

LOT INFORMATION :

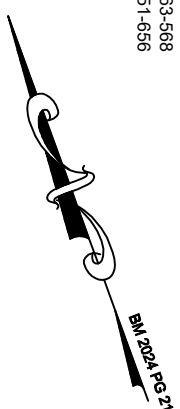
PIN: 0693-46-4929.000
 REFERENCE: DB: 4219 PGS: 2746-2750
 TOTAL LOT AREA = 0.63 AC = 27,267 SF
 MAX. IMPERVIOUS = 5,500 SF
 HOUSE = 2,805 SF
 PORCH = 67 SF
 SIDEWALK = 85 SF
 DRIVEWAY = 621 SF
 PATIO = 120 SF
 PROPOSED IMPERVIOUS = 3,698 SF
 PERCENT IMPERVIOUS = 13.56 %

BUILDING SETBACKS

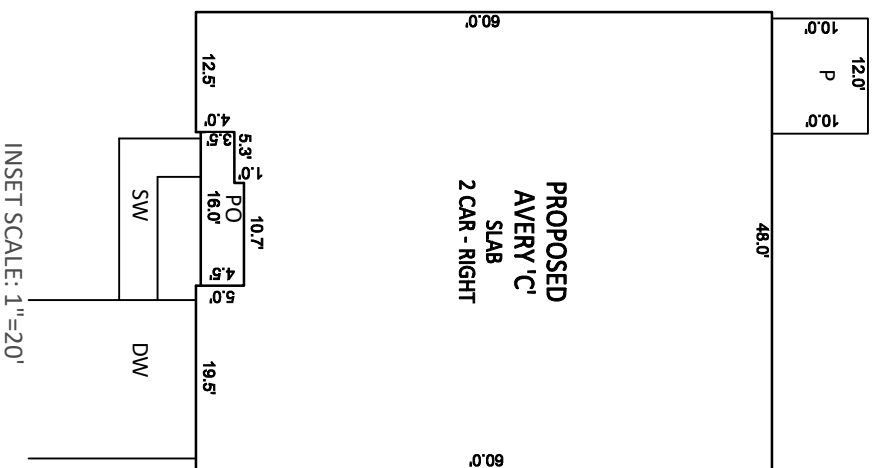
FRONT - 35'
 REAR - 25'
 SIDE - 10'
 CORNER SIDE - 20'

CURVE TABLE			
CURVE	RADIUS	LENGTH	CHORD DIRECTION
C94	475.00'	53.88'	N16°51'15"E
			CHORD
			53.85'

BK 2023 PGS: 563-568
 BK 2024 PGS: 651-656



N/F
 WRKOR PROPERTIES LLC
 DB 4152 PG 439
 PIN: 0693-45-3911.000



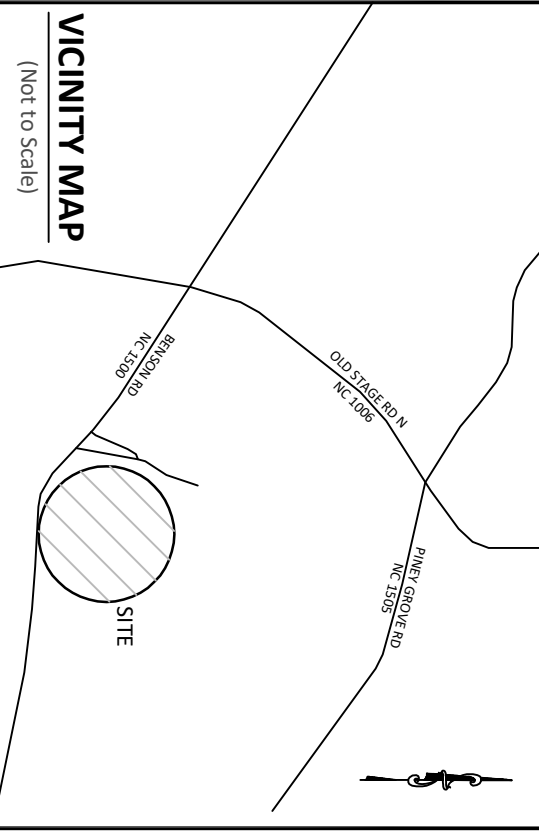
NOTES:

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC., REFERENCED IN TITLE BLOCK.
7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL FLOOD ZONES, WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM. ALL LINES SHOWN, IF ANY, ARE SCALED FROM THE RECORDED PLAT.
8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

9. ZONING: RA-30
10. PROPERTY DEVELOPER: SMITH DOUGLAS HOMES
3412 APEX PEAKWAY
APEX, NC 27502



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 NCBELS Firm No. C-2378



VICINITY MAP
(Not to Scale)

- LEGEND**
- PO = COVERED FRONTPORCH
 - CP = COVERED PORCH
 - SP = SCREENED PORCH
 - SW = SIDEWALK
 - DW = CONC DRIVEWAY
 - P = SCREENED PORCH
 - P = CONCRETE PATIO
 - = IRON PIPE FOUND (IPF)
 - = IRON PIPE SET (IPS)
 - ⦿ = DRILL HOLE FOUND
 - ⊙ = WATER METER
 - CO = CLEAN OUT
 - AC = AIR CONDITIONER PAD
 - ⊖ = CABLE BOX
 - ⊕ = SEWER MANHOLE
 - ⊞ = TELEPHONE PEDESTAL
 - ⊟ = CATCH BASIN
 - ⊠ = LIGHT POLE
 - ⊡ = HAND HOLE
 - ⊢ = ELECTRIC BOX
 - ⊣ = FIRE HYDRANT
 - YI = YARD INLET
 - G = GAS METER
 - E = ELECTRIC METER
 - LW = LEAD WALK
- This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

PRELIMINARY

PRELIMINARY PLOT PLAN
 FOR
SMITH DOUGLAS HOMES

TOBACCO ROAD - PHASE 1 & 3 - LOT 152
 51 ORIENTAL STREET, ANGLIER, NC
 BLACK RIVER TOWNSHIP, HARNETT COUNTY

DATE: 11/6/24 DRAWN BY: DOM CHECKED BY: SPC
 REFERENCE: BM 2024 PG 21 BCS# 230801 SCALE: 1" = 50'