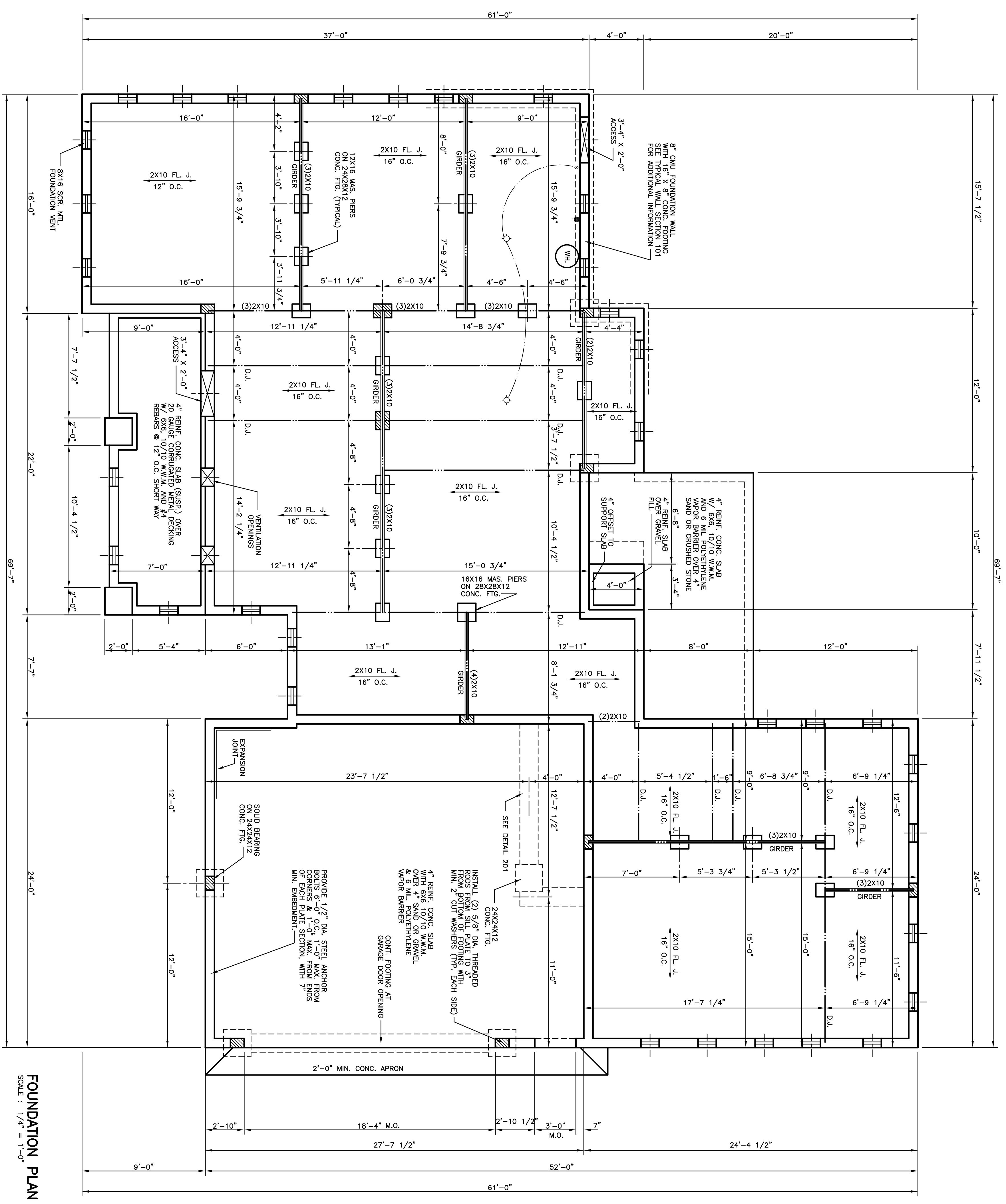
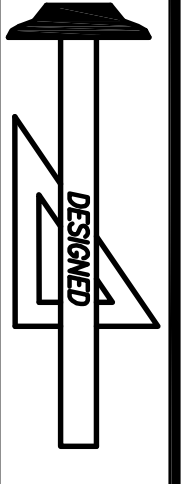


201 SECTION THRU INTERIOR BEARING WALL
SCALE: 3/4" = 1'-0"

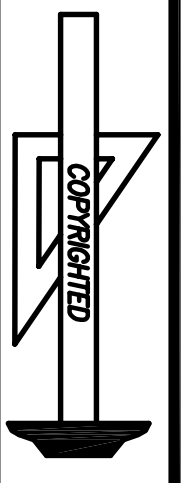


FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

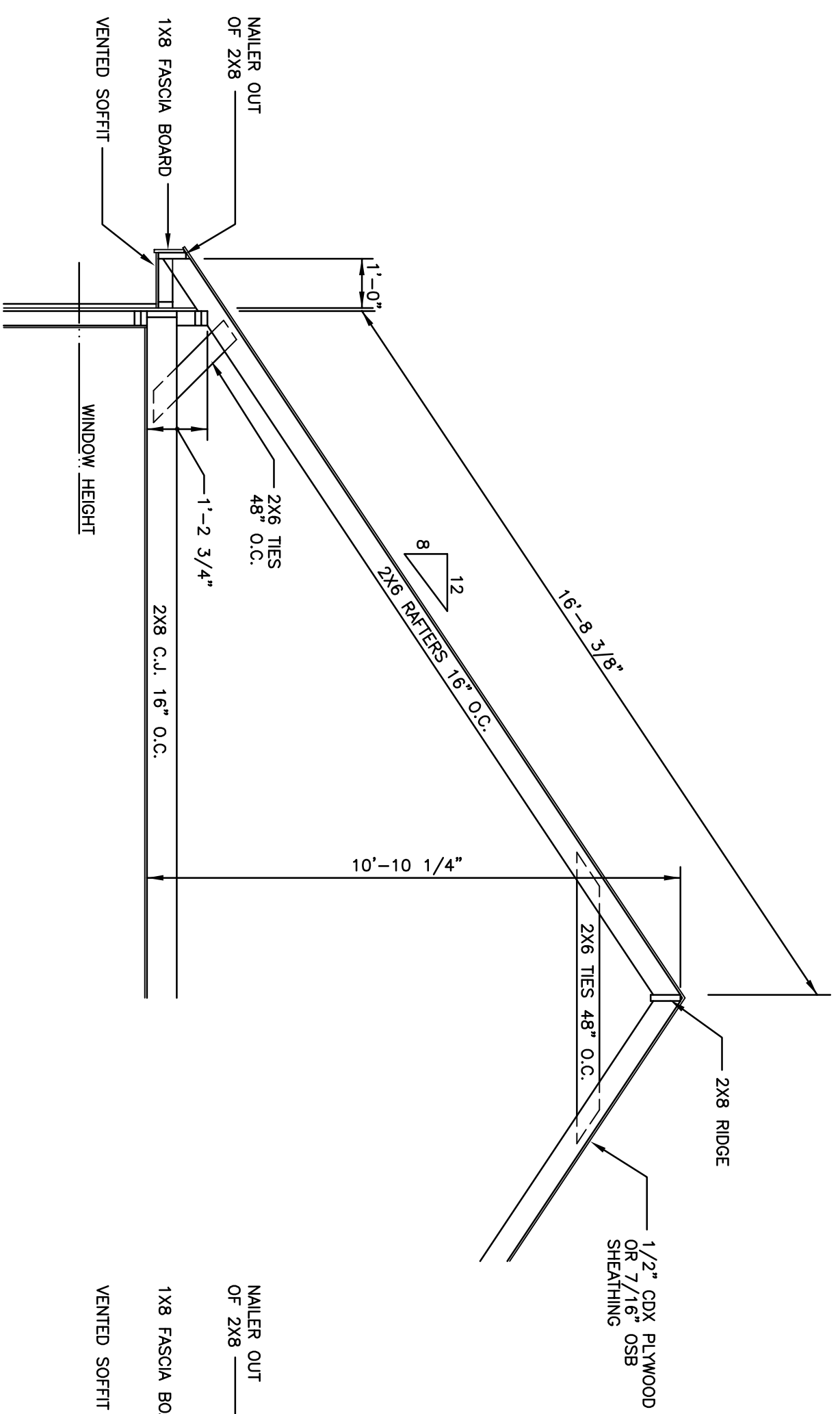
FOUNDATION VENTILATION REQUIREMENTS:
2217 SQ. FT. - 150 FREE AREA REQ'D.
PROVIDE 33 VENTS WITH A MINIMUM OF 64 SQUARE INCHES NET FREE AREA PER VENT.



