

ABBREVIATIONS

- ACC. = ACCESS
- BWL = BRACED WALL LINE
- BWP = BRACED WALL PANEL
- C.O. = CEILING OPENING
- C.L. = CEILING JOIST
- C.D. = CEILING DOWEL
- CO. = COUNCIL
- COMP. = COMPOSITION
- CONC. = CONCRETE
- CONC. ALUM. = CONCRETE ALUMINUM
- CONC. MASONRY UNIT = CONCRETE MASONRY UNIT
- DA. = DIAPHRAGM
- DBL. = DOUBLE JOIST
- DN. = DOWN
- EXH. = EXHAUST
- EXT. = EXTERIOR
- FL. = FLOOR JOIST
- FIG. = FOOTING
- G.F.I. = GROUND FAULT INTERRUPTER
- H.B. = HOSE BIB
- LVL. = LAMINATED VENEER LUMBER
- M.O. = MASONRY OPENING
- M.S. = MASONRY
- MAX. = MAXIMUM
- M.C. = MEDICINE CABINET
- M.L. = METAL
- MNL. = MINIMUM
- O.C. = ON CENTER
- OSB = ORIENTED STRAND BOARD
- PERF. = PERFORATED
- REC. = RECESSED
- REFIN. = REFINISHED
- SCR. = SCREED
- S.D. = SMOKE DETECTOR
- SEC. = SECOND
- SHWR. = SHOWER
- S.Y.P. = SOUTHERN YELLOW PINE
- S.P.F. = SPRUCE/PINE/FIR
- SUSP. = SUSPENDED
- TRP. = TYPICAL
- U.O.N. = UNLESS OTHERWISE NOTED
- WASH. = WASHER
- W.H. = WATER HEATER
- W.P. = WEATHER PROOF
- W.W.M. = WELDED WIRE MESH
- W.D.W. = WINDOW HEIGHT
- WOOD = WOOD

SYMBOLS

- = HOSE BIB
- ⊖ = SWITCH
- ⊖₃ = 3-WAY SWITCH
- ⊖₂ = LIGHT FIXTURE
- ⊖₃ = EXHAUST FAN & LIGHT
- ⊖₂ = SMOKE DETECTOR
- ⊖₂ = SHOWER HEAD
- ⊖₂ = TELEPHONE JACK
- ⊖₂ = CONVENIENCE OUTLET
- ⊖₂ = 220 VOLT OUTLET
- ⊖₂ = GROUND FAULT INTERRUPTER
- ⊖₂ = CEILING FAN
- ⊖₂ = CARBON MONOXIDE ALARM

GENERAL NOTES AND SPECIFICATIONS

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ORIGINAL PURCHASE AGREEMENT

SEE ATTACHED CONSTRUCTION LICENSE FOR INVOICE NUMBER 13632.

BUILDING CODE INFORMATION

THIS PLAN HAS BEEN DRAWN TO CONFORM TO THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION (2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS, CURRENT EDITION) WITH AMENDMENTS UNLESS OTHERWISE NOTED. (SEE ATTACHMENTS)

PRIOR TO CONSTRUCTION

THE CONTRACTOR SHALL REVIEW THE PLANS FOR THE PARTICULAR BUILDING PROJECT TO ENSURE COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL CODES. CLIMATE DATA MAY BE REQUIRED BY 16/PLN/700.

THE CONTRACTOR SHALL VERIFY PLAN DIMENSIONS, STRUCTURAL SET POINTS AND REPORT ANY DISCREPANCIES TO STANDARD HOMES PLAN SERVICE, INC. FOR JUSTIFICATION OR CORRECTION BEFORE PROCEEDING WITH WORK ON HOUSE.

THE CONTRACTOR SHALL DETERMINE ROUGH OPENING SIZES FOR ALL BUILT-IN EQUIPMENT AND/OR APPLIANCES AND ADJUST PLAN DIMENSIONS AS REQUIRED.

DO NOT SCALE FROM BLUEPRINTS. REFER TO THE LABELED DIMENSIONS FOR ACTUAL MEASUREMENTS.

IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO PROVIDE FOR THE SERVICES OF A PROFESSIONAL ENGINEER IF REQUIRED BY THE BUILDING CODE OFFICIAL.

SHIPPING DATE : 10-23-2024

PLANS FOR WHICH A BUILDING PERMIT HAS NOT BEEN OBTAINED ONE YEAR FROM THE ABOVE DATE IS SUBJECT TO REVIEW BY STANDARD HOMES PLAN SERVICE, INC. A FEE MAY BE CHARGED FOR THIS SERVICE.

EXCAVATION

EXCAVATE TO UNDISTURBED SOIL. BOTTOM OF FOOTING SHALL BE AT LEAST 12" BELOW FROST LINE. (PRESUMED 2020-59 SOIL BEARING CAPACITY).

EXPANSIVE, COMPRESSIVE OR SINKING SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSUME A STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE.

FOUNDATION

PROVIDE 1/2" DIA. STEEL ANCHOR BOLTS 6"-0" O.C., 1'-0" MAX. WITH 7" MIN. EMBEDMENT.

PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO COLLECTOR REQUIRED BY SITE CONDITIONS.

SLOPE GRADE AWAY FROM FOUNDATION WALLS 6" MINIMUM WITHIN THE FIRST 10 FEET.

PROVIDE PRESSURE TREATED LUMBER FOR SILLS, PLATES, BANDS AND ANY LUMBER IN CONTACT WITH MASONRY.

PROVIDE APPROVED AND BONDED CHEMICAL SOIL TREATMENT AGAINST FROST, TERMITES AND OTHER HARMFUL INSECTS.

CRAWL SPACE

ALL GROSS JOINTS AND ENDS OF GIRDERS SHALL REST ON SOLID CONCRETE. FILL GAPS BETWEEN GIRDERS WITH EXTERIOR FOUNDATION WALL WITH CONCRETE.

FOOTINGS SHALL EXTEND 6" AND SHALL BE 12" THICK UNDER GROSSER PILES.

CHIMNEY FOOTING SHALL EXTEND 12" MINIMUM BEYOND EACH SIDE AND SHALL BE AT LEAST 12" THICK.

BASEMENT

FOUNDATION SHALL BREAK ON COLUMN CENTER LINES (STAGGERED) AND ENDS OF GIRDERS SHALL REST ON SOLID MASONRY. DOUBLE SILL AND USE LEDGER OVER ALL BASEMENT OPENINGS.

ALL BASE SASH SHALL BE 18/20 2-LT. 3"-3 7/8" X 1'-11 15/16" 3/20 HB.

FRAMING

ALL FLOOR JOISTS, CEILING JOISTS, RATTERS, GIRDERS, HEADERS, SILLS AND BANDS SHALL BE NO. 2 SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

ALL LOAD BEARING WALLS SHALL BE STUD GRADE SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

DESIGN SPECIFICATIONS FOR LAMINATED VENEER LUMBER (LVL) DESIGN AND HEADERS : 2950FB-2.0E

BENDING Fb : 2950

MOE : 2.0 X 10⁶

SHEAR Fv : 290

SUPPORT FOR HEADERS: HEADERS SHALL BE REPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE WITH BUILDING CODE (SEE PLAN). THE FULL-HEIGHT STUD ADJACENT TO THE END OF THE HEADER SHALL BE 16" WIDE TO THE END OF THE HEADER WITH 16" HIGH STUDS SEE TABLE BELOW.

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES)
3 FEET OR LESS	16
4 FT.	1
8 FT.	2
12 FT.	3
16 FT.	4

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA

ROOF LIVE LOAD (ROUND PER SQUARE FOOT) : 20 PSF
 ULTIMATE DESIGN WIND SPEED (MILES PER HOUR) : 120 MPH
 NORMAL DESIGN WIND SPEED : 93 MPH
 EXPOSURE CATEGORY "B" UNLESS OTHERWISE NOTED
 WINDOW DESIGN PRESSURE RATING : DP 25
 COMPONENT AND CLADDING LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET OR LESS:

PRESSURE ZONE	115	120	130	140
ZONE 1	13.1, -14.0	14.2, -15.0	16.7, -18.0	19.4, -21.0
ZONE 2	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 3	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 4	14.3, -15.0	15.5, -16.0	18.2, -19.0	21.2, -22.0
ZONE 5	14.3, -19.0	15.5, -20.0	18.2, -24.0	21.2, -28.0

ASSUMED MEAN ROOF HEIGHT: 25'-6"

SEISMIC CONDITION BY ZONE : ZONES A AND B

SUBJECT TO DAMAGE FROM WEATHERING : MODERATE

CLIMATE ZONES (UNLESS OTHERWISE NOTED) : ZONES 3 AND 4

MINIMUM VALUES FOR EXTERIOR FINISHES : ZONES B-19

WINDOW U-FACTOR ≤ 0.35; RECOMMENDED SHGC ≤ 0.30

MISCELLANEOUS

LOCATE ALL CONVENIENCE OUTLETS ABOVE KITCHEN BASE CABINETS 42" ABOVE FINISHED FLOOR.

EMERGENCY EGRESS REQUIREMENTS

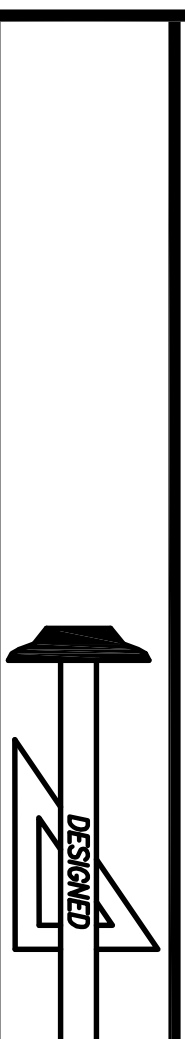
IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY PROVISIONS FOR EMERGENCY EGRESS REQUIREMENTS BASED ON SPECIFICATIONS PROVIDED BY APPLICABLE RESIDENTIAL CODE.

2018 NORTH CAROLINA RESIDENTIAL CODE

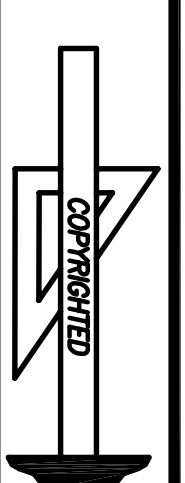
THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. THE NET CLEAR OPENING SHALL NOT BE LESS THAN 4.0 SQUARE FEET WHERE THE NET CLEAR OPENING IS LESS THAN 20 INCHES. IN ADDITION, THE MINIMUM TOTAL GROUND SURFACE SHALL NOT BE LESS THAN 5.0 SQUARE FEET IN THE CASE OF A SECOND STORY WINDOW.

2015 INTERNATIONAL RESIDENTIAL CODE

THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET EXCEPT GRADE FLOOR OPENINGS SHALL OPERATE WINDOW NET OPENING DIMENSIONS SHALL BE THE MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES.

