

PLAN ID: 042720.0601



110 VILLAGE TRAIL SUITE 215 WOODSTOCK, GA. 30188

DRAWING INDEX

| A0.0 A1.1 A2.1 A3.1 A5.1 | COVER SHEET FRONT ELEVATIONS SIDE & REAR ELEVATIONS SLAB FOUNDATIONS FIRST FLOOR PLANS & DETAILS |
|--------------------------------------|--|
| A3.1 | SLAB FOUNDATIONS |
| A5.1 A6.1 A7.2 A8.1 | FIRST FLOOR PLANS & DETAILS ROOF PLANS ELECTRICAL PLANS TRIM LOCATION LAYOUTS |
| MO.1 | TRIM LOCATION LATOUTS |

| AREA TABULATION | | |
|--------------------|------|--|
| FIRST FLOOR | 2404 | |
| TOTAL | 2404 | |
| GARAGE | 400 | |
| FRONT PORCH B&C | 67 | |
| MASSINGS (COVERED) | 67 | |
| REAR PATIO | 120 | |

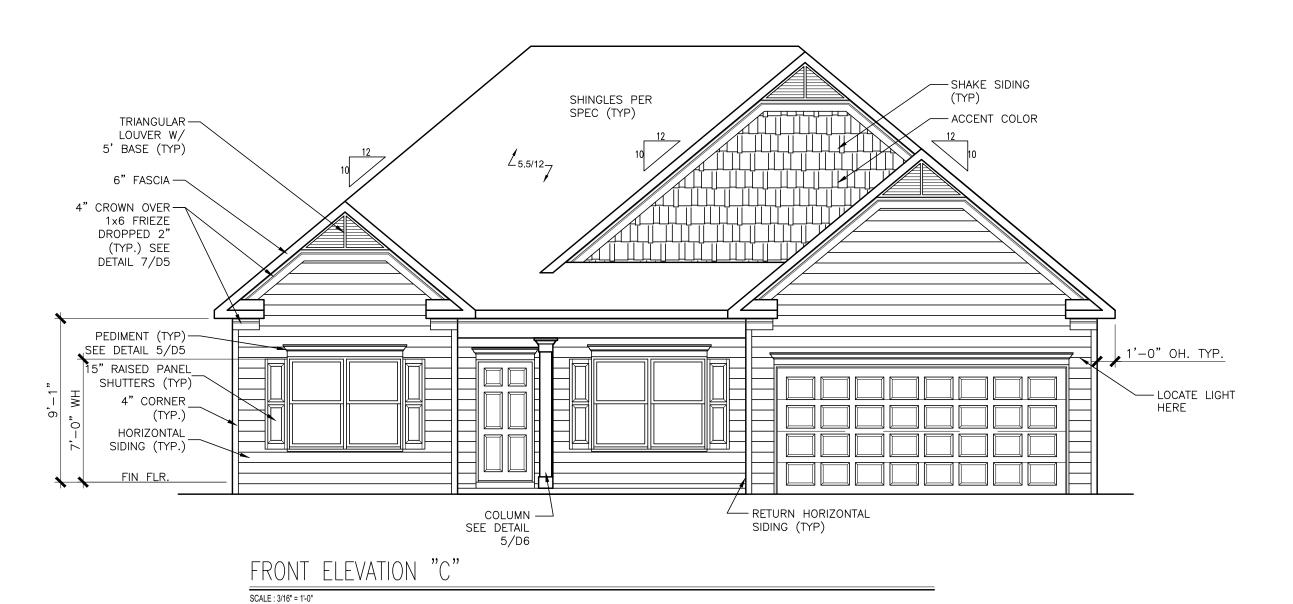
GOVERNMENTAL CODES & STANDARDS

HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA

HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

| PLAN REVISIONS | | | |
|----------------|-----|---|-----------------------------|
| DATE | BY | REVISION | PAGE # |
| 9/10/2019 | AW | PCR #3209 added clg. mount light to hall by bathroom in finished basement | A7.1.1 |
| 9/10/2019 | AW | PCR #3214 Removed tempered note from 3050 window in Family Rm. next to rear door | A5.1 |
| 11/4/2019 | AW | Added grade beam between B-2 & Foyer as part of truss standardization project | A3.1 |
| 1/10/2020 | AW | Removed optional Study ILO Dining | A5.1.1, A7.2.1 |
| 2/11/2020 | AW | PCR #3596 Relocated WP outlet on back patio so when its a deck the post won't interfere with outlet | A7.2 |
| 4/27/2020 | AW | Re-centered A roof massing dormers | A1.1, A1.4, A1.13, A6.1 |
| 4/1/2021 | AW | PCR #4348 Added led light & switch over tub in the En Suite Bath | A7.2.1 |
| 9/2/2021 | ВВ | ADDED 2 TURTLE BACK VENTS TO C MASSING REAR ELEVATION | A2.3, A2.9, A6.1.2 |
| 3/1/2022 | AW | Changed 3050 twin temp at rear of Brkfst to 3050 single non-temp window | A2.1-A2.3, A5.1 |
| 7/10/2023 | AW | PCR #5401 Clean up plumbing dims on slab plan | A3.1 |
| 8/1/2023 | AW | Changed 2x6 walls to 2x4 wall at Bath 3/B3 En Ste bath and back of coat closet | A3.1, A5.1, A5.1.1 |
| 9/20/2023 | BB | Removed shower and tub sizes from all fixtures on all affected pages | A3.1, A3.1.1, A5.1-5.1.2 |
| 3/28/2024 | SL | PCR # 5769 Adjusted two electrical outlet locations in kitchen, added three outlets | A7.2 |
| 5/13/2024 | CLJ | PCR # 5795 Rev kitchen cabinets dimensions to match cabinet layout document | A5.1, A7.2 |
| | | | |



ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL
DETAILS FOR SOFFIT DETAILS PER
SOFFIT MATERIAL

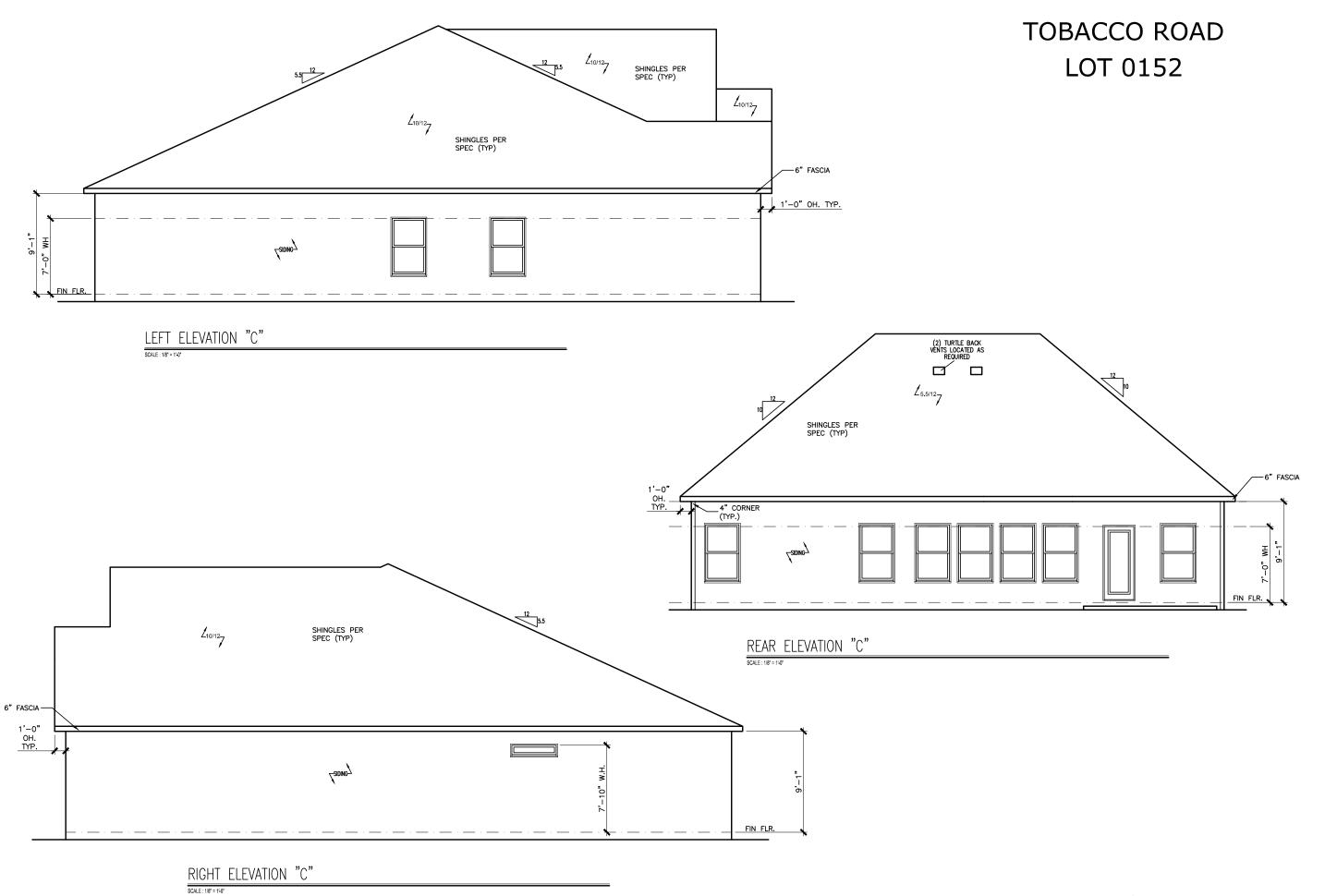
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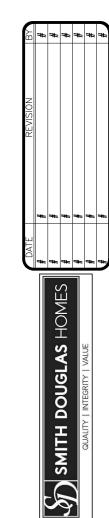
ELEVATION FRONT ELEVATION AVERY

