

AVERY

TOBACCO ROAD
LOT 0152



QUALITY | INTEGRITY | VALUE

PLAN ID: 042720.0601

110 VILLAGE TRAIL SUITE 215
WOODSTOCK, GA. 30188

DRAWING INDEX

A0.0	COVER SHEET
A1.1	FRONT ELEVATIONS
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATIONS
A5.1	FIRST FLOOR PLANS & DETAILS
A6.1	ROOF PLANS
A7.2	ELECTRICAL PLANS
A8.1	TRIM LOCATION LAYOUTS

AREA TABULATION

FIRST FLOOR	2404
TOTAL	2404
GARAGE	400
FRONT PORCH B&C MASSINGS (COVERED)	67
REAR PATIO	120

PLAN REVISIONS

DATE	BY	REVISION	PAGE #
9/10/2019	AW	PCR #3209 added clg. mount light to hall by bathroom in finished basement	A7.1.1
9/10/2019	AW	PCR #3214 Removed tempered note from 3050 window in Family Rm. next to rear door	A5.1
11/4/2019	AW	Added grade beam between B-2 & Foyer as part of truss standardization project	A3.1
1/10/2020	AW	Removed optional Study ILO Dining	A5.1.1, A7.2.1
2/11/2020	AW	PCR #3596 Relocated WP outlet on back patio so when its a deck the post won't interfere with outlet	A7.2
4/27/2020	AW	Re-centered A roof massing dormers	A1.1, A1.4, A1.13, A6.1
4/1/2021	AW	PCR #4348 Added led light & switch over tub in the En Suite Bath	A7.2.1
9/2/2021	BB	ADDED 2 TURTLE BACK VENTS TO C MASSING REAR ELEVATION	A2.3, A2.9, A6.1.2
3/1/2022	AW	Changed 3050 twin temp at rear of Brkfst to 3050 single non-temp window	A2.1-A2.3, A5.1
7/10/2023	AW	PCR #5401 Clean up plumbing dims on slab plan	A3.1
8/1/2023	AW	Changed 2x6 walls to 2x4 wall at Bath 3/B3 En Ste bath and back of coat closet	A3.1, A5.1, A5.1.1
9/20/2023	BB	Removed shower and tub sizes from all fixtures on all affected pages	A3.1, A3.1.1, A5.1-5.1.2
3/28/2024	SL	PCR # 5769 Adjusted two electrical outlet locations in kitchen, added three outlets	A7.2
5/13/2024	CLJ	PCR # 5795 Rev kitchen cabinets dimensions to match cabinet layout document	A5.1, A7.2

GOVERNMENTAL CODES & STANDARDS

HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA

HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

TOBACCO ROAD LOT 0152

BY	REVISION	#	#	#	#

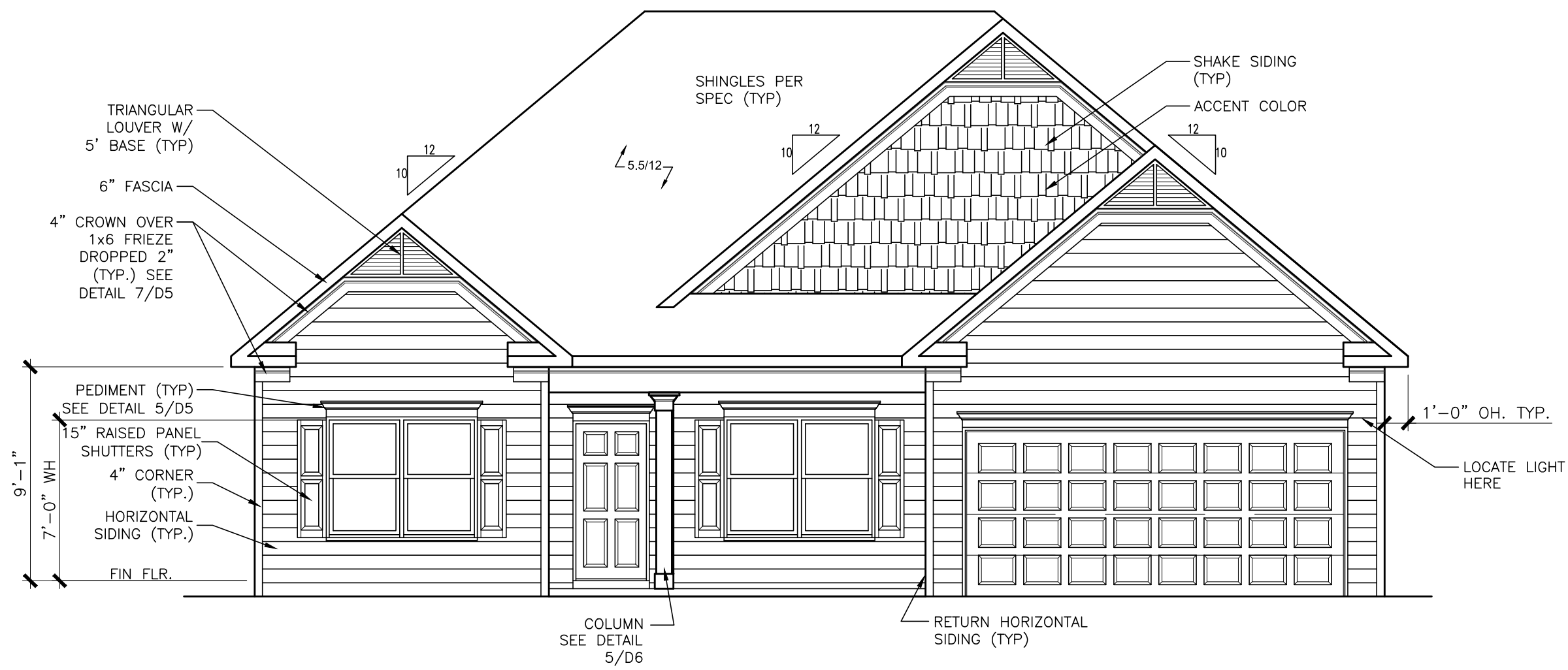


ELEVATION
FRONT ELEVATION
AVERY

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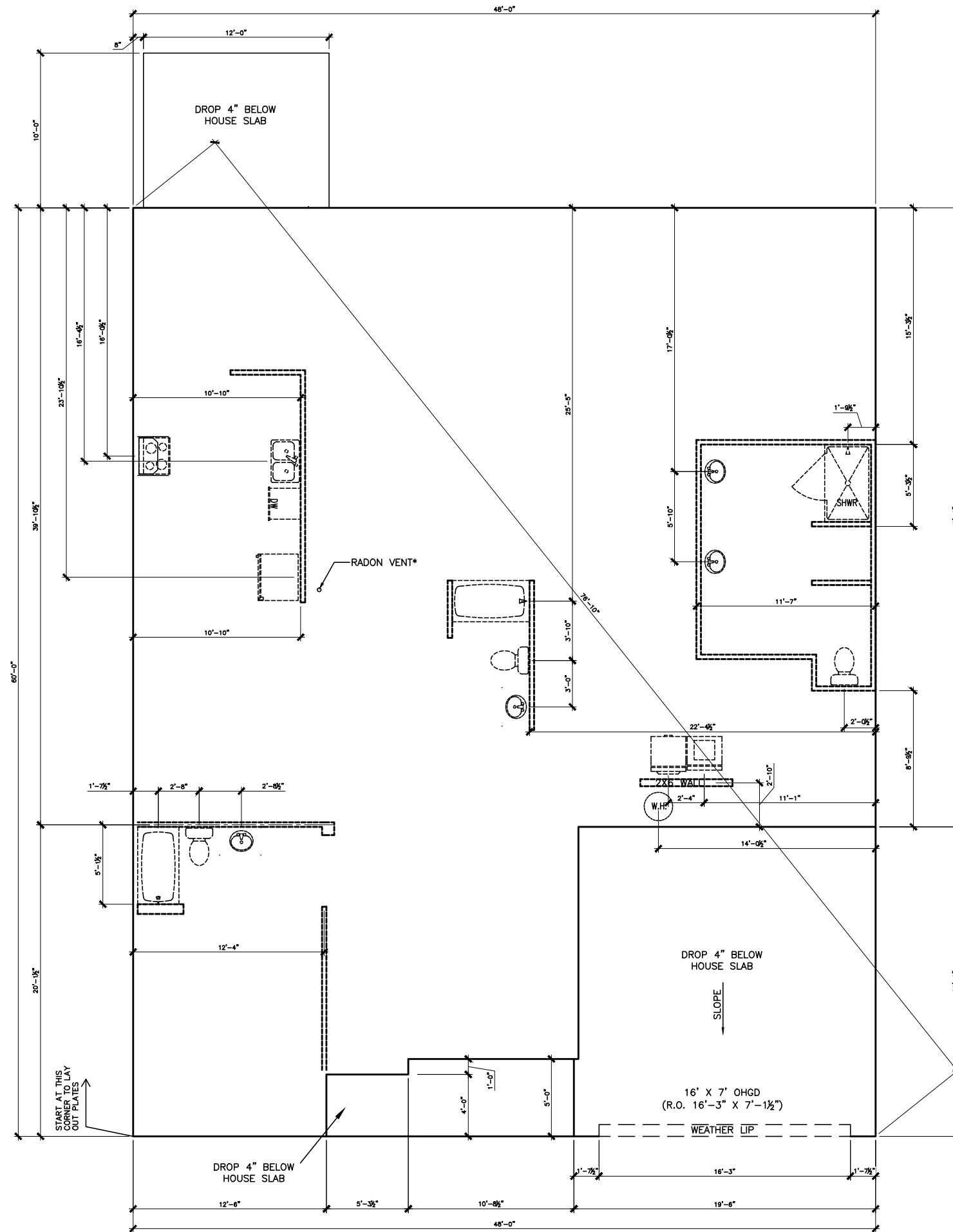
FRONT ELEVATION "C"

SCALE: 3/16" = 1'-0"

ALL NON-MASONRY RETURNS TO
BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL
DETAILS FOR SOFFIT DETAILS PER
SOFFIT MATERIAL

TOBACCO ROAD LOT 0152



SLAB PLAN

SCALE: 1/8" = 1'-0"