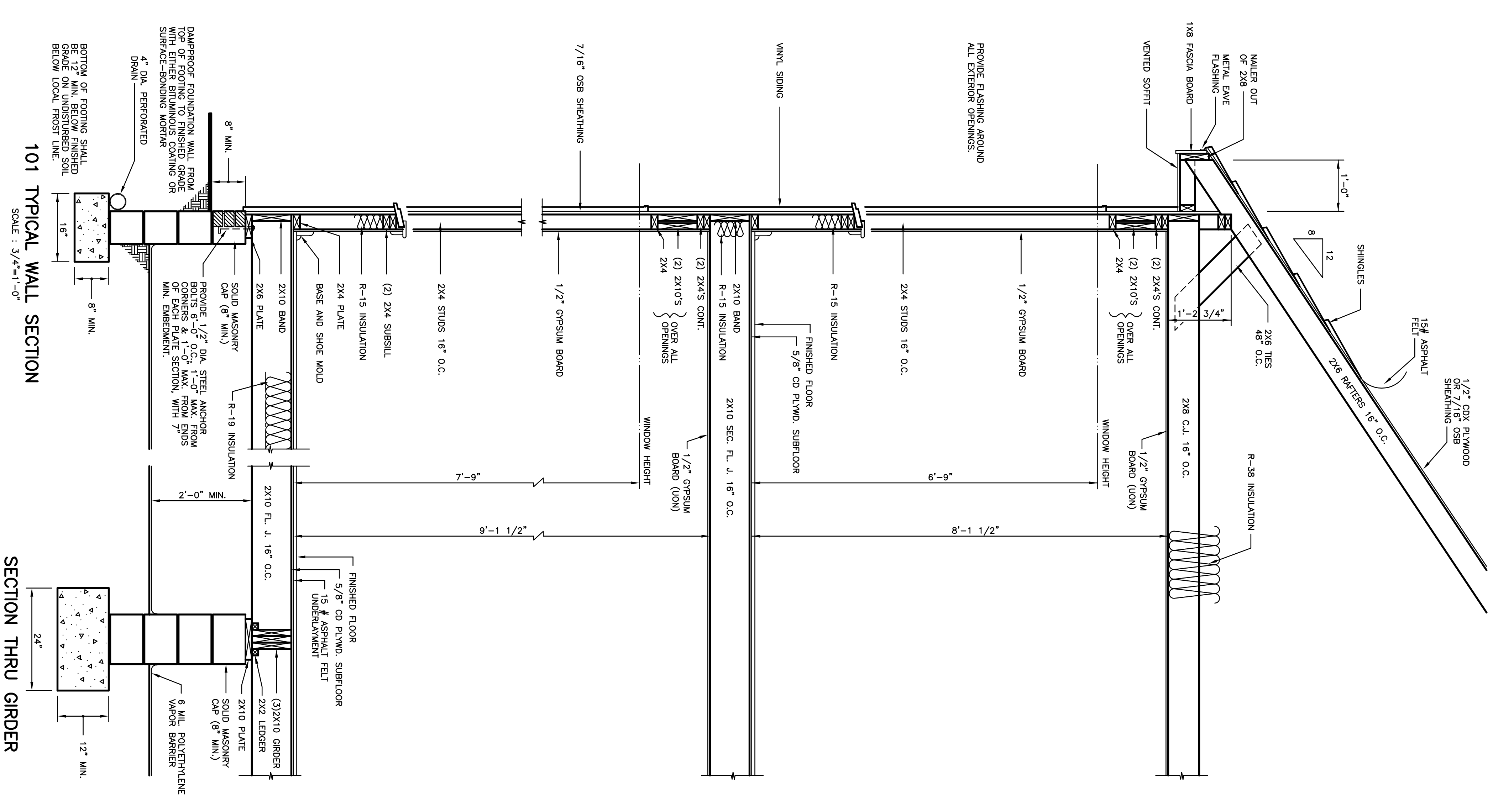


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 7200 SUNSET LAKE ROAD FLOYD-WARINA, NC 27526
 SEE HOME DESIGN REQUIREMENTS ONLINE AT WWW.STANDARDHOMES.COM
 (919)552-5677



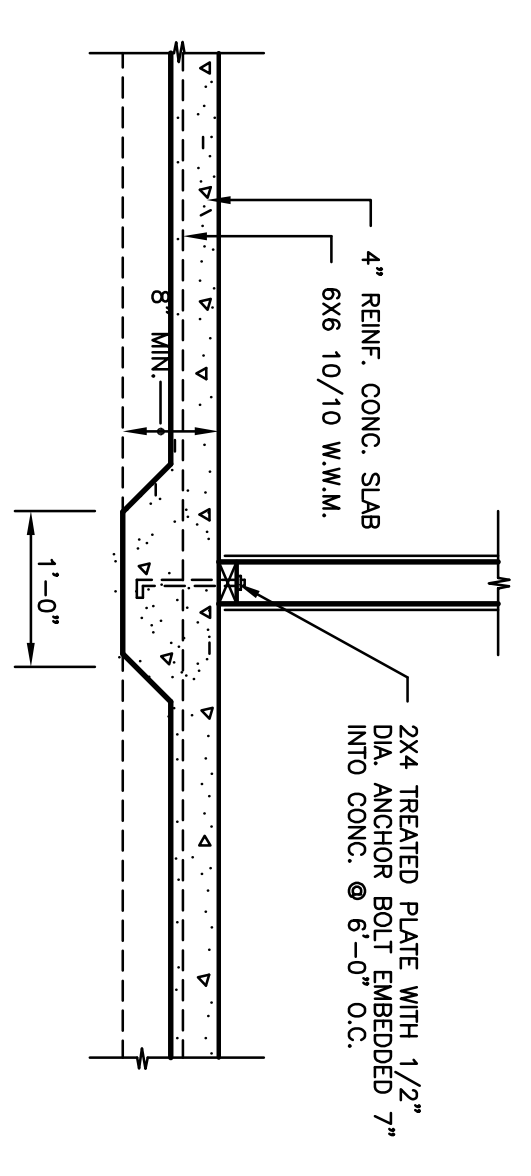
DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
DONALD MAGNUM	CAESAR	2	SID.		1 OF 8

REVISED 10-14-24

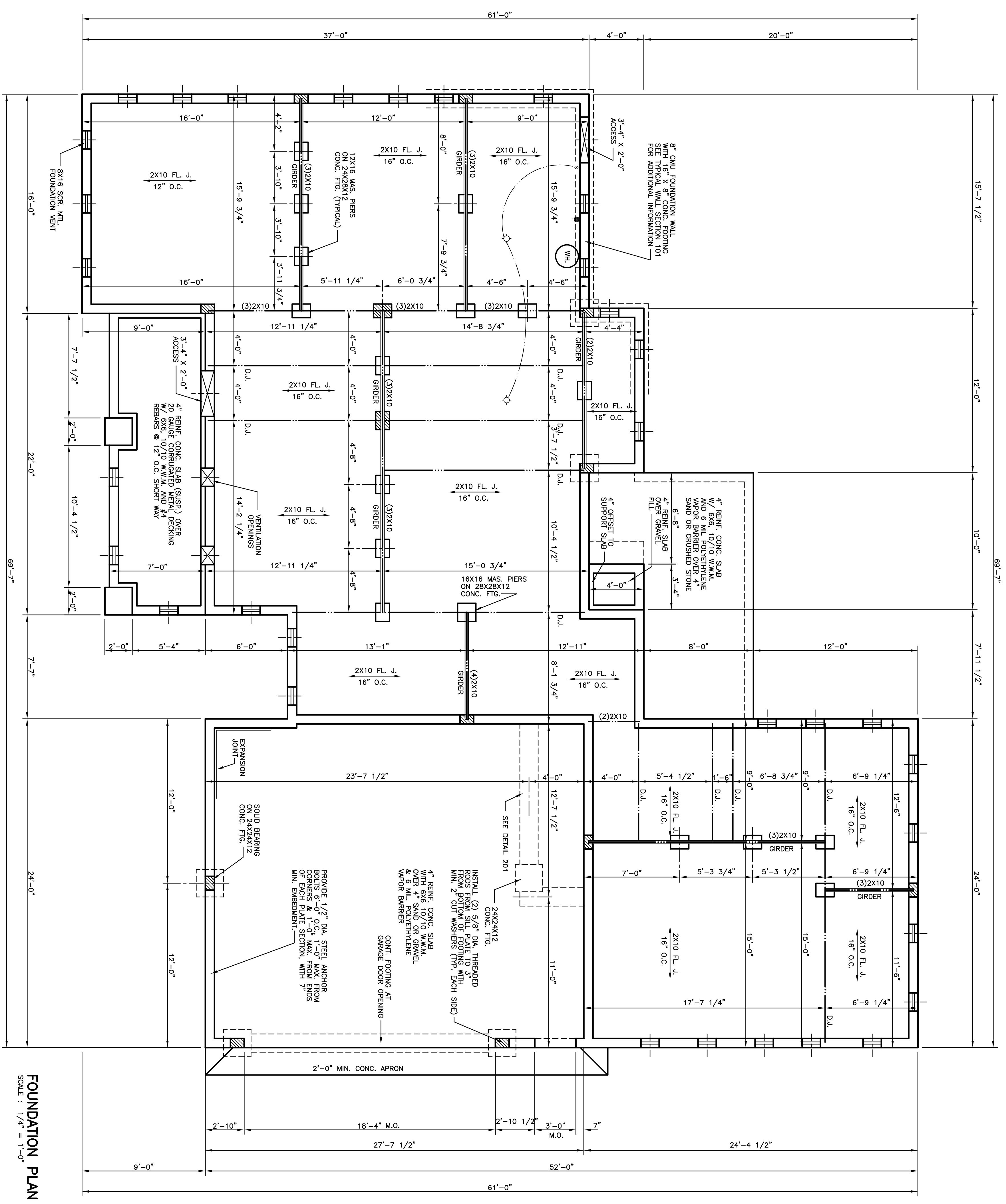


101 TYPICAL WALL SECTION
 SCALE : 3/4"=1'-0"

SECTION THRU GIRDER

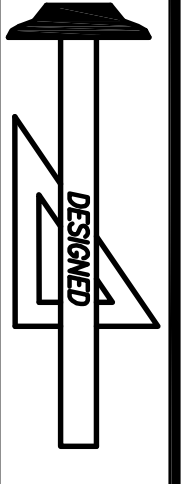


201 SECTION THRU INTERIOR BEARING WALL
SCALE: 3/4" = 1'-0"

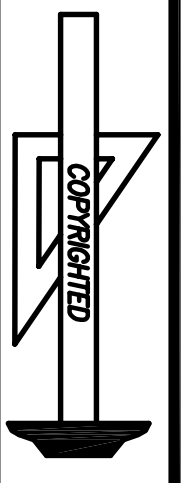


FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

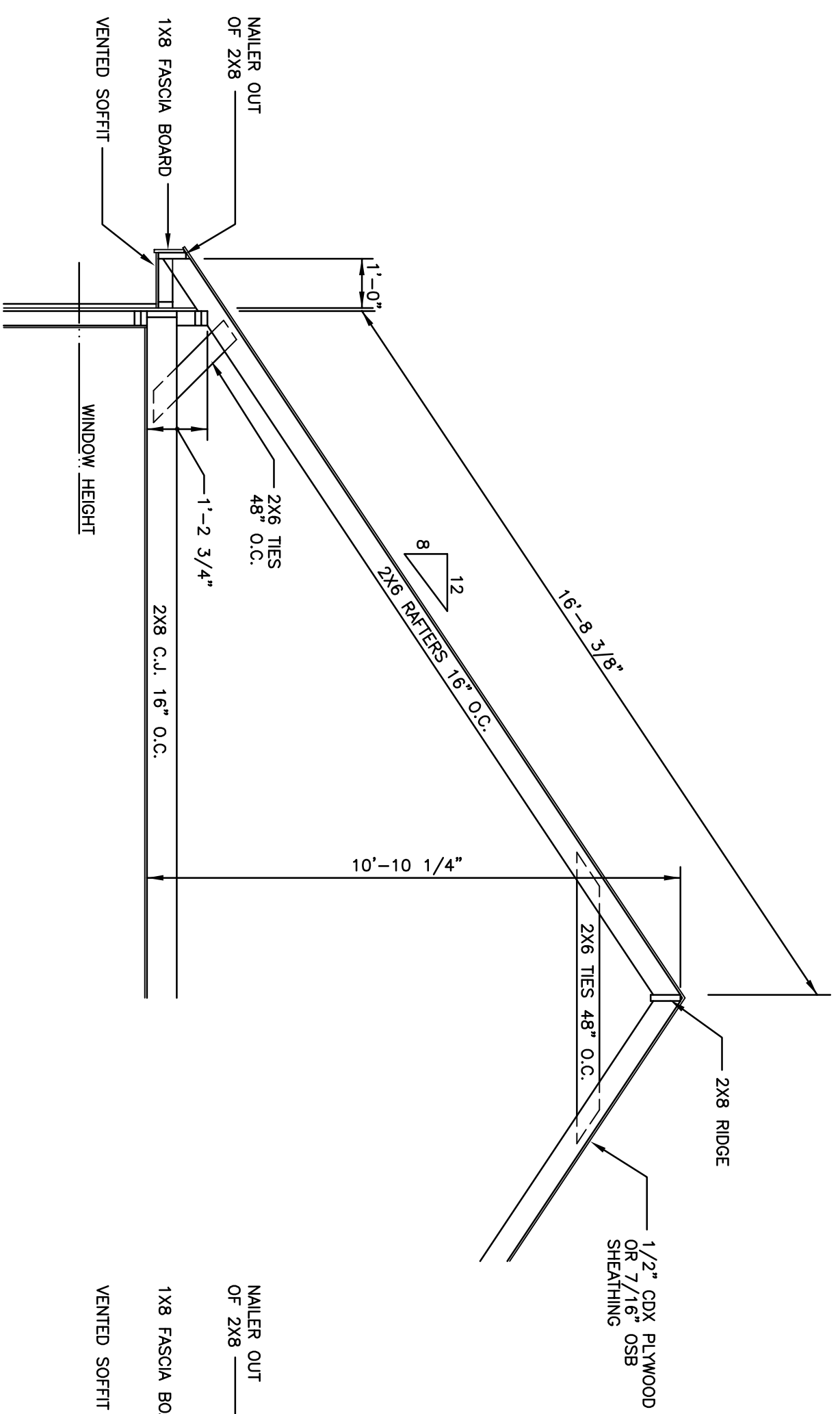
FOUNDATION VENTILATION REQUIREMENTS:
2217 SQ. FT. - 150 FREE AREA REQ'D.
REGARD 33 VENTS WITH A MINIMUM OF 64 SQUARE INCHES NET FREE AREA PER VENT.