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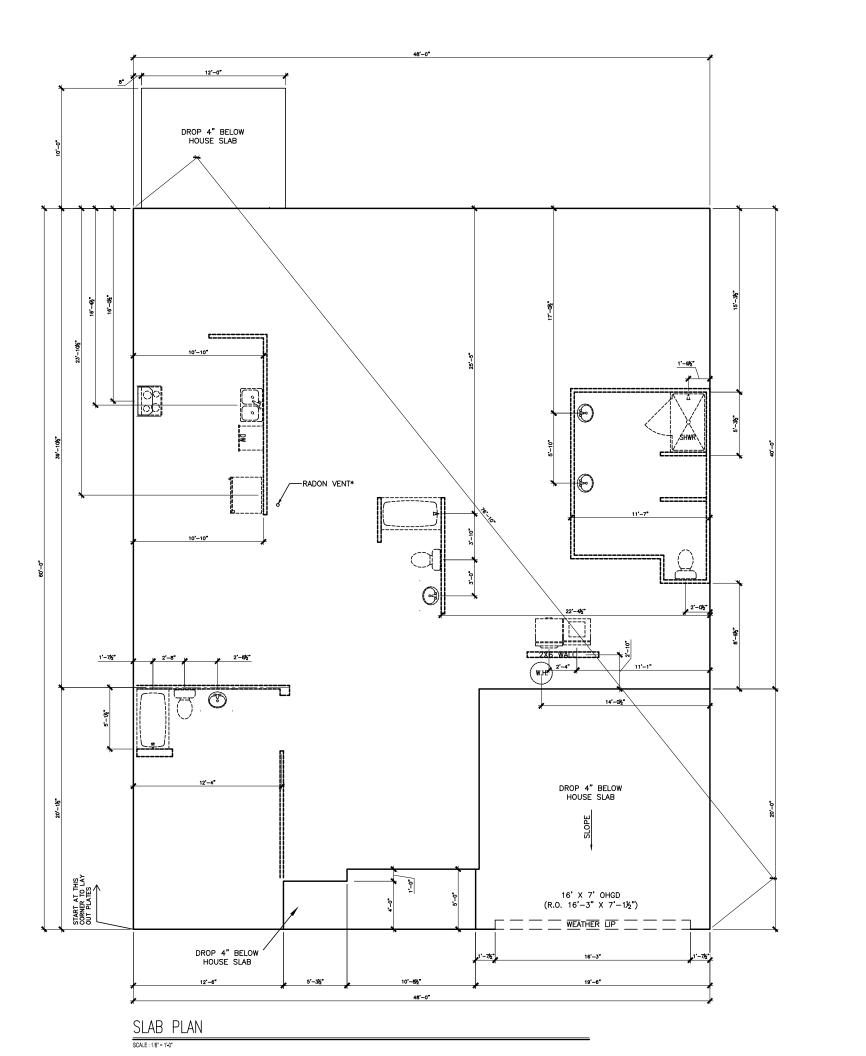


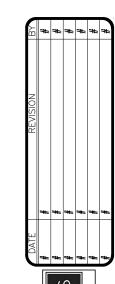
SIDES AND REAR
AVERY

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SLAB PLAN AVERY

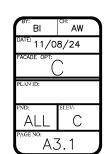
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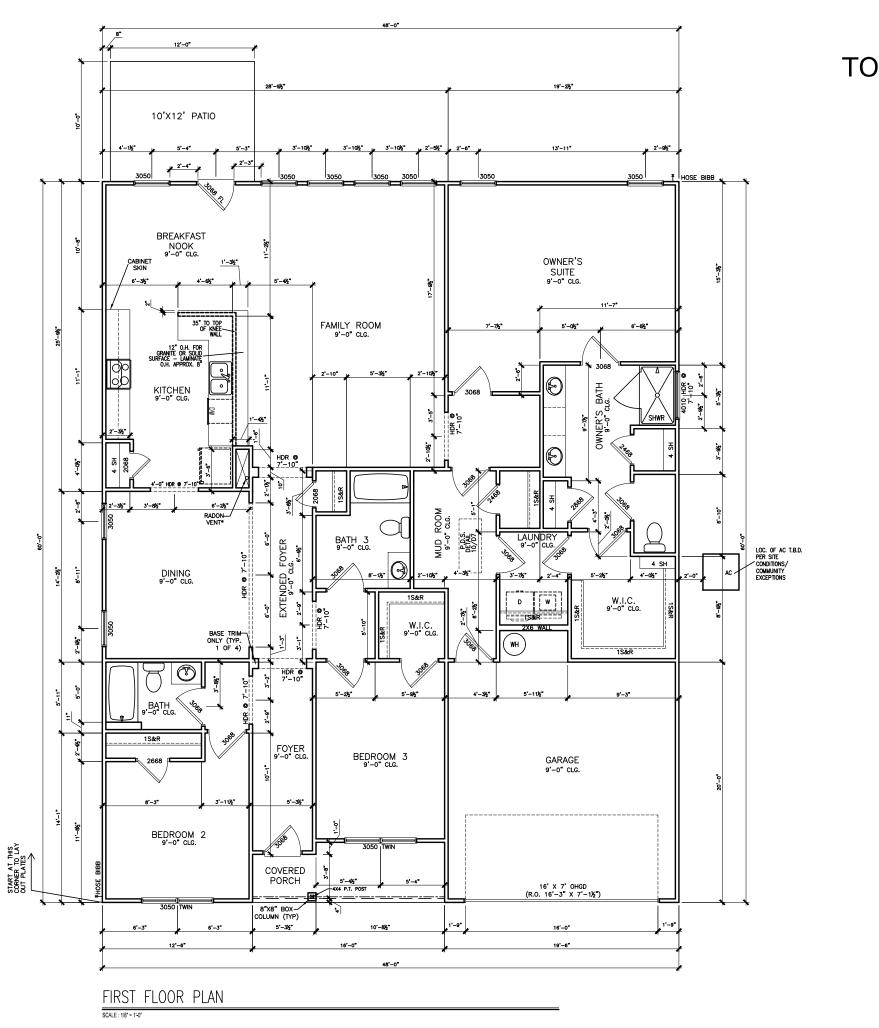
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REFER TO DETAIL 3/D1
FOR BRICK LEDGE
DETAIL WHEN BRICK
VENEER IS CHOSEN