*RADON VENT PROVIDED
PER LOCAL CODE

REFER TO DETAIL 3/D1
FOR BRICK LEDGE
DETAIL WHEN BRICK
VENEER IS CHOSEN

DATE	REVISION	BY



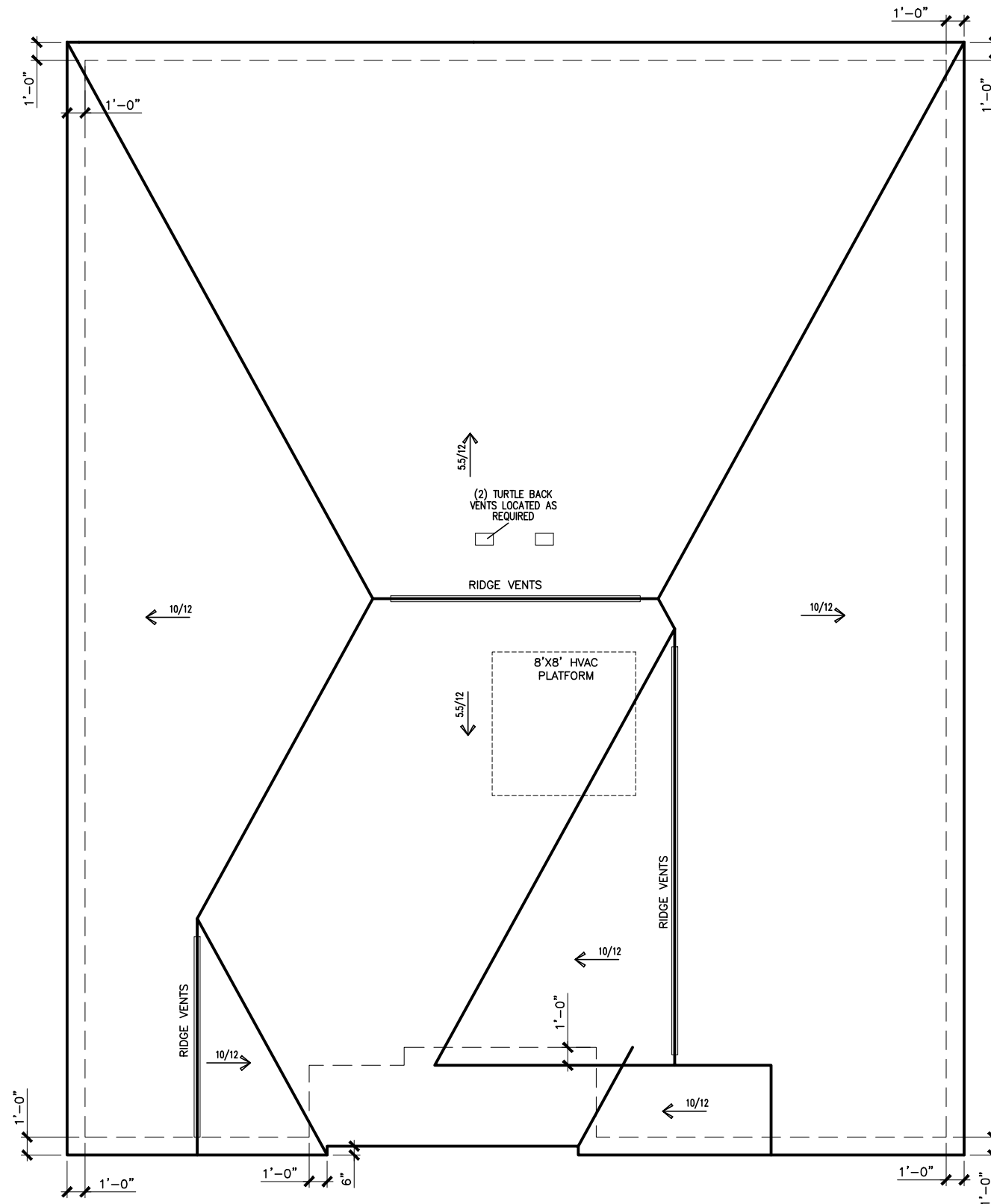
FOUNDATION PLAN
SLAB PLAN
AVERY

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TOBACCO ROAD LOT 0152



ROOF LAYOUT "C"
SCALE : 1/8" = 1'-0"

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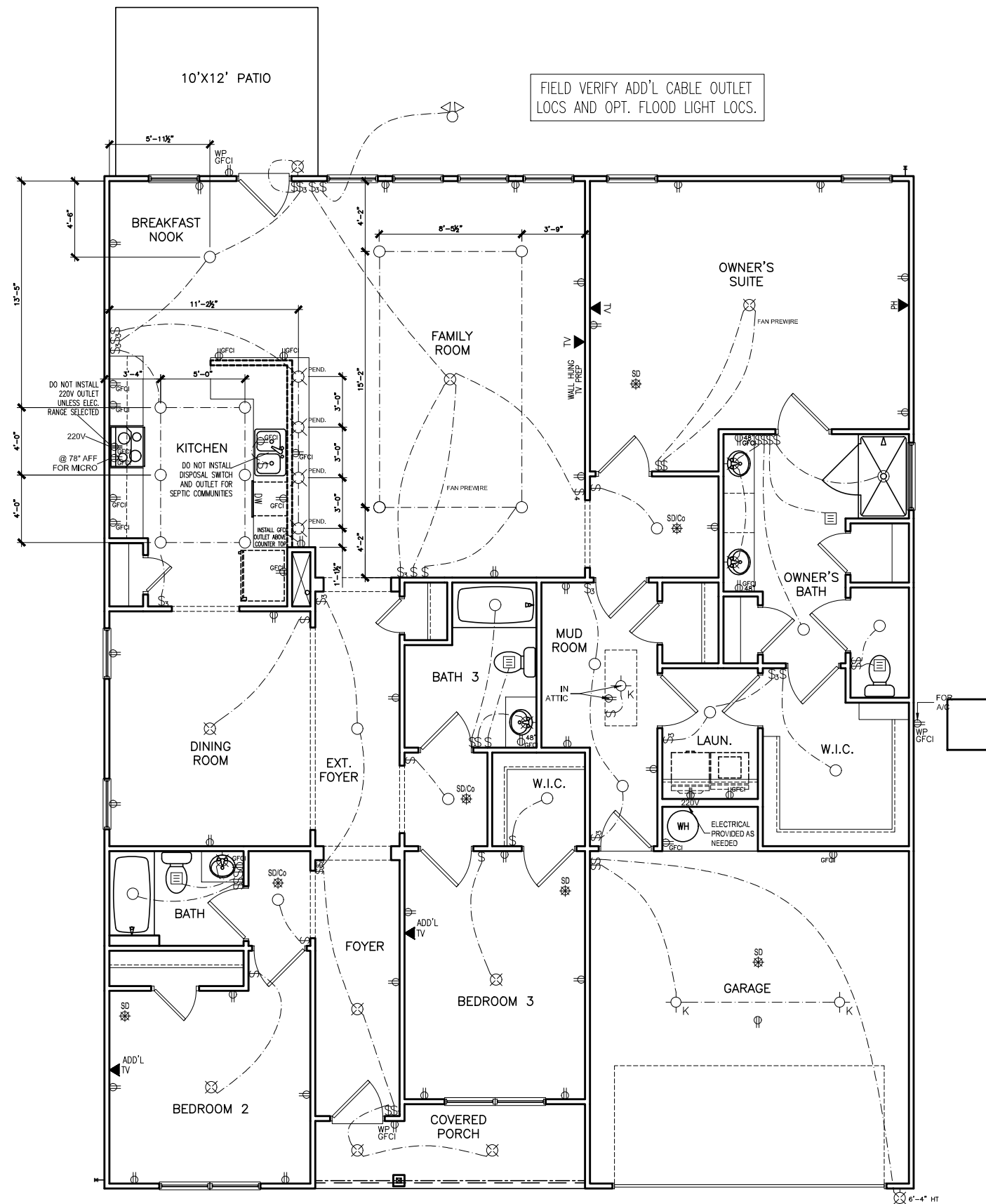
ROOF LAYOUT
ROOF PLAN
AVERY

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TOBACCO ROAD LOT 0152



ELECTRICAL LEGEND

\$	SWITCH	▼	TV
\$3	3 WAY SWITCH	⊙	120V RECEPTACLE
\$4	4 WAY SWITCH	⊙	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊙	220V RECEPTACLE
⊙	KEYLESS	⊙	GFCI OUTLET
⊗	WALL MOUNT FIXTURE	⊙	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	† _{GL}	GAS LINE
●	FLEX CONDUIT	† _{WL}	WATER LINE
CH	CHIMES	↓	HOSE BIBB
▼	TELEPHONE	⊙	FLOOD LIGHT
SD/Cd	SMOKE DETECTOR & CARBON MONOXIDE	▭	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊗	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
⊞	EXHAUST FAN	⊙	CEILING FIXTURE
⊞	FAN/LIGHT		

ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES

APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)

BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR
CEILING FAN	96" ABOVE FINISHED FLOOR

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

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DATE						

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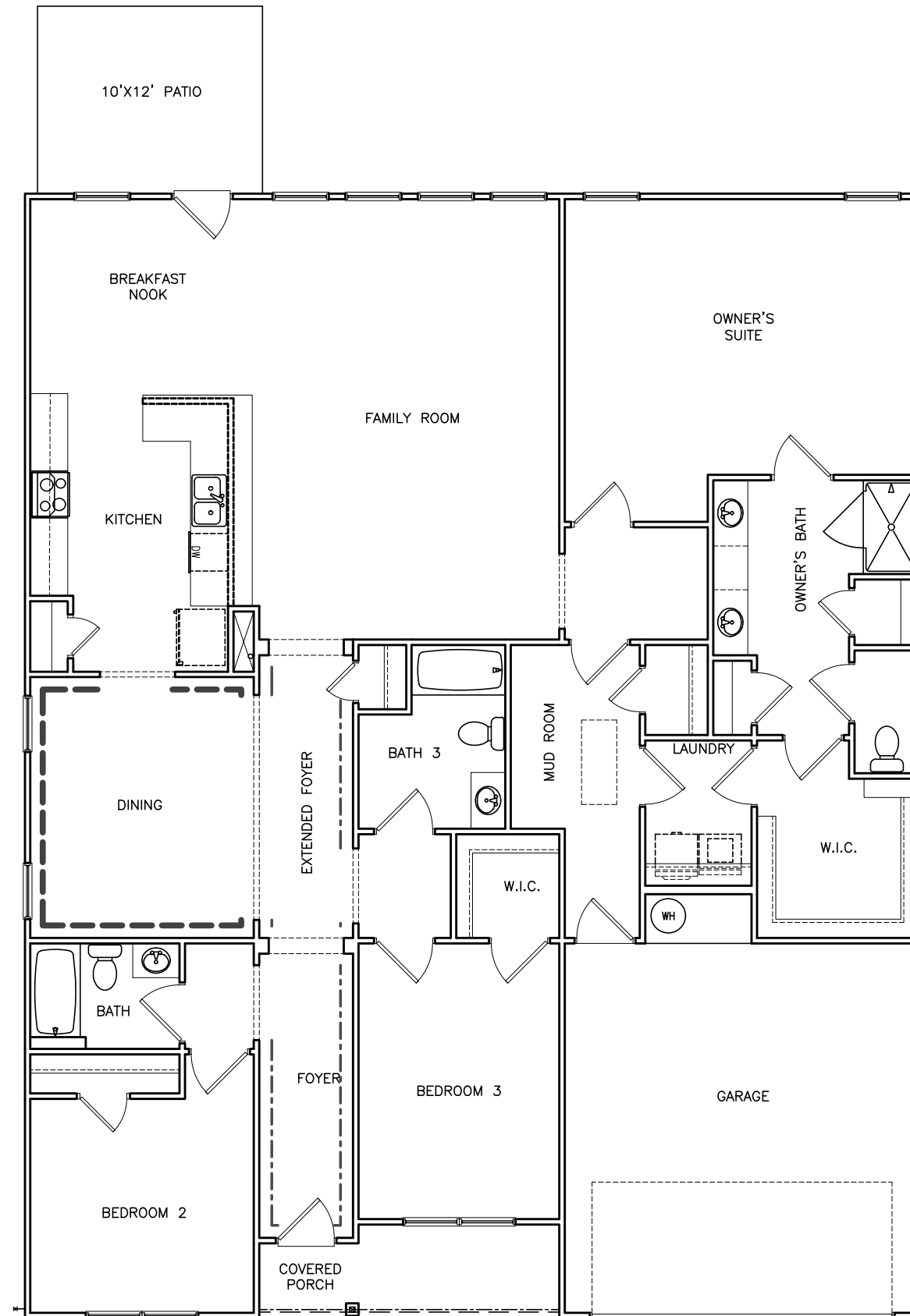
ELECTRICAL PLAN
FIRST FLOOR
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----- FOYER TRIM - CHAIR/SHADOW
 ----- DINING ROOM TRIM - CHAIR/SHADOW

TRIM LAYOUT FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"

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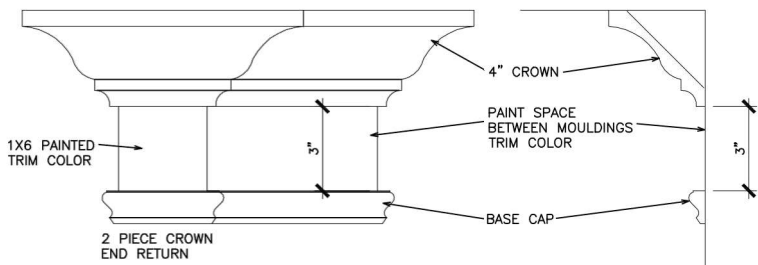
TRIM LAYOUT
 TRIM LAYOUT
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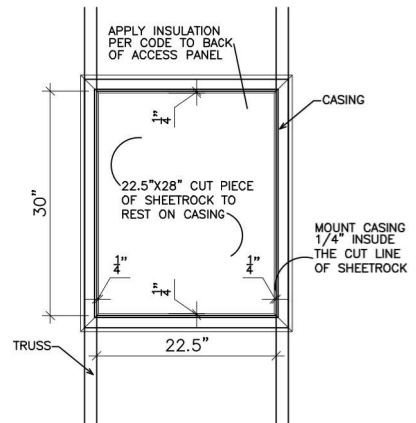
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REFER TO LOT SPECIFIC PLAN TO DETERMINE WHICH DETAILS APPLY



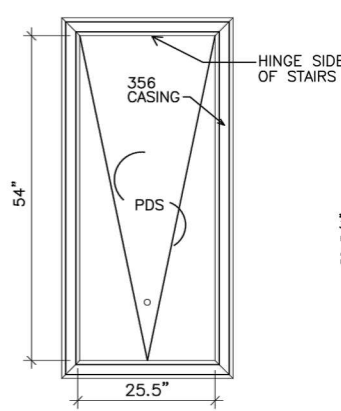
TYPICAL TWO PIECE CROWN

N.T.S.