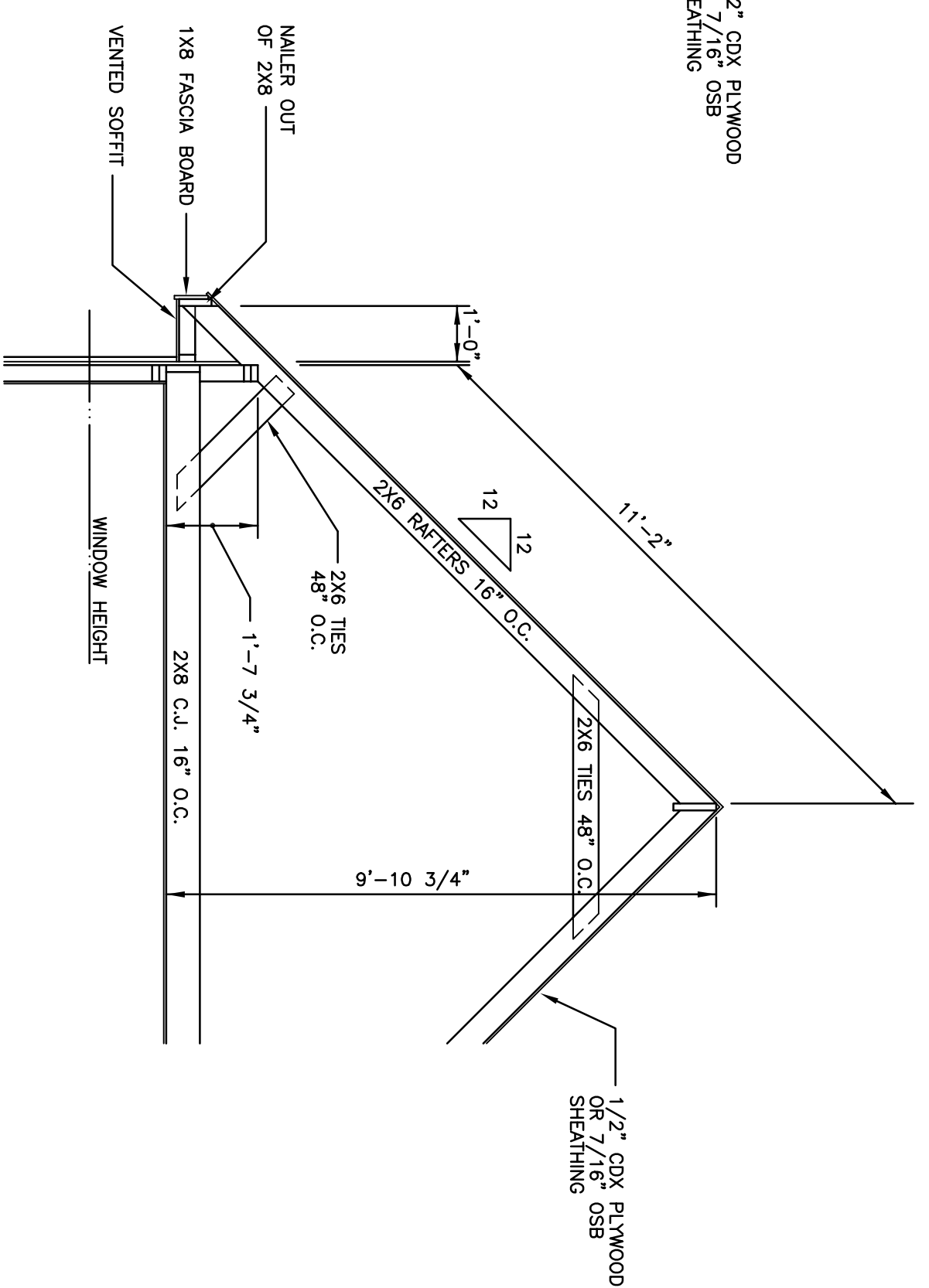
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7200 SUNSET LAKE ROAD FLOUAY-WARINA, NC 27526
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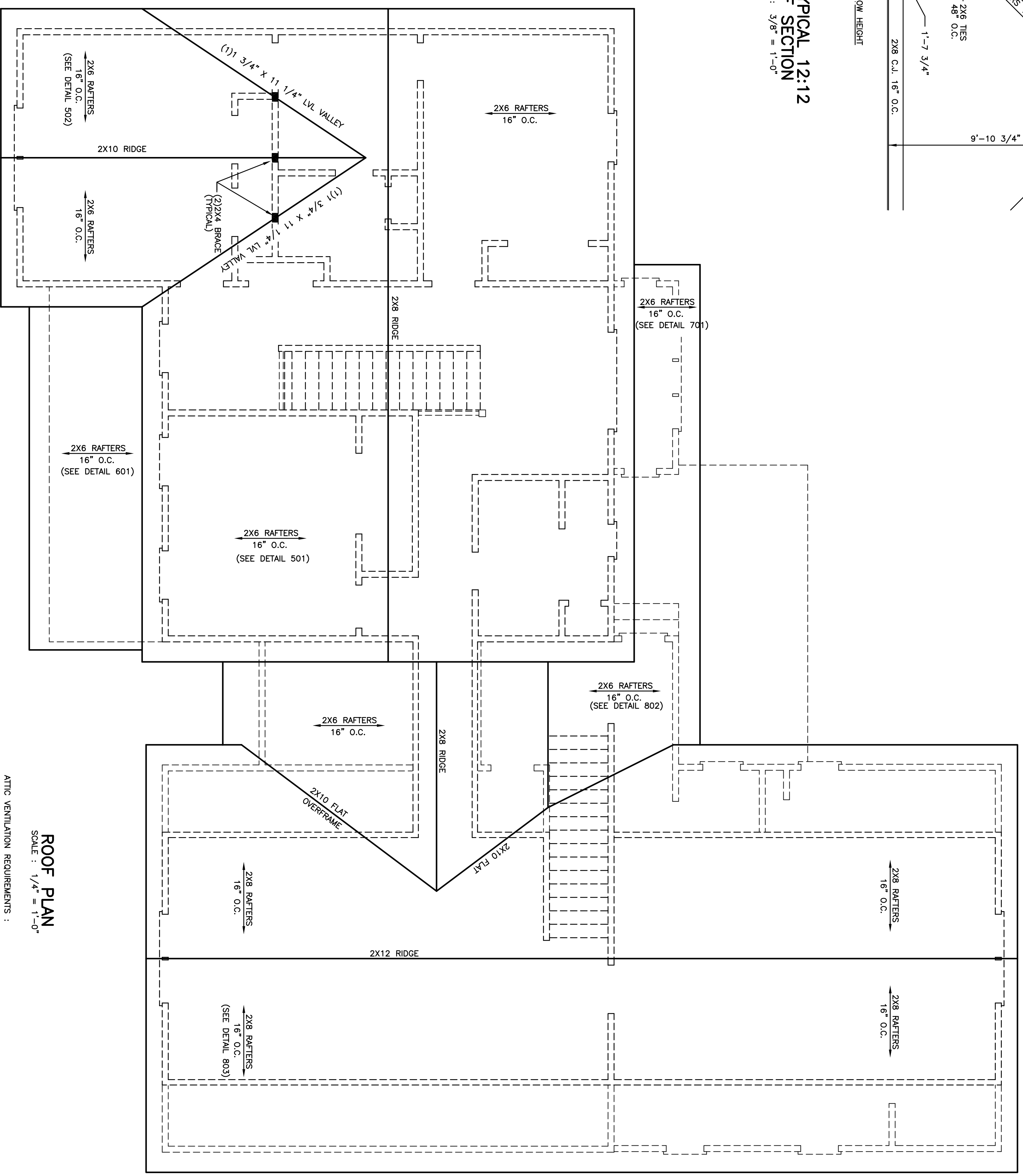
DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
DONALD MASHUM	CAESAR	2	SID.		2 OF 8



**501 TYPICAL 8:12
ROOF SECTION**
SCALE : 3/8" = 1'-0"

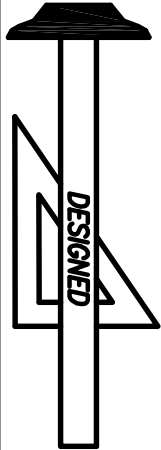


**502 TYPICAL 12:12
ROOF SECTION**
SCALE : 3/8" = 1'-0"

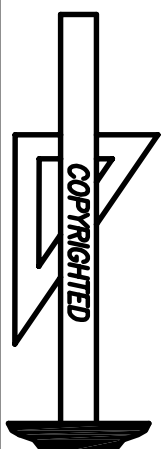


ROOF PLAN
SCALE : 1/4" = 1'-0"