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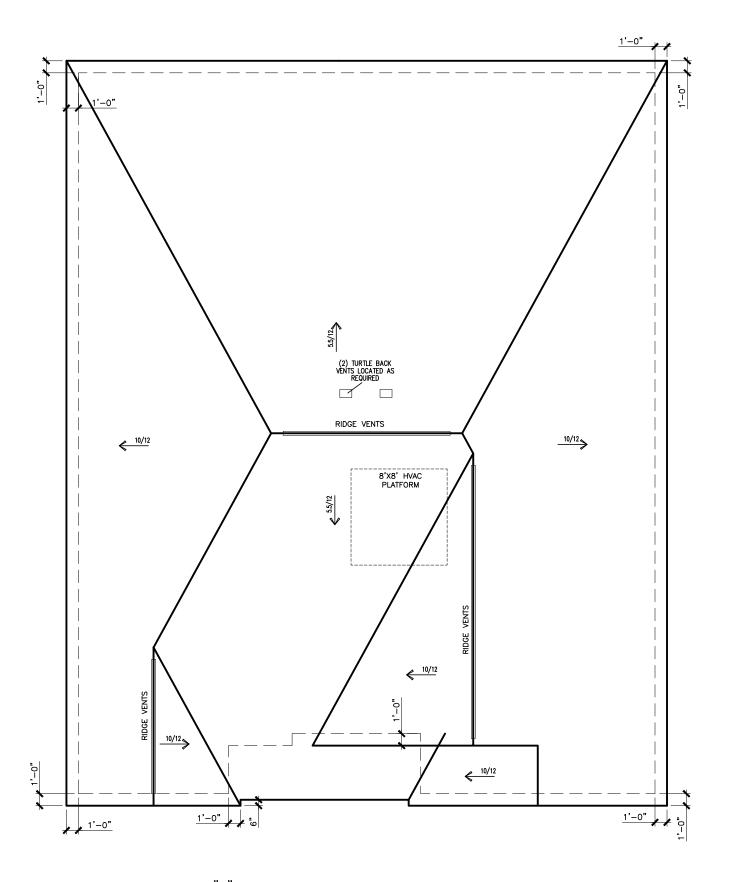
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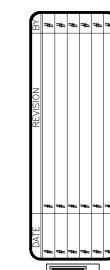
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REFER TO MANUFACTURER'S SPECS. FOR DRAIN LOCATIONS ON DETAIL SHEETS D12, D12.1, D12.2, D12.3 *RADON VENT PROVIDED

PER LOCAL CODE







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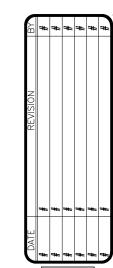


10'X12' PATIO FIELD VERIFY ADD'L CABLE OUTLET LOCS AND OPT. FLOOD LIGHT LOCS. BREAKFAST NOOK OWNER'S SUITE FAMILY ROOM KITCHEN DO NOT INSTALL-DISPOSAL SWITCH AND OUTLET FOR SEPTIC COMMUNITIES OWNER'S BATH MUD ROOM LAUN. DINING ROOM W.I.C. EXT. O. FOYER BATH FOYER GARAGE BEDROOM 3 Ø, WP OF CI BEDROOM 2 COVERED PORCH

TOBACCO ROAD LOT 0152

| ELECTRICAL LEGEND | | | | |
|--|--|--------------------------|--------------------------------|--|
| \$ | SWITCH | _ | TV | |
| \$3 | 3 WAY SWITCH | ф | 120V RECEPTACLE | |
| \$4 | 4 WAY SWITCH | Φ | 120V SWITCHED RECEPTACLE | |
| Ø | CEILING FIXTURE | Φ | 220V RECEPTACLE | |
| -ф _к | KEYLESS | P _{GFCI} | GFCI OUTLET | |
| ΗØ | WALL MOUNT FIXTURE | PAFCI | ARCH FAULT CIRCUIT INTERRUPTER | |
| 0 | CEILING FIXTURE | † _{GL} | GAS LINE | |
| • | FLEX CONDUIT | † _{wL} | WATER LINE | |
| СН | CHIMES | ¥ | HOSE BIBB | |
| \blacksquare | TELEPHONE | \$ | FLOOD LIGHT | |
| SD/Co | SMOKE DETECTOR & CARBON MONOXIDE | | 1x4 LUMINOUS FIXTURE | |
| SO | SECURITY OUTLET | | OFILINO FAN | |
| | GARAGE DOOR OPENER | | CEILING FAN | |
| | EXHAUST FAN | | ELECTRICAL WIRING | |
| <u></u> | FAN/LIGHT | ф | CEILING FIXTURE | |
| ELEC. | ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES | | | |
| APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE) | | | | |
| BREAKFAST/DINING ROOM 63" ABOVE | | VE FINISHED FLOOR | | |
| KITCH | KITCHEN PENDANT LIGHTS | | 33" ABOVE COUNTER TOP | |
| TWO STORY FOYER FIXTURE | | 96" ABOVE FINISHED FLOOR | | |
| CEILING FAN 96" ABOVE FINISHED FLOOR | | VE FINISHED FLOOR | | |

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER



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ELECTRICAL PLAN
ELING THINS

FIRST SPORTS THE STATE ST

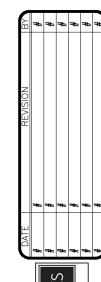
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FIRST FLOOR ELECTRICAL PLAN

10'X12' PATIO BREAKFAST NOOK OWNER'S SUITE FAMILY ROOM KITCHEN LAUNDRY BATH 3 MUD EXTENDED FOYER W.I.C. W.I.C. WH FOYER BEDROOM 3 GARAGE BEDROOM 2 COVERED PORCH —--- FOYER TRIM - CHAIR/SHADOW — — DINING ROOM TRIM - CHAIR/SHADOW

TOBACCO ROAD LOT 0152

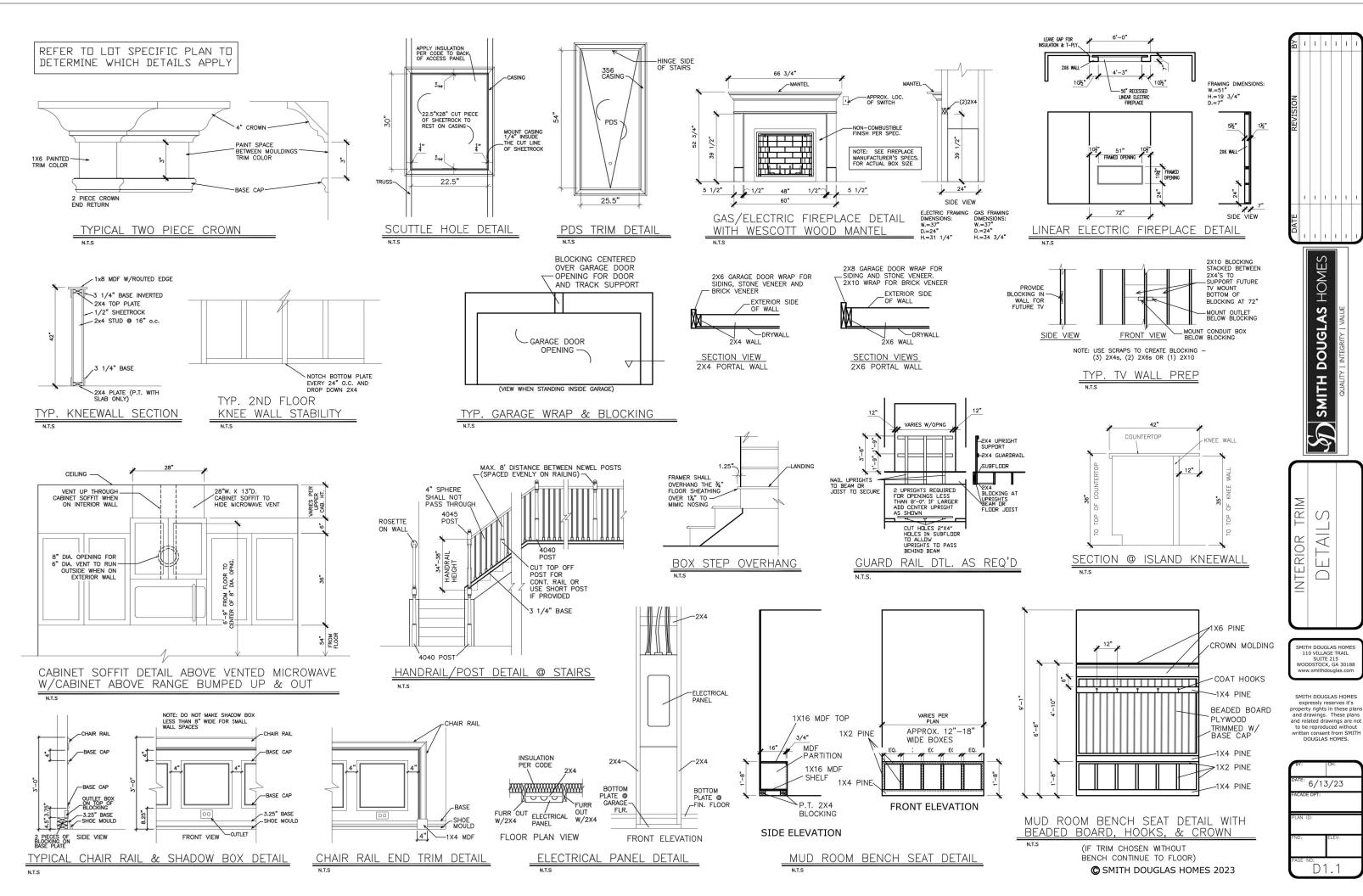




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CONNECTION SPECIFICATIONS (TYP. U.N.O.)