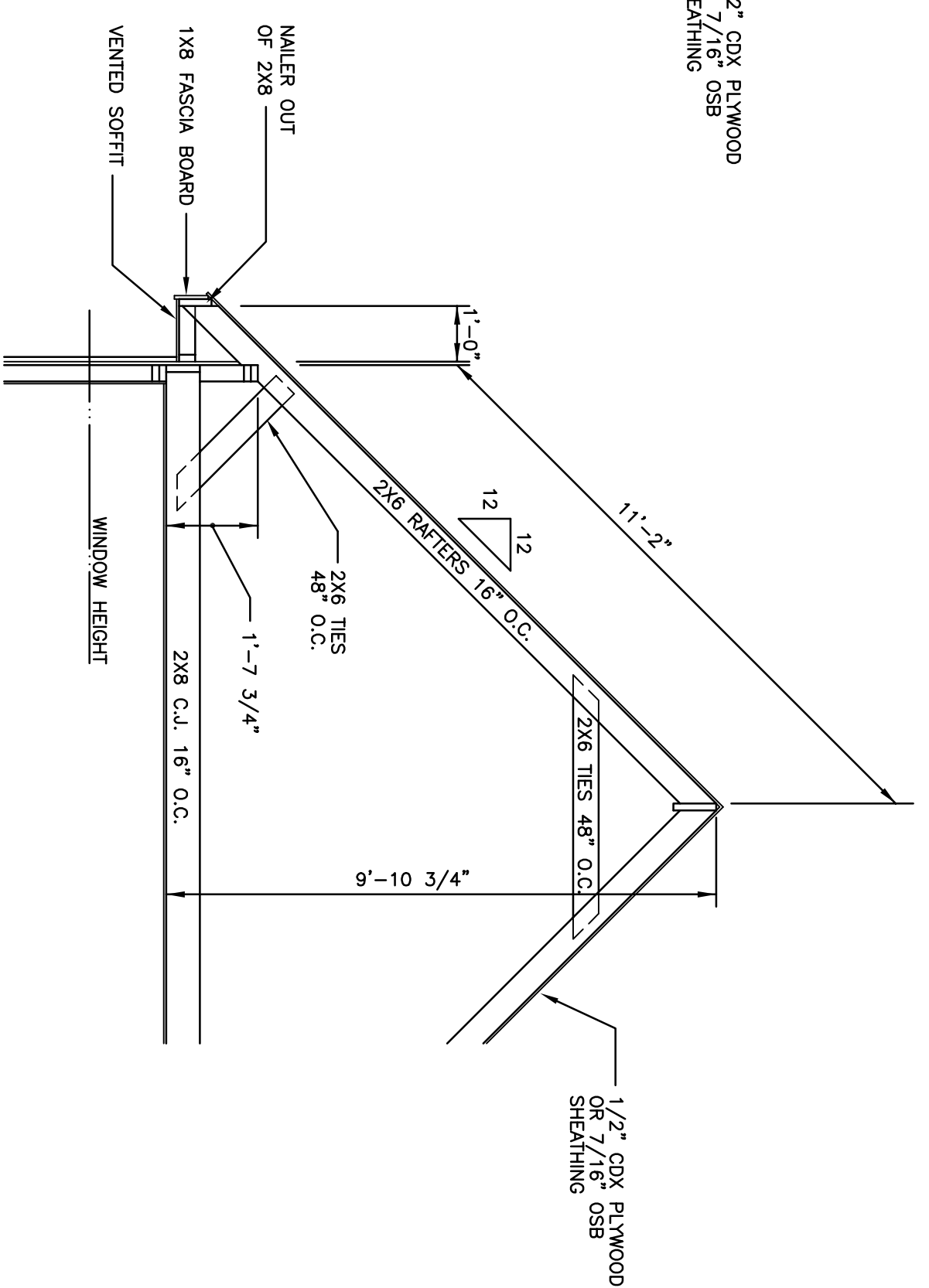
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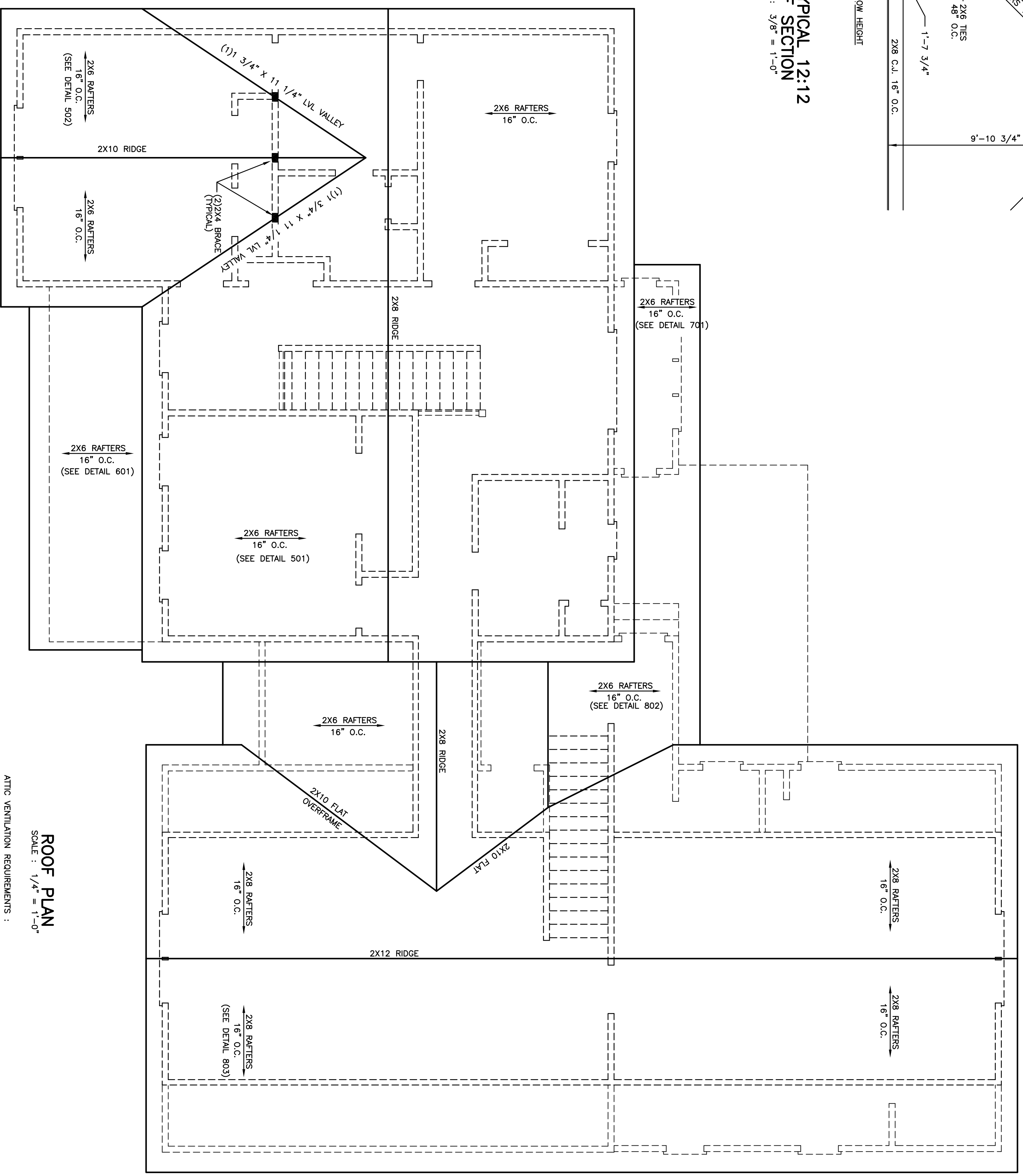
DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
DONALD MASHUM	CAESAR	2	SID.		2 OF 8



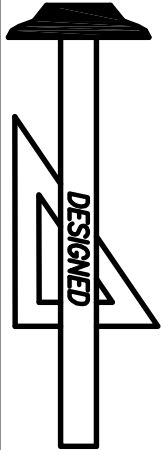
**501 TYPICAL 8:12
ROOF SECTION**
SCALE : 3/8" = 1'-0"



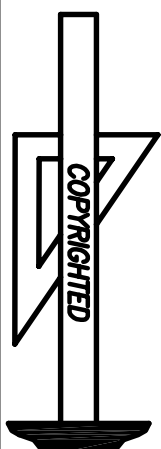
**502 TYPICAL 12:12
ROOF SECTION**
SCALE : 3/8" = 1'-0"