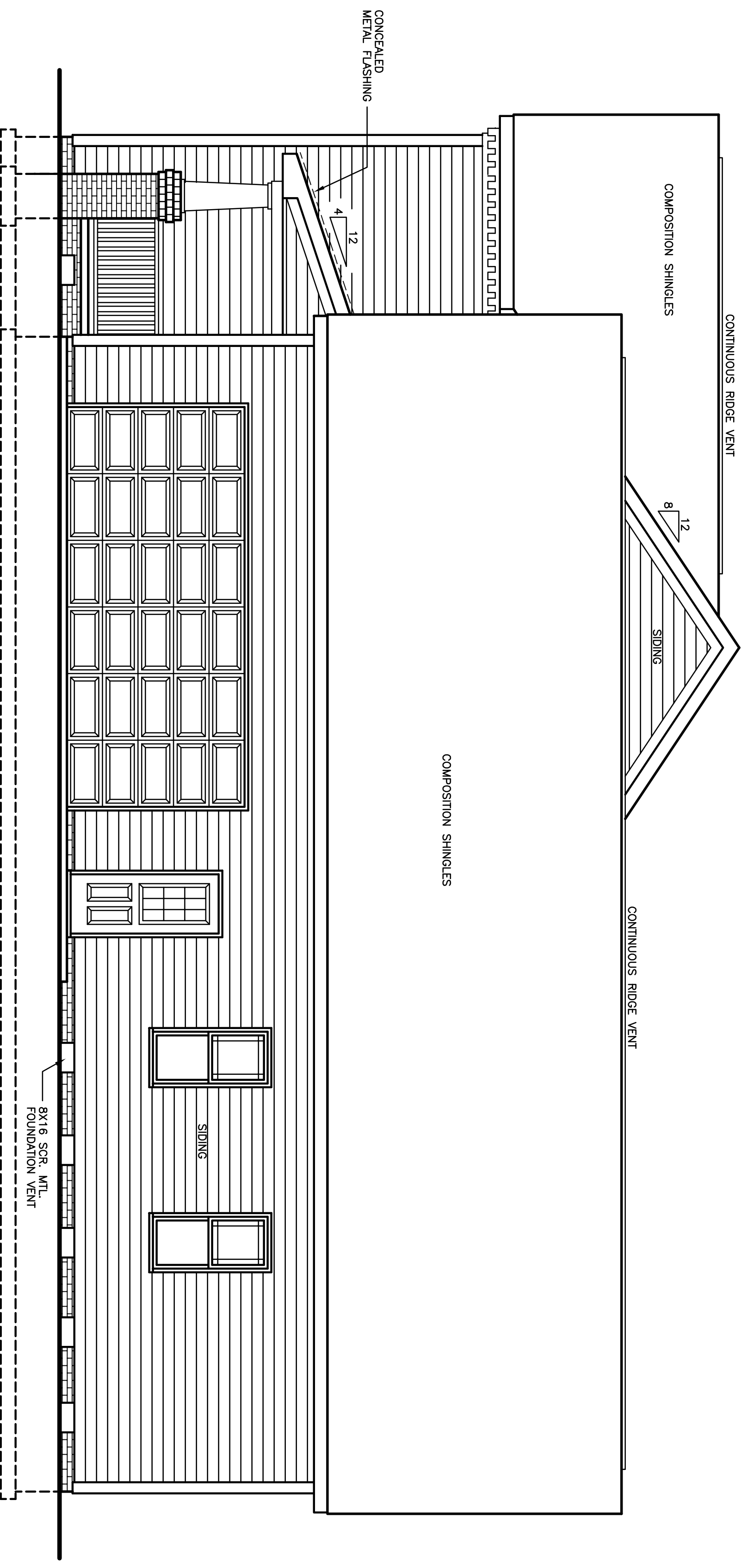
ATTIC VENTILATION REQUIREMENTS :
2888 SQ. FT. - 150 = FREE AREA REQUIRED



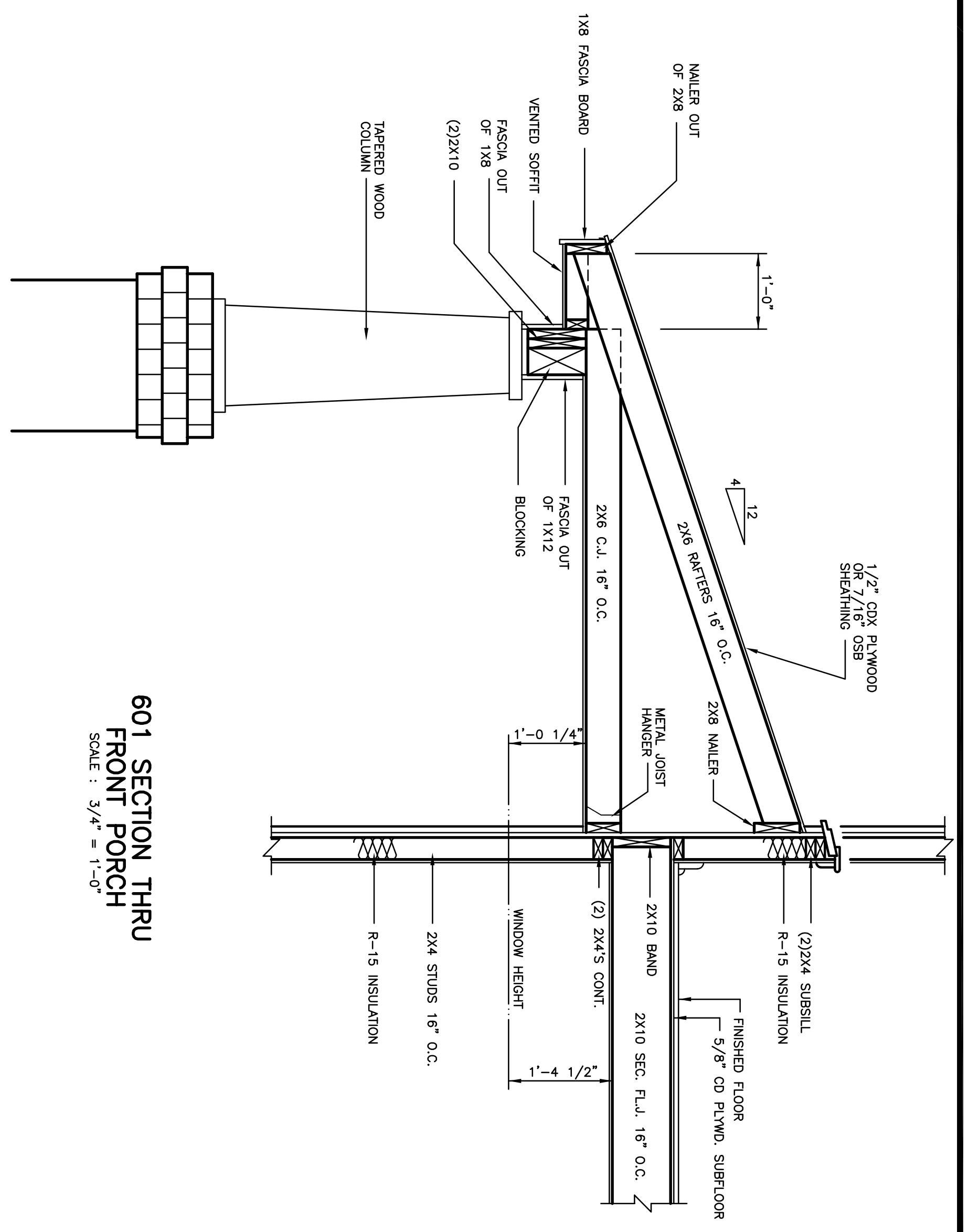
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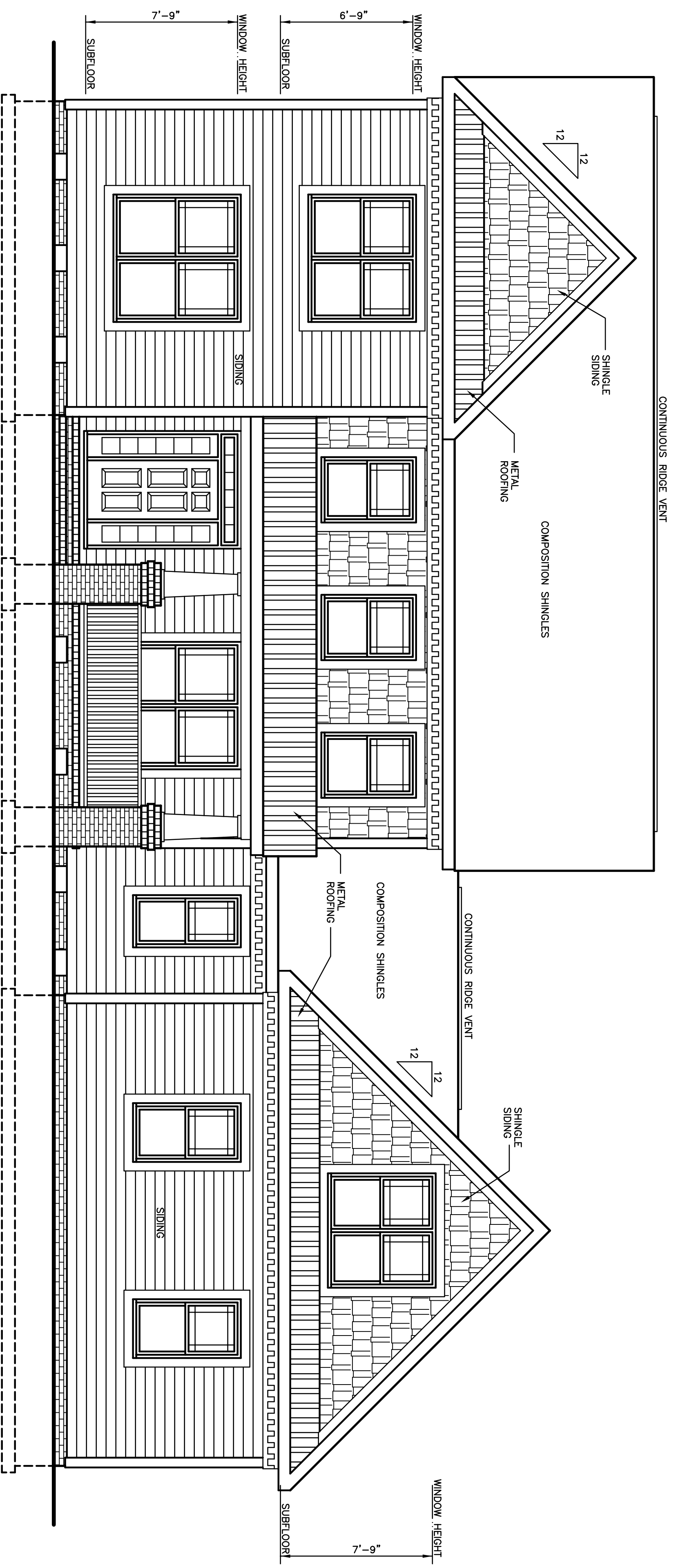
DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
DONALD MAGNUM	CAESAR	2	SID.		5 OF 8



RIGHT SIDE ELEVATION
SCALE : 1/4" = 1'-0"

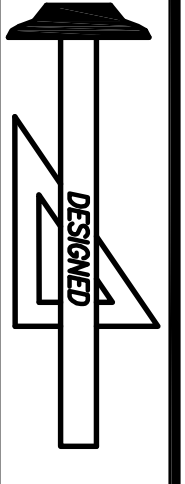


601 SECTION THRU
FRONT PORCH
SCALE : 3/4" = 1'-0"

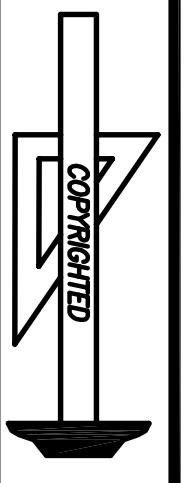


FRONT ELEVATION
SCALE : 1/4" = 1'-0"

PROMOTE GUTTERS, DOWNSPOUTS AND SPLASHPADS ACCORDING TO LOCAL CODE AND WEATHER CONDITIONS. ALL SPLASHPADS SHALL CARRY WATER 60" FROM BUILDING.

