

**VICINITY MAP NTS**

**LEGEND**

- EIP - EXISTING IRON PIPE
- EIS - EXISTING IRON STAKE
- D.B. - DEED BOOK
- P.C. - PLAT CABINET
- NTS - NOT TO SCALE
- R/W - RIGHT OF WAY

**RA-30 ZONING SETBACKS**

- FRONT - 35'
- SIDE - 10'
- REAR - 25'
- CORNER - 20'

SCOTT & LUCINDA SMITH  
 PIN #0626-93-4139.000  
 D.B. 4168 PG. 1688  
 MAP #2024-140



I, BENTON W. DEWAR CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THE RATIO OF PRECISION IS 1: N/A THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION FOUND IN BOOK MAP 2024 PAGE 140; THAT THIS PLAT DOES NOT MEET SIZE REQUIREMENTS FOR RECORDING IN THE REGISTER OF DEEDS. PER G.S. 47-30 AS AMMENDED. LICENSE NUMBER AND SEAL THIS 9th DAY OF MAY 2024

*Benton W. Dewar*  
 PROFESSIONAL LAND SURVEYOR L-3040

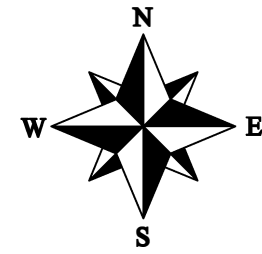
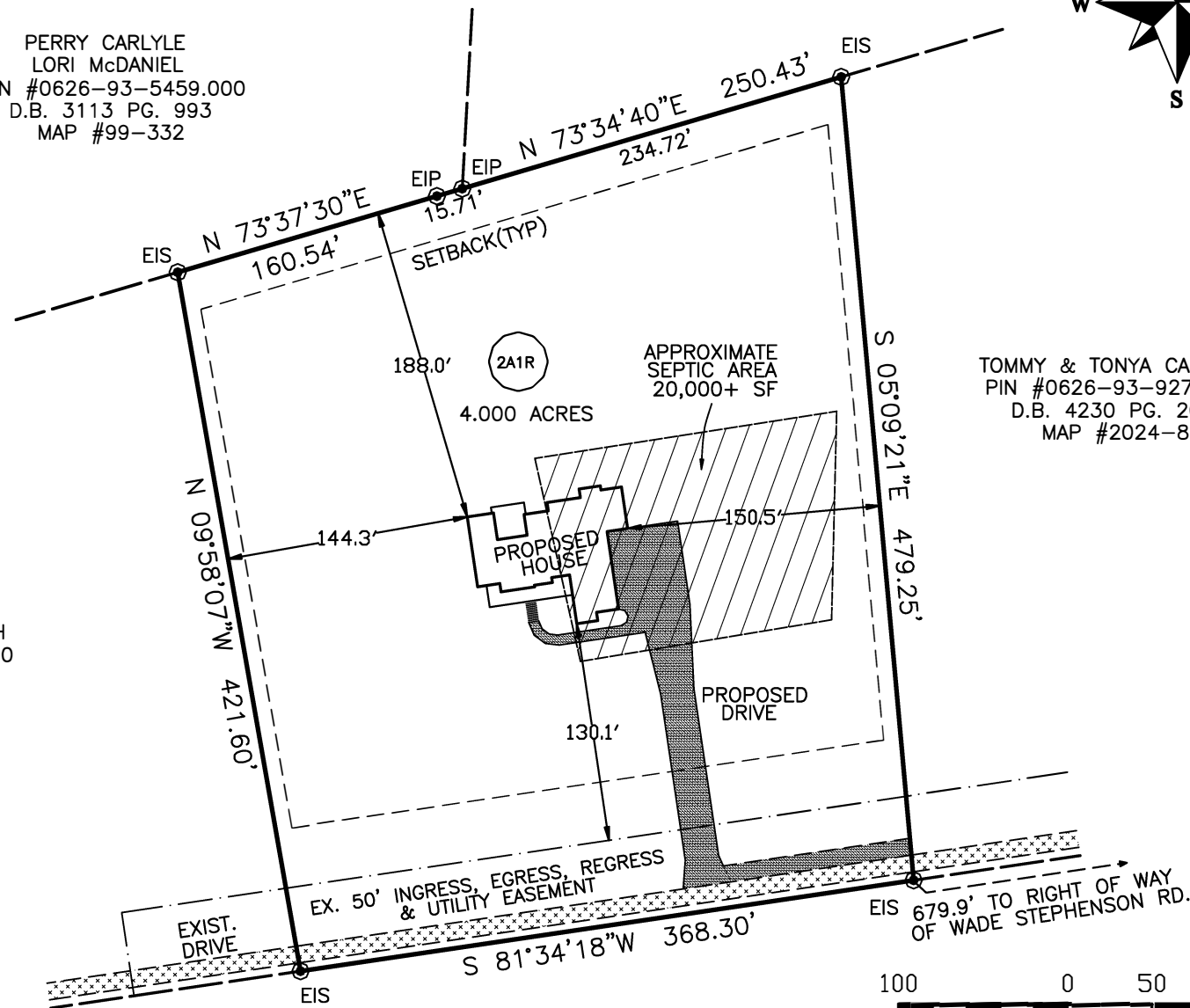
THIS PLAT MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.

PERRY CARLYLE  
 LORI McDANIEL  
 PIN #0626-93-5459.000  
 D.B. 3113 PG. 993  
 MAP #99-332

ANTHONY & LISA AVENT  
 PIN #0626-93-9662.000  
 D.B. 1124 PG. 424

TOMMY & TONYA CARROLL  
 PIN #0626-93-9278.000  
 D.B. 4230 PG. 2057  
 MAP #2024-82

LEON & EFFIE CARROLL  
 PIN #0626-92-4764.000  
 D.B. 1916 PG. 733  
 MAP #2003-1205



**NOTES**

NOT AN ACTUAL SURVEY AREA BY COORDINATES  
 THIS LOT IS NOT LOCATED IN A FLOOD HAZARD AREA PER F.E.M.A. MAP #3720062600L EFF. DATE: 7/19/2022 ZONE X  
 PROPERTY SUBJECT TO BOTH ABOVE AND/OR BELOW GROUND UTILITIES AND/OR EASEMENTS.



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| <b>PROPOSED PLOT PLAN FOR:</b><br><br><b>MIKE BADIN</b><br>WADE STEPHENSON ROAD - HOLLY SPRINGS, 27540<br><br><b>LOT 2A1R CARROLL/SMITH PROPERTY</b><br><b>MAP #2024-140</b><br><b>BUCKHORN TOWNSHIP</b><br><b>HARNETT COUNTY - NORTH CAROLINA</b> | PIN #0626-93-6252.000<br>PID #050636 0068 06 |
|  | DATE: 5/7/2024<br>SCALE: 1" = 100'           |
|  | ZONED RA-30<br>HARNETT COUNTY                |
|  | 24-58S<br>BADIN/24/650                       |