

PLAN:
Sarah



FRONT ELEVATION

Scale: 1/4" = 1'0"

9'0" CEILING HEIGHT FIRST FLOOR
7'6" Header Height 1st Floor
8'0" CEILING HEIGHT SECOND FLOOR
7'0" Header height 2nd Floor
FRAME WINDOWS TO HEADER HEIGHT



LEFT ELEVATION

Scale: 1/8" = 1'0"



RIGHT ELEVATION

Scale: 1/8" = 1'0"



REAR ELEVATION

Scale: 1/8" = 1'0"

SHEET TITLE:

ELEVATIONS

PROJECT ADDRESS:
108 Magnolia Grove Way
Magnolia Hills Lot 87

DESIGNED BY:

Precision Custom Homes
RaeFord, NC
Shaun@PrecisionCustomHomesNC.com

DATE:

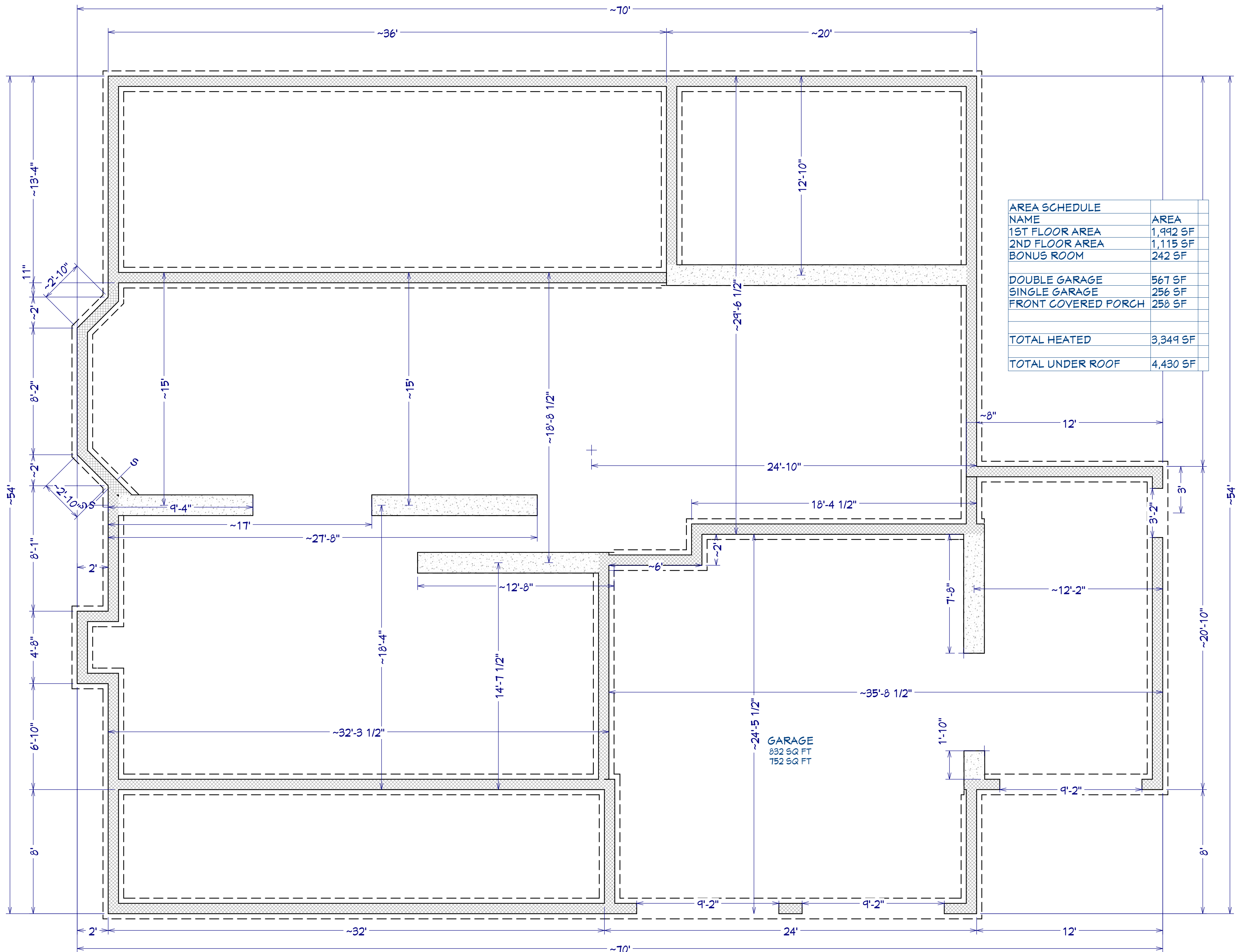
11/13/24

SCALE:

1/4" = 1'

SHEET:

A-1



AREA SCHEDULE	
NAME	AREA
1ST FLOOR AREA	1,992 SF
2ND FLOOR AREA	1,115 SF
BONUS ROOM	242 SF
DOUBLE GARAGE	567 SF
SINGLE GARAGE	256 SF
FRONT COVERED PORCH	258 SF
TOTAL HEATED	3,349 SF
TOTAL UNDER ROOF	4,430 SF

FOUNDATION PLAN
Scale: 1/4" = 1'0"