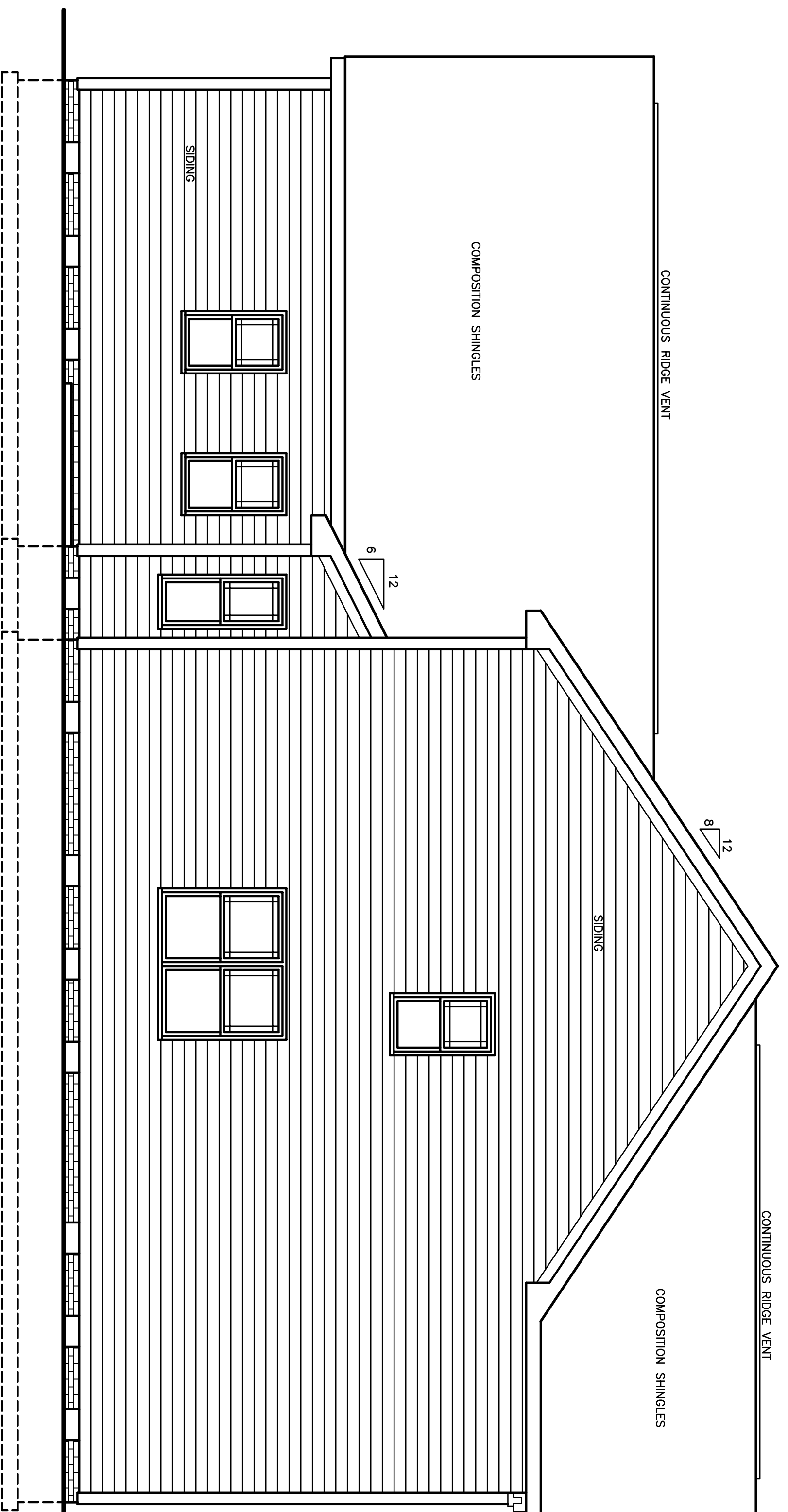


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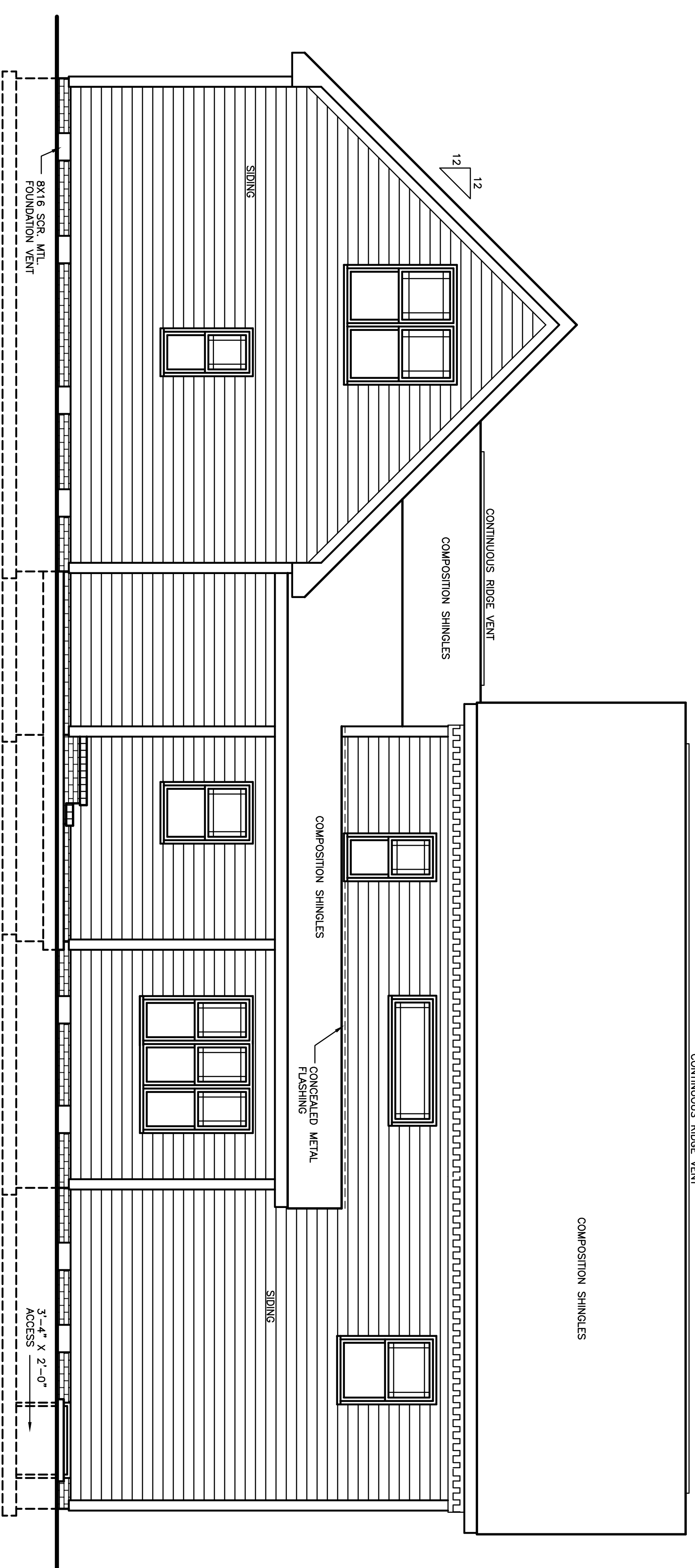


DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
DONALD MAGNUM	CAESAR	2	SID.		6 OF 8

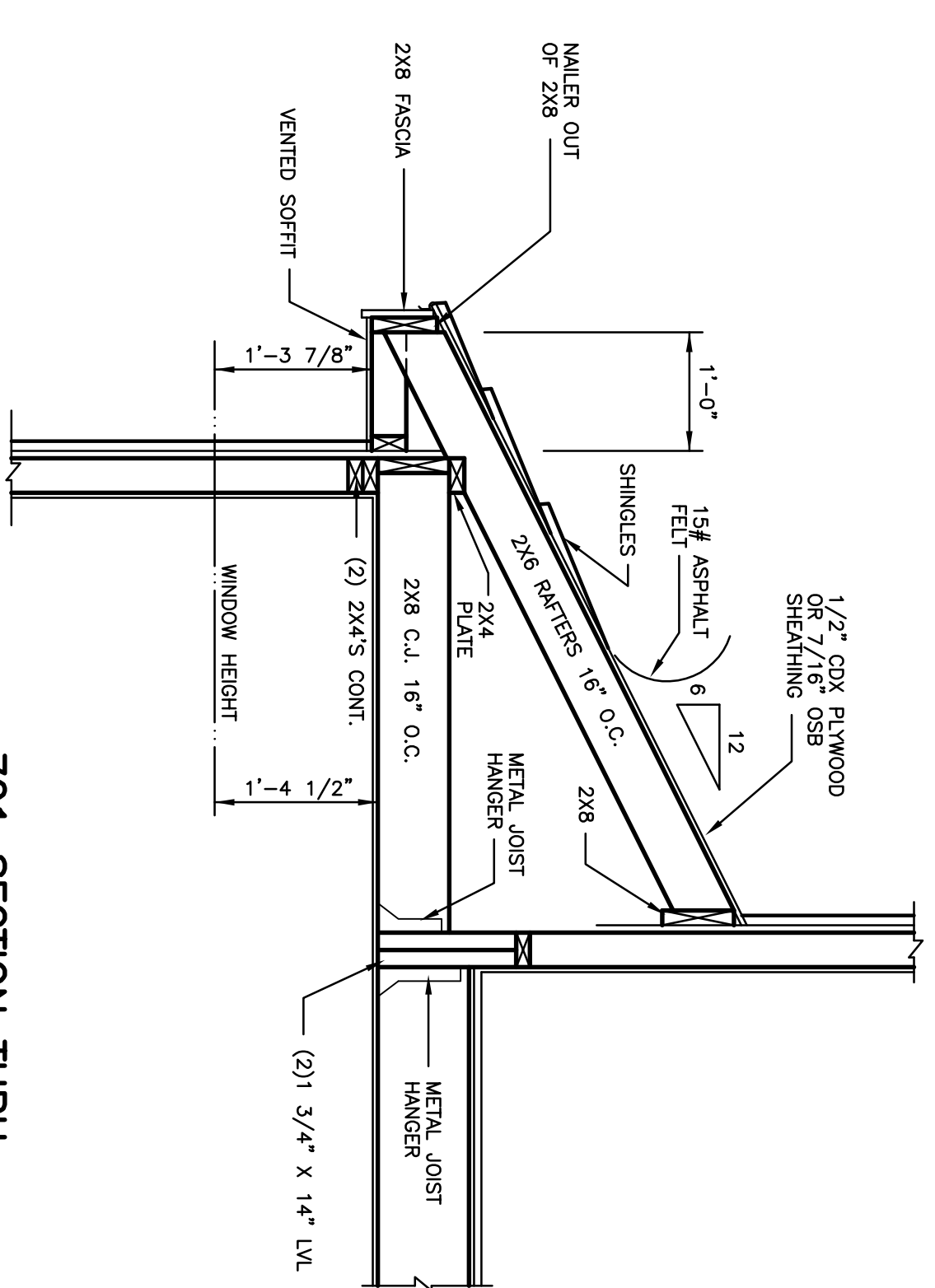
REVISED 10-14-24



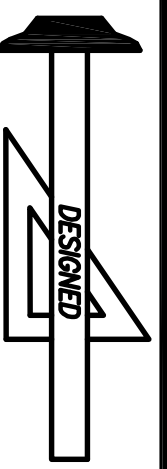
LEFT SIDE ELEVATION
SCALE : 1/4" = 1'-0"



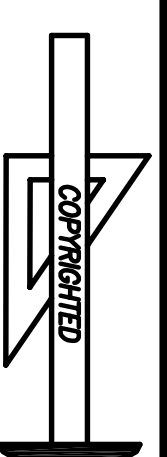
REAR ELEVATION
SCALE : 1/4" = 1'-0"



