



Town of Erwin
Zoning Application & Permit
 Planning & Inspections Department

Permit #
25-0036

Rev Sep2014

Each application should be submitted with an attached plot/site plan with the proposed use/structure showing lot shape, existing and proposed buildings, parking and loading areas, access drives and front, rear, and side yard dimensions.

Name of Applicant	Angel Mercia	Property Owner	Angel Mercia
Home Address	36 sunnyfield ct	Home Address	36 sunnyfield ct
City, State, Zip	Benson NC 27584	City, State, Zip	Benson NC 27504
Telephone	919 902 0990	Telephone	919 902 0990
Email	Bryan.Canales@titansplumbing.com	Email	Bryan.Canales@titansplumbing.com

Address of Proposed Property			
Parcel Identification Number(s) (PIN)	1507-89-3131.000	Estimated Project Cost	\$720,000
What is the applicant requesting to build / what is the proposed use of the subject property? Be specific.	single family residence		
Description of any proposed improvements to the building or property	septic tank + field		
What was the Previous Use of the subject property?	farm		
Does the Property Access DOT road?	NO		
Number of dwelling/structures on the property already	0	Property/Parcel size	40 Acres
Floodplain SFHA <u>Yes</u> <u>No</u>	Watershed <u>Yes</u> <u>No</u>	Wetlands <u>Yes</u> <u>No</u>	
MUST circle one that applies to property			
<input checked="" type="radio"/> Existing/Proposed Septic System		Or	
<input type="radio"/> Existing/Proposed County/City Sewer			

Owner/Applicant Must Read and Sign

The undersigned property owner, or duly authorized agent/representative thereof certifies that this application and the forgoing answers, statements, and other information herewith submitted are in all respects true and correct to the best of their knowledge and belief. The undersigning party understands that any incorrect information submitted may result in the revocation of this application. Upon issuance of this permit, the undersigning party agrees to conform to all applicable town ordinances, zoning regulations, and the laws of the State of North Carolina regulating such work and to the specifications of plans herein submitted. The undersigning party authorizes the Town of Erwin to review this request and conduct a site inspection to ensure compliance to this application as approved.

Print Name	Signature of Owner or Representative	Date
	<i>[Signature]</i>	

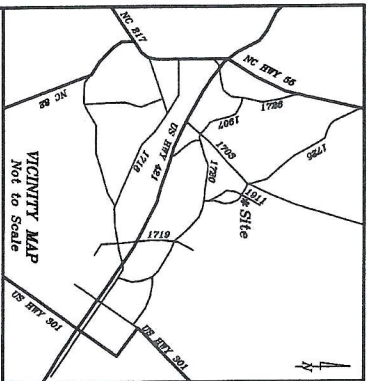
For Office Use

Zoning District	B0
Front Yard Setback	40 FT
Side Yard Setback	17 FT
Rear Yard Setback	40 FT

Existing Nonconforming Uses or Features	Frontage, variance approved		
Other Permits Required	<input type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Building	<input type="checkbox"/> Fire Marshal
Requires Town Zoning Inspection(s)	<input checked="" type="checkbox"/> Foundation <input checked="" type="checkbox"/> Prior to C. of O.		
Zoning Permit Status	<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		
Fee Paid: \$100	Date Paid: 9/20/24	Staff Initials: KM	

Comments	septic from Harnett health, water tap from Harnett regional water building permits from Harnett county		
Signature of Town Representative	<i>[Signature]</i>		Date Approved/Denied: 9/20/24

PAID
 SEP 20 2024
 CUK 4876
 TOWN OF ERWIN
 Variance approved for frontage for 68 ft
 CASE: BOA-2024-004



Owner Certificate
 I, the undersigned, being the owner of all affected parcels of land shown on this plat, do hereby certify that the (s) are (an) the owner of the property shown and described herein, which is located in the Planning Jurisdiction of the Town of Arden, and that I (we) hereby agree to the recombinant as shown.

