

Matthew S. Willis Register of Deeds  
Harnett County, NC  
Electronically Recorded  
01/20/2023 02:22:50 PM NC Rev Stamp: \$390.00  
Book: 4180 Page: 461 - 465 (5) Fee: \$26.00  
Instrument Number: 2023001000

HARNETT COUNTY TAX ID #  
0547095001

01-20-2023 BY: AG

Prepared by M. Andrew Lucas—mail to Grantee  
NO TITLE SEARCH PERFORMED—NO TAX ADVICE  
DEED PREPARATION ONLY AT REQUEST OF GRANTOR  
NO SETTLEMENT SERVICES PROVIDED  
STAMPS \$390.00

*After Recording: Mail to Grantee*

STATE OF NORTH CAROLINA )  
COUNTY OF HARNETT )  
PIN#: 0547095001

**GENERAL WARRANTY DEED**

THIS DEED, made this 13<sup>th</sup> day of January, 2023, by and between  
**PARKER ALLEN GIBSON, and spouse, KELSEY B. GIBSON**, hereinafter called  
"GRANTOR" to **ERIC PAPPAN, and spouse, DAWN PAPPAN**, 1087 Loop Road, Bunnlevel,  
NC 28323, hereinafter called "GRANTEE"; \*Grantor's address 53 Mallard Trail  
Sanford, NC 27332 \*

**WITNESSETH,**

that the Grantor, in consideration of TEN DOLLARS and other valuable considerations  
to them paid by the Grantee, the receipt of which is hereby acknowledged, has bargained and  
sold and by these presents do grant, bargain, sell and convey unto the Grantee in fee simple, all  
that certain lot or parcel of land situated in Stewart's Creek Township, Harnett County, North  
Carolina, more particularly described as follows:

**SEE EXHIBIT 'A' ATTACHED HERETO AND INCORPORATED HEREIN.**

The above property was conveyed to the Grantor by deed recorded in Book 3650, Page  
126, Harnett County Registry.

All or a portion of the property herein conveyed does/ does not include the primary  
residence of a Grantor.

TO HAVE AND TO HOLD the aforesaid tract or parcel of land and all privileges and appurtenances thereunto belonging to the Grantee in fee simple. And the Grantor covenants with the Grantee, that Grantor is seized of said premises in fee simple, has the right to convey the same in fee simple; that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title to the same, against the lawful claims of all persons whomsoever, except for any exceptions as may be hereinafter stated: Ad valorem taxes for the current year (prorated through the date of settlement); utility easements and unviolated covenants, conditions or restrictions that do not materially affect the value of the Property.

IN TESTIMONY WHEREOF, the Grantor has hereunto set his/her hand and seal, the day and year first above written.

(This space was intentionally left blank. Separate signature pages are attached.)

Separate Signature page for Deed from Gibson to Pappan

*Kelsey B. Gibson* (SEAL)  
Kelsey B. Gibson

STATE OF NORTH CAROLINA  
COUNTY OF LEE

I, Melissa C. Schuster a Notary Public, do hereby certify  
Kelsey B. Gibson, personally appeared before me this day and acknowledged the due execution  
of the foregoing instrument.

Witness my hand and notarial seal this 13<sup>th</sup> day of January, 2023.

*Melissa C. Schuster*  
Notary Public

My Commission Expires:  
8/26/24



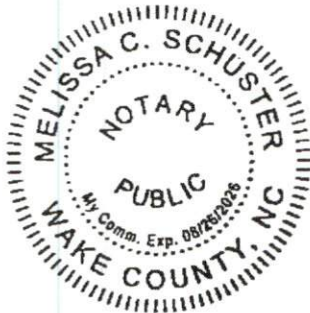
Separate Signature page for Deed from Gibson to Pappan

Parker Allen Gibson (SEAL)  
Parker Allen Gibson

STATE OF NORTH CAROLINA  
COUNTY OF LEE

I, Melissa C. Schuster a Notary Public, do hereby certify  
Parker Allen Gibson, personally appeared before me this day and acknowledged the due  
execution of the foregoing instrument.

Witness my hand and notarial seal this 13<sup>th</sup> day of January, 2023.



Melissa C. Schuster  
Notary Public

My Commission Expires:  
8/26/26

**EXHIBIT A**

**BEING all of Tract 28, consisting of +/- 23.00 acres, as shown on a map entitled "Survey for Vandergrift Farm: J. G. Layton Heirs", and recorded as Map #2002-1049, Harnett County Registry.**

**SUBJECT TO EASEMENTS, RESTRICTIONS AND RIGHTS OF WAY OF RECORD.**

Property Address: 1087 Loop Road, Bunnlevel, NC 28323

Parcel ID: 120548 0016 30

PIN: 0547-09-5601.000