701 SECTION THRU
BREAKFAST NOOK
SCALE : 3/4" = 1'-0"

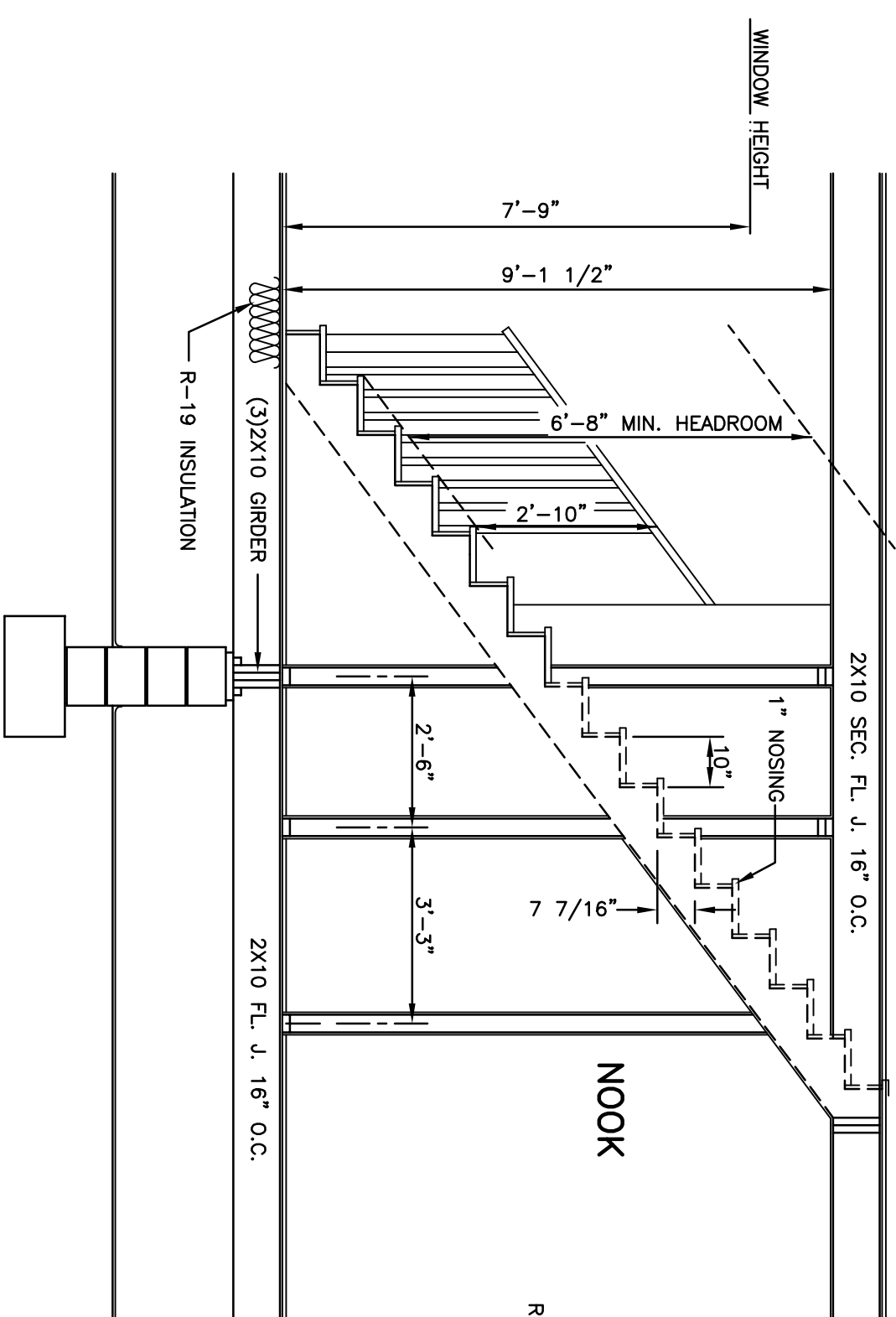


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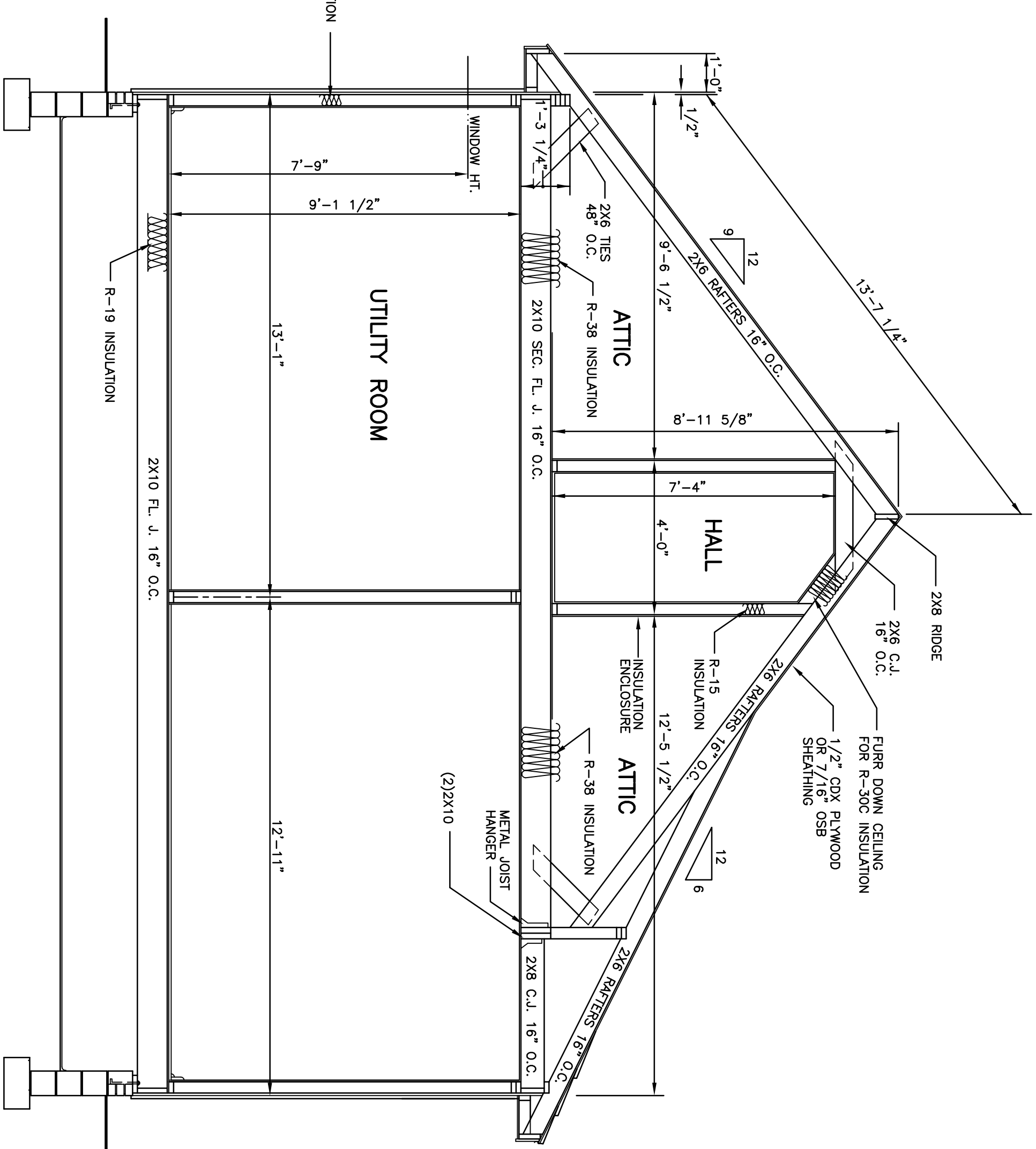


DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
DONALD MAGNOLI	CAESAR	2	SID.		7 OF 8