PLAN:
Sarah

SHEET TITLE:
FOUNDATION

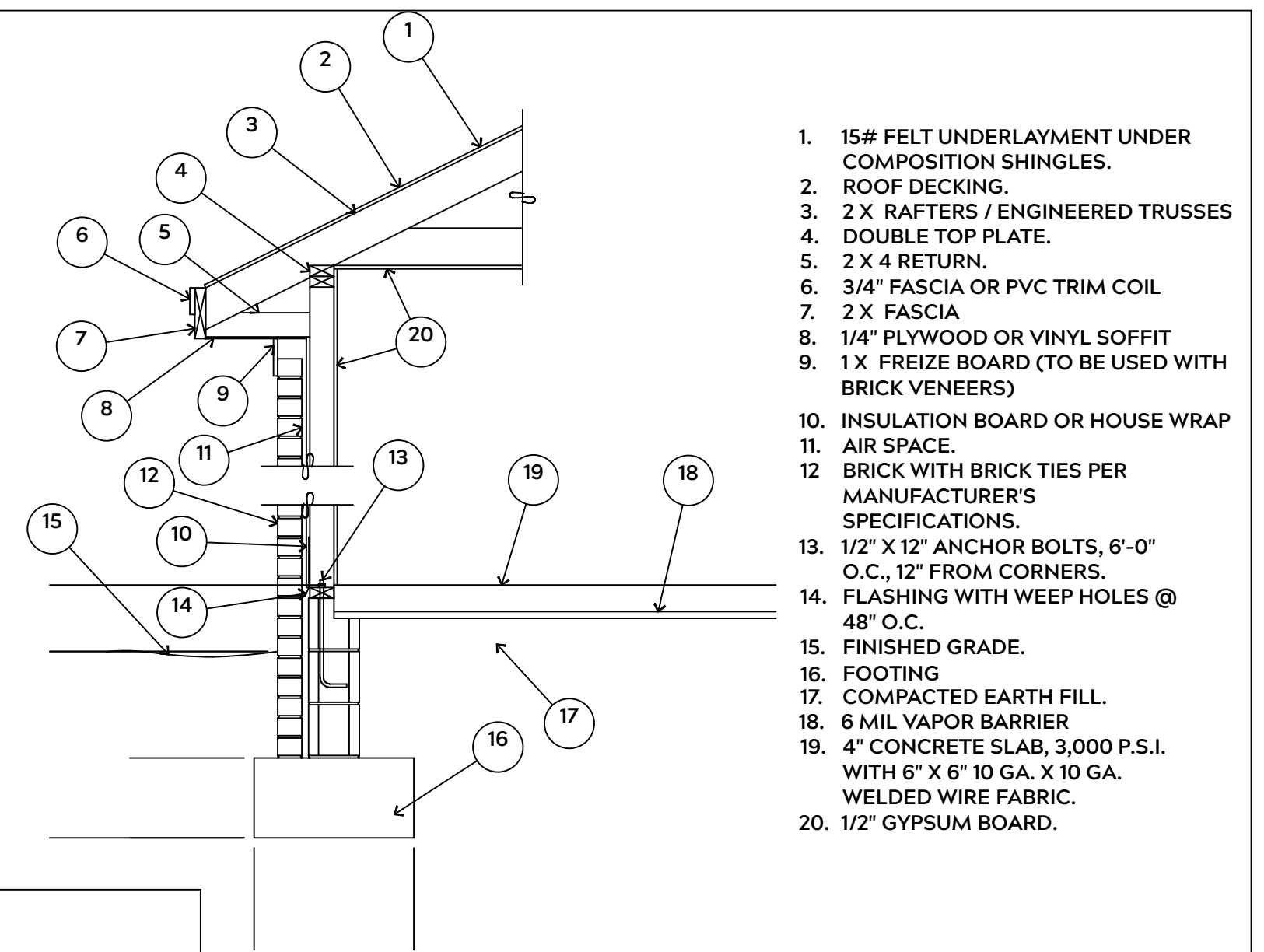
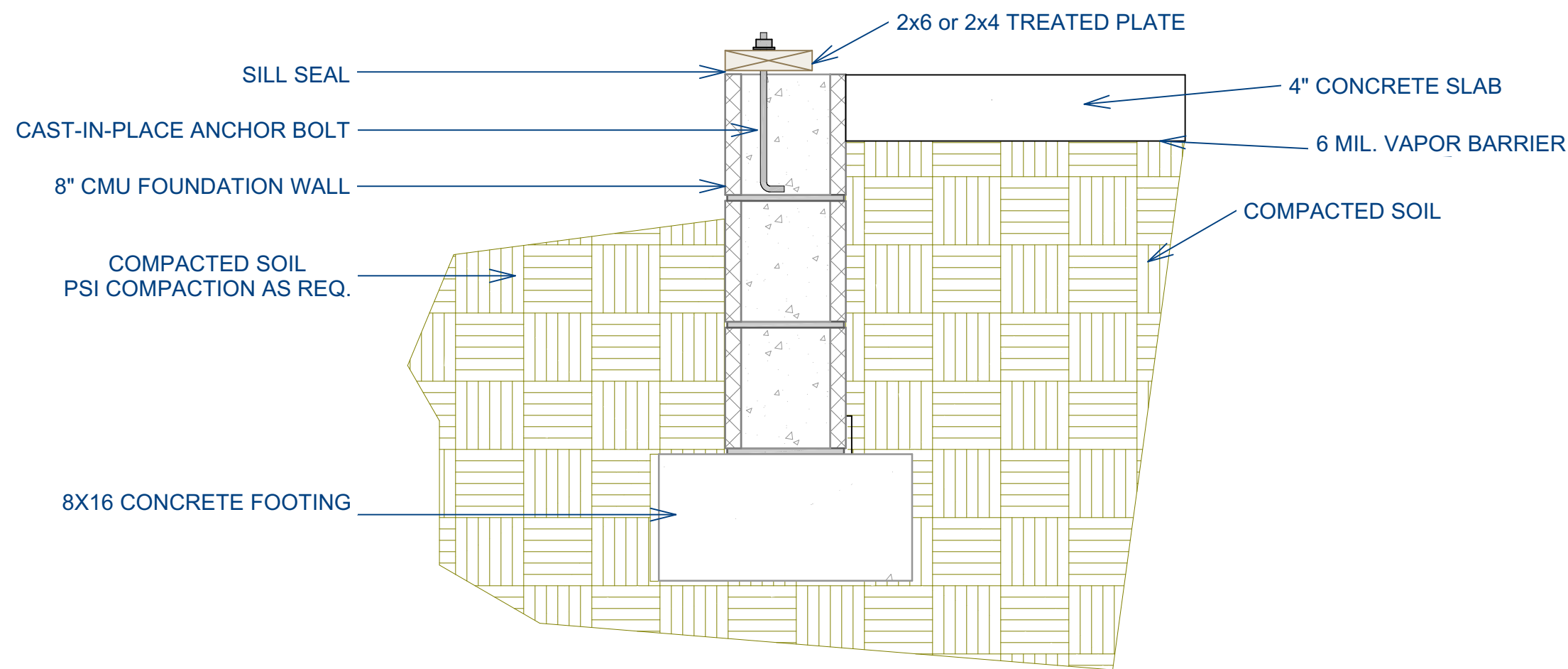
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11/13/24