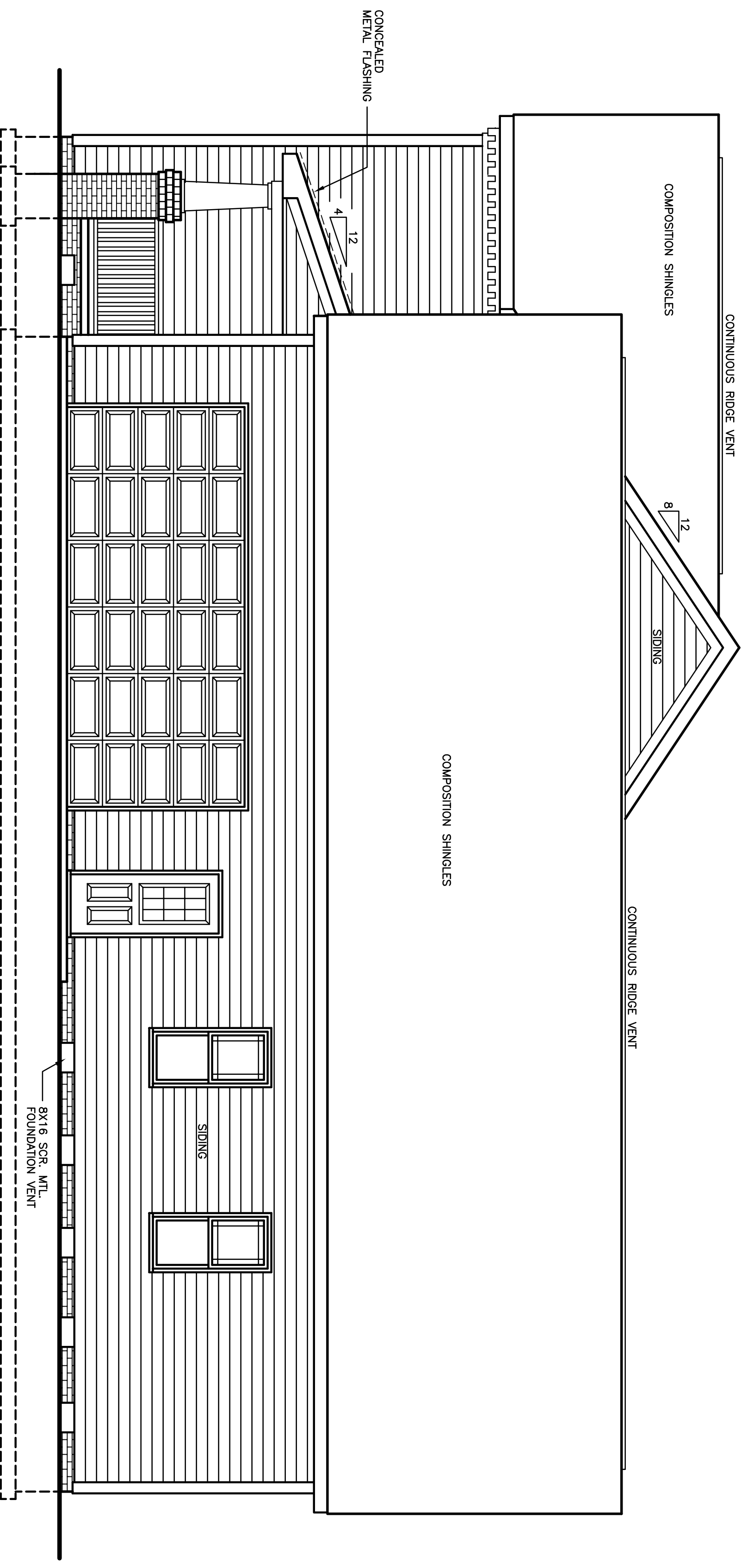
ROOF PLAN
SCALE : 1/4" = 1'-0"
ATTIC VENTILATION REQUIREMENTS :
2888 SQ. FT. - 150 = 19,32 SQ. FT. NET
FREE AREA REQUIRED



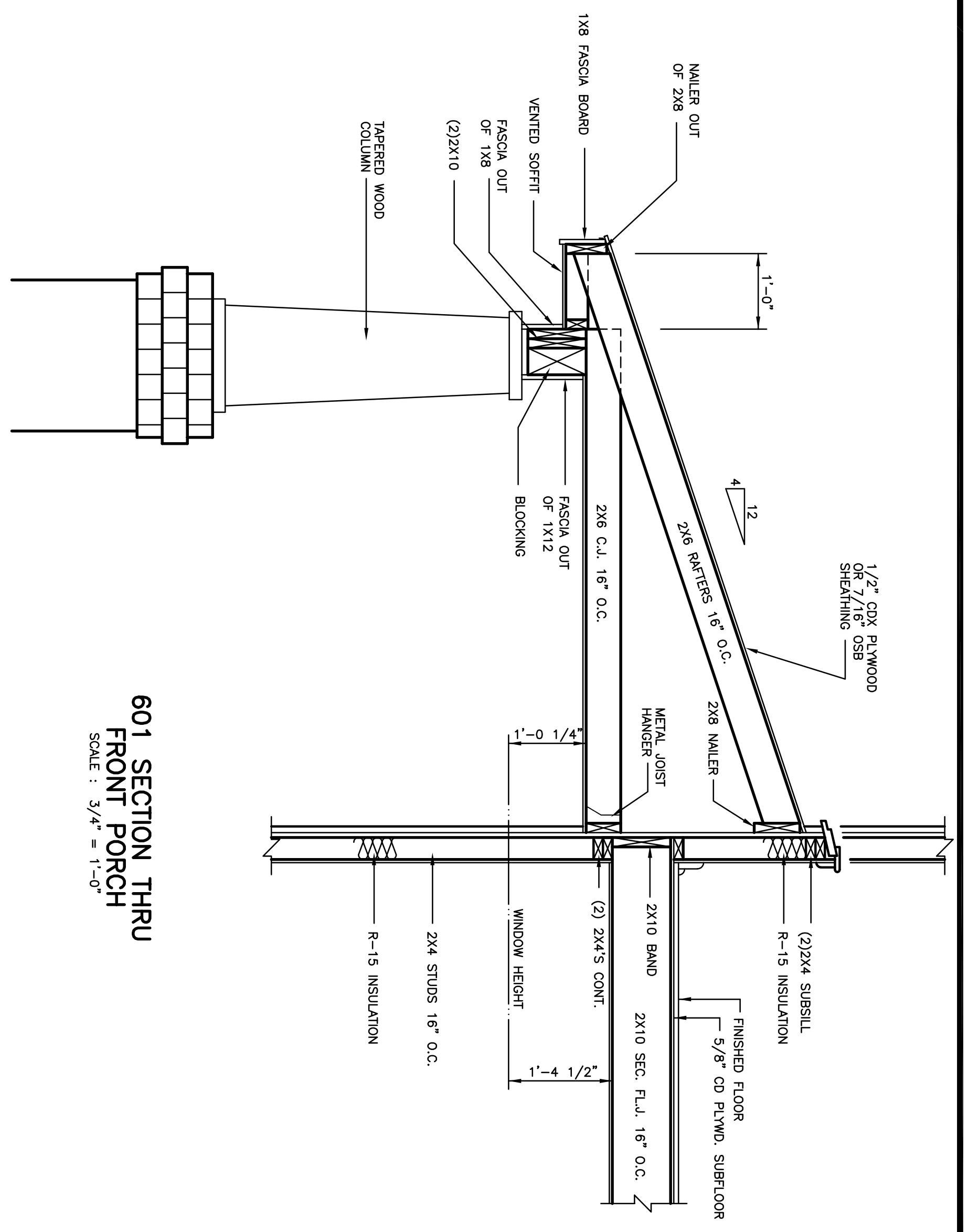
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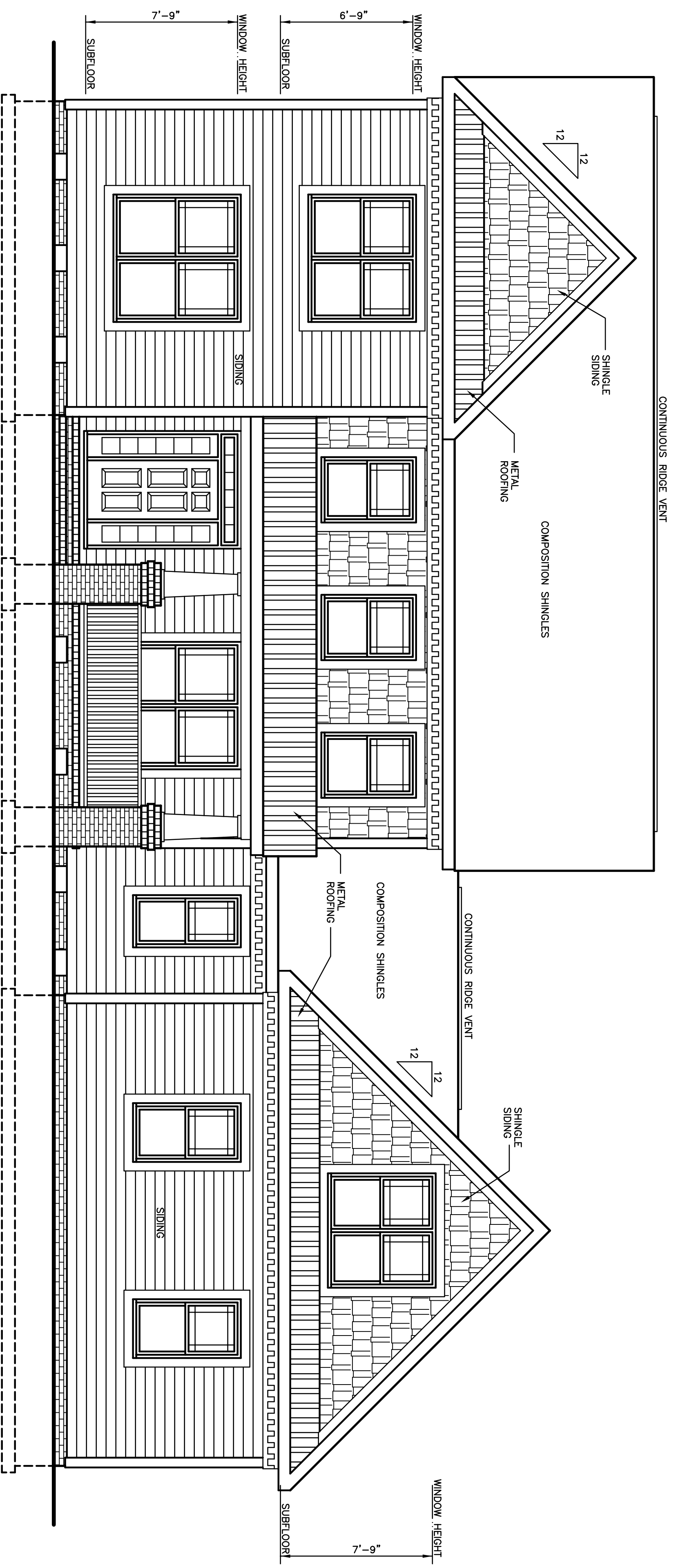
DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
DONALD MAGNUM	CAESAR	2	SID.		5 OF 8



RIGHT SIDE ELEVATION
SCALE : 1/4" = 1'-0"

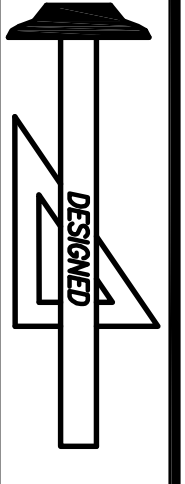


601 SECTION THRU
FRONT PORCH
SCALE : 3/4" = 1'-0"

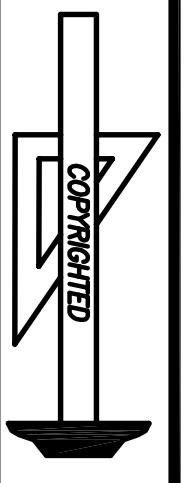


FRONT ELEVATION
SCALE : 1/4" = 1'-0"

PROMOTE GUTTERS, DOWNSPOUTS AND SPLASHPADS ACCORDING TO LOCAL CODE AND WEATHER CONDITIONS. ALL SPLASHPADS SHALL CARRY WATER 60" FROM BUILDING.