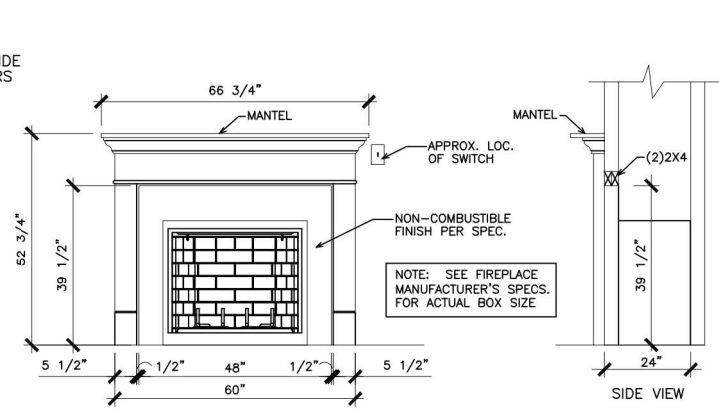
SCUTTLE HOLE DETAIL

N.T.S.



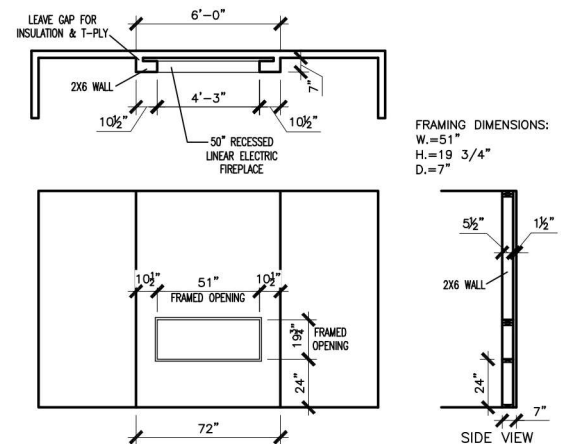
PDS TRIM DETAIL

N.T.S.



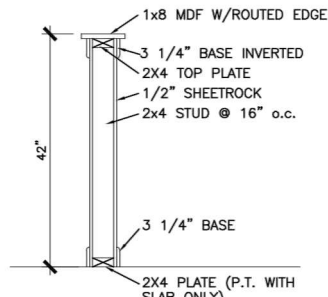
GAS/ELECTRIC FIREPLACE DETAIL WITH WESCOTT WOOD MANTEL

N.T.S.



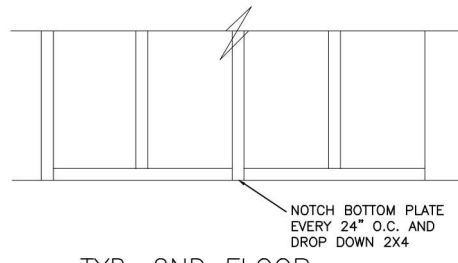
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S.



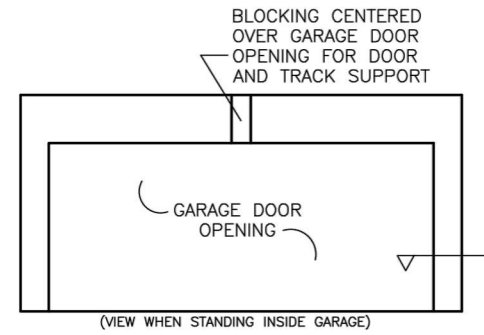
TYP. KNEEWALL SECTION

N.T.S.



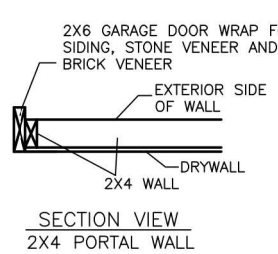
TYP. 2ND FLOOR KNEEWALL STABILITY

N.T.S.

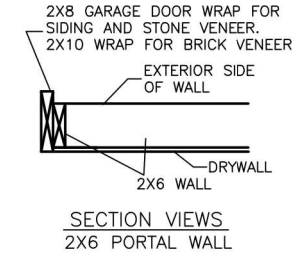


TYP. GARAGE WRAP & BLOCKING

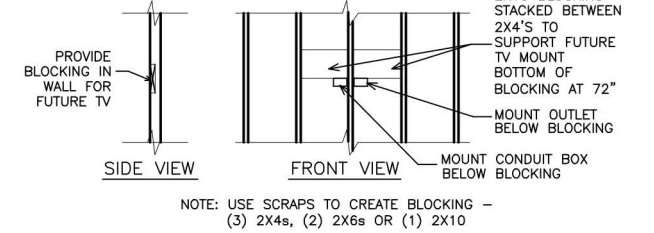
N.T.S.



SECTION VIEW 2X4 PORTAL WALL

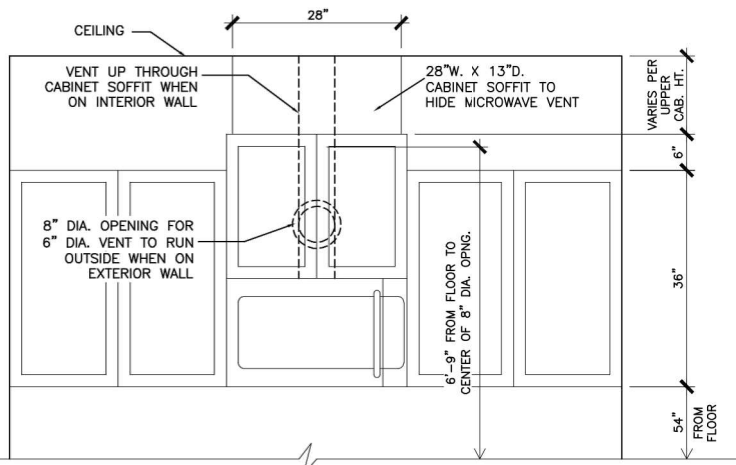


SECTION VIEWS 2X6 PORTAL WALL



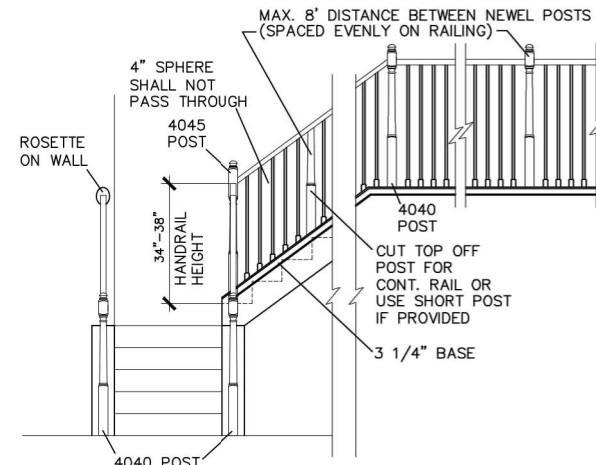
TYP. TV WALL PREP

N.T.S.



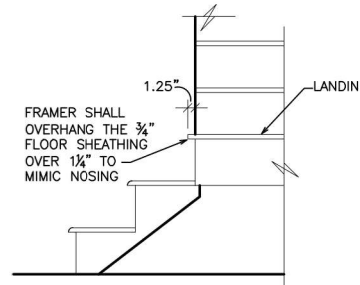
CABINET SOFFIT DETAIL ABOVE VENTED MICROWAVE W/CABINET ABOVE RANGE BUMPED UP & OUT

N.T.S.



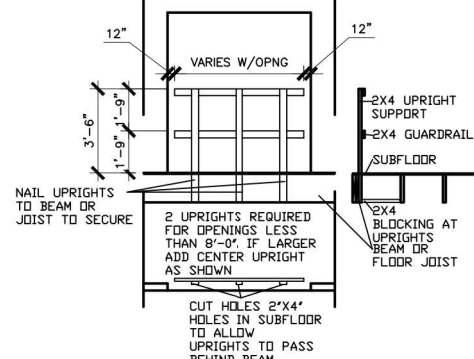
HANDRAIL/POST DETAIL @ STAIRS

N.T.S.



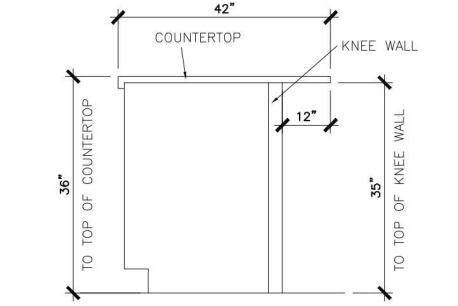
BOX STEP OVERHANG

N.T.S.



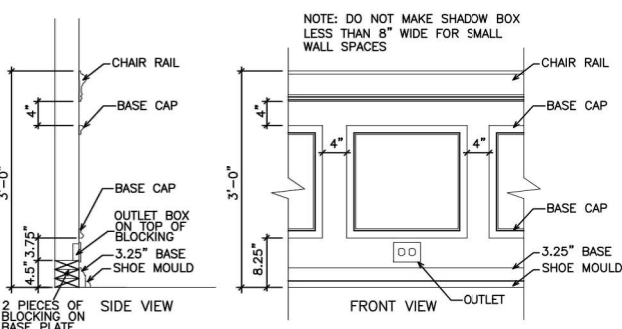
GUARD RAIL DTL. AS REQ'D

N.T.S.



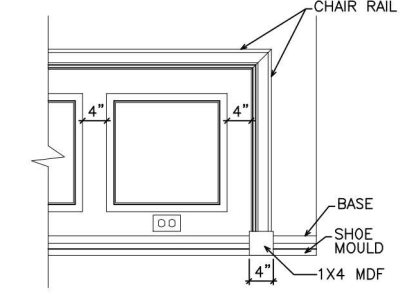
SECTION @ ISLAND KNEEWALL

N.T.S.



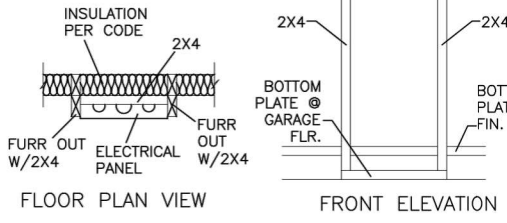
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S.



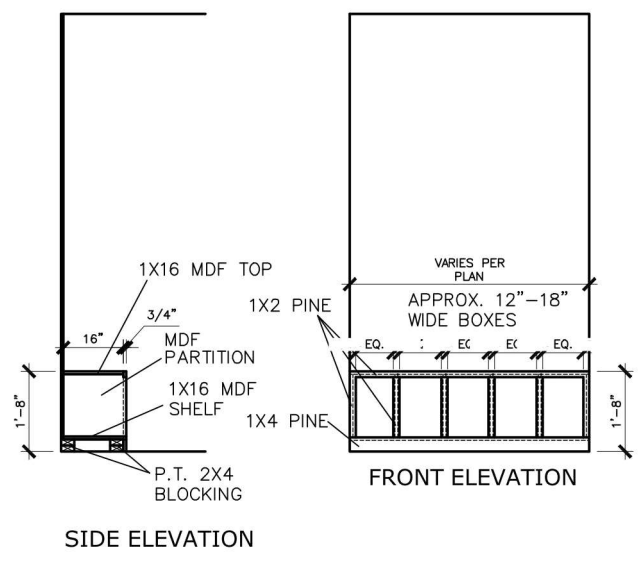
CHAIR RAIL END TRIM DETAIL

N.T.S.