| DESCRIPTION OF BLDG. ELEMENT | 3"x0.l3l" NAILS | 3"x0.120" NAILS |
|--|--|---|
| JOIST TO SOLE PLATE | (3) TOENAILS | (3) TOENAILS* |
| SOLE PL. TO JOIST/RIM OR BLK'G | NAILS @ 4" o.c. | NAILS @ 4" o.c. |
| STUD TO PLATE | (4) TOENAILS/ (3)END NAILS | (4) TOENAILS/ (4)END NAILS* |
| RIM TO TOP PLATE | TOENAILS @ 6" o.c. | TOENAILS @ 4" o.c.* |
| BLK'G. BTWN. JOISTS TO TOP PL. | (3) TOENAILS EA. END | (3) TOENAILS EA. END* |
| DOUBLE STUD | NAILS @ 16" o.c. | NAILS @ 16" o.c. |
| DOUBLE TOP PLATE | NAILS @ 12" o.c. | NAILS @ 8" O.C. |
| DOUBLE TOP PLATE LAP SPLICE | (12) NAILS IN LAPPED AREA | (15) NAILS IN LAPPED AREA |
| | (24" MIN.) | (24" MIN.) |
| TOP PLATE LAP @ CORNERS & INTERSECTING WALLS | (3) NAILS | (3) NAILS |
| RAFTER/TRUSS TO TOP PLATE | (4) TOENAILS + | (4) TOENAILS + |
| | (I) SIMPSON H2.5T | (I) SIMPSON H2.5T |
| GAB. END TRUSS TO DBL. TOP PL. | TOENAILS @ 8" o.c. | TOENAILS @ 6" o.c. |
| R.T. w/ HEEL HT. 91/4" TO 12" | 2xI0 BLK EVERY 3RD BAY | 2xI0 BLK EVERY 3RD BAY |
| | FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 6" O.C. | FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C. |
| R.T. w/ HEEL HT. 12" TO 16" | 2xI2 BLK EVERY 3RD BAY | 2xI2 BLK EVERY 3RD BAY |
| R.I. W HEEL HI. 12 10 16 | FASTENED TO DBL. TOP PLATE | FASTENED TO DBL. TOP PLATE |
| | W TOENAILS @ 6" O.C. | w/ TOENAILS @ 4" O.C. |
| R.T. w/ HEEL HT. UP TO 24" | LAP WALL SHTG, W/ DBL, TOP PL. | LAP WALL SHTG, w/ DBL, TOP PL. |
| | # INSTALL ON TRUSS VERT | & INSTALL ON TRUSS VERT |
| | FASTEN w/ NAILS @ 6" O.C. | FASTEN w/ NAILS @ 6" O.C.* |
| R.T. w/ HEEL HT. 24" TO 48" | LAP WALL SHTG. W/ DBL. TOP PL. | LAP WALL SHTG, w/ DBL, TOP PL. |
| | & INSTALL ON TRUSS VERT | & INSTALL ON TRUSS VERT |
| | FASTEN W/ NAILS @ 6" O.C. | FASTEN W/ NAILS @ 6" O.C. |
| | PROVIDE 2x BLK @ EA. BAY AT | PROVIDE 2x BLK @ EA. BAY AT |
| | TOP OF HEEL | TOP OF HEEL* |
| WALL TO FOUNDATION | WALL SHTG. LAP W/ SILL PL. \$ | |
| | FASTENED PER SHEAR WALL FASTENING SPEC. | |
| | I I / O I LININO DI LO. | |

* 2½"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE * ARE SHOWN)

ADDITIONAL NOTES FOR TRUSS \$ I-JOIST MANUFACTURER

ROOF TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO M&K FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES/ IDISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUS BEAMS DO NOT EXCEED THE FOLLOWING ROOF TRUSSES:

1/4" DEAD LOAD ATTIC TRUSSES, & I-JOISTS:

I/8" DEAD LOAD ABSOLUTE DEAD LOAD DEFECTION OF ATTIC TRUSSES WHEN AD IACENT TO ELOOR ERAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NOT DIFFERENTIAL DEFLECTION)

VENEER LINTEL SCHEDULE

| SPAN (MAX) | HEIGHT OF VENEER ABOVE LINTEL | STEEL ANGLE SIZE |
|---------------|----------------------------------|------------------|
| 3'-0" | 20 FT. MAX | L3"x3"x¼" |
| | 3 FT. MAX | L3"x3"x¼" |
| 6'-0" | I2 FT. MAX | L4"x3"x¼" |
| | 20 FT. MAX | L5"x3½"x5%" |
| 8'-0" | 3 FT, MAX | L4"x4"x½" * |
| 8-0 | I2 FT. MAX | L5"x3½"x5%;" |
| | 16 FT. MAX | L6"x3½"x¾" |
| 9'-6" | I2 FT. MAX | L6"x3½"x5%" |

L LINTELS:

SHALL SUPPORT 2 3/4" - 3 1/4" VENEER W 40 psi MAXIMUM WEIGHT
10" SHALL HAVE 4" MIN. BEARING
10" SHALL HAVE 8" MIN. BEARING
10" SHALL NOT BE FASTINED BACK TO HEADER.

- 16' SHALL BE FASTENED BACK TO WOOD HEADER IN MALL @48'02. W/S' DIA. x 3 ½' LONG LAG SCREYS IN 2' LONG VERTICALLY SLOTTED HOLD WAY. MAX. VENEER IT. APPLIES TO ANY PORTION OF BRICK OVER THE OPENING. L LINTELS SHALL BE LONG LEG VERTICAL. EN SUPPORTING VENEER < 3" WIDE THE EXTERIOR TOE OF THE HORIZONTAL LEG
- MAY BE CUT IN THE FIELD TO BE 3 ¼" WIDE OVER THE BEARING LENGTH ONLY. THIS IS TO ALLOW FOR MORTAR JOINT FINISHING. STRUCTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE

OVE PARAMETERS. ROUFFN VENETR USE I 4x3x%".

GENERAL STRUCTURAL NOTES

FOUNDATION

DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE & 2018 IRC WITH SOUTH CAROLINA AMENDMENTS

- FOOTING DESIGN 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY
- FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING: I/2" DIA. ANCHOR BOLTS @ 6'-0" O.C.7" MIN. EMBEDMENT

FA4 ANCHOR STRAPS @ 6'-0" O.C ● EASTEN 2xIO SILL PLATES TO PRECAST BSMT WALLS WITH A MINIMUM OF 2 ANCHORS PER PLATE, I2" MAX. FROM PLATE ENDS - UTILIZING:

- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2
- BILLI DER TO VERIEY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- FOUNDATION WALLS & FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.

 CONCRETE DESIGN BASED ON ACL 318, CONCRETE SHALL ATTAIN. THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:

f'c = 4,000 psi: FOUNDATION WALLS 3,000 psi: FOOTINGS & INTERIOR SLABS ON GRADE 3500 psi: GARAGE & EXTERIOR SLABS ON GRADE fu = 60.000 psi

BASEMENT FOUNDATION WALL DESIGN BASED ON:

- . 8' OR 9' HEIGHT (AS NOTED ON PLANS) TALLER WALLS MUST BE ENGINEERED.
- BASEMENT WALL DESIGN IS BASED ON 30 OR 45 PCF BACKFILL SOIL TYPE CLASSIFICATIONS:
- 30 PCF TYPE (GW, GP, SW, SP) 45 PCF TYPE (GM, GC, SM, SM-SC, ML) IMPORTANT - IF 60 PCF SOIL TYPE (SC, ML-CL, OR CL) IS UTILIZED FOR BACKFILL. CONTACT MULHERN & KULP FOR
- FURTHER EVALUATION OF FOUNDATION DESIGN BASEMENT WALLS SHALL BE BRACED PRIOR TO BACKELLING BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.
- JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
- JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I:I RATIO), WITH A MAXIMUM OF I:I.5 RATIO · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL
- YPICAL REINFORCEMENT DETAILS: PROVIDE 3" MIN. CLEAR COVER WHERE CAST AGAINST FARTH 1 1/2" MIN CLEAR COVER AGAINST FORMS. LAP ALL REBAR 48 BAR DIAMETERS MIN. (24" FOR #4 BARS) & BEND BARS AND LAP AT CORNERS PROVIDE 6"

HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT.

DIMENSIONS BY OTHERS, BUILDER TO VERIEY.

LEGEND

R.T. NDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUE. (TYP. U.N.O.)