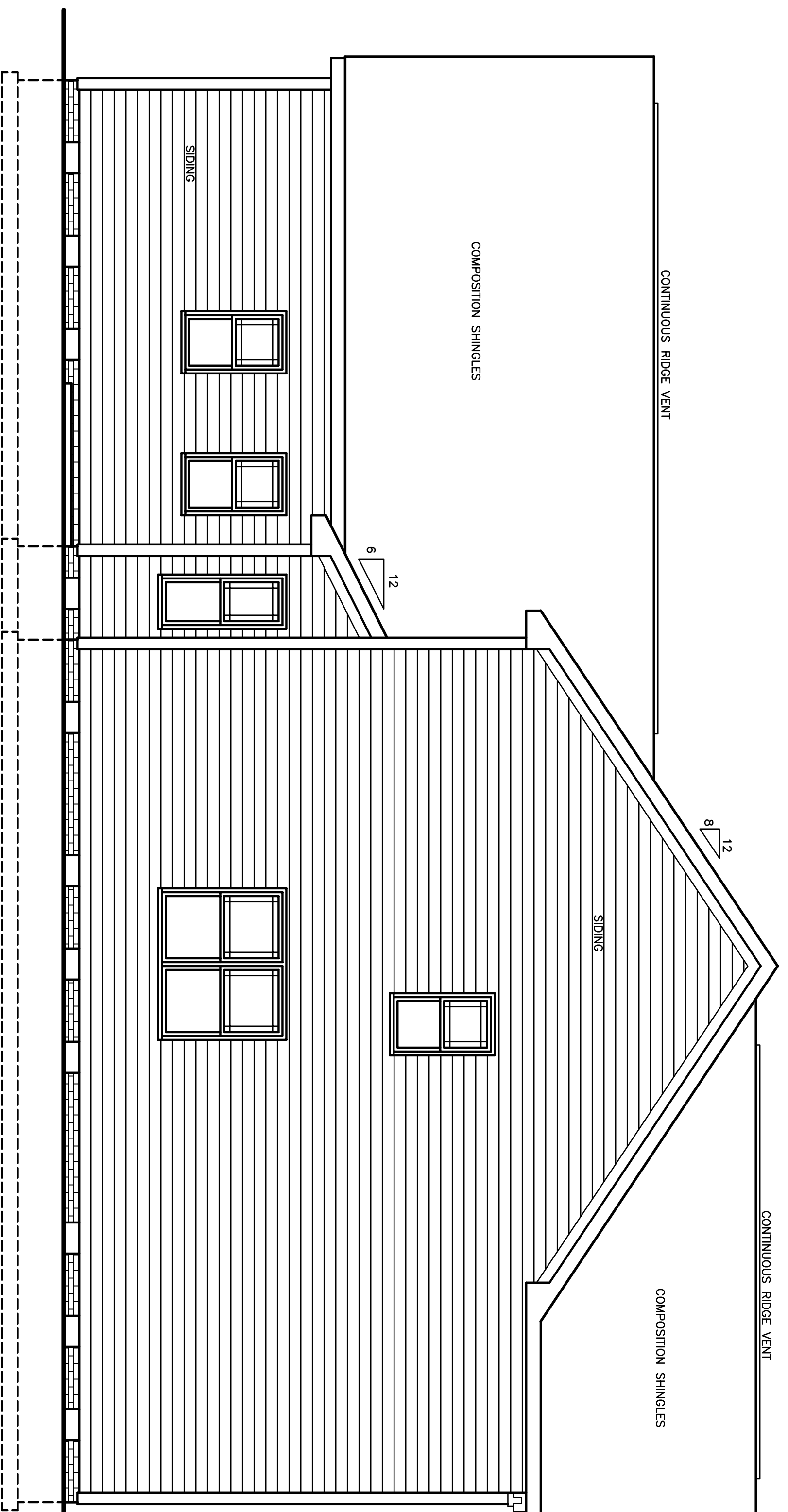


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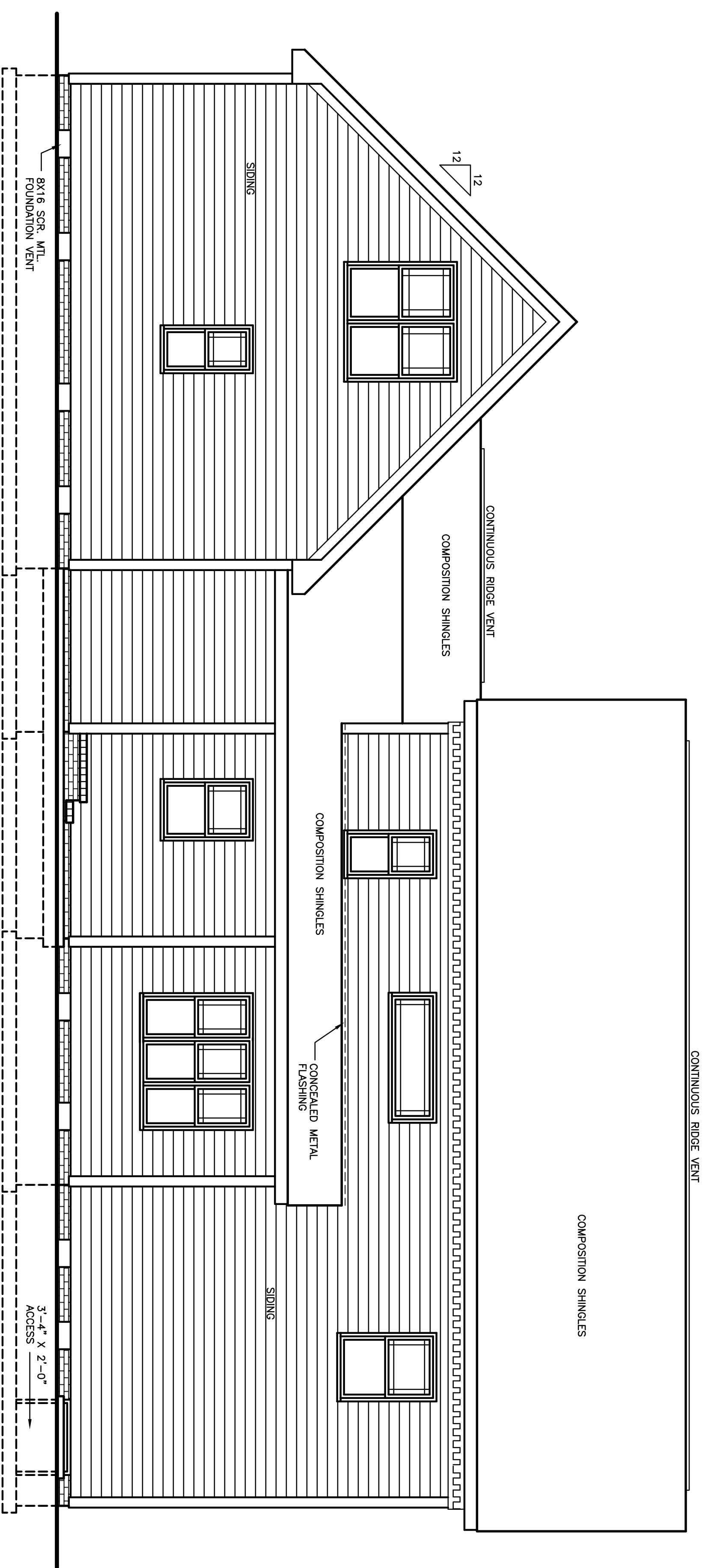


DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
DONALD MAGNUM	CAESAR	2	SID.		6 OF 8

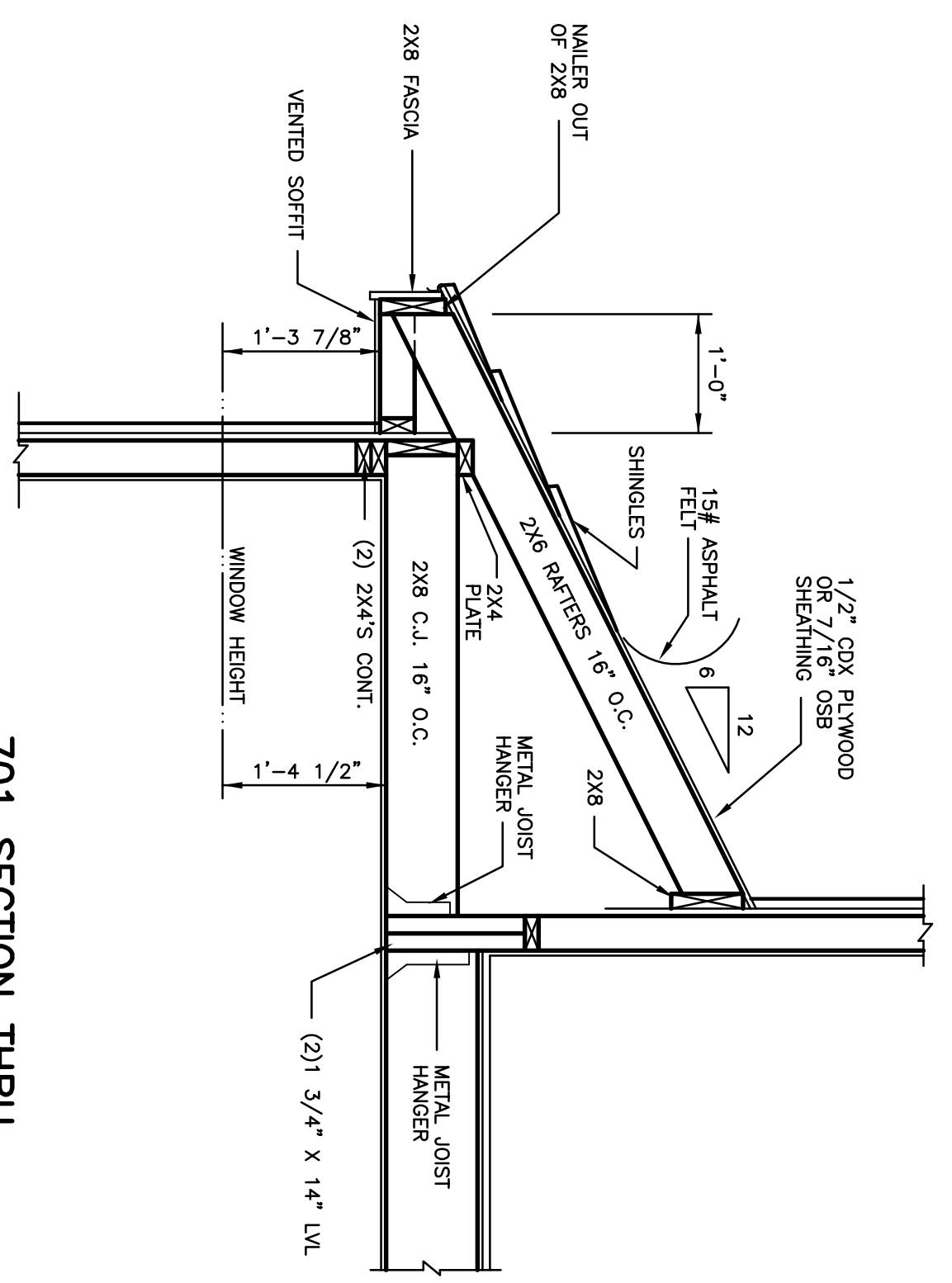
REVISED 10-14-24



LEFT SIDE ELEVATION
SCALE : 1/4" = 1'-0"



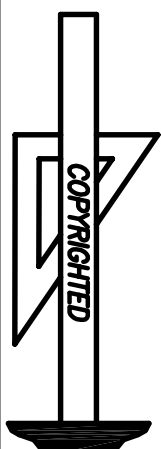
REAR ELEVATION
SCALE : 1/4" = 1'-0"



