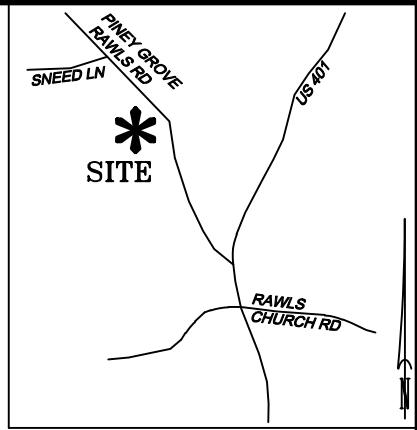
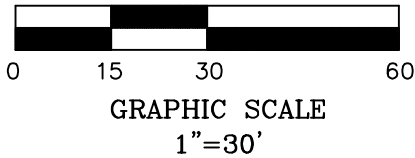


LEGEND

- MATHEMATICAL POINT
- CONTROL CORNER
- ▣ WATER METER
- ⊙ SEWER CLEAN OUT
- ⊗ FIRE HYDRANT



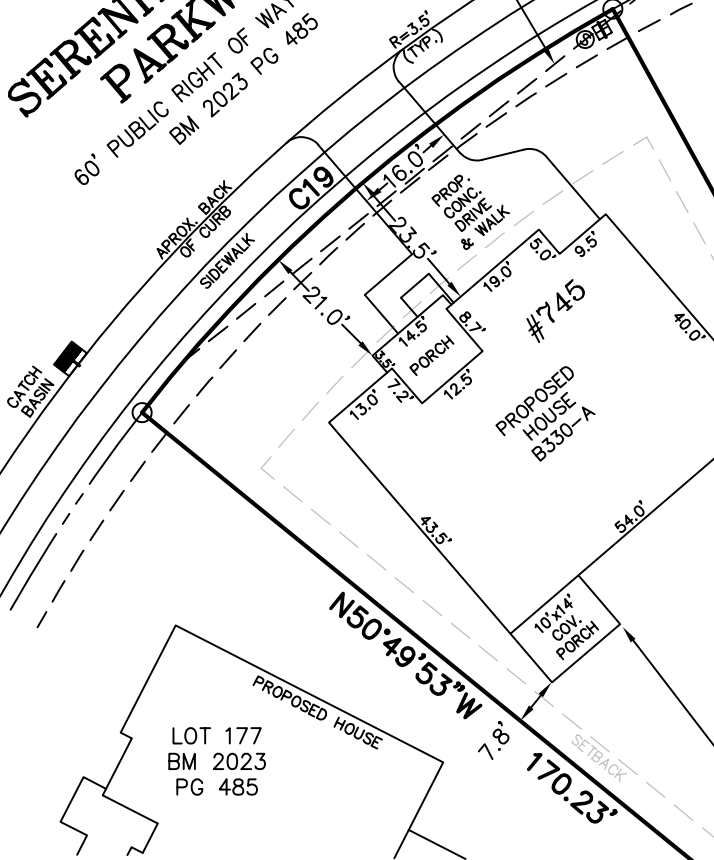
**SERENITY WALK
PARKWAY**
60' PUBLIC RIGHT OF WAY & UTILITY
BM 2023 PG 485

VARIABLE WIDTH
PUBLIC DRAINAGE
EASEMENT
BM 2023
PG 485

VICINITY MAP (NTS)

5' PUBLIC UTILITY
EASEMENT
BM 2023
PG 485

LOT 175
BM 2023
PG 485



LOT 177
BM 2023
PG 485

**LOT 176
11,137 SF**

SEE NOTES

LOT 193
BM 2023
PG 485

LOT 192
BM 2023
PG 485

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C19	97.50'	245.00'	N49°24'00"E	96.86'

NOTES:

- REFERENCE HARNETT CO. BM 2023, PG 483-493 FOR BOUNDARY INFORMATION, NORTH INDEX & TIE LINES TO SUBDIVISION CONTROL CORNERS.
- ZONED: RA-30, RA-40, & CONSERVATION.
- SETBACKS, PER BM 2023 PG 483:
>43' LOT WIDTH:
FRONT YARD-20', SIDE YARD-5', REAR YARD-20', CORNER YARD-12'.
- PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS SCALED FROM THE NFIP FIRM No. 3720065500L (EFFECTIVE DATE: JULY 19, 2022) AND/OR 3720064500J (EFFECTIVE DATE: 10/3/2006), AND/OR 3720064400J (EFFECTIVE DATE: 10/3/2006).

MAXIMUM ALLOWABLE IMPERVIOUS-3,700 SF

TOTAL ESTIMATED IMPERVIOUS-3,134 SF	
SITE	SQ. FT.
HOUSE	2,392
DRIVEWAY	538
LEAD WALK	55
COV. PORCH	140
A/C PAD	9

PERMIT PLAN LOT: 176

SERENITY SUBDIVISION, PHASE 2C
HECTORS CREEK TOWNSHIP, HARNETT COUNTY, NC

SURVEYED FOR
DAVID WEEKLEY HOMES
1901 N. HARRISON AVENUE, SUITE 200
CARY, NC 27513

I HEREBY CERTIFY THAT THE BUILDING WILL LIE WHOLLY ON THE LOT. THIS PLAT IS OF AN EXISTING PARCEL OF LAND. THIS IS NOT A SURVEY AND NOT FOR RECORDATION PURPOSES.



MSS LAND CONSULTANTS, PC
"Committed to Total Quality Service"
Firm License: C-2070
EST. 1998

6118 St. Giles St Phone (919) 510-4464
(Suite E) Fax (919) 510-9102
Raleigh, NC 27612 Email: gowersw@mssland.com

PRELIMINARY PLAN

O:_DWHOMES\IDWH-22-02-SERENITY.dwg, 10/7/2024 10:49:24 AM, cawfordc, 1:1