O.F. INDICATES TRUSS OVERFRAMING • 24" O.C. (TYP. U.N.O.)

F.J. INDICATES 14" DEEP FLOOR 1-JOISTS (24" O.C. MA) SPACING) LOIST SERIES AND SPACING SHALL BE

THE RESPONSIBILITY OF THE JOIST MANUFACTURER D.J. NDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)

- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- □□□□□□ BEARING WALL ABOVE (B.W.A.)
- ---- BEAM/HEADER
- JL METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

MPH WIND IN 2018 NCSBC:RC 20MPH WIND IN 2018 IRC

(120 MPH WIND SPEED IN ASCE 7 WIND MAP PER IRC R301211) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

HE DESIGN WAS COMPLETED PER 2015 \$ 2018 IBC ECTION 1609) & ASCE T AS PERMITTED BY R30113 THE 2018 NOSBO:RC & 2018 IRC. ACCORDINGLY THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES

DESIGN WIND UPLIET LOADS HAVE BEEN CALCULATED UTILIZING ASCET (ACCEPTED) ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC & 2018 IRC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND JIPLIET LOAD PATH PER SECTIONS R602.3.5¢ R802.II.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W 2 3 x0.113 NAILS € 6" O.C. AT EDGES € 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR -2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT, STAPLE CONNECTION SPEC: 1 3/4 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

3" O.C. EDGE NAILING

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W/ 2 3" × 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PÄNEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. FDGE FASTENING

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN T WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120 NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING

NDICATES HOLDOWN

NON-BEARING HEADER SCHEDULE

| SPAN | 2x4 NON-BEARING PARTITION WALL | 2x6 NON-BEARING PARTITION WALL |
|-------------|-----------------------------------|-----------------------------------|
| UP TO 3'-0" | (I)2x4 FLAT | (I)2x6 FLAT |
| UP TO 6'-0" | (2)2x4 | (3)2×4 |
| UP TO 8'-0" | (2)2x6 | (3)2×6 |
| | | |

 ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX.)

FLOOR FRAMING

- I- IOISTS SHALL BE DESIGNED BY MANUE TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA, (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN
- FI OOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE). HOWEVER, IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TONA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).
- AT I-JOIST FLOORS, PROVIDE I" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O. ● I-JOIST SHOP DWGS, SHALL BE SUBMITTED TO ARCH, & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C., EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND - 2 ½" × 0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12"o.c. FIELD.
- × 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD
- 2 🖥 x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD.

ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS w/ 2 \frac{1}{2}" x 0.131" NAILS @ 6"04. @ PANEL EDGES & @ 12" 0.6. FIELD. - w/ 2 3" x 0.120" NAILS @ 4"ρ.c. @ PANEL EDGES & @ 8" ρ.c. FIELD.
- W/ 2 3" x 0.113" NAILS @ 3"o.c. @ PANEL EDGES & @ 6" O.C. FIELD. WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF
- SHEATHING FIELD'S PER EDGE NAILING SPEC. FASTEN EACH ROOF TRUSS TO TOP PLATE W/ USP RT7A CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) RT7A CLIPS AT 2-PLY GIRDER TRUSSES, (3) RT7A CLIPS AT 3-PLY
- GIRDER TRUSSES & ROOF BEAMS AT ALL BEARING POINTS. METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.C
- ROOF TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVER' ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT SHORT SPAN ROOF TRUSSES w/2x4 LEDGER FASTENED TO FRAMING W/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 7' SPAN).

MEANS & METHODS NOTES

HE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN DETAIL. AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO TABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING FLEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED FOUNDATIONS SLABS ON GRADE BEAMS WALLS AND NON-BEARING LEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE & 2018 IRC WITH SOUTH CAROLINA AMENDMENTS
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION. DESIGN LOADS

LIVE = 20 PSF DEAD = 7 PSF T.C., 10 PSF B.C. LOAD DURATION FACTOR = 1.25

ROOF

FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = 10 PSF (I-JOISTS)

ADD'L IO PSF @ CERAMIC TILE IN BATHS & LAUND.

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- CONNECTIONS TABLE (IRC TABLE R6023(I)) OR ON PLANS ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION, ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP "STUD" GRADE LUMBER, OR BETTER, U.N.O. MALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER. SUPPORT ALL HEADERS/ BEAMS W (1)2x JACK STUD & (1)2x
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.) . HEADERS IN NON-LOAD BEARING WALLS SHALL BE: (1)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING: • "LVL" - Fb=2600 psi; Fv=285 psi; E=2.0x10^6 psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING: 'LVL' - Fb=2400 psi; FcII=2500 psi; E=1.8xI0^6 psi
- FOR 2 & 3 PLY BEAMS OF EQUAL 134" MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"X0.120" NAILS @ 8" O/C OR 2 ROWS USP WS35 SCREWS (OR 31/4" TRUSSLOK SCREWS) @ 16" O/C, USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID $3\,\%$ " OR $5\,\%$ " BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 & 2x8
- FOR 4 PLY BEAMS OF EQUAL 13/4" MAX. WIDTH, FASTEN PLIES SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS " FROM EDGE, A SOLID 7" BEAM IS ACCEPTABLE
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND /BEARING. BLOCKING TO MATCH POST ABOVE
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE USP BCS22-4 CAP & PA44E BASE, U.N.O.
- CORROSION NOTES
- BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE FASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W PRESERVATIVE-TREATED WOOD OF ACTUAL FINA CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- ALL FASTENERS AND CONNECTORS EXPOSED TO SALT WATER (WITHIN 300' OF SALT WATER SHORELINE, INCLUDING VENTED SPACES) SHALL BE STAINLESS STEEL.

MULHERN+KUL
RESIDENTIAL STRUCTURAL ENGINEER! C-3825



Mulhern+Kulp project numbe 256-2201

project mgr SMK MME issue date: 09-29-2023

REVISIONS

initial:

SMITH DOUGI HOMES

STRUCTURAL NOTES

MOD ER

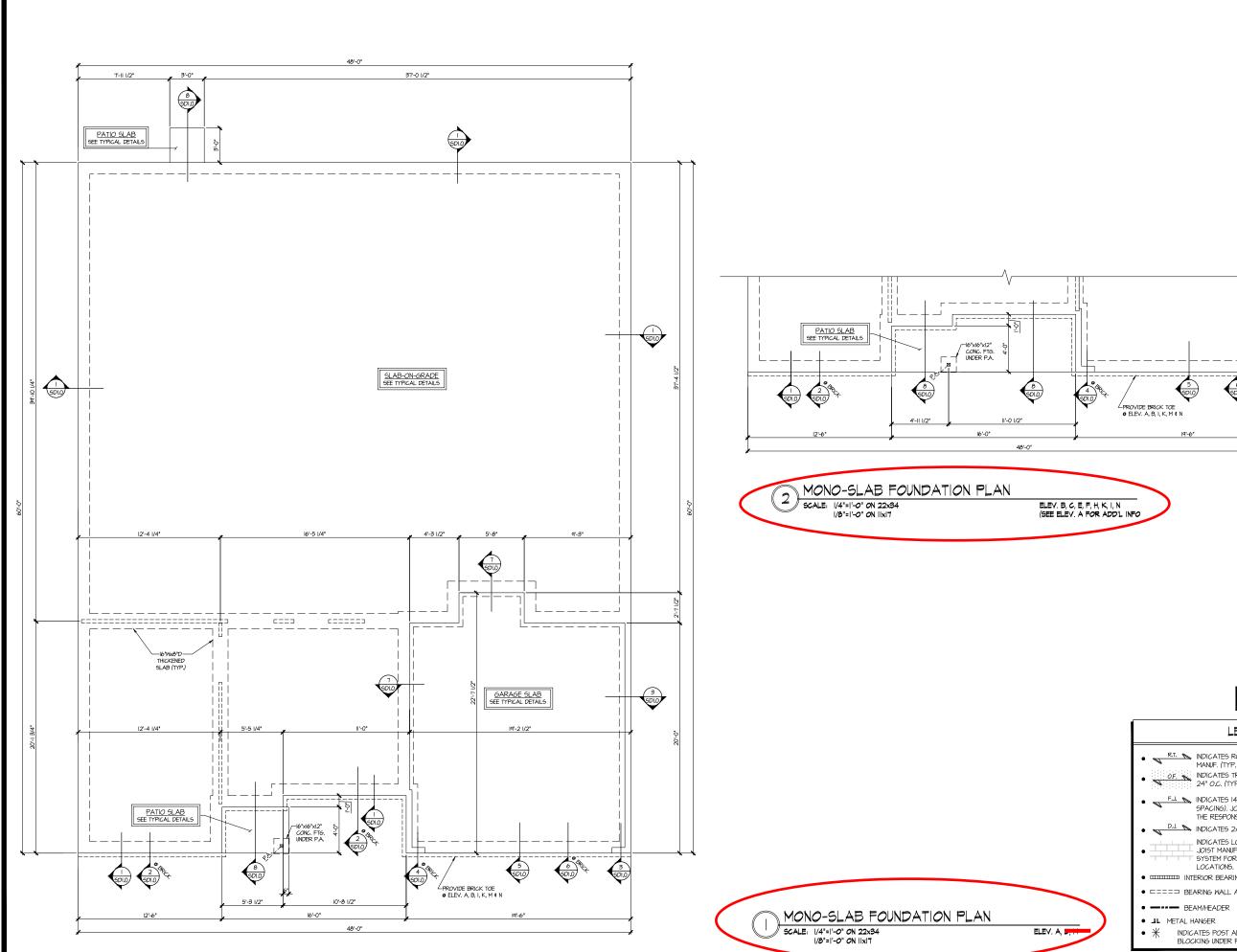
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GENERAL