701 SECTION THRU
BREAKFAST NOOK
SCALE : 3/4" = 1'-0"

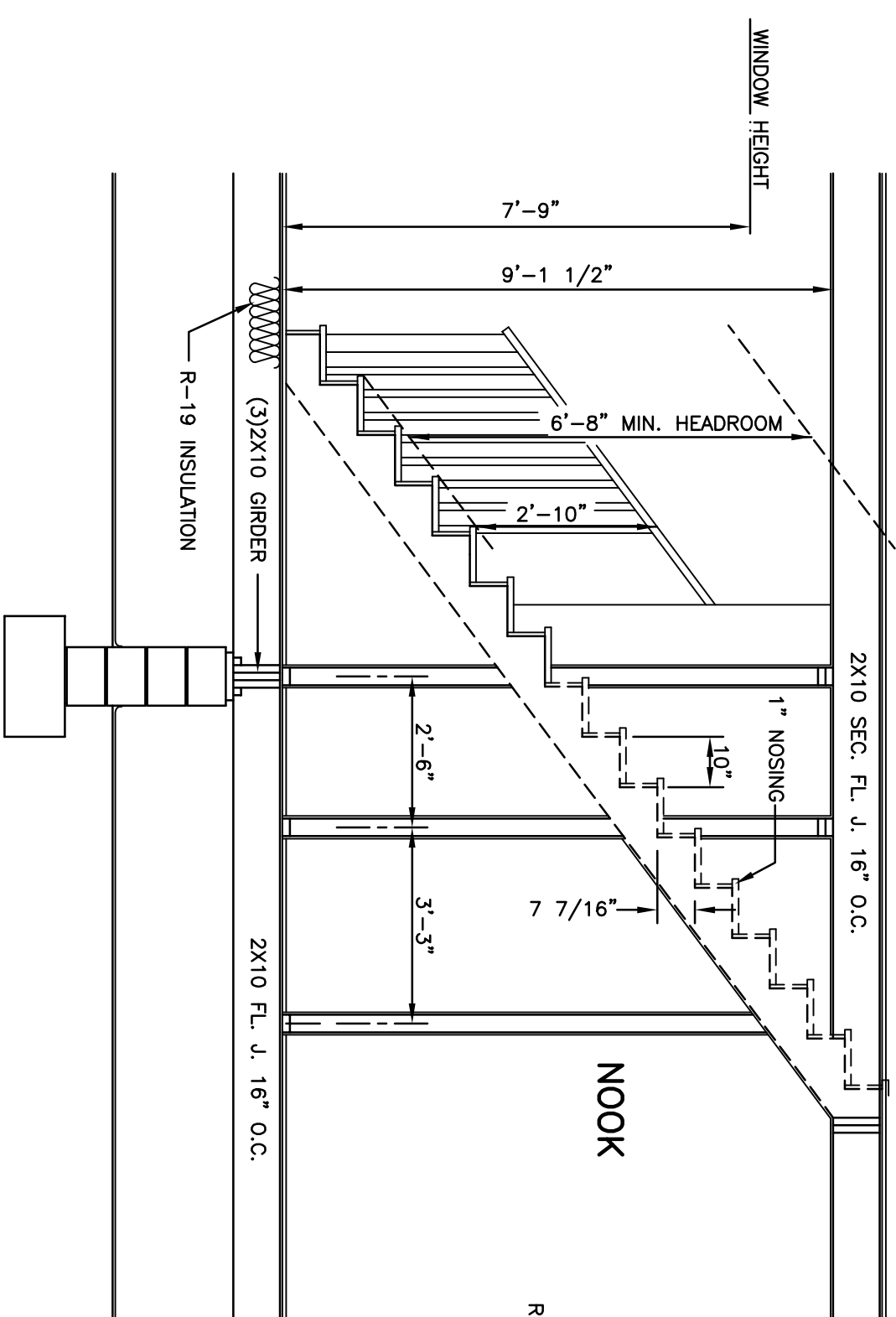


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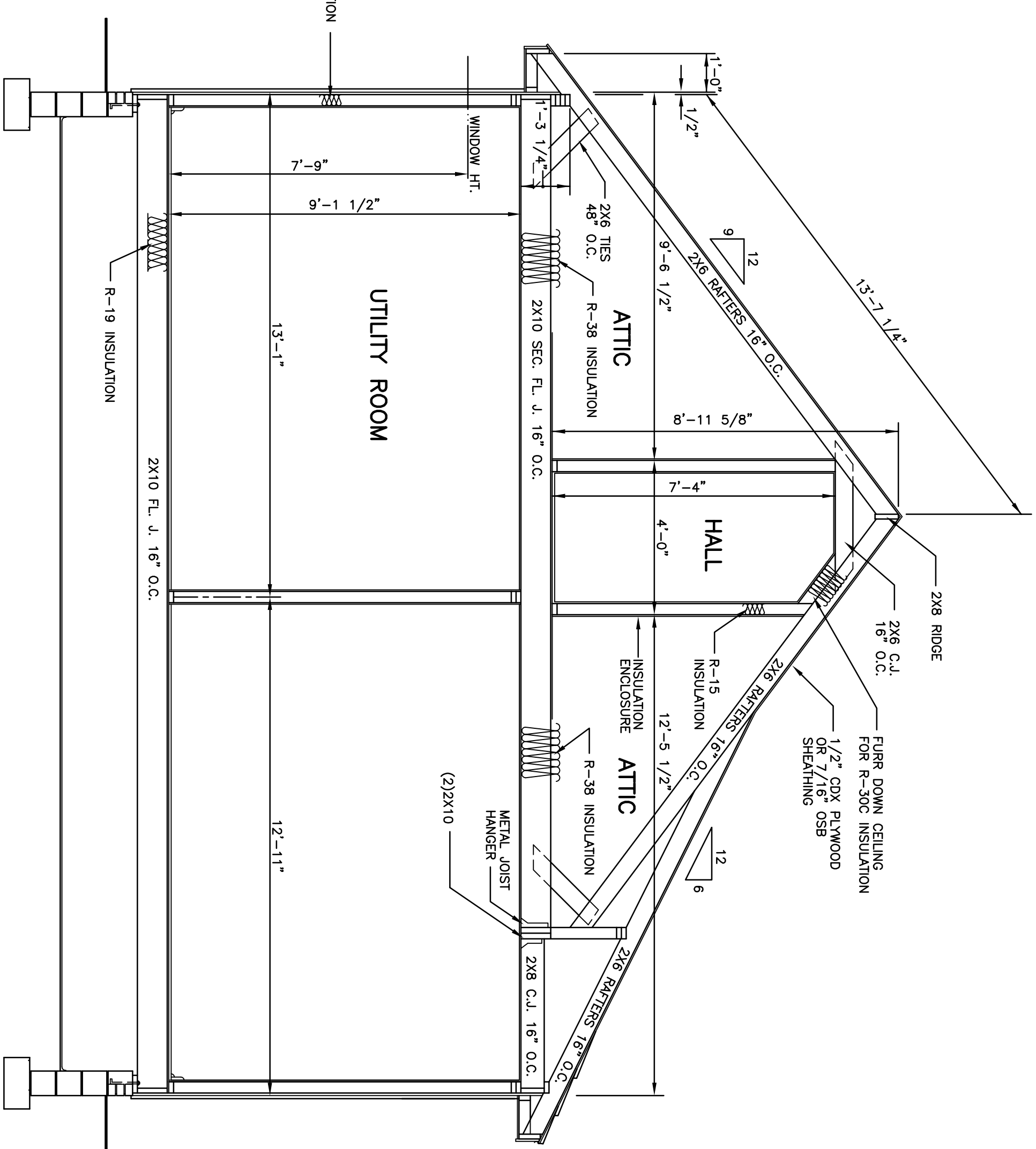


DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
DONALD MAGNOLI	CAESAR	2	SID.		7 OF 8

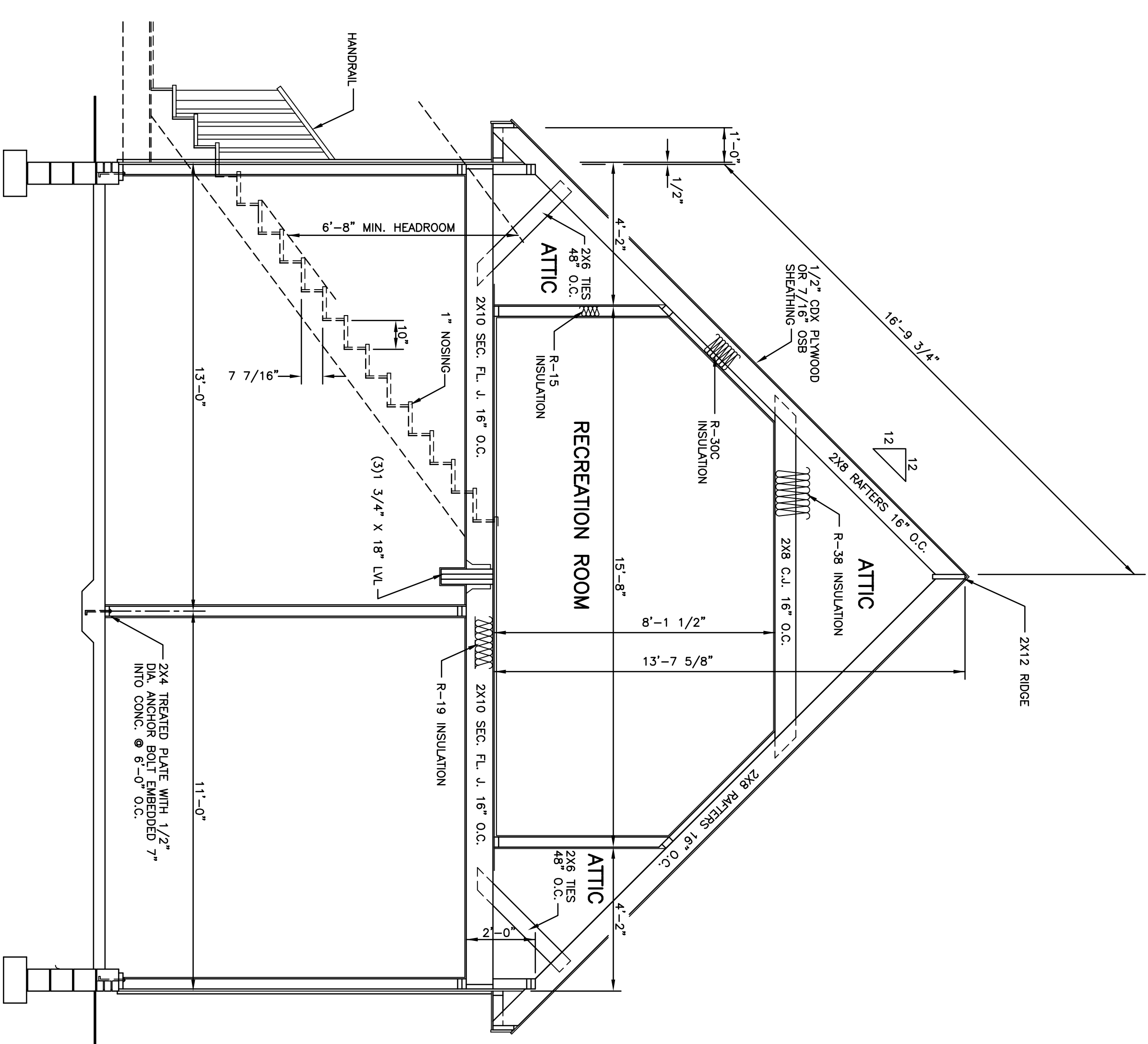
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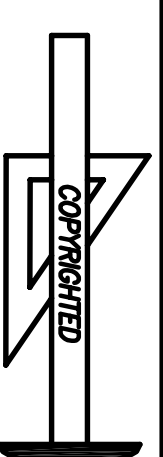
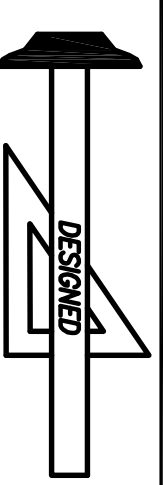
801 MAIN STAIR DETAIL
SCALE: 3/8" = 1'-0"



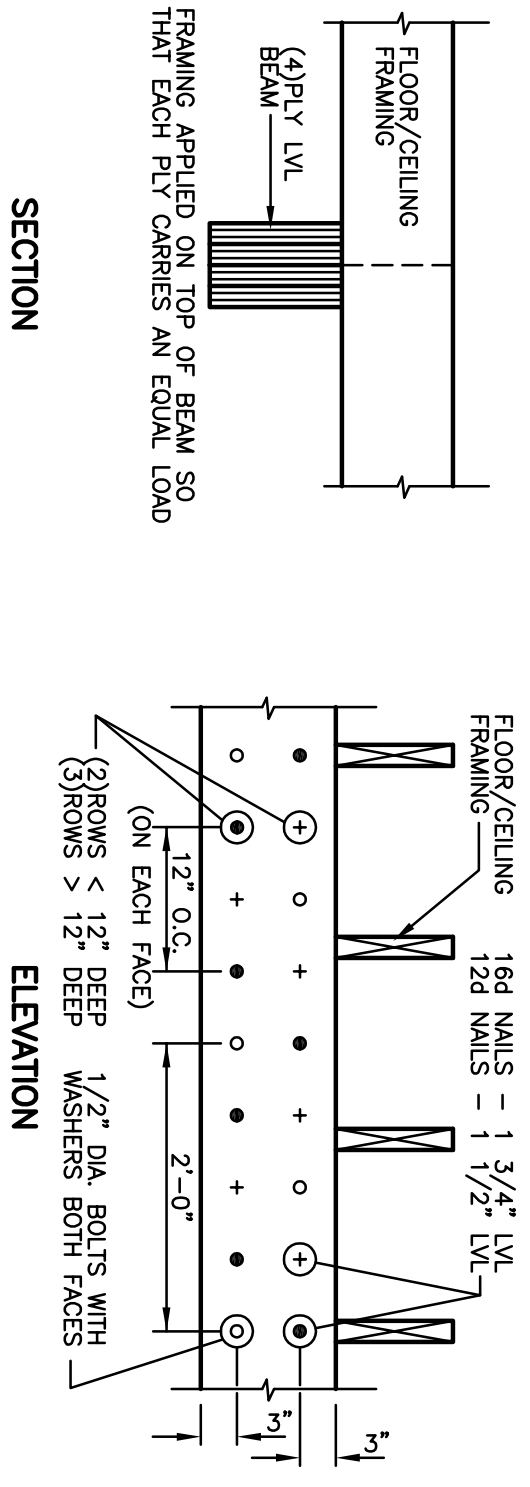
802 TRANSVERSE THRU UTILITY ROOM
SCALE: 3/8" = 1'-0"