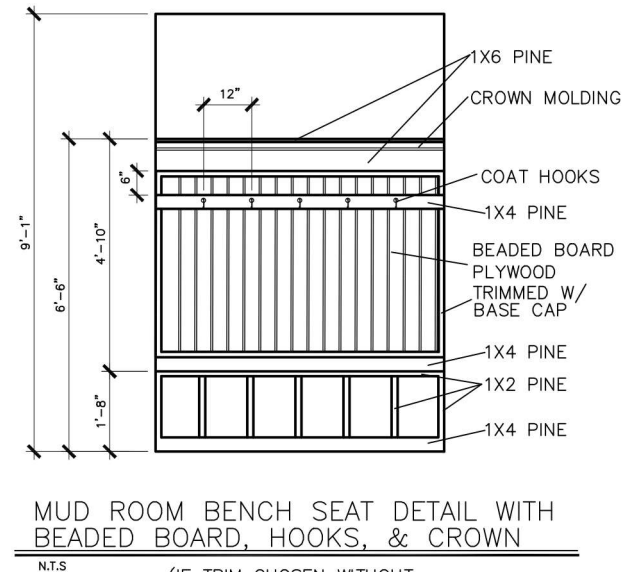
ELECTRICAL PANEL DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL WITH BEADED BOARD, HOOKS, & CROWN

N.T.S.

(IF TRIM CHOSEN WITHOUT BENCH CONTINUE TO FLOOR)

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INTERIOR TRIM DETAILS

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MULHERN+KULP RESIDENTIAL STRUCTURAL ENGINEERING 3822 Shawboro Park (Hwy. 286 - Alamogordo, NC 28502) 919-777-4974 - mulhern@mulhernkulp.com NC License # C-3825

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

Table with 3 columns: DESCRIPTION OF BLDG. ELEMENT, 3"x0.131" NAILS, 3"x0.120" NAILS. Rows include JOIST TO SOLE PLATE, SOLE PL. TO JOIST/RIM OR BLK'G STUD TO PLATE, RIM TO TOP PLATE, etc.

* 2 1/2"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE * ARE SHOWN)

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MK FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

VENEER LINTEL SCHEDULE

Table with 3 columns: SPAN (MAX), HEIGHT OF VENEER ABOVE LINTEL, STEEL ANGLE SIZE. Rows include 3'-0", 6'-0", 8'-0", 9'-6" spans.

ALL LINTELS: - SHALL SUPPORT 2 3/8" - 3 1/2" VENEER w/ 40 psf MAXIMUM HEIGHT. - 1/2" SHALL HAVE 4" MIN. BEARING IN 1/2" SHALL HAVE 8" MIN. BEARING

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NCSBG-RESIDENTIAL CODE & 2018 IRC WITH SOUTH CAROLINA AMENDMENTS. FOOTING DESIGN - 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY. FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING: 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C., 7" MIN. EMBEDMENT

LEGEND

- INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.) INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.) INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: 120MPH WIND IN 2018 NCSBG-RC & 120MPH WIND IN 2018 IRC (120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC (SECTION 1604) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NCSBG-RC & 2018 IRC. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBG-RC & 2018 IRC SECTION R802.11.1.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 & R802.11.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING w/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.) ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN. DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O. ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.

- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING INDICATES HOLDDOWN

NON-BEARING HEADER SCHEDULE

Table with 3 columns: SPAN, 2x4 NON-BEARING PARTITION WALL, 2x6 NON-BEARING PARTITION WALL. Rows include UP TO 3'-0", UP TO 6'-0", UP TO 8'-0" spans.

NOTES: ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX.)

FLOOR FRAMING

- I-JOISTS SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. EXCLUDES STONE/MARBLE OR NET BED CONSTRUCTED FLOORS - CONTACT MK FOR EXCLUDED FLOOR DESIGNS PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER 'DESIGN LOADS').

ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS - w/ 2 3/8" x 0.131" NAILS @ 6" O.C. PANEL EDGES & @ 12" O.C. FIELD. - w/ 2 3/8" x 0.120" NAILS @ 4" O.C. PANEL EDGES & @ 8" O.C. FIELD. - w/ 2 3/8" x 0.113" NAILS @ 3" O.C. PANEL EDGES & @ 6" O.C. FIELD.

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NCSBG-RESIDENTIAL CODE & 2018 IRC WITH SOUTH CAROLINA AMENDMENTS. WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION. DESIGN LOADS: ROOF LIVE = 20 PSF DEAD = 1 PSF T.C., 10 PSF B.C. LOAD DURATION FACTOR = 1.25 FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = 10 PSF (1-JOISTS) ADD'L 10 PSF @ CERAMIC TILE IN BATHS & LAUND.

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3(1)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS. EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP 'STUD' GRADE LUMBER, OR BETTER, U.N.O. WALLS OVER 12' TALL SHALL BE PER PLAN.

Tobacco Lot 152

GENERAL STRUCTURAL NOTES AVERY MODEL 120 MPH WIND ZONE NORTH CAROLINA

sheet: SO.0

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 NC License # C-3825

Mulhern+Kulp project number:
256-22014
 project mgr: **SMK**
 drawn by: **MMD**
 issue date: **09-29-2023**
 REVISIONS:
 date: initial:

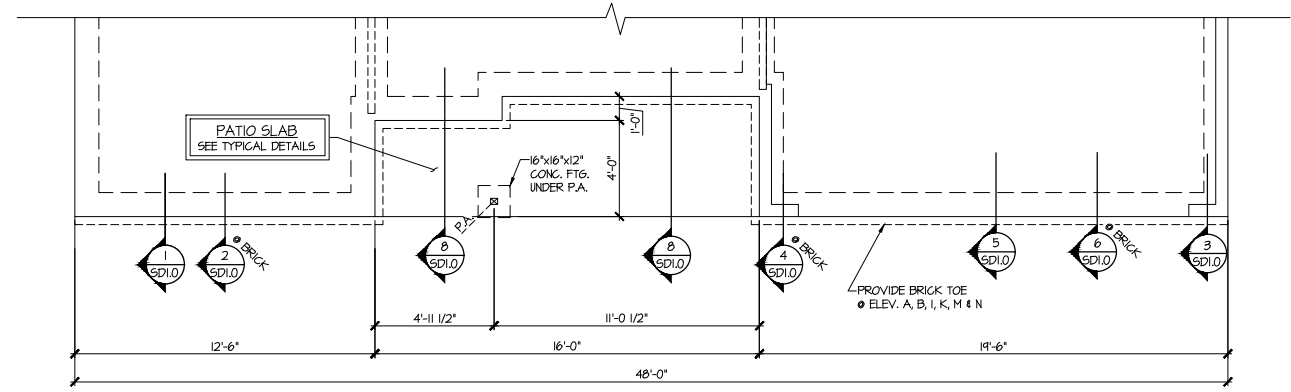
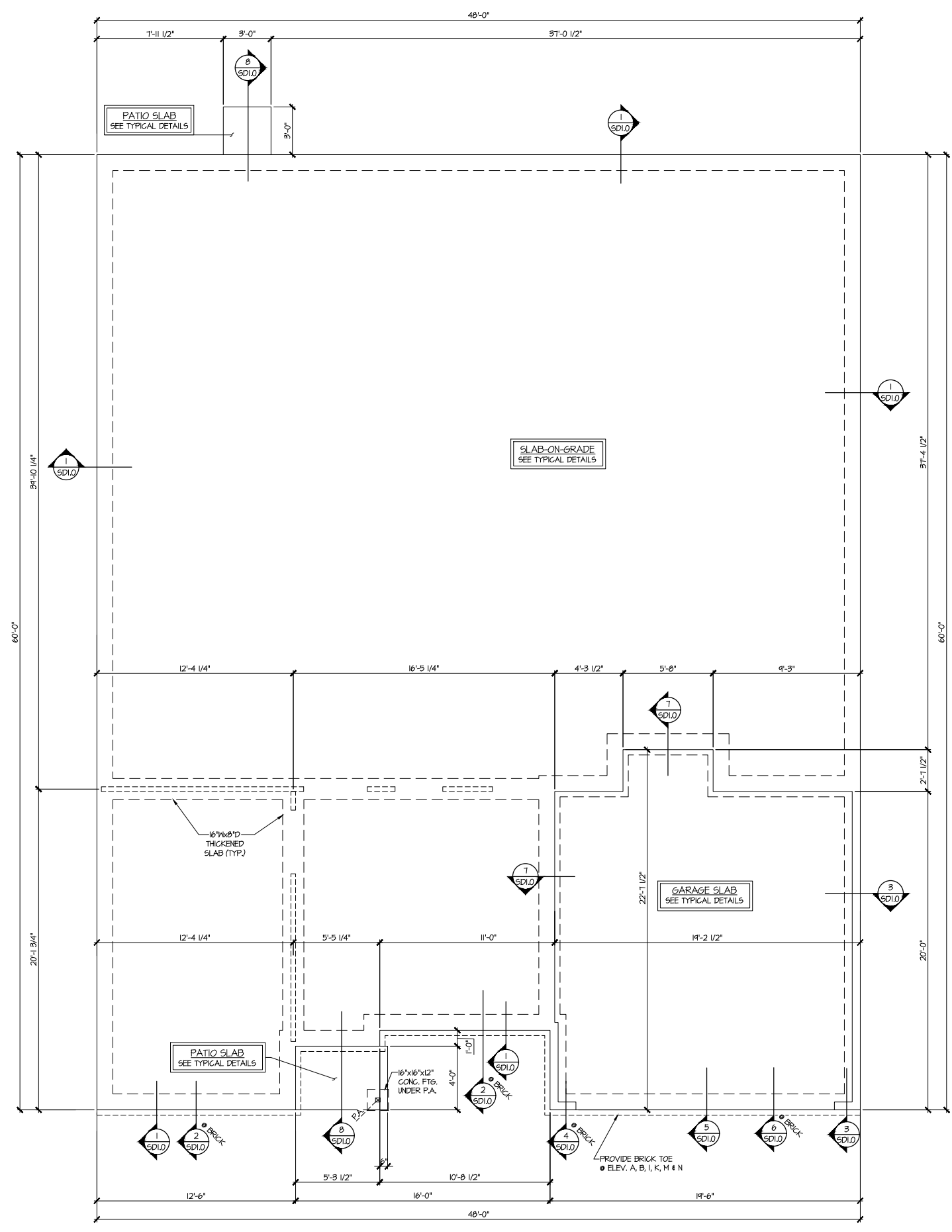
SMITH DOUGLAS
 HOMES