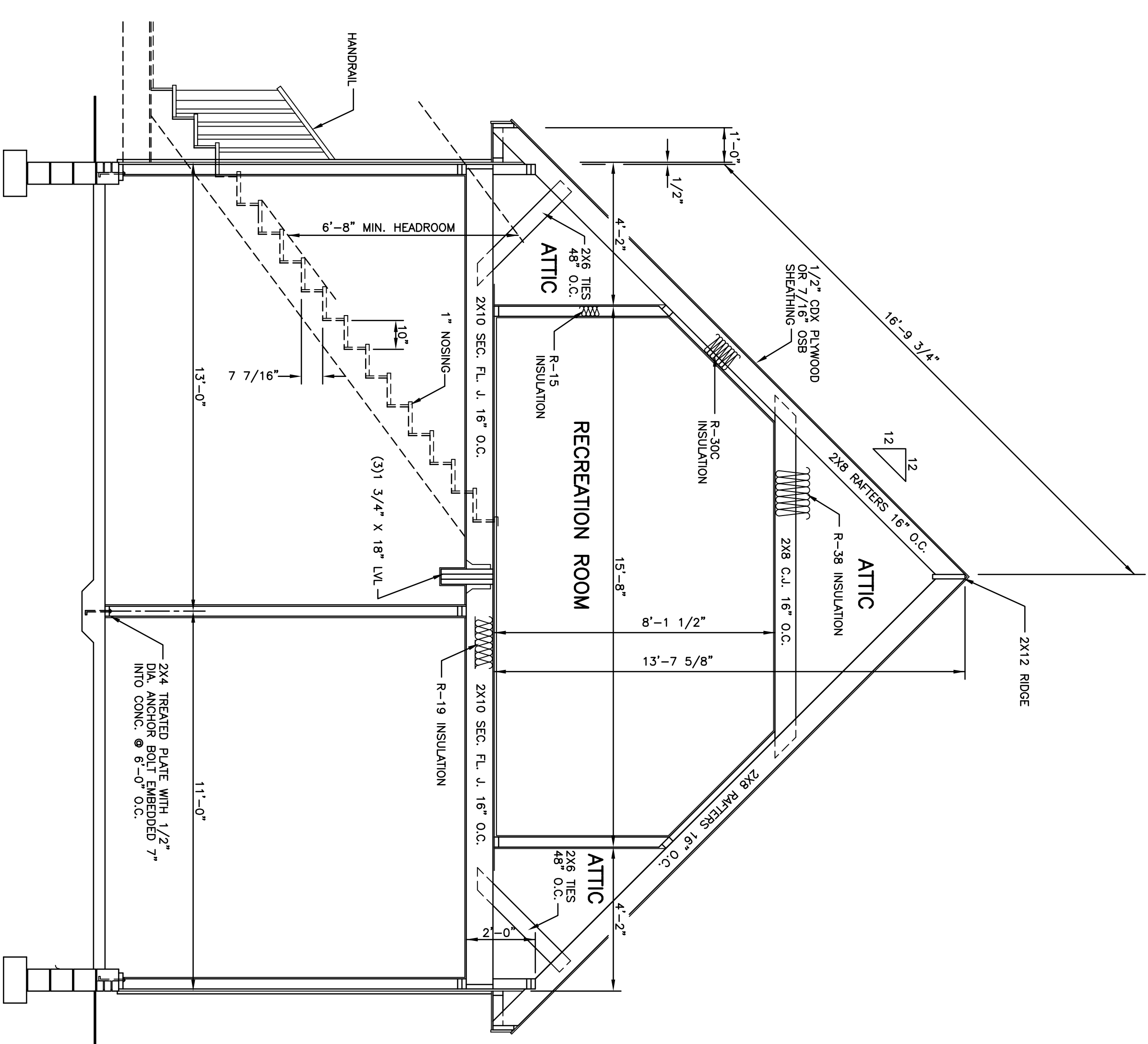
REVISED 10-14-24



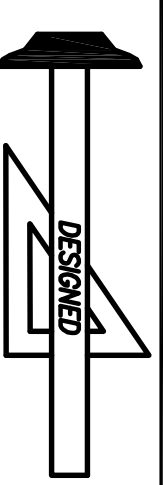
801 MAIN STAIR DETAIL
SCALE: 3/8" = 1'-0"



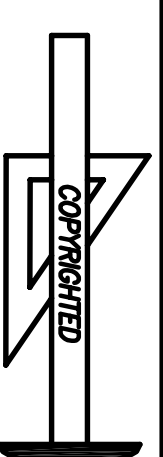
802 TRANSVERSE THRU UTILITY ROOM
SCALE: 3/8" = 1'-0"



803 TRANSVERSE THRU GARAGE
SCALE: 3/8" = 1'-0"



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DESIGNED FOR
DONALD MAGNUM

PLAN
CAESAR

NO.
2

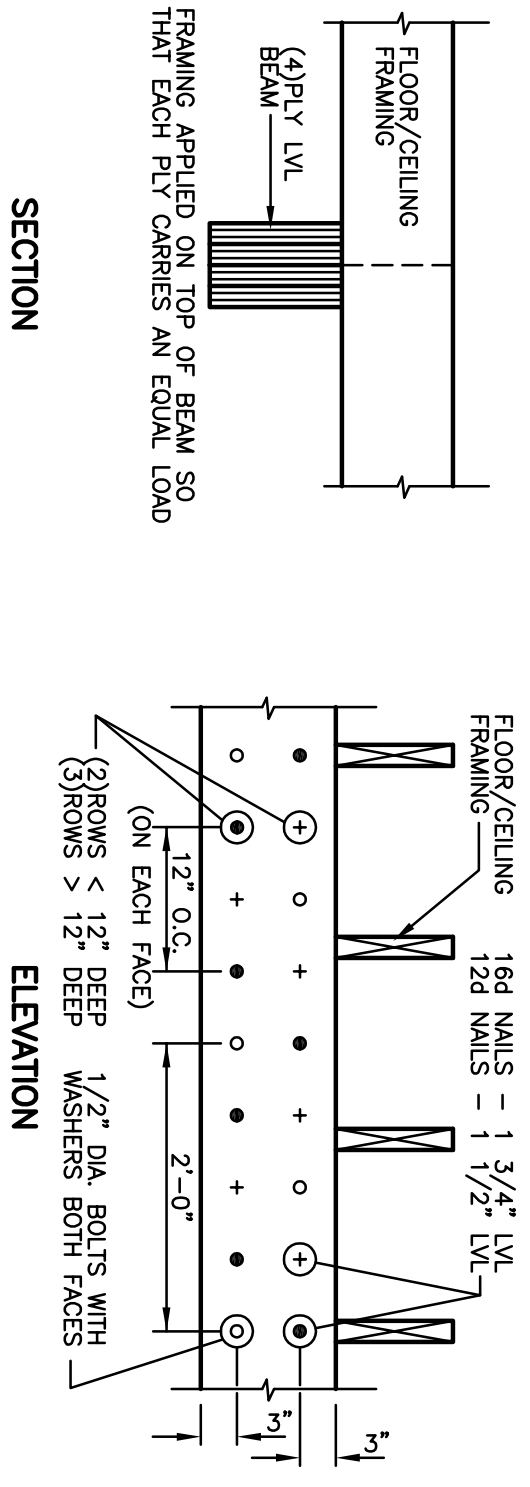
MAT'L.
SID.

SHOWN

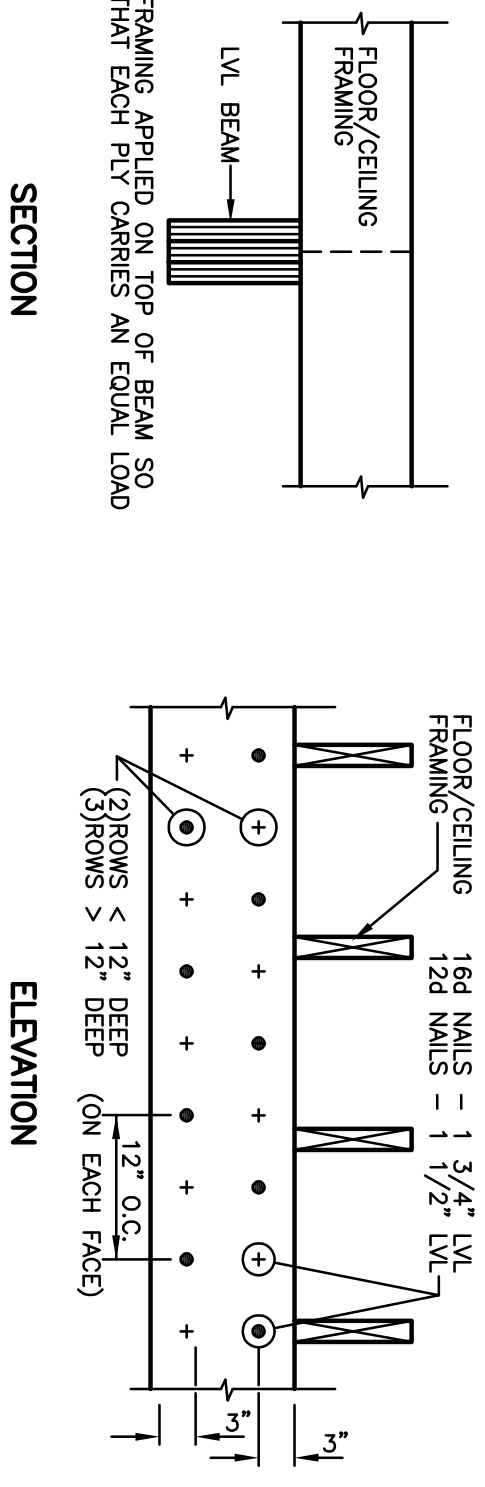
SHEET
8 OF 8

REVISED 10-14-24

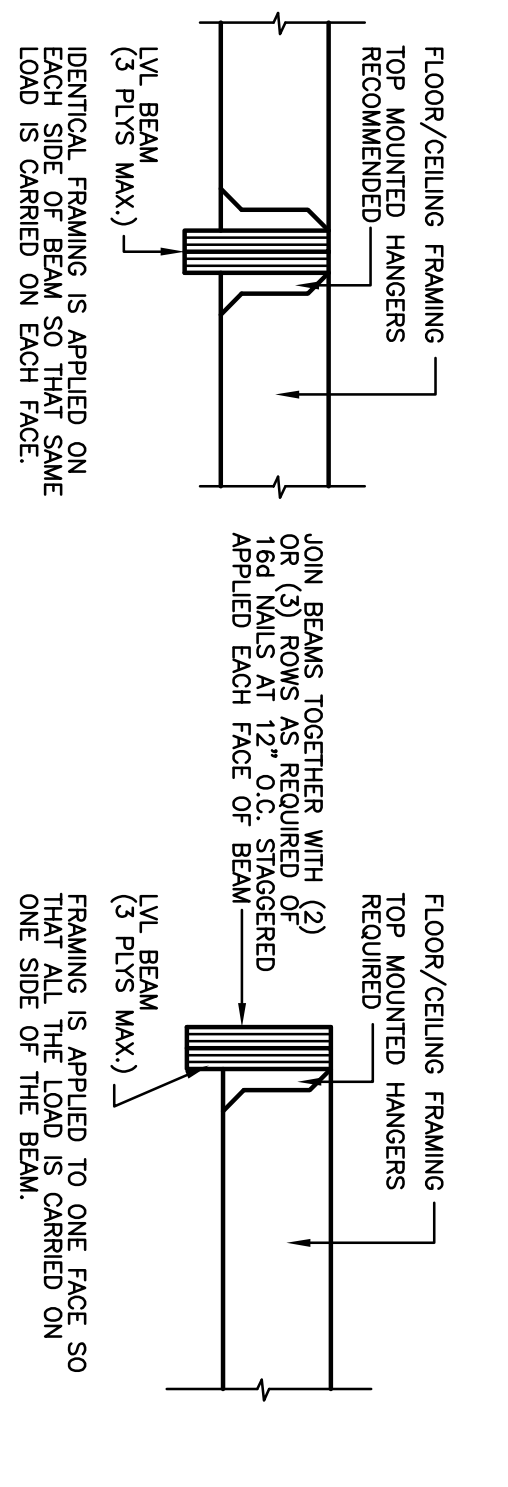
CONNECTION OF MULTIPLE PLY BEAMS
(INSTALLATION & CONNECTION OF BEAMS SHALL BE ACCORDING TO MANUFACTURERS SPECIFICATIONS)