SCALE:
1/4" = 1'

SHEET:
A-2



EXTERIOR WALL SECTION

FOUNDATION NOTES:

ALL FOOTINGS SHALL BEAR ON ORIGINAL UNDISTURBED SOIL
THE 28 DAY COMPRESSIVE STRENGTH OF ALL FOOTINGS IS 3000 PSI

PROVIDE WATER PROOFING AND PERIMTER DRAINS AS REQUIRED

FOOTING WIDTHS ARE BASED ON A LOAD BEARING SOIL CAPACITY OF 2000 PSI

PROVIDE 6 MIL POLY VAPOR BARRIER TO COVER GROUND IN CRAWL SPACE AND GROUND UNDER POURED CONCRETE

ALL ANCHOR BOLTS TO BE 1/2" X 12" LONG. ANCHOR BOLTS SHALL BE SPACED AT A MAXIMUM OF 6' ON CENTER AND NO MORE THEN 1' FROM EACH CORNER

GENERAL FRAMING NOTES:

ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALLE BE PRESSURE TREATED

FRAMING LUMBER SHALL BE SYP #2 GRADE AND / OR SPRUCE PINE FIR #1 AND / OR KILN DRIED

WHERE PRE-ENGINEERED JOISTS AND TRUSSES ARE USED, MANUFACTURER SHALL PROVIDE DRAWINGS / SCHEMATICS, WHICH SHALL BEAR OF A N.C. ENGINEER

STUDS AND JOISTS SHALL NOT BE CUT TO INSTALL PLUMBING OR WIRING WITHOUT ADDING METAL OR WOOD SIDE PANELS TO STRENGTHEN MEMBER TO ITS ORIGINAL CAPACITY

NAIL MULTIPLE MEMBERS WITH 2 ROWS OF 16d NAILS STAGGERED 32" O.C. AND USE 3 X 16d NAILS 2" IN AT EACH END.