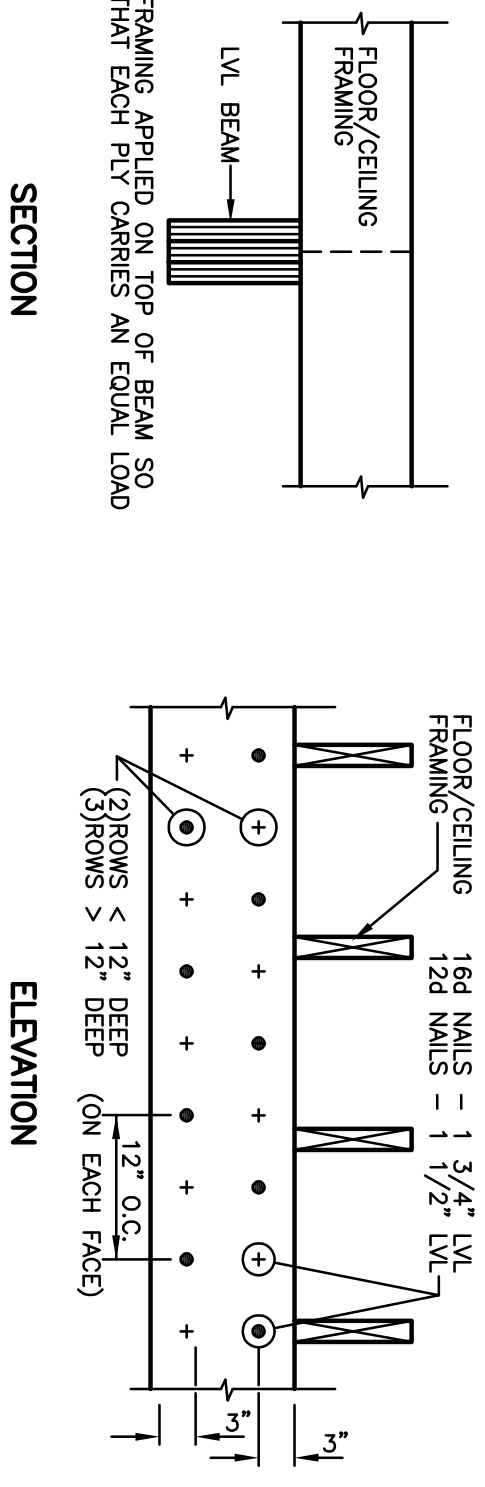
803 TRANSVERSE THRU GARAGE
SCALE: 3/8" = 1'-0"



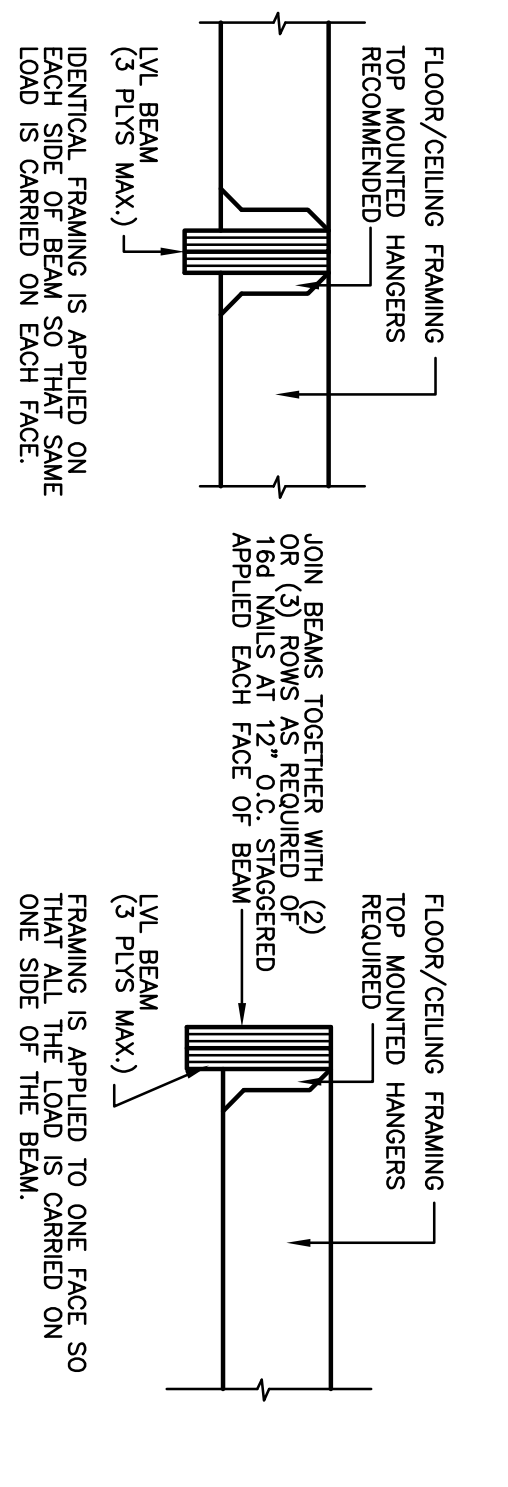
CONNECTION OF MULTIPLE PLY BEAMS
(INSTALLATION & CONNECTION OF BEAMS SHALL BE ACCORDING TO MANUFACTURERS SPECIFICATIONS)



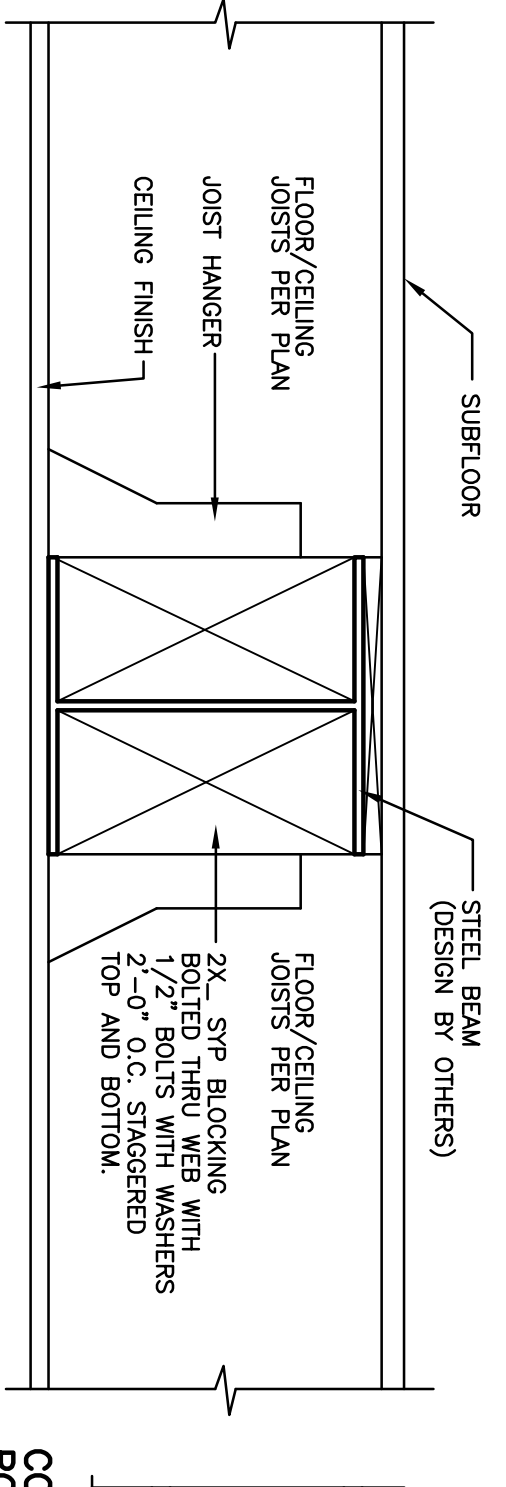
D001
TOP LOADED (4 PILES)



D002
TOP LOADED (3 PILES MAXIMUM)