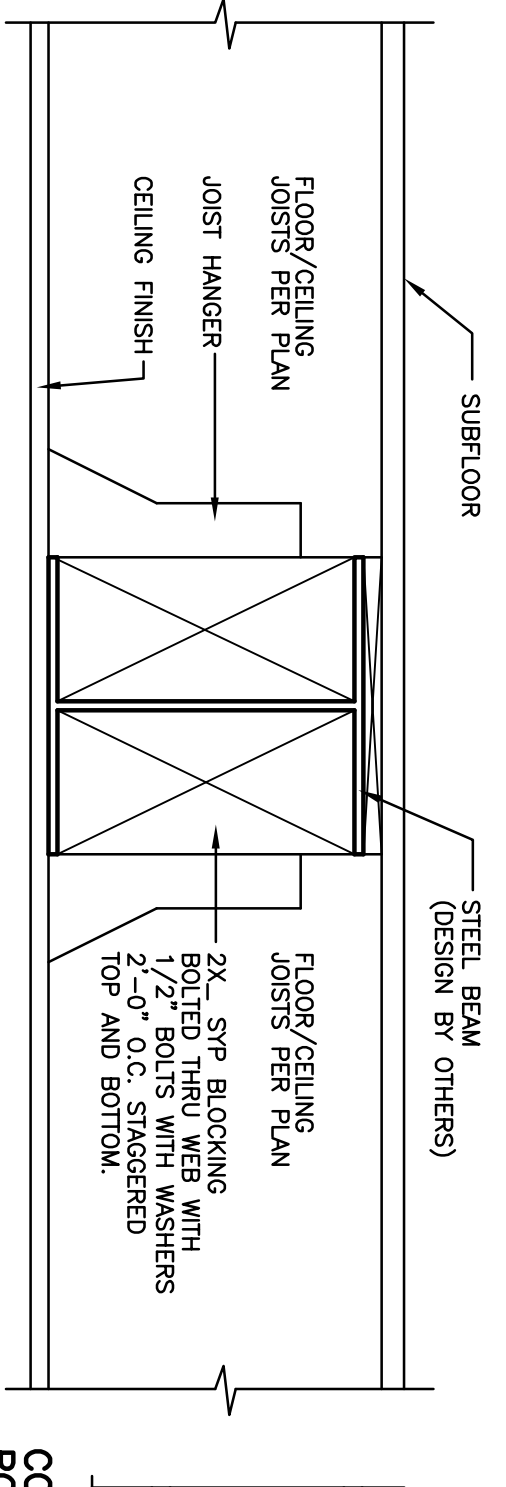
D001
SECTION
TOP LOADED (4 PILES)



D002
SECTION
TOP LOADED (3 PILES MAXIMUM)



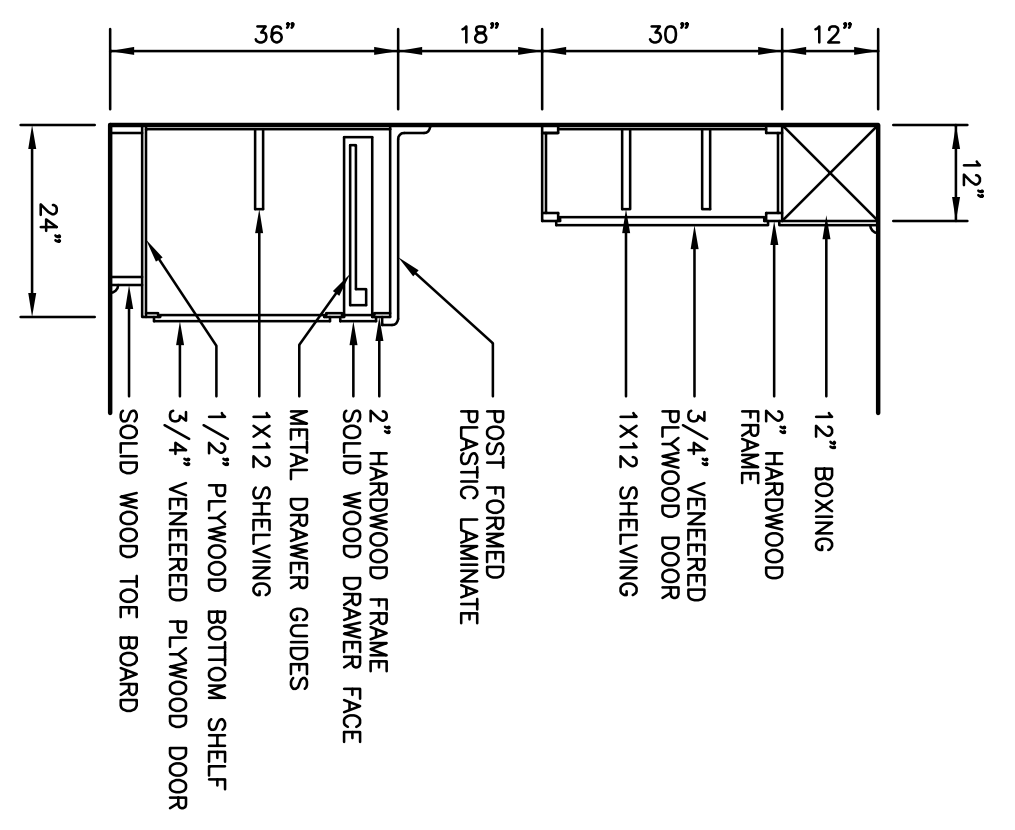
D003
SECTION
SIDE LOADED



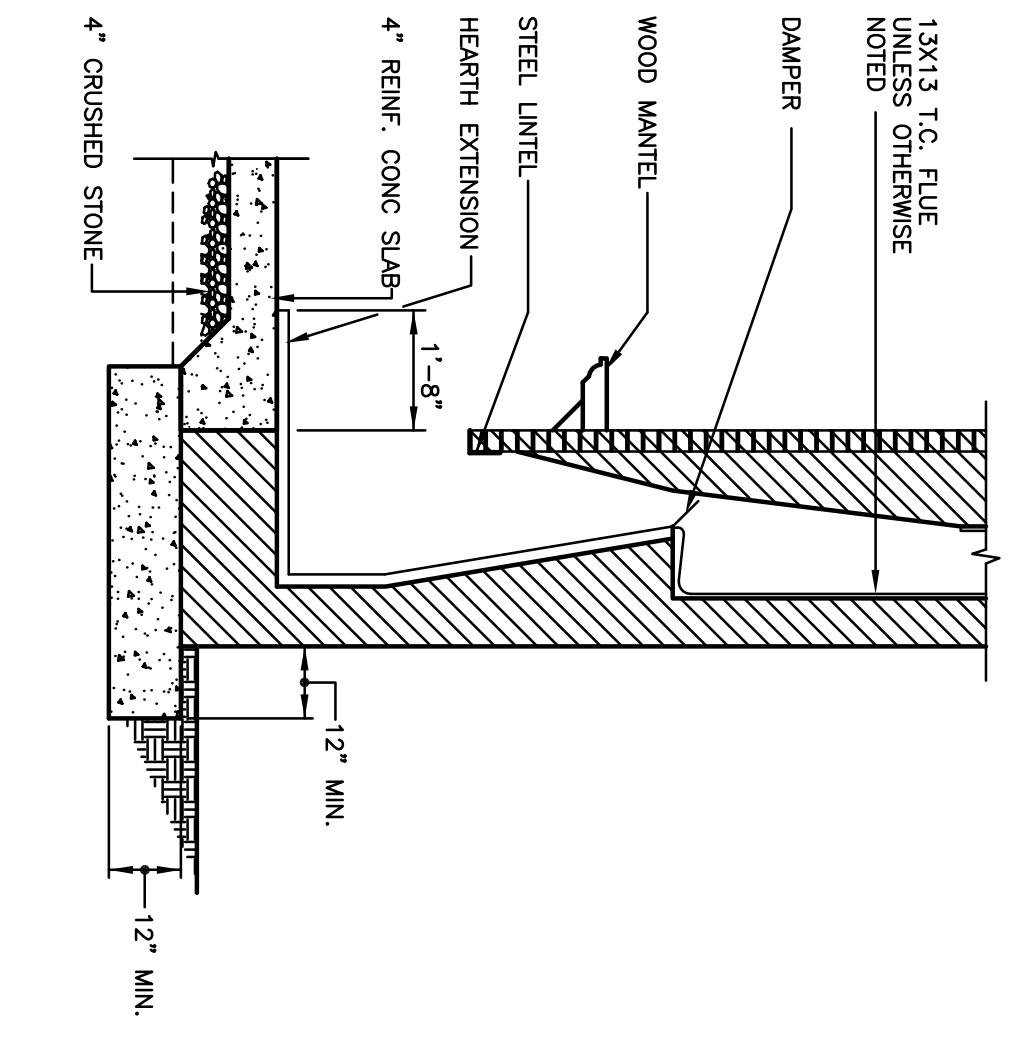
D004
SECTION THRU STEEL BEAM

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (PSF)	USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE		10
UNINHABITABLE ATTICS WITH LIMITED STORAGE		20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS		30
BALCONIES AND DECKS		40
ROOMS OTHER THAN SLEEPING ROOMS		40
SLEEPING ROOMS		30
STAIRS		40
FIRE ESCAPES		40
GUARDS AND HANDRAILS		200
GUARD IN-FILL COMPONENTS		50
PASSENGER VEHICLE GARAGES		50