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MULHERN+KULP RESIDENTIAL STRUCTURAL ENSINEERINS 1905 Broutside Betwey, Suite 1905 - Alpha 1978-777-4974 - membericaliseer NC License # C-3825

Mulhern+Kulp project number:

256-22014 SMK

MMD issue date: 09-29-2023

REVISIONS:

initial:

SMITH DOUGLAS HOMES

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

Tobacco Lot 152

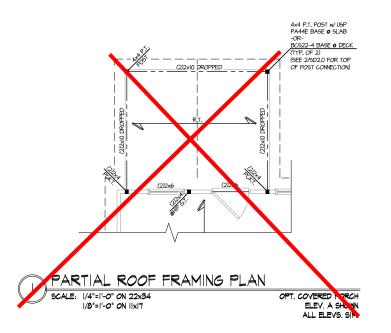
LEGEND

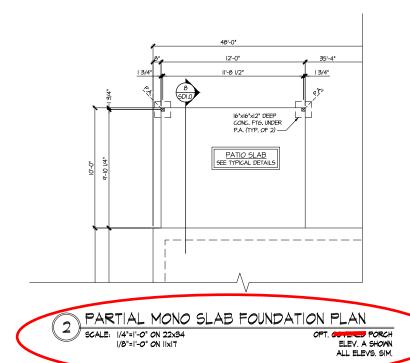
- RT. INDICATES ROOF TRUSSES 9 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
- OF INDICATES TRUSS OVERFRAMING © 24" O.C. (TYP. U.N.O.)
- F.J. NDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING), JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER D.J. NDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR.
 JOIST MANUFACTURER SHALL DESIGN FLOOR
 SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE
- IIIIIII INTERIOR BEARING WALL
- ==== BEARING WALL ABOVE (B.W.A.)
- --- BEAM/HEADER
- ** INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

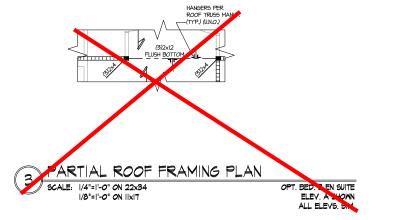
Mono-SLAB FOUNDATION

MODEL 120 MPH WIND ZONE NORTH CAROLINA AVERY

S1.0







10/23/2

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Mulhern+Kulp project number:

256-22014

SMK MMD issue date: 09-29-2023

REVISIONS:

initial:

SMITH DOUGLAS HOMES

PLANS

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND

RT. INDICATES ROOF TRUSSES 9 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)

OF INDICATES TRUSS OVERFRAMING © 24" O.C. (TYP. U.N.O.)

• F.J. INDICATES 14" DEEP FLOOR 1-JOISTS (24" O.C. MAX SPACING), JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER

• D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.) INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR

SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE

LOCATIONS. • IIIIII INTERIOR BEARING WALL

● □==== BEARING WALL ABOVE (B.M.A.)

BEAM/HEADER

• JL METAL HANGER

** INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

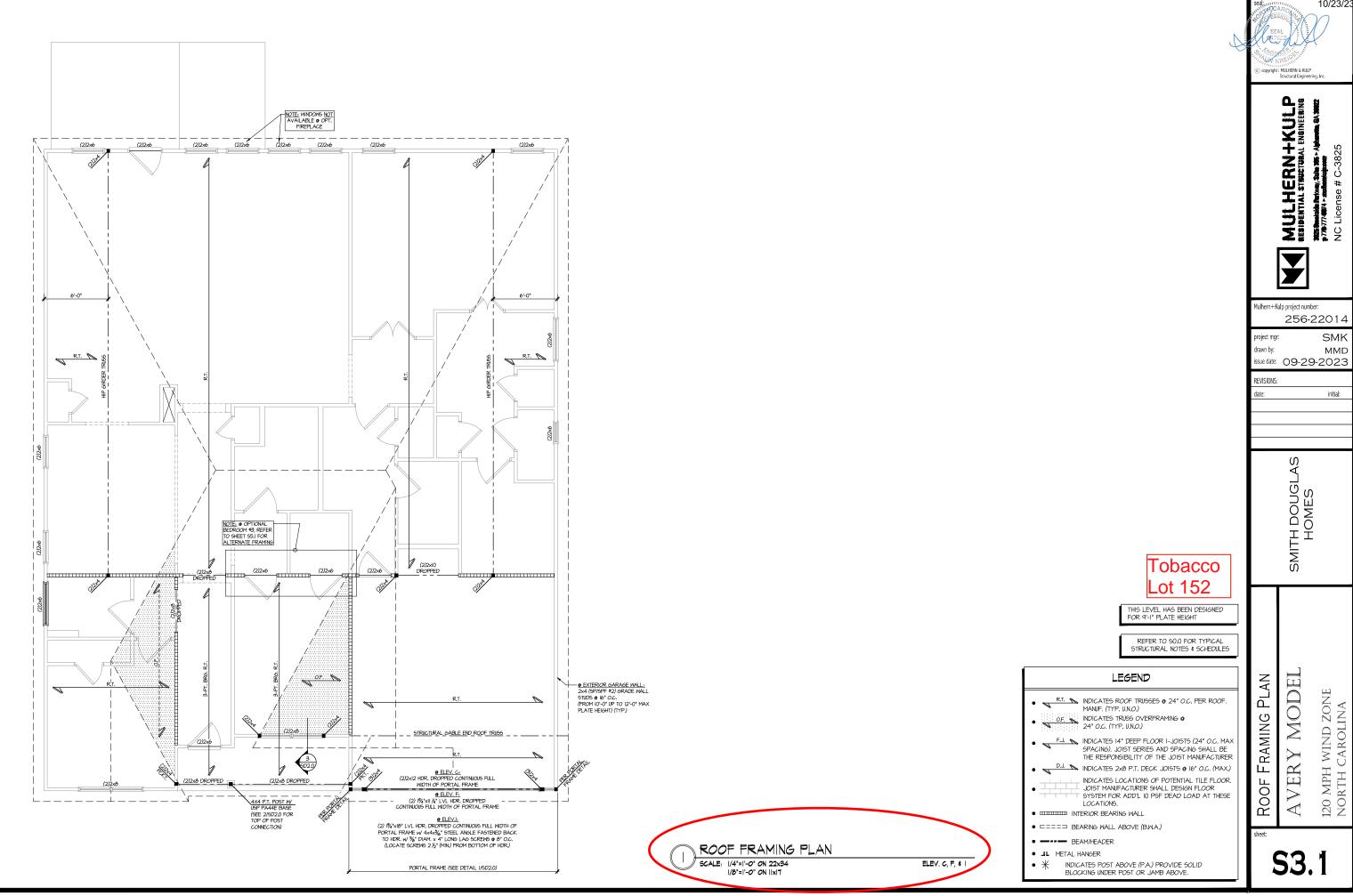
Tobacco

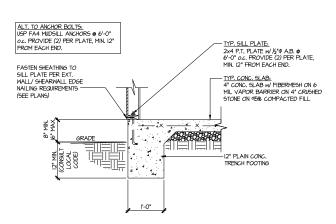
Lot 152

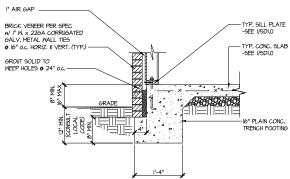
FRAMING **OPTIONAL**

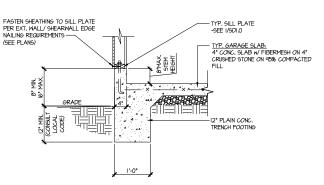
MODEL 120 MPH WIND ZONE NORTH CAROLINA AVERY

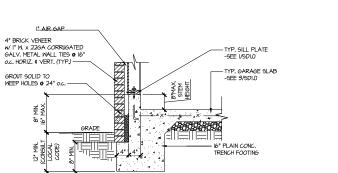
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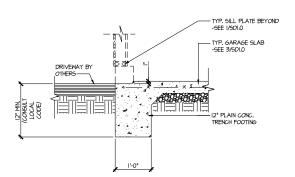