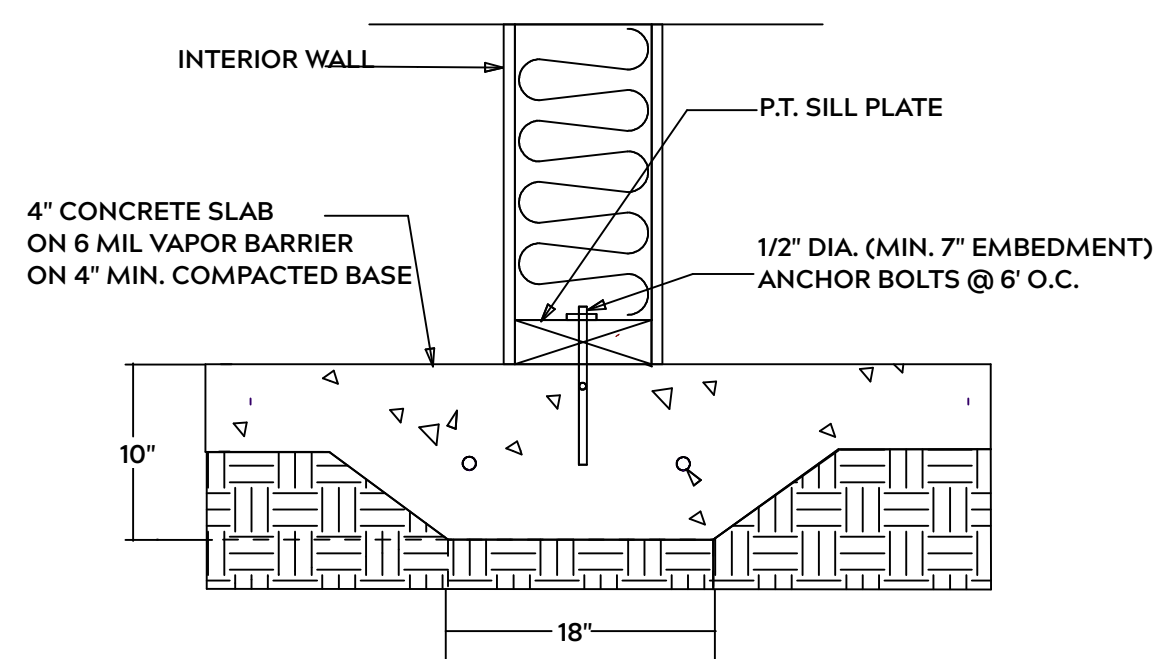
NAIL FLOOR JOISTS TO SILL PLATE WITH WITH 8d TOE NAILS

ALL EXPOSED FRAMING ON PORCHES OR DECKS SHALL BE PRESSURE TREATED

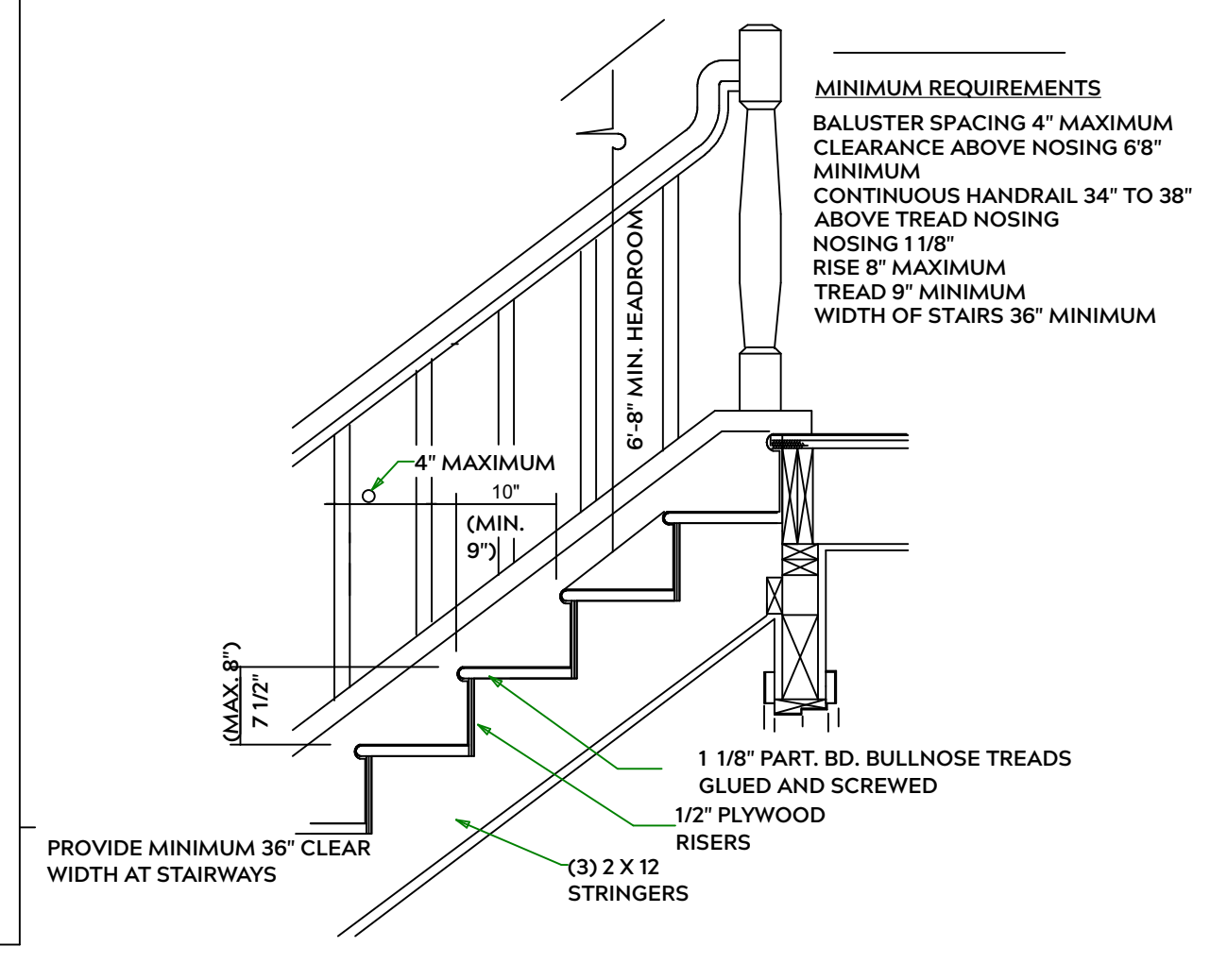
PROVIDE WATERPROOFING AND DRAINS AS REQUIRED

ALL FRAMING TO BE 16" O.C. WALL FRAMING DIMENSIONS ARE BASED ON 2X4 OR 2X6 EXTERIOR WALLS AND 2X4 INTERIOR WALLS. DOULBE / TRIPLE JACK STUDS AS NECESSARY UNDER HEADERS AS REQUIRED