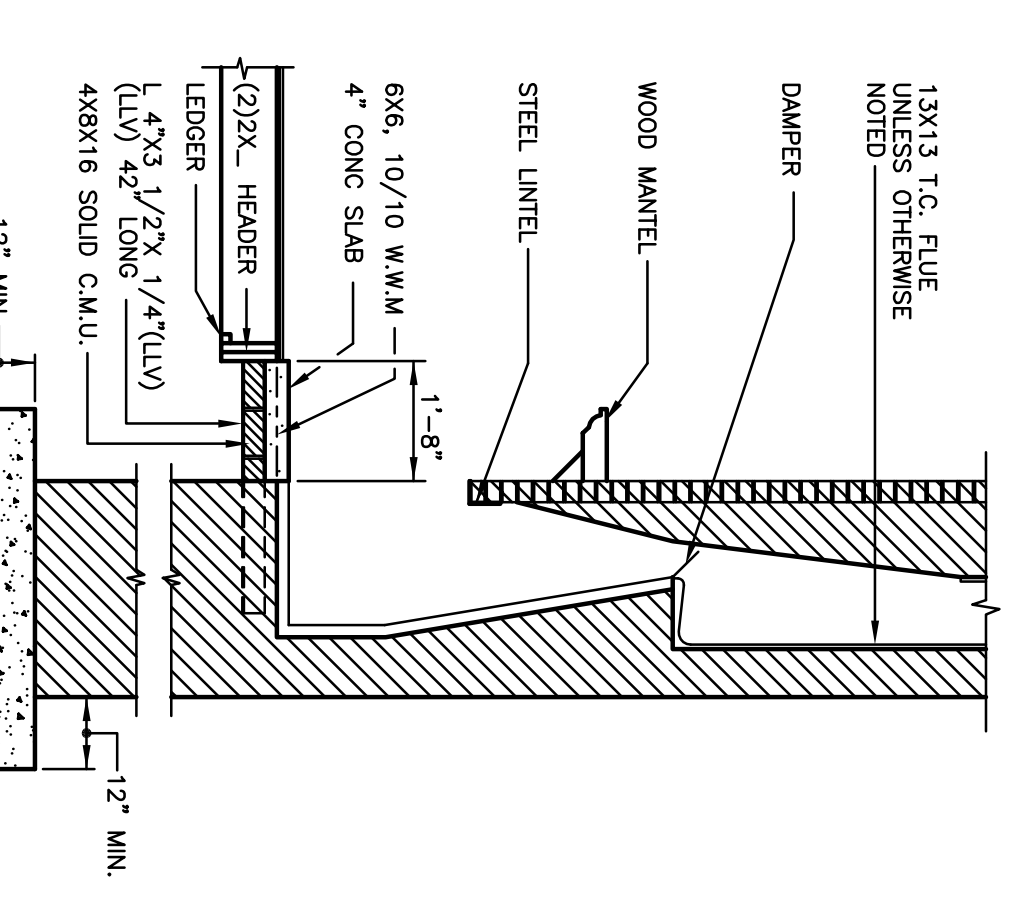
ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS	STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
(NOTE : L = SPAN LENGTH ; H = SPAN HEIGHT)	BATTENS (ANGLES SLOPES GREATER THAN 3:12 WITH FINISHED CEILING NOT ATTACHED TO BATTENS)	L/180
	FLOORS	L/360
	CEILINGS WITH BRITTLE FINISHES (INCLUDING PLASTER OR GYP/PLASTER BOARD)	L/360
	CEILINGS WITH FLEXIBLE FINISHES (INCLUDING GYP/PLASTER BOARD)	L/240
	ALL OTHER STRUCTURAL MEMBERS	L/240
	UNITS SUPPORTING MASONRY VENEER WALLS	L/600
	INTERIOR WALLS AND PARTITIONS	H/180
	INTERIOR WALLS - WIND LOADS WITH PLASTER OR STUCCO FINISH	H/360
	EXTERIOR WALLS - WIND LOADS WITH OTHER FINISHES	H/240
	EXTERIOR WALLS - WIND LOADS WITH FLEXIBLE FINISHES	H/120



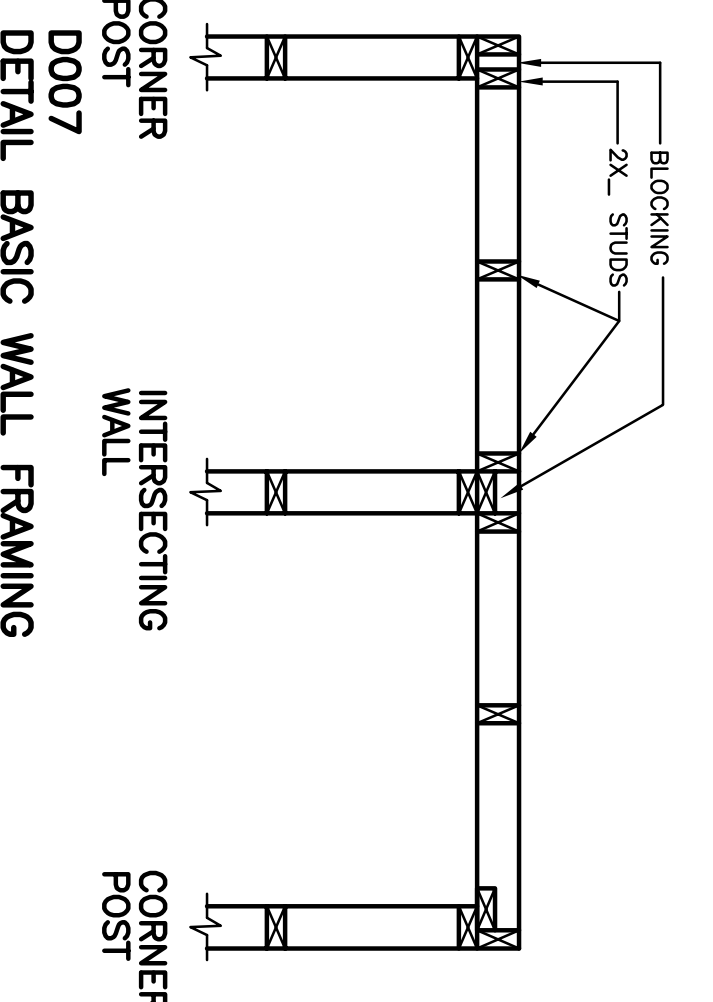
D005
SECTION THRU KITCHEN CABINETS



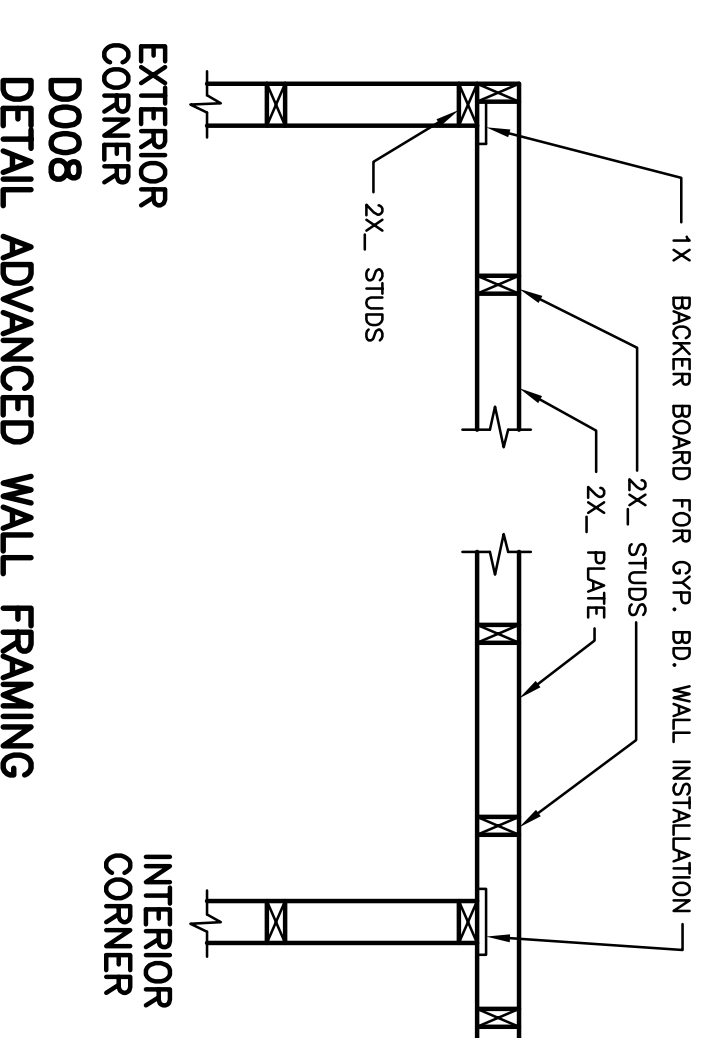
D006
SECT. THRU FIREPLACE ON CONCRETE SLAB



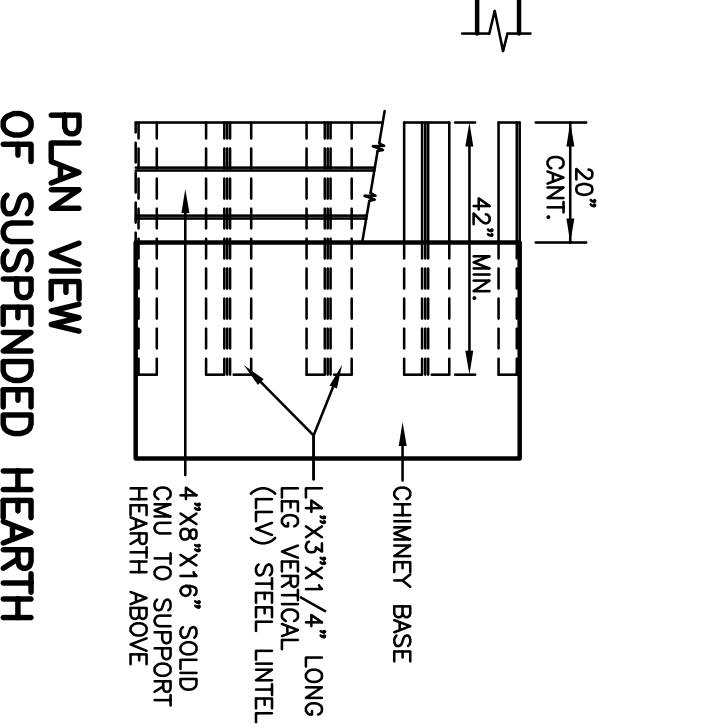
D007
SECT. THRU FIREPLACE ON WOOD FLOOR



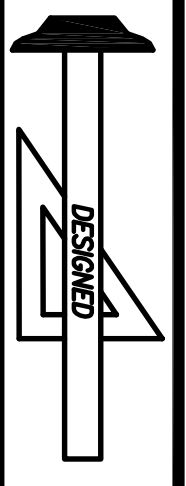
D007
CORNER POST INTERSECTING WALL



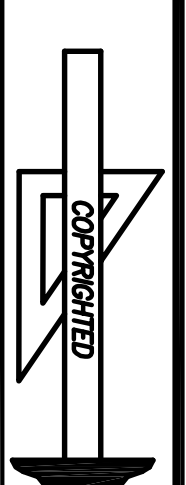
D008
EXTERIOR CORNER



D009
PLAN VIEW OF SUSPENDED HEARTH



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STANDARD CONSTRUCTION DETAILS