TYPICAL SLAB ON GRADE PERIMETER FOOTING

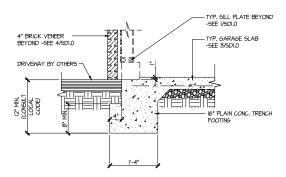
TYPICAL SLAB ON GRADE 2 PERIMETER FOOTING w/ BRICK VENEER

TYPICAL SLAB ON GRADE GARAGE 3 PERIMETER FOOTING

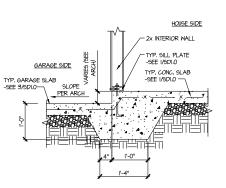
TYPICAL SLAB ON GRADE GARAGE 4 PERIMETER FOOTING W BRICK VENEER



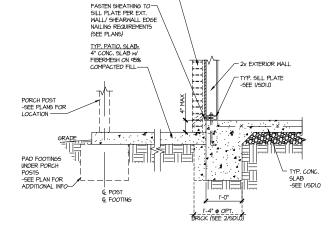




TYPICAL SLAB ON GRADE GARAGE 6 ENTRY @ PERIMETER FOOTING

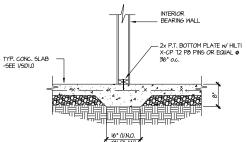


TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING

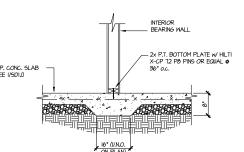


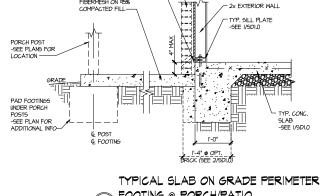
OPT. BRICK (SEE ARCH FOR LOCATIONS)

FOOTING @ PORCH/PATIO



TYPICAL THICKENED SLAB @ 9 INTERIOR BEARING WALL





Tobacco Lot 152

10/23/2

MULHERN+KULP
RESIDENTIAL STREETURAL ENGINEERINS 778-777-4874 - markeminipaen P778-777-4874 - markeminipaen NC License # C-3825

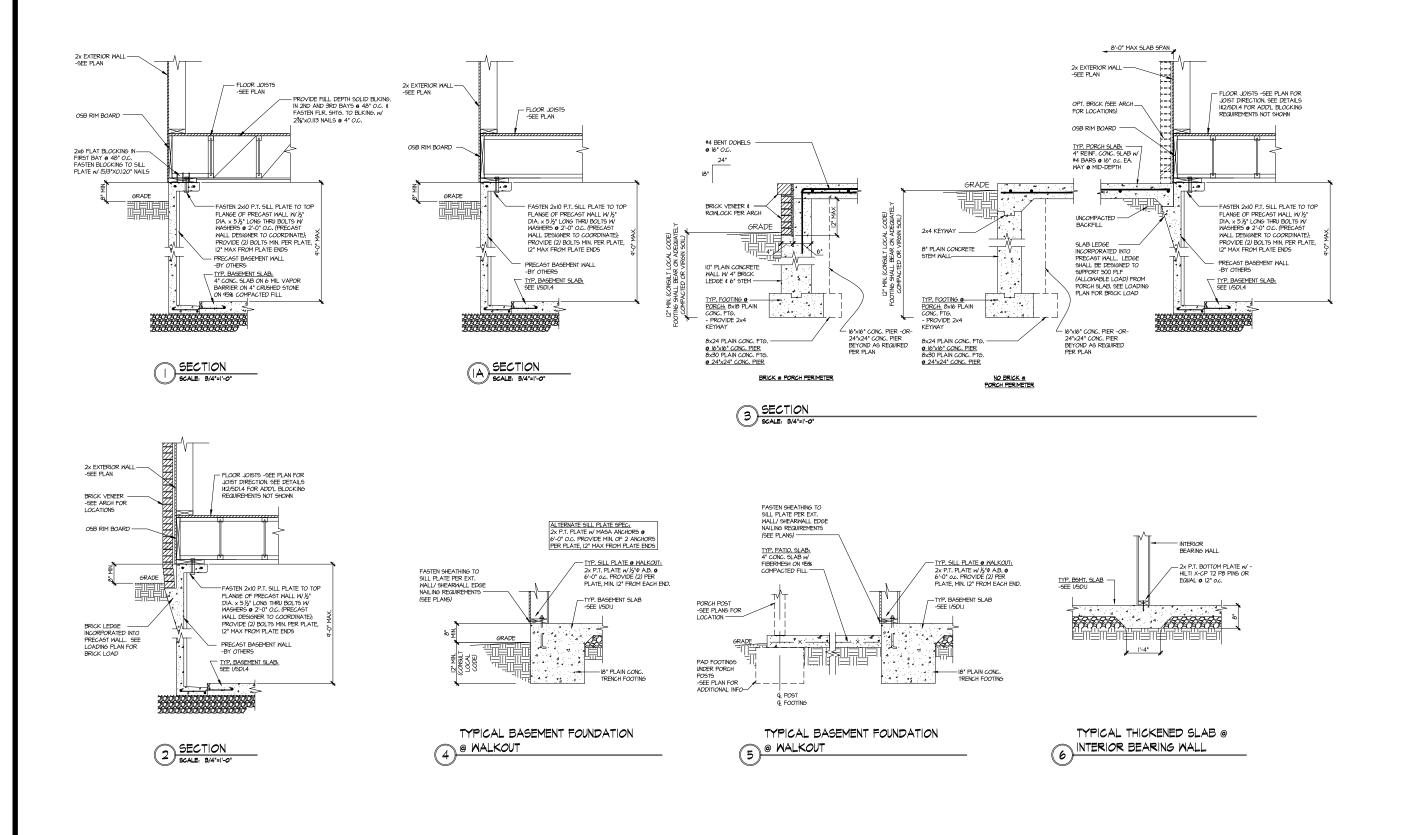
Mulhern+Kulp project number: 256-22014 SMK MMD issue date: 09-29-2023 initial:

SMITH DOUGLAS HOMES

MODE FOUNDATION DETAILS

WIND ZONE CAROLINA VER 120 MPH V

SD1.0



10/23/2

MULHERN+KULP
RESIDENTIAL STREETURAL ENGINEERINS MORPHER PRINCE, SOFT 255 - AND SOFT

Mulhern+Kulp project number: 256-22014

SMK MMD issue date: 09-29-2023

initial:

REVISIONS:

SMITH DOUGLAS HOMES

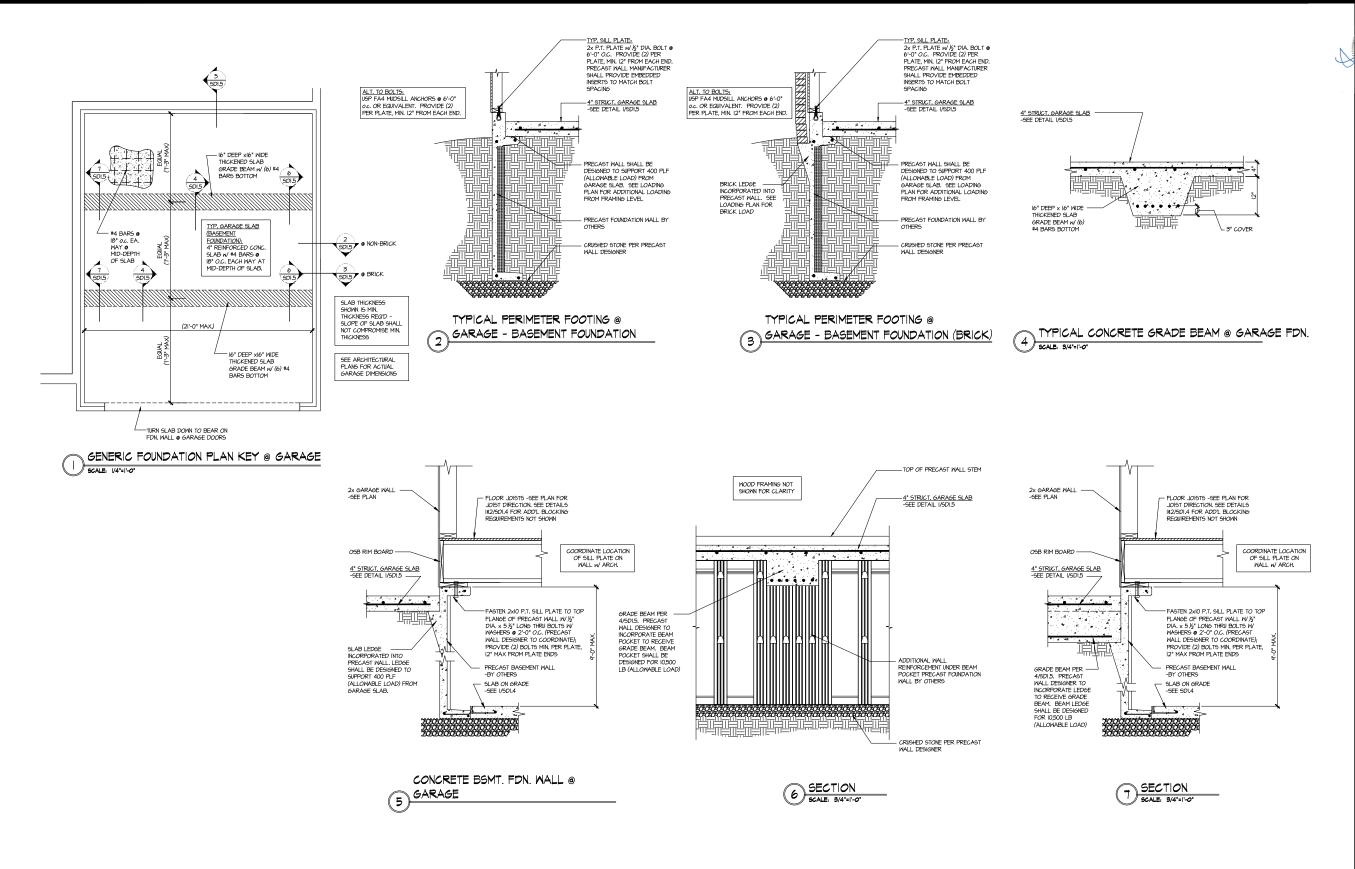
MODE FOUNDATION DETAILS

120 MPH WIND ZONE NORTH CAROLINA VER

SD1.4

Tobacco

Lot 152



Tobacco Lot 152

10/23/2

MULHERN+KULP
RESIDENTIAL STREETURAL ENGINEERINS 2005 Brookside Perkvey, Suite 105 - Agina 1977 - 177 - 1887 4 - stellenskeigenen NC License # C-3825

Mulhern+Kulp project number: 256-22014

SMK MMD issue date: 09-29-2023

REVISIONS:

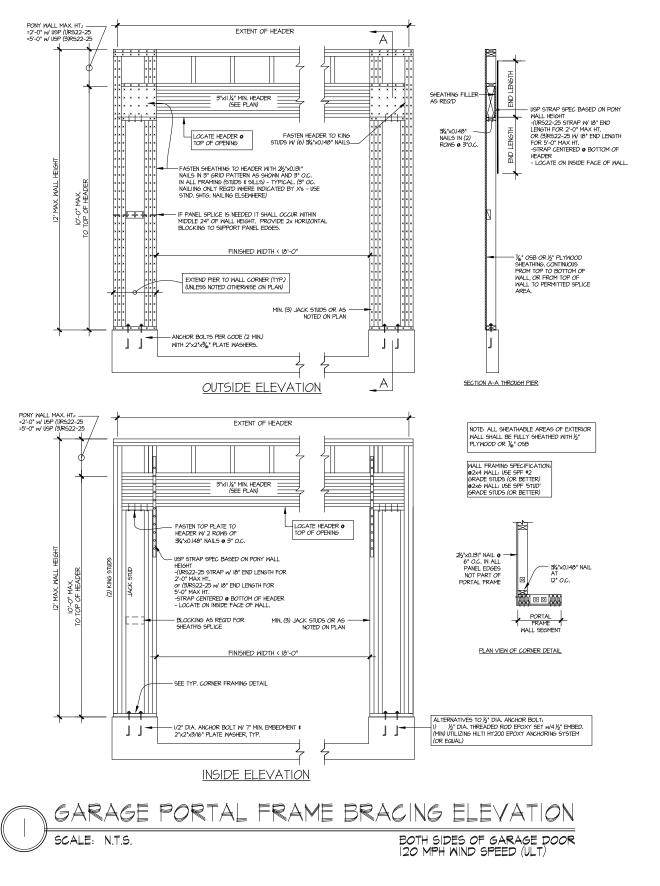
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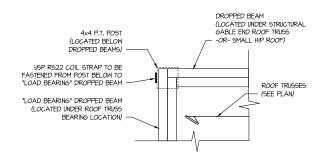
SMITH DOUGLAS HOMES

MODEI WIND ZONE CAROLINA FOUNDATION DETAILS VER

SD1.5

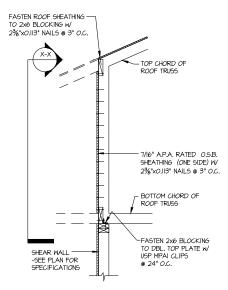
120 MPH V





COVERED PORCH CONNECTION DETAIL





TYPICAL SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL (3) SCALE: 3/4"=1'-0"

2x BLOCKING -TOENAIL BLOCKING TO TRUSS CHORDS. BLOCKING DEPTH -ROOF TRUSSES @ SHALL BE (I) SIZE LARGER THAN TRUSS TO 2x6 BLOCKING W/ 2%"xO.II3" NAILS @ 3" Q.C. 24" O.C. 1/16" A.P.A. RATED O.S.B. SHEATHING (ONE SIDE) FASTEN TO ALL SUPPORTS w/ 2%"xO.II3" NAILS @ 3" O.C. -PROVIDE HORIZONTAL BLOCKING @ PANEL EDGES *NOTE TO G.C.*: FOR WALLS LESS THAN 18'-0", RIN BLOCKING & SHEATHING SHONN CONT. FULL LENGTH OF SHEAR WALL. IF PENETRATIONS ARE READ REMOVE SINGLE BAY ONLY AS NEEDED TYPICAL SHEAR TRANSFER DETAIL INTERIOR SHEARWALL

10/23/2

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERINS 2005 Breakside Perkway, Suhr 1955 - Allah 9778-777-8874 - malbankapanen NC License # C-3825

Mulhern+Kulp project number: 256-22014

SMK MMD issue date: 09-29-2023

REVISIONS:

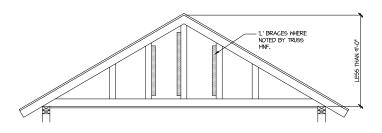
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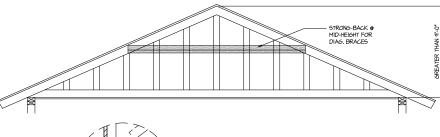
SMITH DOUGLAS HOMES

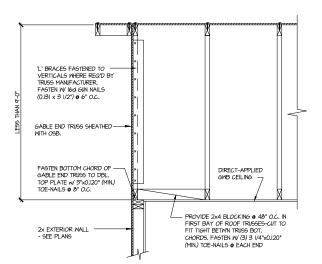
MODE WIND ZONE CAROLINA FRAMING DETAILS VER 120 MPH V

SD2.0

Tobacco ot 152

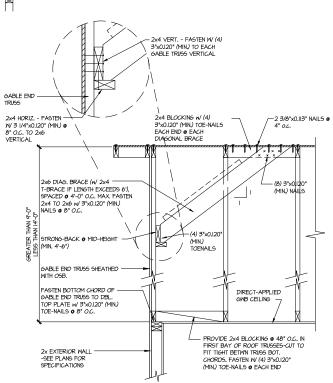






TYPICAL GABLE END BRACING DETAIL SCALE, NONE REQUIRED TRUSS

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9"-0". "L' BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



B TYPICAL SCALE: NONE

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0'. "L' BRACES NOT REQUIRED.

TYPICAL GABLE END BRACING DETAIL

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

issue date: 09-29-2023 REVISIONS: SMITH DOUGLAS HOMES AVERY MODEL FRAMING DETAILS Tobacco Lot 152

10/23/2

MULHERN+KULP

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Mulhern+Kulp project number:

256-22014

SMK MMD

initial:

120 MPH WIND ZONE NORTH CAROLINA

SD2.1