**Tobacco
 Lot 152**

REFER TO S.O. FOR TYPICAL
 STRUCTURAL NOTES & SCHEDULES

MONO-SLAB FOUNDATION
 AVERY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

sheet:
S1.0



2 MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. B, C, E, F, H, K, I, N
 (SEE ELEV. A FOR ADD'L INFO)

1 MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. A, F, I, J

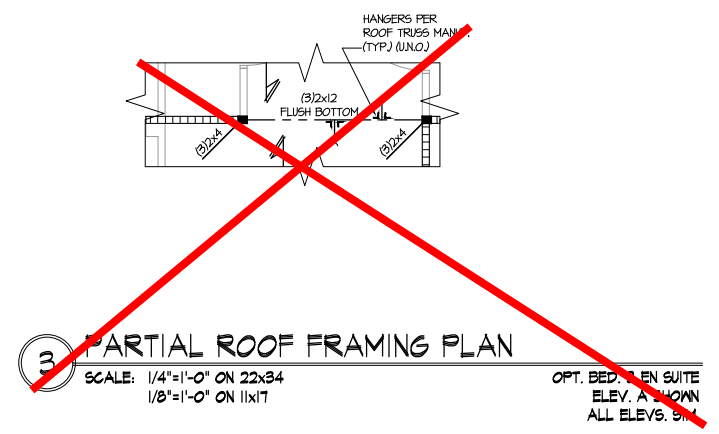
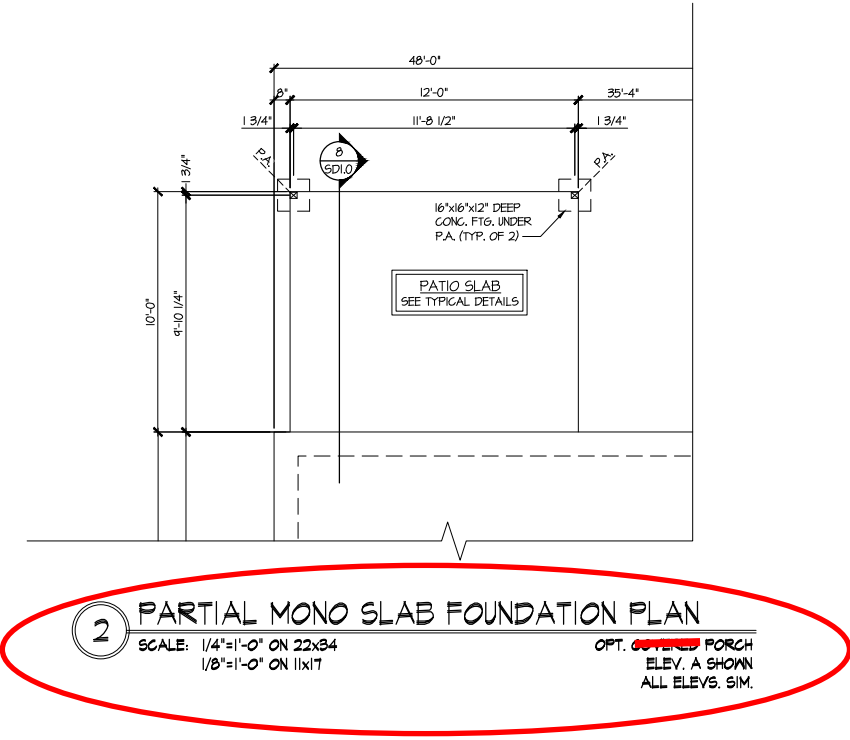
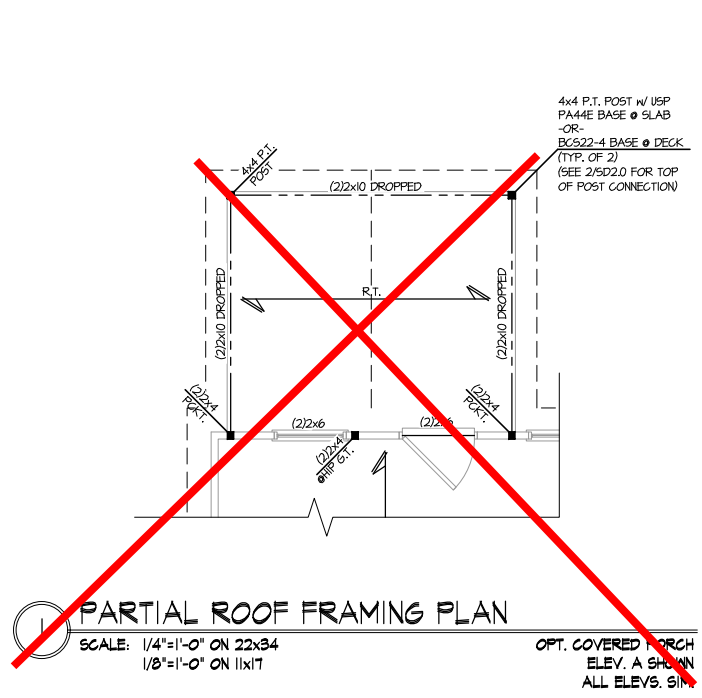
LEGEND	
	R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
	O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
	F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
	D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

Mulhern+Kulp project number:	256-22014
project mgr:	SMK
drawn by:	MMD
issue date:	09-29-2023
REVISIONS:	
date:	initial:

SMITH DOUGLAS
 HOMES

OPTIONAL FRAMING PLANS
 A VERY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

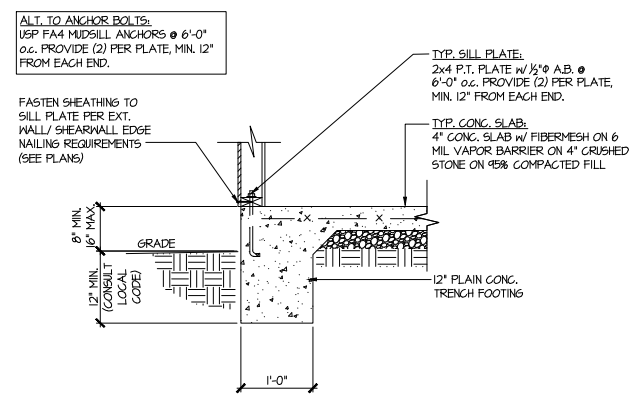
sheet:
S5.0



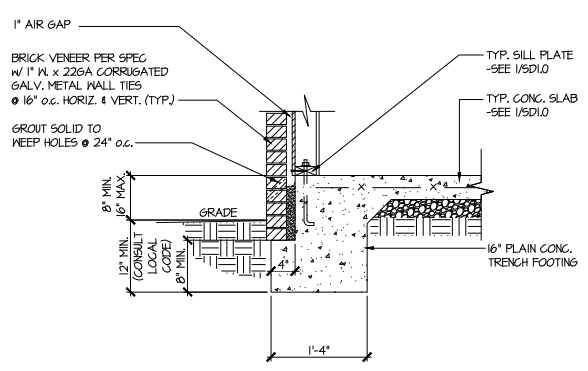
**Tobacco
 Lot 152**

REFER TO S0.0 FOR TYPICAL
 STRUCTURAL NOTES & SCHEDULES

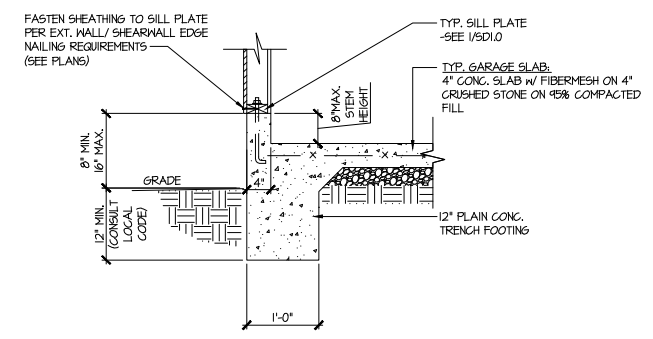
LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNQ.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNQ.)
	INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
	INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



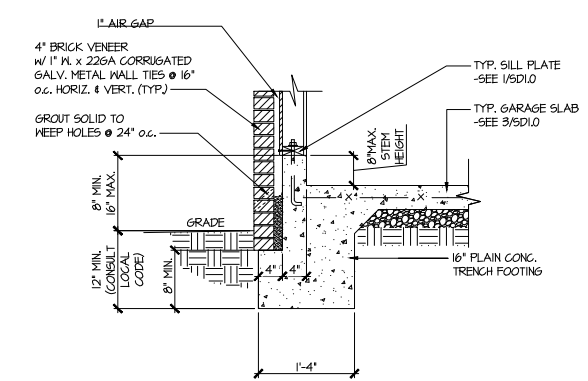
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING



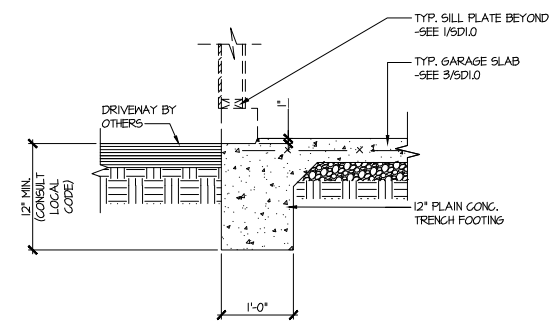
2 TYPICAL SLAB ON GRADE PERIMETER FOOTING w/ BRICK VENEER



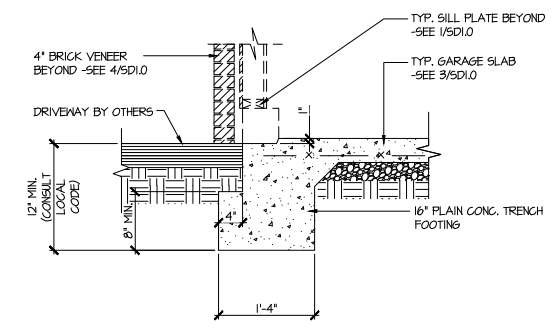
3 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



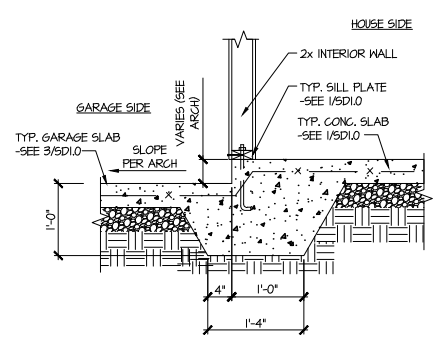
4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER



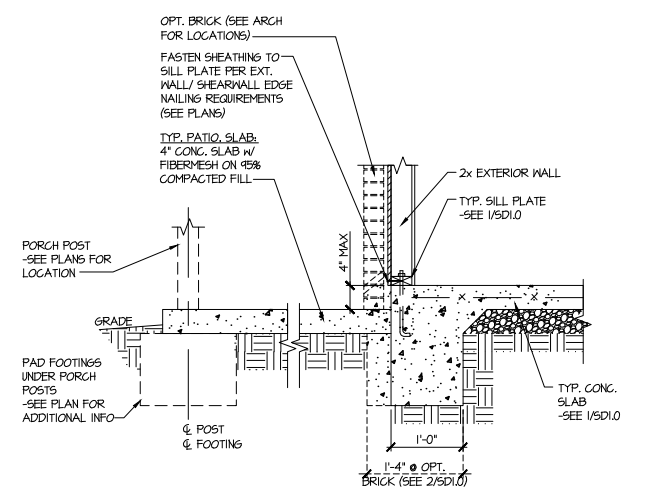
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



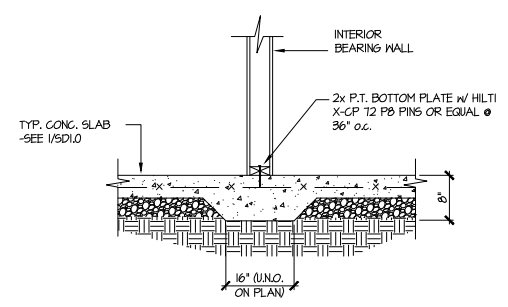
6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING w/ BRICK VENEER



7 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

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Mulhern+Kulp project number:
 256-22014

project mgr: SMK
 drawn by: MMD
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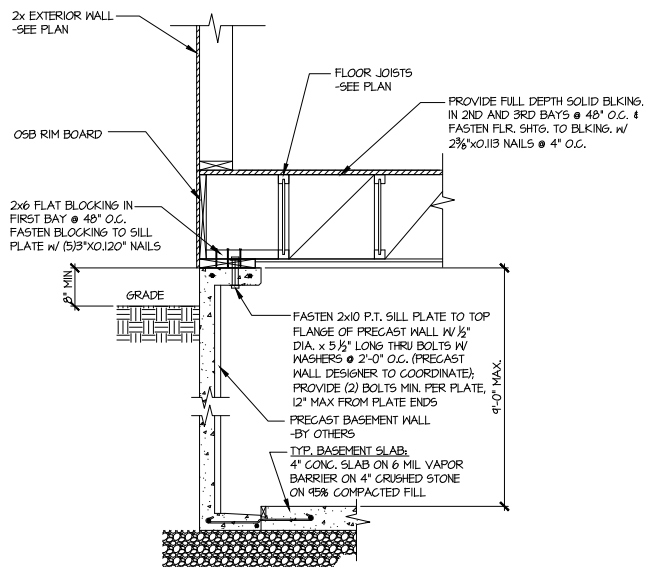
REVISIONS:
 date: initial:

SMITH DOUGLAS
 HOMES

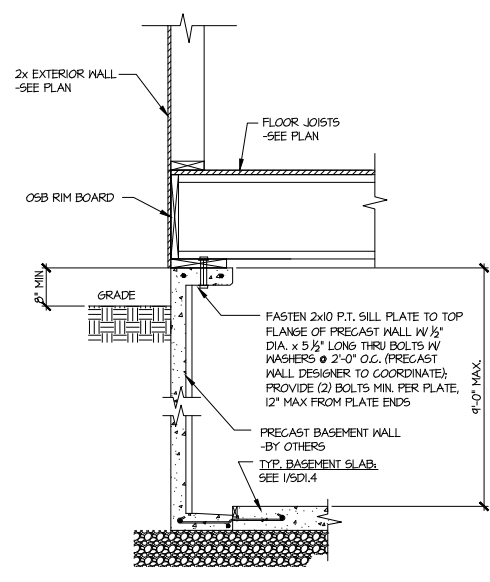
FOUNDATION DETAILS
 AVERY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