Signature of Owner
 Date: 05/19/23
 Signature of Owner: *Robin O. Morra*
 Date: 05/19/23

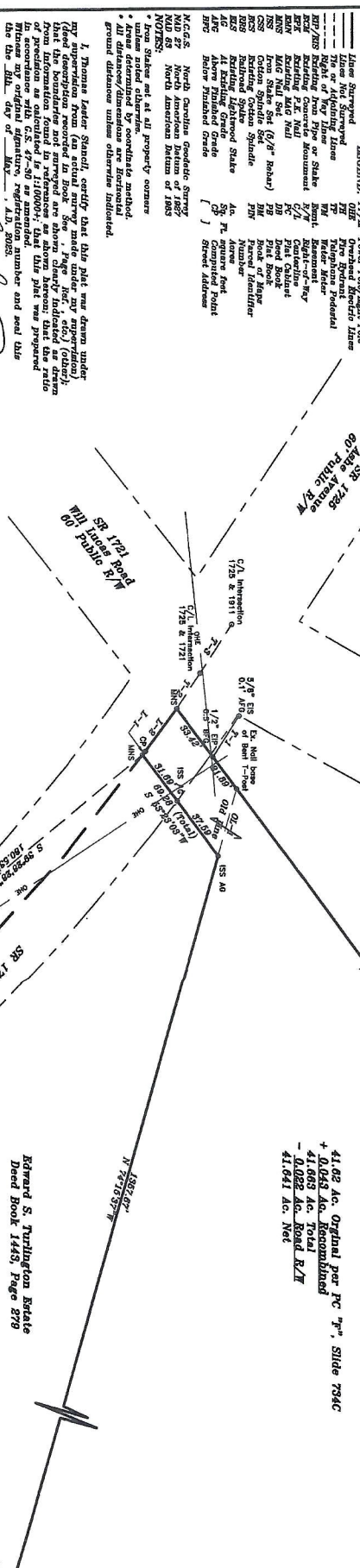
Signature of Owner
 Date: 05/19/23

This plat is a representation of a recombinant of land, however this plat does not transfer title. It is the owner's responsibility to have the appropriate deeds or other documentation recorded at the Register of Deeds to transfer the title.

Elizabeth B. Norris
 Deed Book 2987, Page 912
 Map Number 2007-441

Angel M. Meraz
 Rocio Angelica Meraz
 Deed Book 4189, Page 1049
 Plat Cabinet "T", Slide 794C

41.02 Ac. Original per PC "P", Slide 794C
 + 0.048 Ac. Recombined
 41.068 Ac. Total
 - 0.028 Ac. Road R/W
 41.041 Ac. Net



State of North Carolina
County of Harnett

Signature of Surveyor
 Date: 6-23-23

Surveyor
 License Number: 2-1012

I hereby certify that this survey is of another category, such as the combining court ordered survey or other exception to the definition of subdivision.

Signature of Thomas Foster Starnell, P.L.S.
 Thomas Foster Starnell, P.L.S.

Combination or Recombination Certificate

I certify to the best of my ability I have determined that this plat or map is exempt from the Town of Arden Subdivision Ordinance because it is a combination or recombinant of previously platted lots where the total area of the lots is not less than the total area of the lots as they existed at the time of their original platting, and the plat or map does not exceed the standards of the Town of Arden's Subdivision Ordinance.

Signature of Thomas Foster Starnell, P.L.S.
 Date: 6/23/2023

Thomas Foster Starnell, P.L.S.
 Town of Arden Planning Director

Along the easternmost portion of these tracts are in the 100 year flood plain. It does not affect the area shown on this plat.

FEMA FLOOD HAZARD STATEMENT

A portion of land shown on this plat is located in the 100 year flood plain as shown on FEMA map No. 37501600040. Effective date: 10/9/2000

Current Owner
 PIN: 1607-88-2971.000
 Edward S. Turlington Estate
 Duwa, NC 28838

Current Owner
 PIN: 1607-88-3191.000
 Angel M. Meraz
 Rocio Angelica Meraz
 PO Box 1027
 Benson, NC 27504

Property Line Table

Course	Bearing	Distance
T-1	N 62°31'03" W	28.67'
T-2	N 65°49'18" W	28.27'
T-3	N 68°12'29" W	31.28'

Old Property Line Table

Course	Bearing	Distance
01-1	S 74°15'57" E	37.89'

The Line Table

Course	Bearing	Distance
T-1	N 62°31'03" W	28.67'
T-2	N 65°49'18" W	28.27'
T-3	N 68°12'29" W	31.28'

STANCIL & ASSOCIATES
Professional Land Surveyors, P.A. C-0891
 88 East Depot Street, P. O. Box 730, Anglen, N.C. 27601
 Phone: 919-658-2183 Fax: 919-658-2802

Reference
 Deed Book 1448, Page 279 (Title to Turlington)
 Deed Book 4189, Page 1049 (Title to Meraz & Meraz)
 Plat Cabinet "T", Slide 794C
 Plat Cabinet "T", Slide 794C

