACH STEEL CUP w/ (4) SCREW CONNECTOR

[A] 8'-0" TO 34'-0" WIDE TRUSS, SEE TABLE 2 COLUMN D FOR SPACING (WET SET EMBEDMENT)
 [SI] 3/4" = 1'-0"

SEE TABLE 2 COLUMN A
 SEE TABLE 2 COLUMN B (DEEP AUGERED HOLE w/ CONCRETE FILL AROUND PT POSTS)
 6" MINIMUM CONCRETE DEPTH UNDER POSTS

MATERIAL LIST:

- A - TOP CHORD L 1 1/2" x 1 1/2" x 3/16"
- B - BOTTOM CHORD L 1 1/2" x 1 1/2" x 3/16"
- C - DIAGONAL WEB L 1 1/4" x 1 1/4" x 1/8"
- D - VERTICAL END L 1 1/2" x 1 1/2" x 3/16"
- E - HORIZONTAL TIE L 1 1/4" x 1 1/4" x 3/16"
- F - BASE L 1 1/2" x 1 1/2" x 3/16"

GENERAL NOTES:

- TRUSS DEPTH = 18" (18" CHORD) (1)-HORIZONTAL TIE RODS
- TRUSS SPACING = 12'-0" O.C.
- TOP CHORD PURLIN SPACE @ 2'-0" O.C. (2" x 6" SPF NO.1 PURLINS MIN.)
- EACH 2" x 6" ATTACHED TO EACH STEEL CUP w/ MIN. (2) #12 x 1 1/2" EA. SIDE
- BOTTOM CHORD BRACING / BOTTOM CHORD PURLIN SPACE @ 6'-0" O.C. (MAX.)
- ALL WELDS SHALL BE 3/16" MINIMUM FILLET WELD (TYP.)
- ALL STEEL SHALL BE A36 MINIMUM STRENGTH
- CONNECTION BOLTS, STEEL TO STEEL SHALL BE A307 MIN.
- ROOF MATERIAL, 28ga. METAL, 36" WIDE MATERIAL, 7' O.C. HORIZONTAL, 24" MAX SPAN
- STEEL TRUSS BOTTOM CHORDS ARE DESIGNED FOR 5 PSF MAX LOAD, NO CEILING FINISH

DESIGN LOAD:

- DL = 14 psf
- LL = 20 psf
- SL = 20 psf (GROUND)
- WL = 120 mph
- EXPOSURE CATEGORY C
- RISK CATEGORY I OR II
- DESIGN SOIL BEARING CAPACITY = ±2,000 psf
- ±3,000 psi MINIMUM CONCRETE STRENGTH MIX

TABLE 2				
SCENARIO	A	B	C	D
2A	8x6 POSTS	18" DIA.x4FT. PIERS	UP TO 14'-0" EAVE HEIGHT	12" SPACING
2B	8x6 POSTS	24" DIA.x4FT. PIERS	16'-0" EAVE HEIGHT	12" SPACING



Digitally signed by Jim Lee, P.E.
 Reason: I am approving this document with my legally binding signature
 Location: 1378 Melviney St, Statesville, NC 28677, USA
 Date: 2024.08.14 18:30:55-04'00'

LEE SOLUTIONS & SERVICES, PLLC
 1378 MELVINEY STREET
 STATESVILLE, NC 28677-3722
 ENGINEERING LICENSE # P-2722



LEE SOLUTIONS & SERVICES PLLC
 1378 MELVINEY STREET
 STATESVILLE, NC 28677-3722
 (980) 223-5999
 www.LSSPLLC.com

PROJECT NAME
 8'-0" TO 34'-0" WIDE TRUSS
 3.12 TO 8.12 ROOF PITCH
 12'-0" SPACING
 (WET SET EMBEDMENT)

OWNER
 [BAR IRONWORKS]

PROJECT ADDRESS
 NORTH CAROLINA
 USA

PROJECT NUMBER
 NC24062

DATE
 08/14/2024

DRAWN BY
 C. REICH

CHECKED
 [AS NOTED]

APPROVED BY
 J. LEE

PROJECT FILE
 [BAR TRUSS DIAGRAMS]
 (WET SET EMBEDMENT)

DRAWING NUMBER
 S1 P1 1