Tobacco
 Lot 152

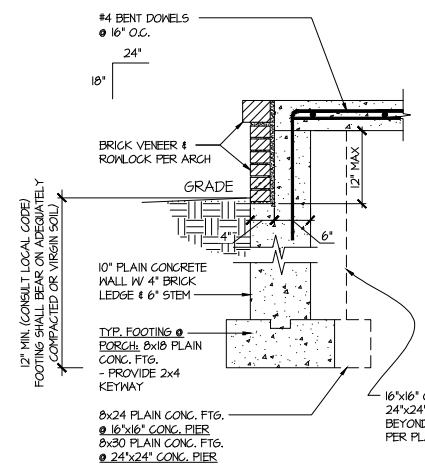
sheet:
SD1.0



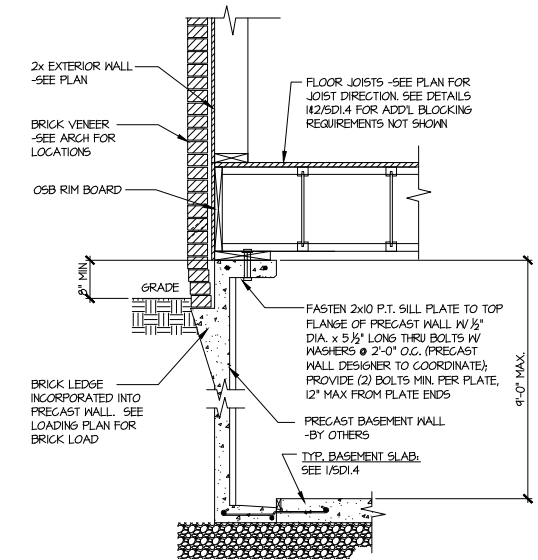
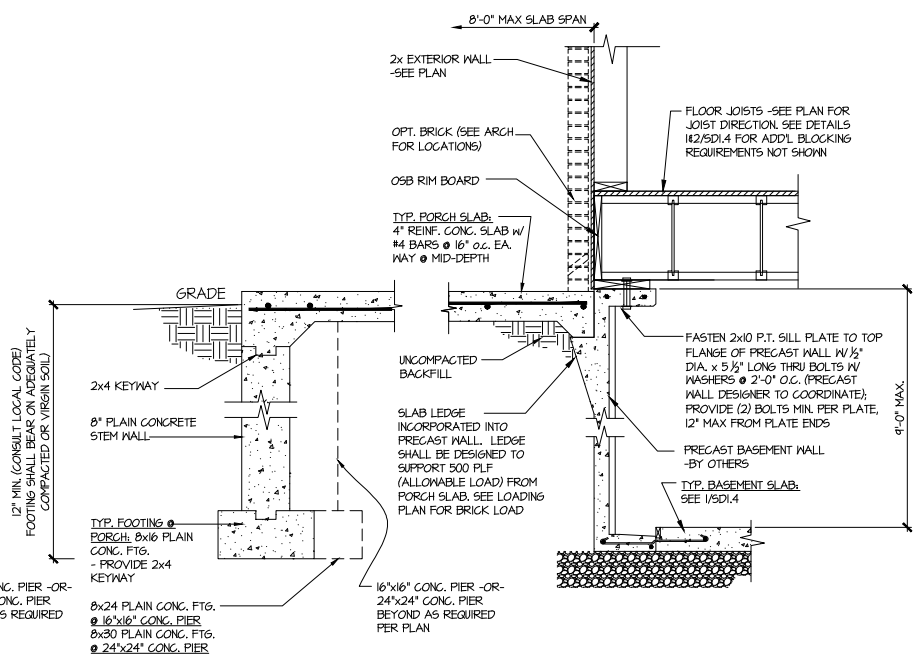
1 SECTION
 SCALE: 3/4"=1'-0"



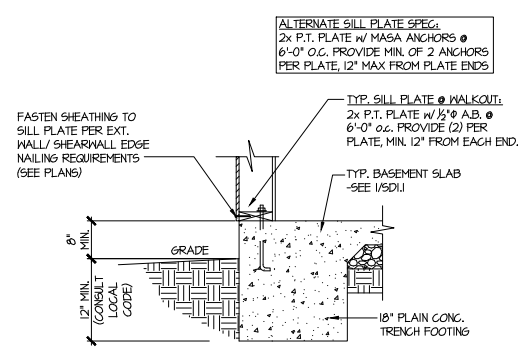
1A SECTION
 SCALE: 3/4"=1'-0"



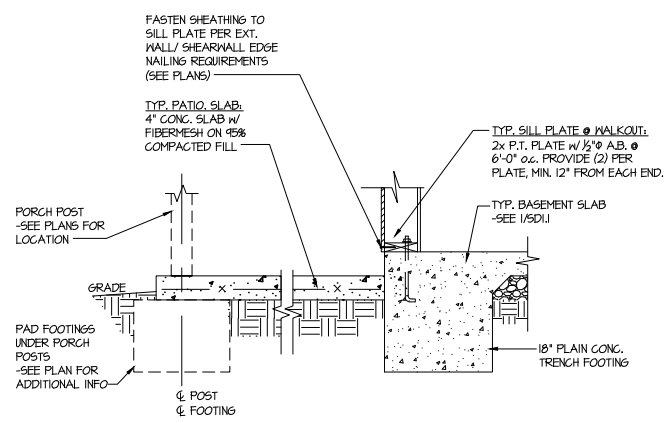
3 SECTION
 SCALE: 3/4"=1'-0"



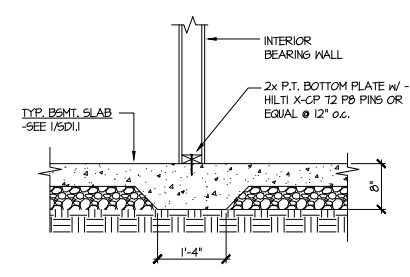
2 SECTION
 SCALE: 3/4"=1'-0"



4 TYPICAL BASEMENT FOUNDATION @ WALKOUT



5 TYPICAL BASEMENT FOUNDATION @ WALKOUT



6 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

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Mulhern+Kulp project number:
 256-22014

project mgr: SMK
 drawn by: MMD
 issue date: 09-29-2023

REVISIONS:
 date: initial:

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 HOMES

FOUNDATION DETAILS
 AVERY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

Tobacco
 Lot 152

sheet:
SD1.4

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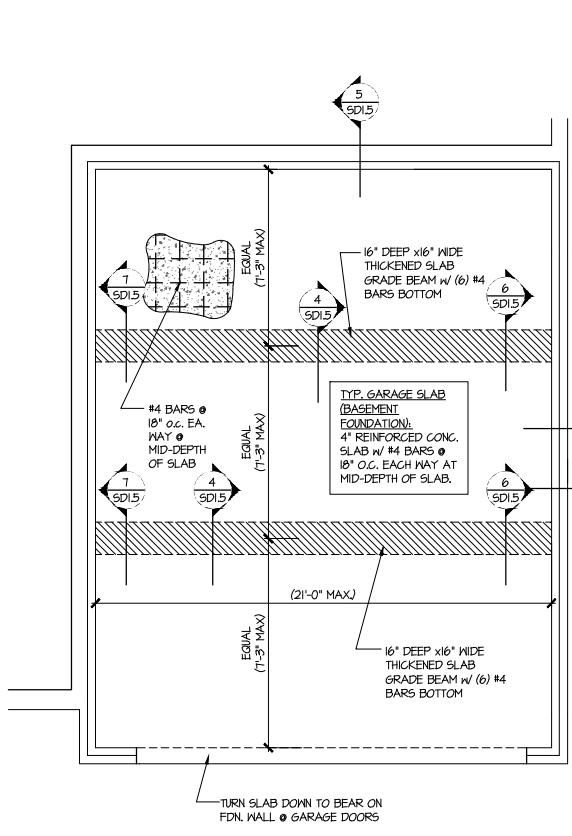
Mulhern+Kulp project number:
 256-22014
 project mgr: SMK
 drawn by: MMD
 issue date: 09-29-2023
 REVISIONS:
 date: initial:

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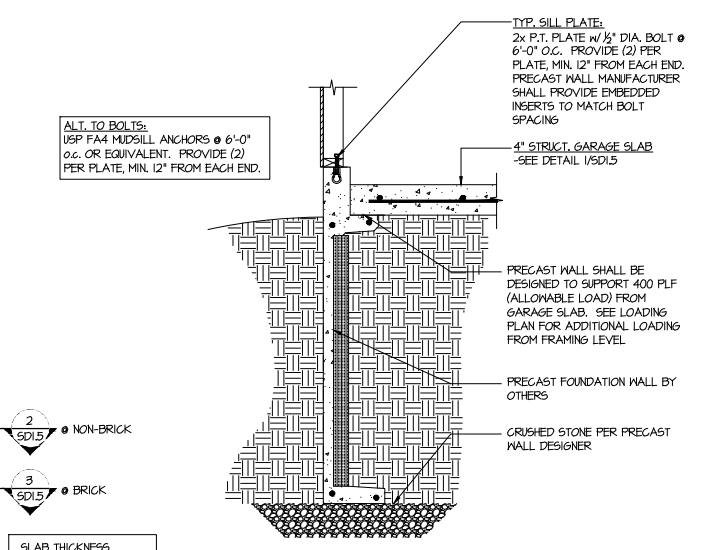
FOUNDATION DETAILS
 A VERY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

sheet:
SD1.5

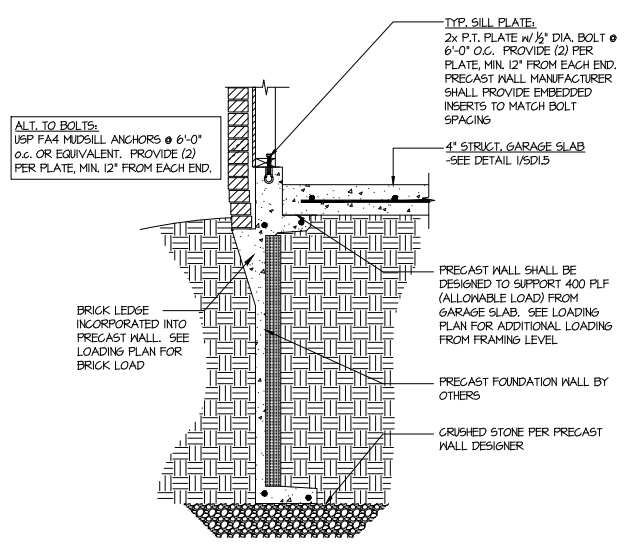
Tobacco
 Lot 152



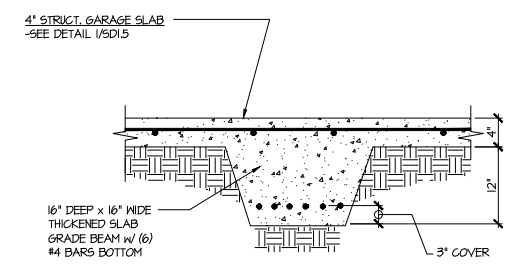
1 **GENERIC FOUNDATION PLAN KEY @ GARAGE**
 SCALE: 1/4"=1'-0"



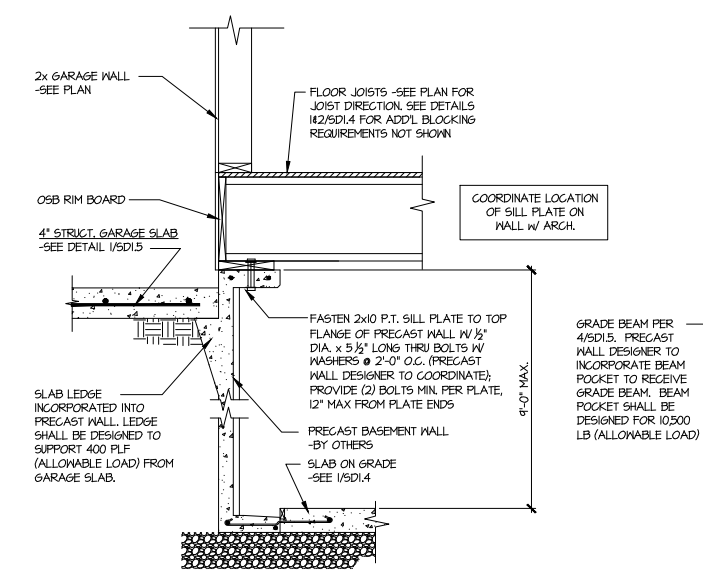
2 **TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION**