LVLS TO BE SIZED BY OTHERS (TRUSS MANUFACTURER)



LUG FOOTING



STAIR DETAIL

PLAN:
Sarah

SHEET TITLE:
DETAIL SHEETS

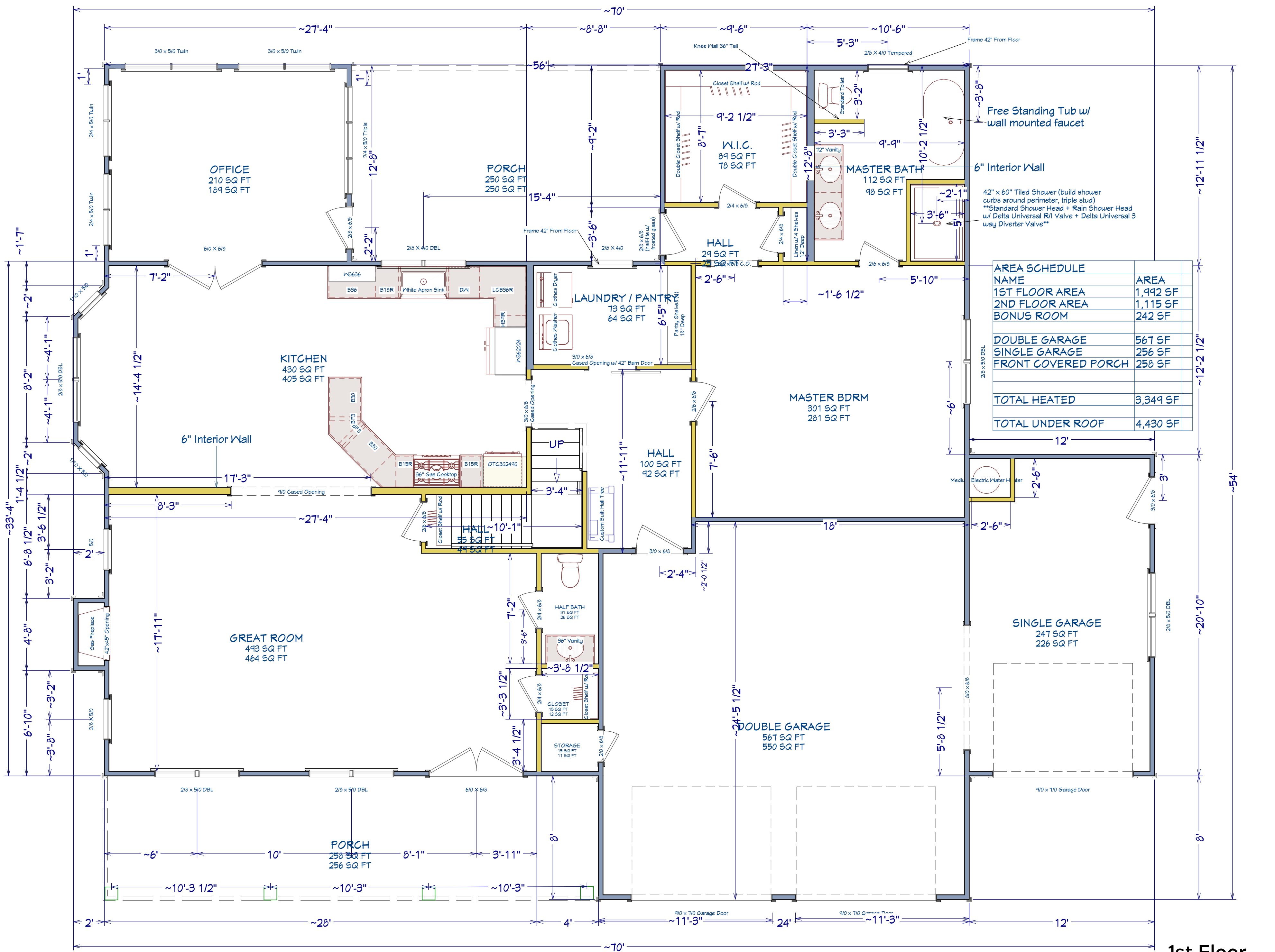
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Shaun@PrecisionCustomHomesNC.com

DATE:
11/13/24

SCALE:
1/4" = 1'

SHEET:
A-3



AREA SCHEDULE	
NAME	AREA
1ST FLOOR AREA	1,992 SF
2ND FLOOR AREA	1,115 SF
BONUS ROOM	242 SF
<hr/>	
DOUBLE GARAGE	567 SF
SINGLE GARAGE	256 SF
FRONT COVERED PORCH	258 SF
<hr/>	
TOTAL HEATED	3,349 SF
TOTAL UNDER ROOF	4,430 SF

1st Floor
Scale: 1/4" = 1'0"