STANCIL & ASSOCIATES
 Surveyed and Mapped for:
Angel M. Meraz
Rocio Angelica Meraz
 38 Sunny Field Court
 Benson, NC 27504

STATE: NORTH CAROLINA PIN: 1607-88-2971.000 & 1607-88-3191.000
TOWN: ARDEN FID: 021607 0049 & 021607 0045
TOWNSHIP: AYERSBORO COUNTY: HARNETT
SCALE: 1" = 40' DRAWN BY: PAN
DATE: 5-8-2023 SURVEYED BY: TTP
CHECKED & CLOSURE BY: VV DRAWING FILE NO. LHA-1365

HAL OWEN & ASSOCIATES, INC.

SOIL & ENVIRONMENTAL SCIENTISTS

P.O. Box 400, Lillington, NC 27546-0400

Phone (910) 893-8743 / Fax (910) 893-3594

www.halowensoil.com

8 March 2023

Angel Mencia

Reference: Preliminary Soil Investigation
Ashe Ave; PIN 1507-89-3131.000

Dear Mr. Mencia,

A site investigation has been conducted for the above referenced property, located on the eastern side of Ashe Ave (SR 1725) in Harnett County, North Carolina. The purpose of this investigation was to determine the site's ability to support subsurface sewage waste disposal systems. All sewage disposal ratings and determinations were made in accordance with "Laws and Rules for Sewage Treatment and Disposal Systems, 15A NCAC 18A .1900". This report represents my professional opinion as a Licensed Soil Scientist but does not guarantee or represent permit approval for any lot by the local Health Department. An improvement permit for all residences will need to be obtained from the Health Department that specifies the proposed home size and location, and the design and location of the septic system to be installed.

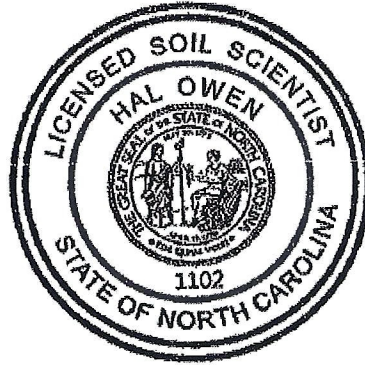
A portion of this property was investigated and observed to be underlain by a mixture of soils that range from provisionally suitable to unsuitable for subsurface sewage waste disposal (see attached map). The soils shown as provisionally suitable will adequately function as sewage waste disposal sites. You should expect that 80 to 100 feet of chamber drainline would be required for the initial system per bedroom in the home.

The soils shown as provisionally suitable for modified or alternative systems are limited in soil depth to the extent that systems that can be installed ultra-shallow will likely be required. This requirement will necessitate the addition of approximately 6 inches of topsoil to completely cover the system. It is likely that ultra-shallow conventional type systems can be utilized at this site when limited soil depths are observed but you should expect that 100 to 150 feet of chamber drainline would be required for the initial system per bedroom in the home.

The unsuitable soil area is so rated due to inadequate soil depth to excessive soil wetness conditions and/or unsuitable landscape position. The ability to utilize alternative systems or make modifications to this area to allow for septic systems is minimal.

It appears that the soils on the investigated portion of this property are adequate to support the subsurface sewage waste disposal needs of a three or four-bedroom residence. The soils get better as you move toward Ashe Ave from your desired house location. In order to gravity flow a septic system into the better soils at the front, you would have to move your house significantly more towards Ashe Ave. From your desired location, it may be necessary for you to utilize a pump. The ditch that crosses the property was flowing water, may be considered a stream and has a 50-foot regulatory setback for any septic systems.

I appreciate the opportunity to provide this service and trust that you will feel free to call on me again in the future. If you have any questions or need additional information, please contact me at your convenience.




Sincerely,

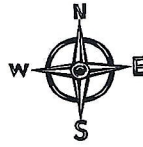
A handwritten signature in cursive script that reads "Hal Owen".

Hal Owen
Licensed Soil Scientist




Preliminary Soil Investigation
Ashe Ave; PIN 1507-89-3131.000
8 March 2023

Scale 1 in = 300 ft

Distances are paced
and approximate

Soil Map



Soil Map Legend

-  Provisionally Suitable Soils
-  Provisionally Suitable for Modified or Alternative Systems
-  Unsuitable Soils