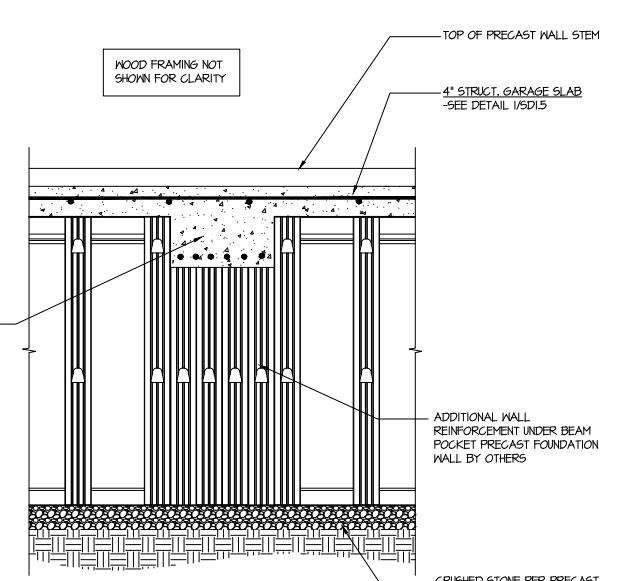
3 **TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION (BRICK)**



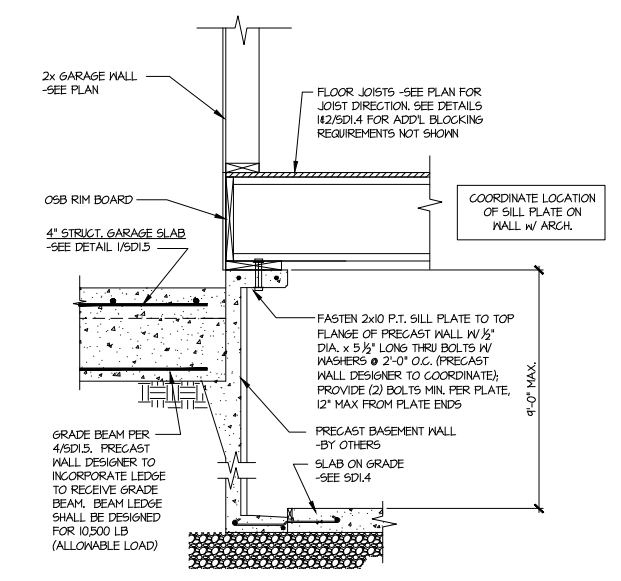
4 **TYPICAL CONCRETE GRADE BEAM @ GARAGE FDN.**
 SCALE: 3/4"=1'-0"



5 **CONCRETE BSMT. FDN. WALL @ GARAGE**



6 **SECTION**
 SCALE: 3/4"=1'-0"



7 **SECTION**
 SCALE: 3/4"=1'-0"

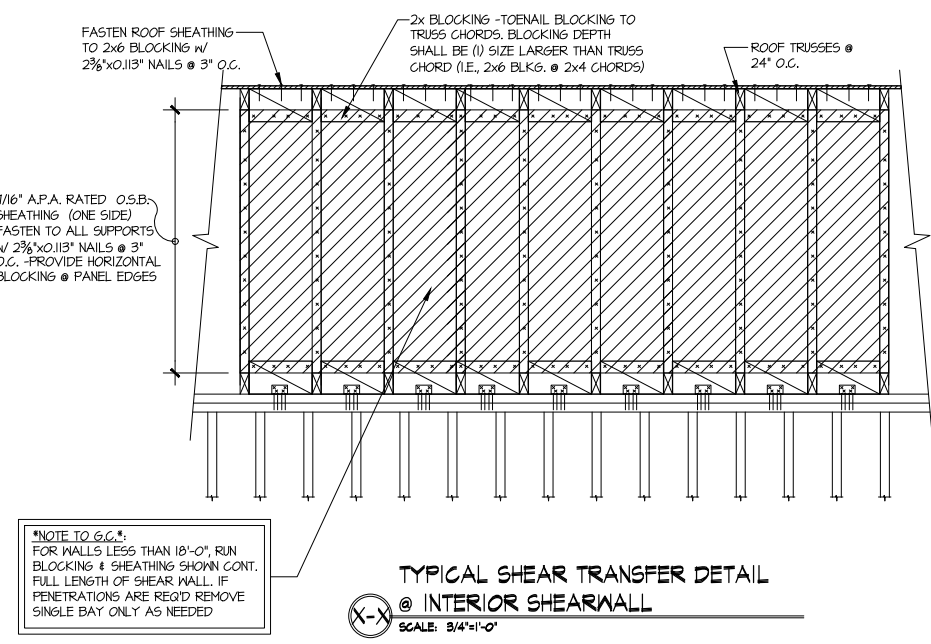
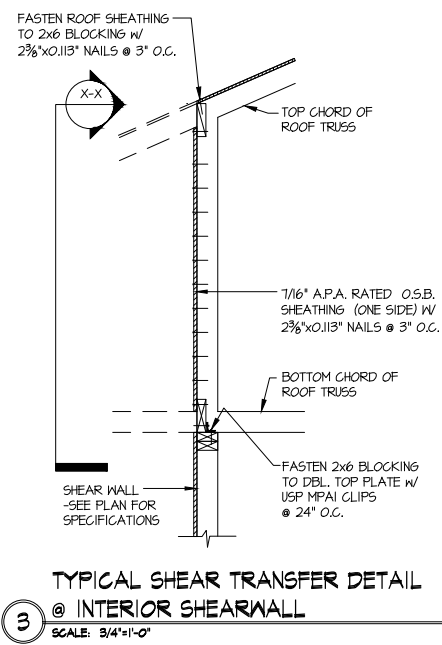
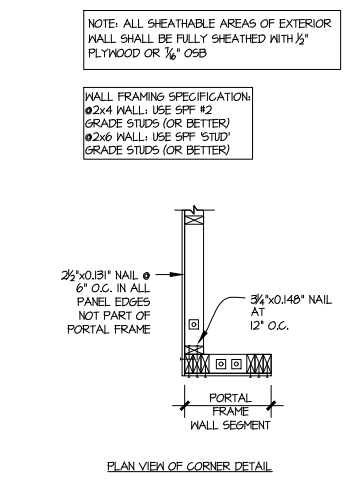
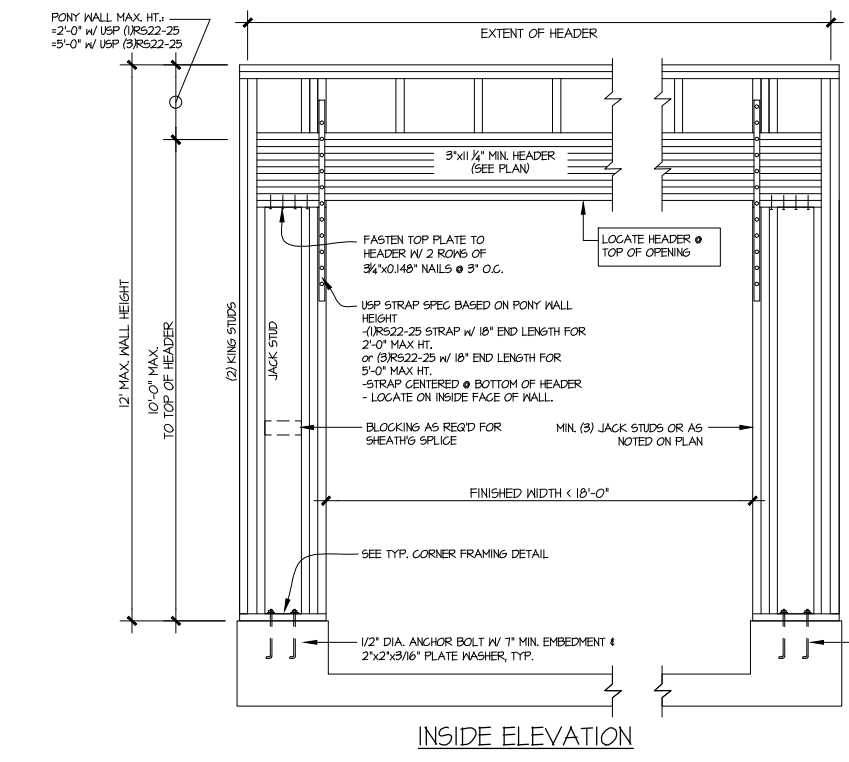
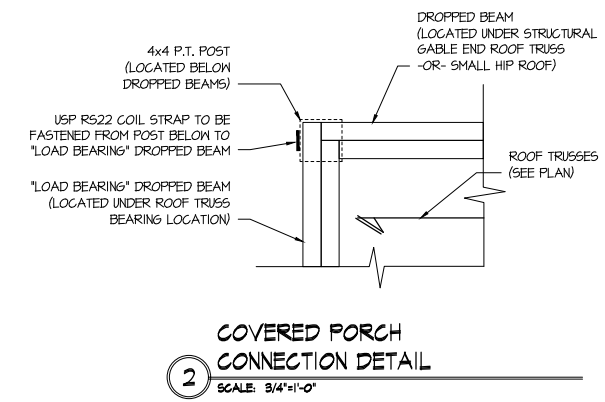
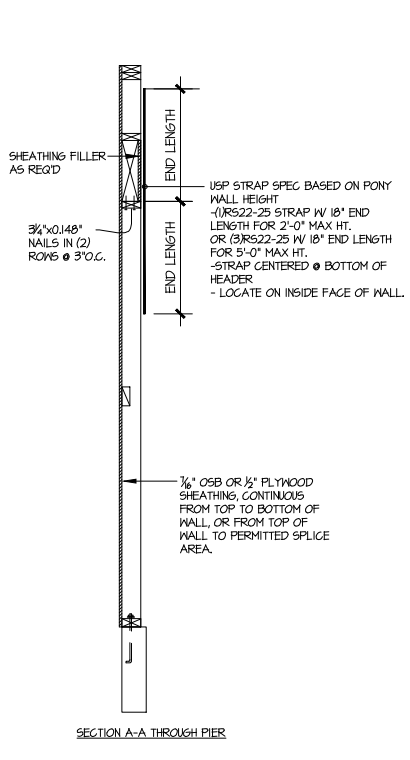
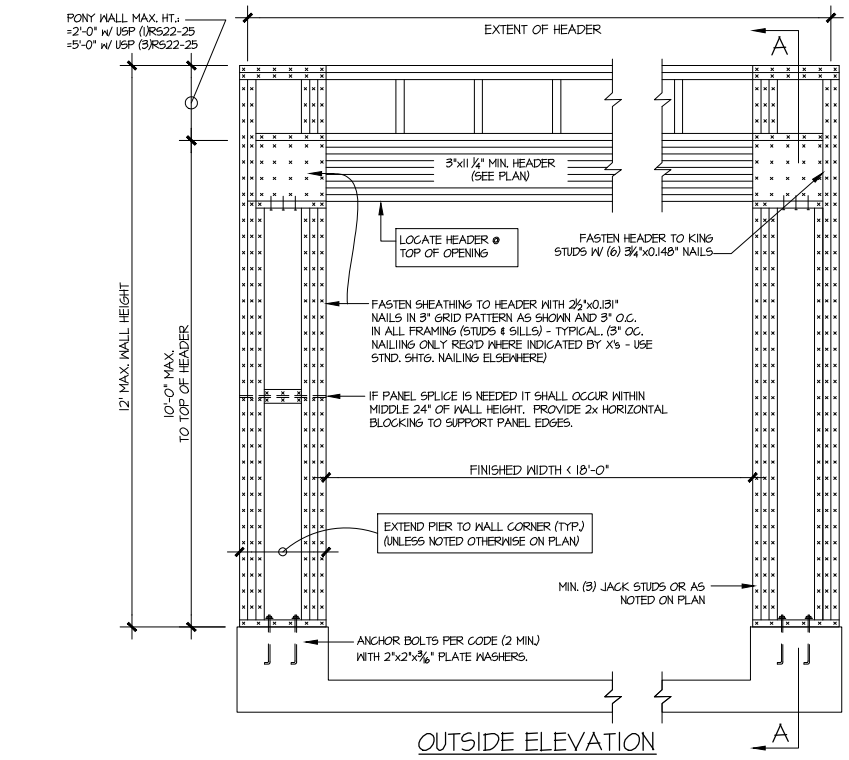
Mulhern+Kulp project number:
256-22014

project mgr: **SMK**
 drawn by: **MMD**
 issue date: **09-29-2023**

REVISIONS:
 date: initial:

SMITH DOUGLAS
 HOMES

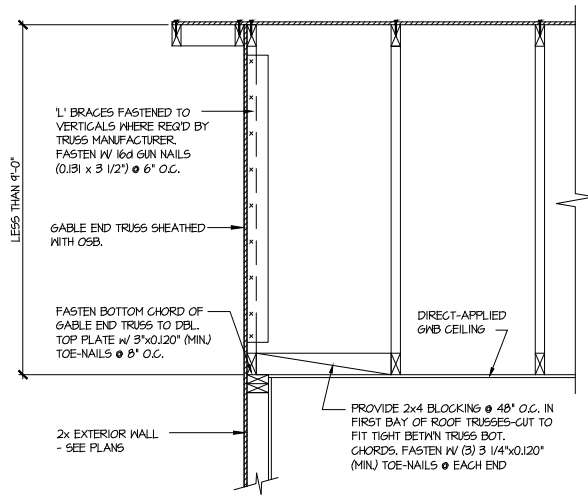
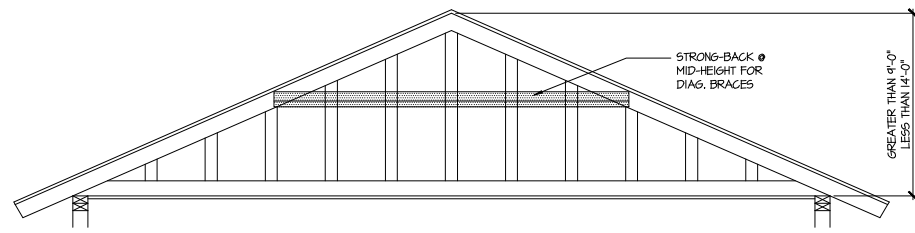
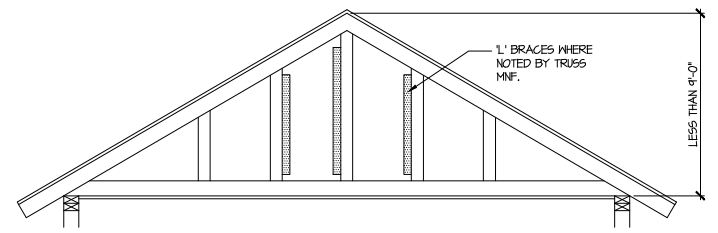
FRAMING DETAILS
 A VERY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA



NOTE TO G.C.:
 FOR WALLS LESS THAN 18'-0", RUN BLOCKING & SHEATHING SHOWN CONT. FULL LENGTH OF SHEAR WALL. IF PENETRATIONS ARE REG'D REMOVE SINGLE BAY ONLY AS NEEDED

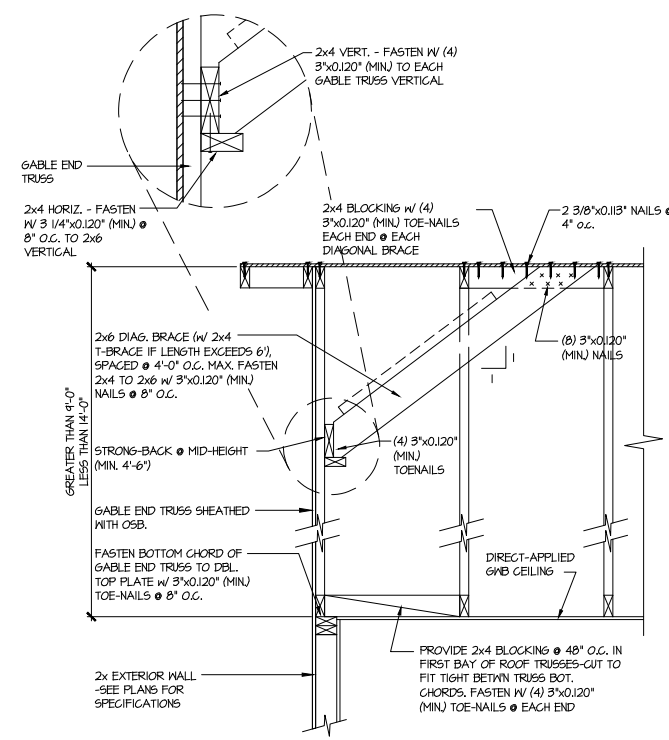
GARAGE PORTAL FRAME BRACING ELEVATION
 SCALE: N.T.S.
 BOTH SIDES OF GARAGE DOOR
 120 MPH WIND SPEED (ULT)

Tobacco
 Lot 152



A TYPICAL GABLE END BRACING DETAIL
 SCALE: NONE
 REQ'D @ GABLE END TRUSS
 HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



B TYPICAL GABLE END BRACING DETAIL
 SCALE: NONE
 REQ'D @ GABLE END TRUSS
 HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

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 HOMES

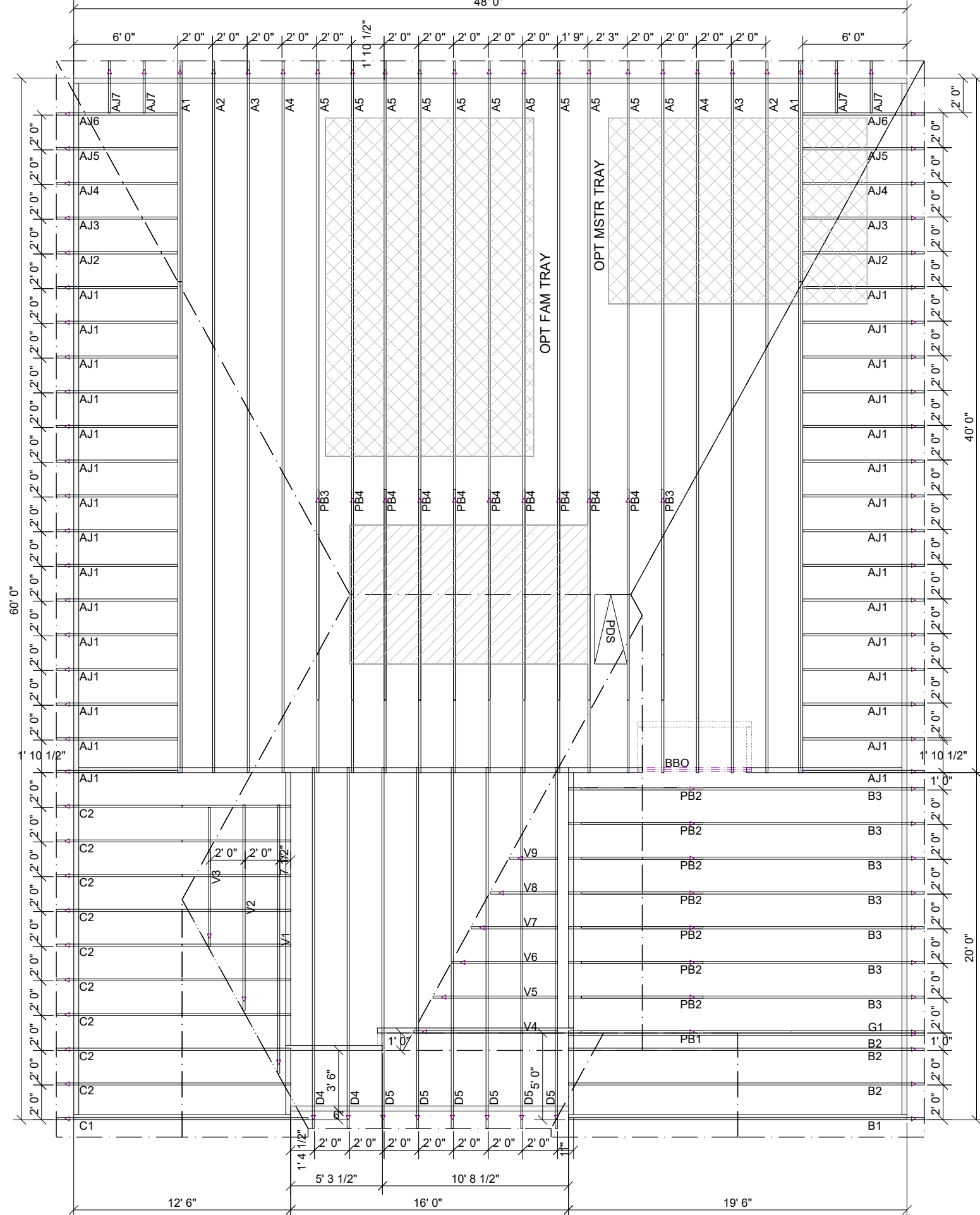
FRAMING DETAILS
 A VERY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

Tobacco
 Lot 152

sheet:
SD2.1

TRUSS TO WALL CONNECTIONS, IF SHOWN, ARE FOR UPLIFT ONLY AND DO NOT CONSIDER LATERAL LOADS. ALL CONNECTORS ON THIS PROJECT ARE TO BE INSTALLED PER THE CONNECTOR MANUFACTURER'S SPECIFICATIONS. ALL CONNECTORS SHOWN THAT ARE NOT "TRUSS TO TRUSS" ARE SUGGESTIONS ONLY AND ARE TO BE VERIFIED BY THE BUILDING DESIGNER OR ENGINEER FOR SUITABILITY TO THIS PARTICULAR PROJECT. UFP MID-ATLANTIC, LLC, ACCEPTS NO RESPONSIBILITY FOR THE SPECIFIC APPLICATION OR SUITABILITY OF ANY CONNECTOR THAT IS NOT "TRUSS TO TRUSS" AS THEY APPLY TO THIS SPECIFIC STRUCTURE.

72434515 152 TOBACCO



G1 ONLY INCLUDED WITH BRICK ELEVATIONS

AVERY CFI
NO TRAY

ROOF AREA: 3744.43 RIDGE LINE: 60.9 VALLEY LINES: 53.78 HIP LINES: 98.72 **△** Indicates Left End of Truss

<p>CUSTOMER: SMITH DOUGLAS</p> <p>Job Name: AVERY CFI</p> <p>Date: 6-2-20</p> <p>Scale: NTS</p> <p>Revision Date: _____</p> <p>Revision Date2: _____</p>		<p>NOTES: THIS DRAWING IS THE PROPERTY OF UFP MID-ATLANTIC, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF UFP MID-ATLANTIC, LLC. THIS DRAWING MUST BE USED IN CONJUNCTION WITH ALL OTHER TECHNICAL DRAWINGS SUPPLIED BY UFP MID-ATLANTIC, LLC AND BRACING WOOD TRUSSES, COMMENTARY AND RECOMMENDATIONS AS PUBLISHED BY THE TRUSS MANUFACTURER. UFP MID-ATLANTIC, LLC IS NOT RESPONSIBLE FOR TRUSSES (TR) IS LOCATED AT 683 D CONFRID DR, SUITE 200 MADISON, WI 53719 (608) 833-5800</p>	
<p>Drawn By: AS</p> <p>Quote Number: MASTER</p>		<p>1. TEMPORARY BRACING TO BE INSTALLED w/T.P.I. STANDARD BCSI-B1.</p> <p>2. SEE ENGINEERED DRAWING FOR PERMANENT BRACING MINIMUM REQUIREMENTS.</p> <p>3. FRAMER TO VERIFY ALL DIMENSIONS, DROP, & RISE LOCATIONS PRIOR TO TRUSS PLACEMENT.</p> <p>4. BLDG/FRAMER RESPONSIBLE FOR ADJUSTMENT OF TRUSS SPACING TO MISS PLUMBING DROPS, UNLESS NOTED OTHERWISE.</p>	
<p>UFP MID-ATLANTIC, LLC A UNIVERSAL FOREST PRODUCTS COMPANY</p> <p>BURLINGTON, NC PHONE (800) 476-9356</p> <p>CHESAPEAKE, VA PHONE (800) 476-3190</p> <p>CONWAY, SC PHONE (800) 397-9572</p> <p>JEFFERSON GA PHONE (800) 648-4038</p> <p>PEARISBURG, VA PHONE (800) 397-9571</p>		<p>This layout is not an engineered drawing. This drawing was created to establish truss placement only. It is the responsibility of the builder to provide adequate support for all the elements shown in this drawing.</p>	