SHEET TITLE:
1st FLOOR

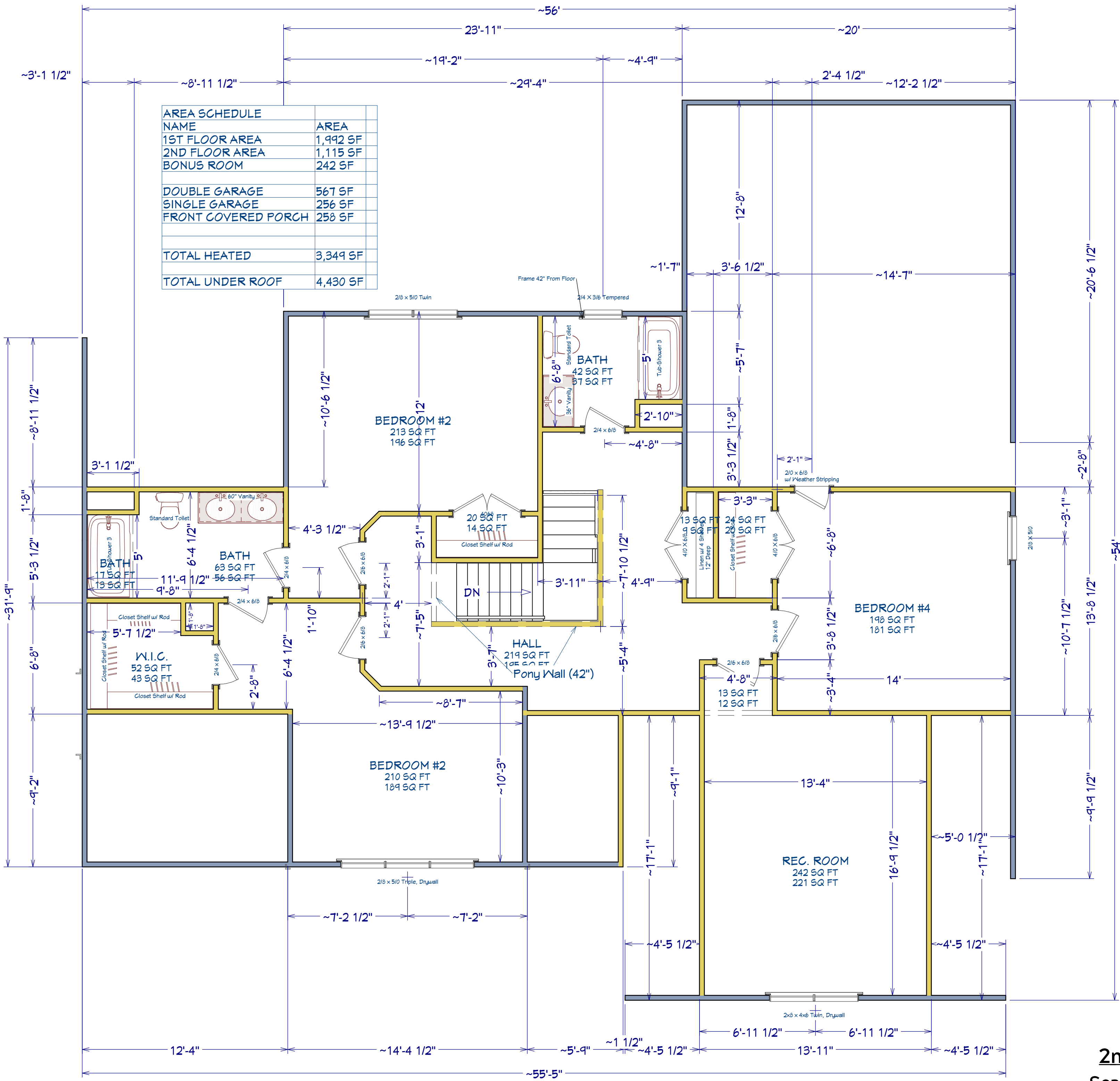
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Shaun@PrecisionCustomHomesNC.com

DATE:
11/13/24

SCALE:
1/4" = 1'

SHEET:
A-4



AREA SCHEDULE	
NAME	AREA
1ST FLOOR AREA	1,992 SF
2ND FLOOR AREA	1,115 SF
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DOUBLE GARAGE	567 SF
SINGLE GARAGE	256 SF
FRONT COVERED PORCH	258 SF
TOTAL HEATED	3,349 SF
TOTAL UNDER ROOF	4,430 SF

2nd Floor
Scale: 1/4" = 1'0"



ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park
Fayetteville, N.C. 28309
Phone: (910) 864-8787
Fax: (910) 864-4444

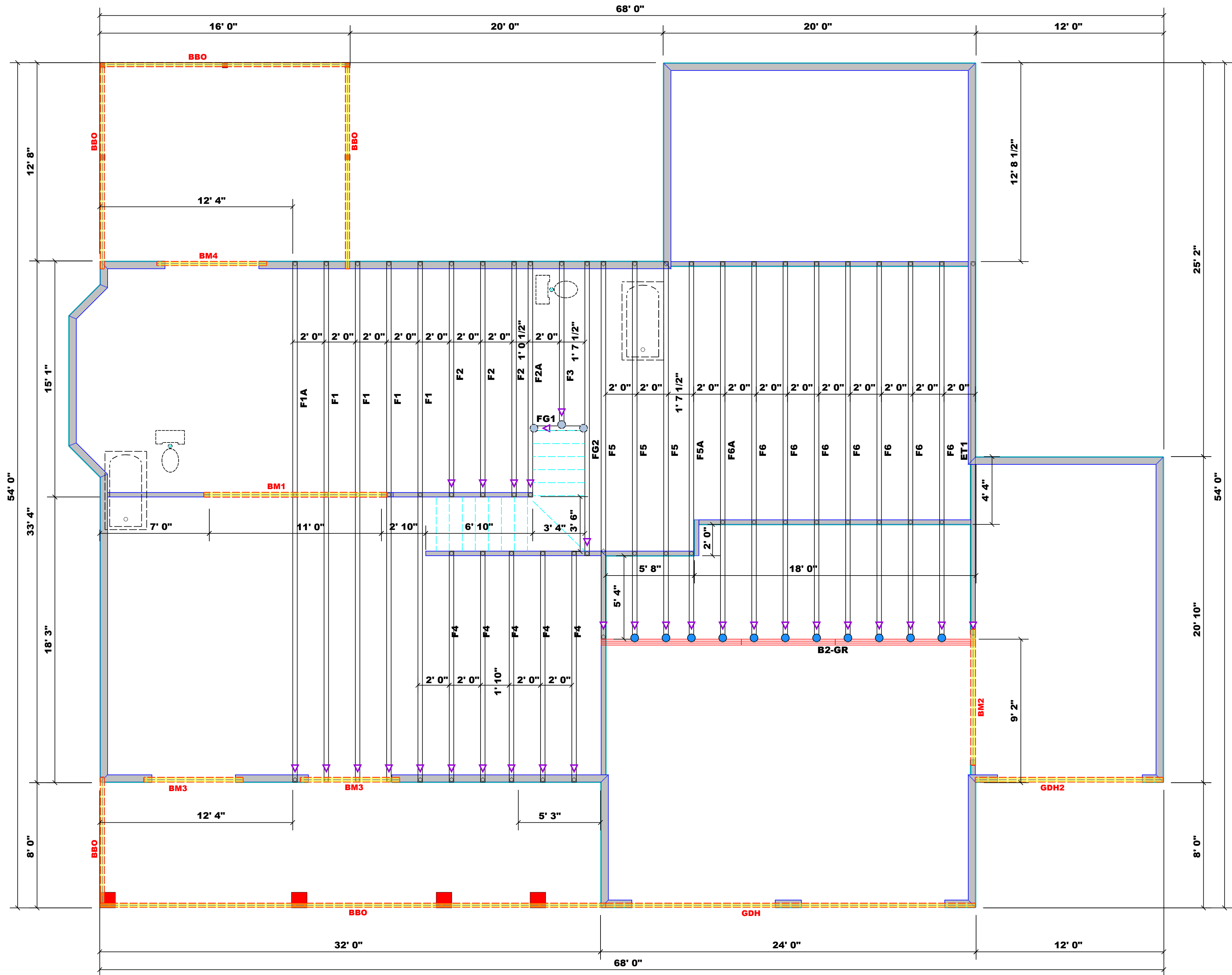
Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature _____
David Landry

LOAD CHART FOR JACK STUDS

(BASED ON TABLES R502.5(1) & (b))
NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADER/GIRDER

END REACTION (UP TO)	REQ. STUDS FOR (1) 1" X 1" HEADER	END REACTION (UP TO)	REQ. STUDS FOR (1) 1" X 1" HEADER	END REACTION (UP TO)	REQ. STUDS FOR (1) 1" X 1" HEADER
1700	1	2550	1	3400	1
3400	2	5100	2	6800	2
5100	3	7650	3	10200	3
6800	4	10200	4	13600	4
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	9				



1 Truss Placement Plan
Scale: 1/4"=1'

PlotID	Length	Product	Plies	Net Qty	Fab Type
BM1	12' 0"	1-3/4"x 14" LVL Kerto-S	2	2	FF
BM2	9' 0"	1-3/4"x 11-7/8" LVL Kerto-S	2	2	FF
BM3	7' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	4	FF
BM4	8' 0"	2x10 SPF No.2	2	2	FF
GDH	24' 0"	2x12 SPF No.2	2	2	FF
GDH2	12' 0"	1-3/4"x 11-7/8" LVL Kerto-S	2	2	FF

Plumbing Drop Notes

- Plumbing drop locations shown are NOT exact.
- Contractor to verify ALL plumbing drop locations prior to setting Floor Trusses.
- Adjust spacing as needed not to exceed 24"oc.

Dimension Notes

- All exterior wall to wall dimensions are to face of sheathing unless noted otherwise.
- All interior wall dimensions are to face of frame wall unless noted otherwise.
- All exterior wall to truss dimensions are to face of frame wall unless noted otherwise.

Connector Information				Nail Information		
Sym	Product	Manuf	Qty	Supported Member	Header	Truss
●	HUS410	USP	11	Varies	16d/3-1/2"	16d/3-1/2"
●	MSH422	USP	3	Varies	10d/3"	10d/3"

BUILDER	JOB NAME	PLAN	SEAL DATE	QUOTE #	JOB #
Precision Custom Homes	Lot 87 Magnolia Hills	Sarah	N/A		J1024-5872
COUNTY	ADDRESS	MODEL	DATE REV.	DRAWN BY	SALESMAN
Cameron / Harnet	Lot 87 Magnolia Hills	Floor	12/03/24	David Landry	Neil Baggett

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY.
These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 provided with the truss delivery package or online @ sbciindustry.com



ROOF & FLOOR TRUSSES & BEAMS

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Fayetteville, N.C. 28309
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Signature
David Landry

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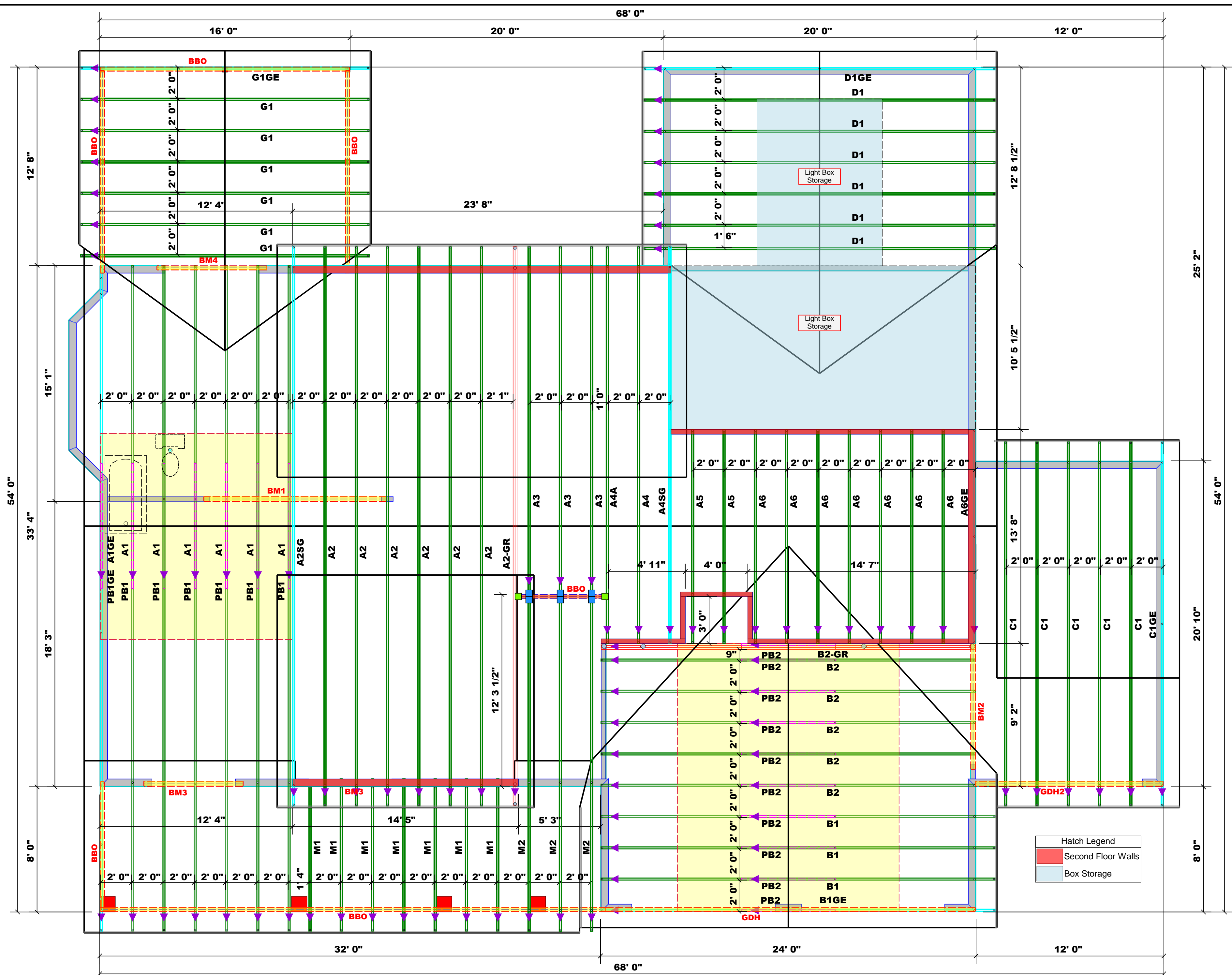
(BASED ON TABLES R502.5(1) & (b))
NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADER/GIRDER

END REACTION (UP TO)	REQ'D STUDS FOR (1) FT HEADER	END REACTION (UP TO)	REQ'D STUDS FOR (1) FT HEADER	END REACTION (UP TO)	REQ'D STUDS FOR (1) FT HEADER
1700	1	2550	1	3400	1
3400	2	5100	2	6800	2
5100	3	7650	3	10200	3
6800	4	10200	4	13600	4
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	9				

COUNTY	Cameron / Harnet
ADDRESS	Lot 87 Magnolia Hills
MODEL	Roof
DATE REV.	12/03/24
DRAWN BY	David Landry
SALESMAN	Neil Baggett

BUILDER	Precision Custom Homes
JOB NAME	Lot 87 Magnolia Hills
PLAN	Sarah
SEAL DATE	N/A
QUOTE #	
JOB #	J1024-5871

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Products					
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Roof Area = 4234.58 sq.ft.
Ridge Line = 134.13 ft.
Hip Line = 0 ft.
Horiz. OH = 224.39 ft.
Raked OH = 313.52 ft.
Decking = 146 sheets

Connector Information					Nail Information	
Sym	Product	Manuf	Qty	Supported Member	Header	Truss
■	HUS26	USP	6	Varies	16d/3-1/2"	16d/3-1/2"
■	THD26-2	USP	2	Varies	16d/3-1/2"	10d/3"

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Scale: 1/4"=1'