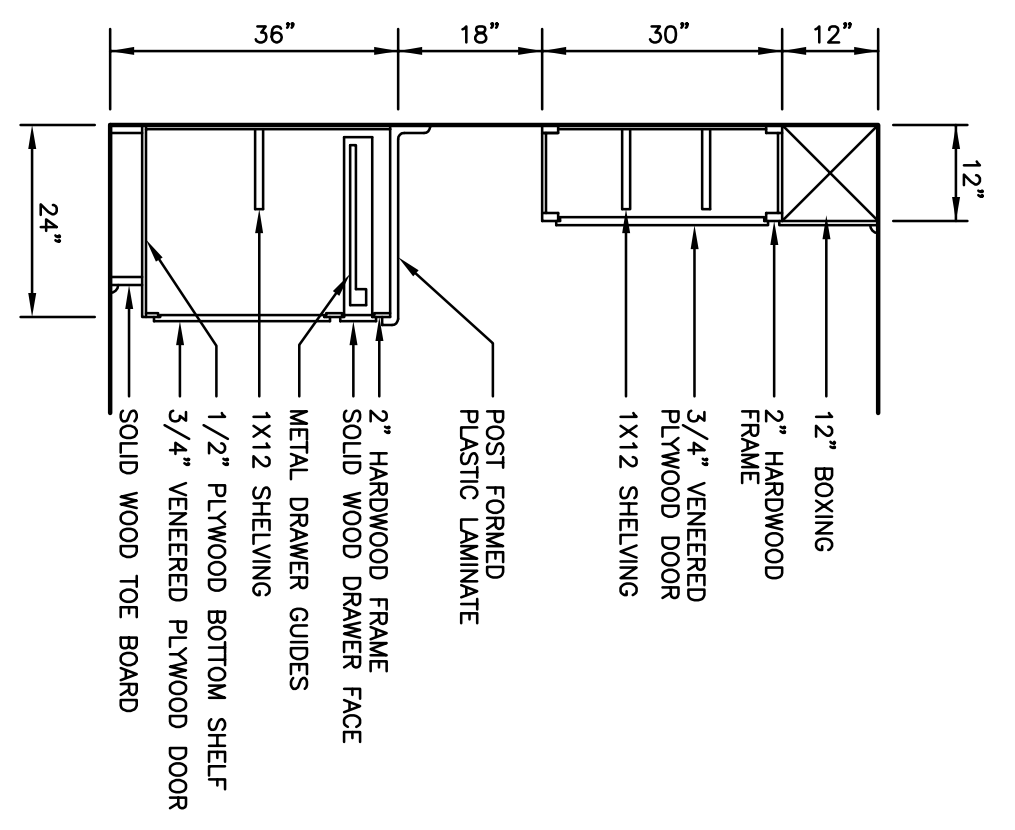
D003
SIDE LOADED



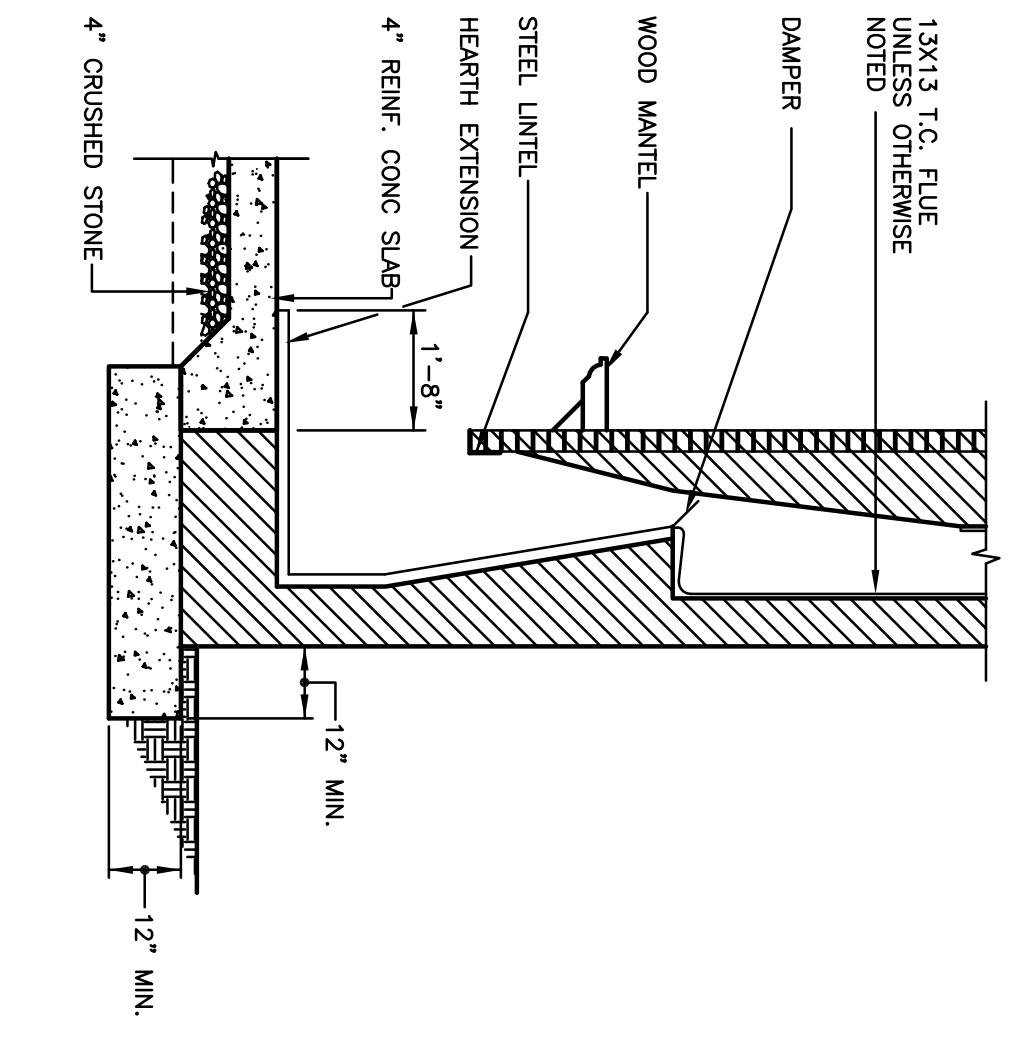
D004
SECTION THRU STEEL BEAM

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (PSF)	USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE		10
UNINHABITABLE ATTICS WITH LIMITED STORAGE		20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS		30
BALCONIES AND DECKS		40
ROOMS OTHER THAN SLEEPING ROOMS		40
SLEEPING ROOMS		30
STAIRS		40
FIRE ESCAPES		40
GUARDS AND HANDRAILS		200
GUARD IN-FILL COMPONENTS		50
PASSENGER VEHICLE GARAGES		50

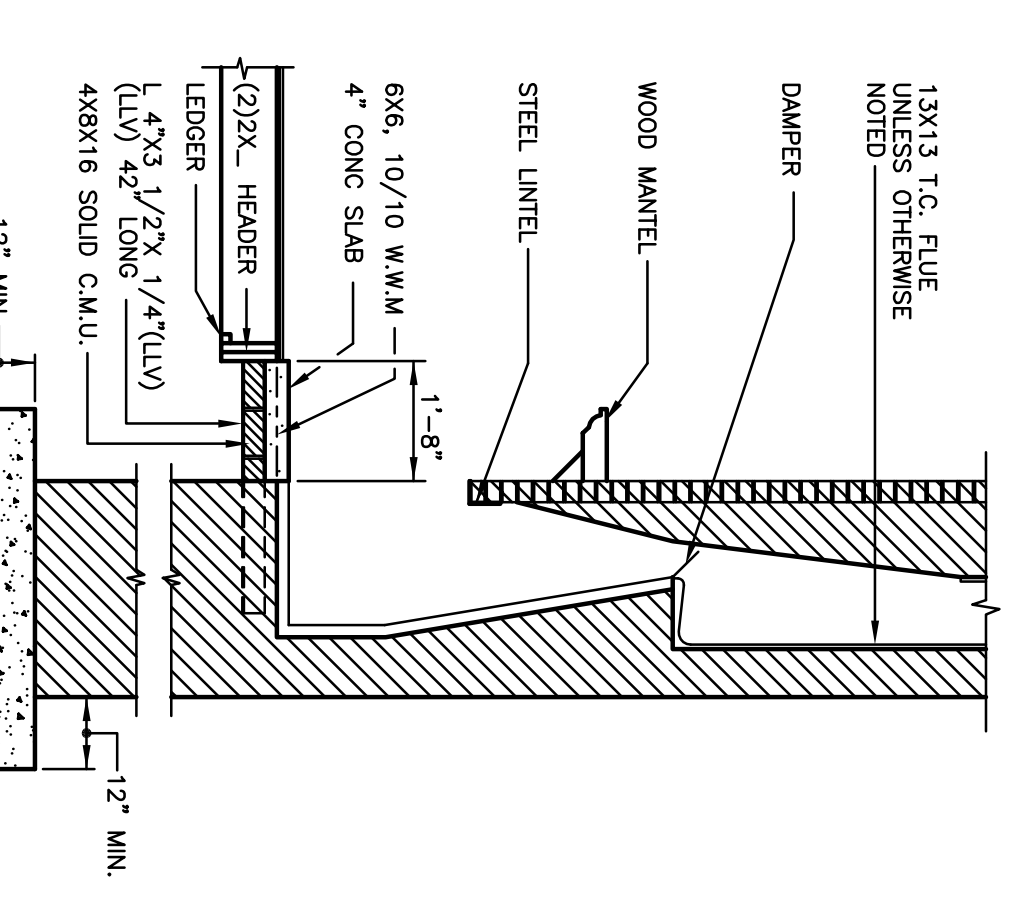
ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS	STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
(NOTE : L = SPAN LENGTH ; H = SPAN HEIGHT)	BATTENS (ANGLES SLOPES GREATER THAN 3:12 WITH FINISHED CEILING NOT ATTACHED TO BATTENS)	L/180
	FLOORS	L/360
	CEILINGS WITH BRITTLE FINISHES (INCLUDING PLASTER)	L/360
	CEILINGS WITH FLEXIBLE FINISHES (INCLUDING GYP/SUM BOARD)	L/240
	ALL OTHER STRUCTURAL MEMBERS	L/240
	UNITS SUPPORTING MASONRY VENEER WALLS	L/600
	INTERIOR WALLS AND PARTITIONS	H/180
	INTERIOR WALLS - WIND LOADS WITH PLASTER OR STUCCO FINISH	H/360
	EXTERIOR WALLS - WIND LOADS WITH OTHER FINISHES	H/240
	EXTERIOR WALLS - WIND LOADS WITH FLEXIBLE FINISHES	H/120



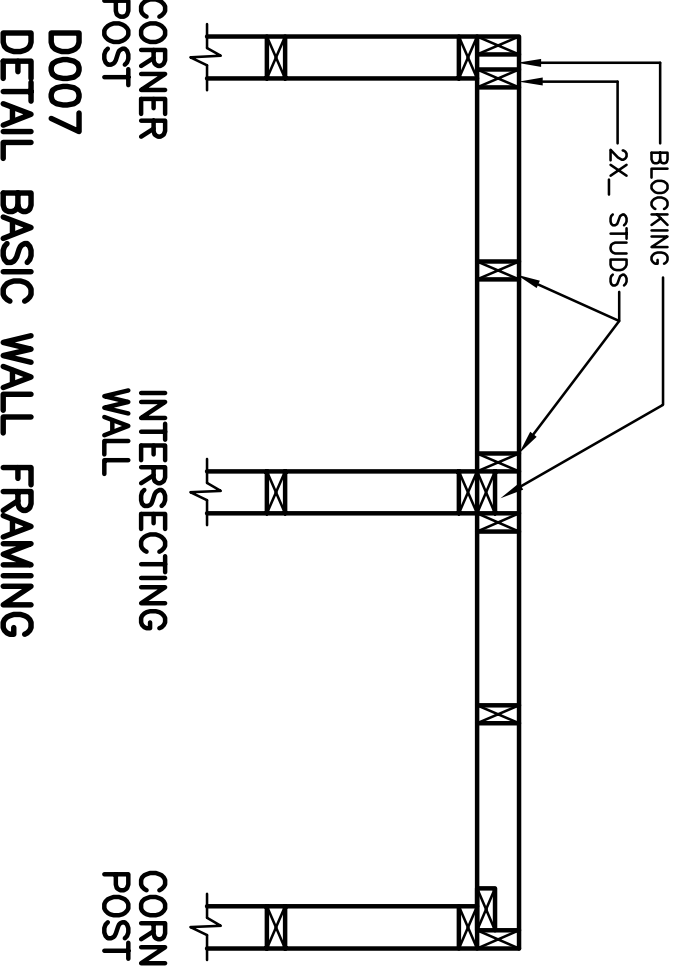
D005
SECTION THRU KITCHEN CABINETS



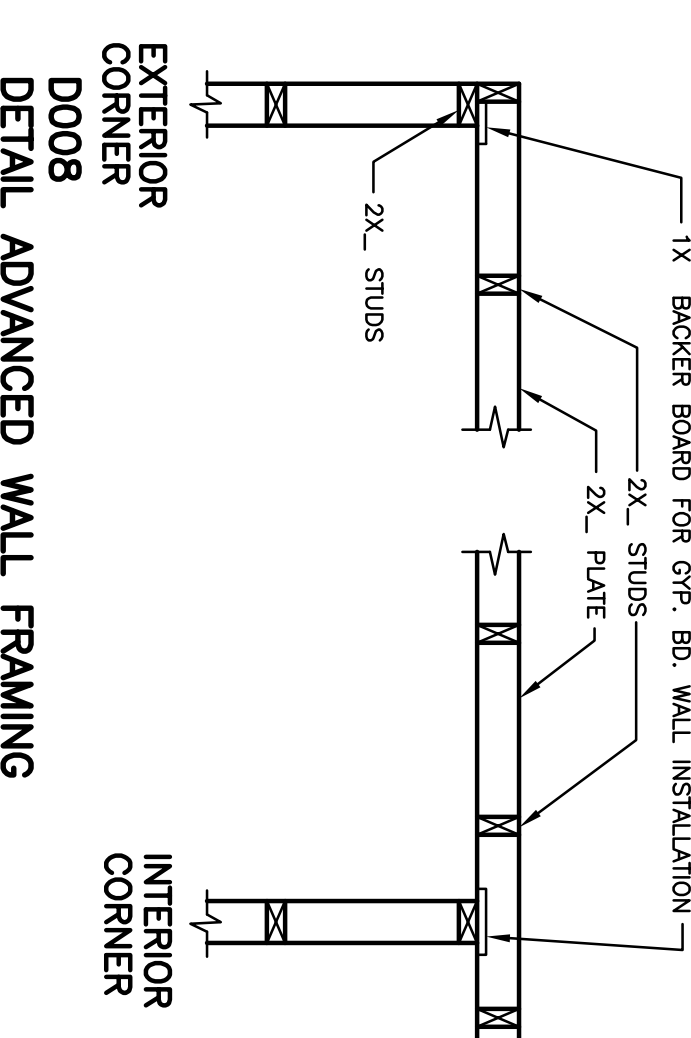
D006
SECT. THRU FIREPLACE ON CONCRETE SLAB



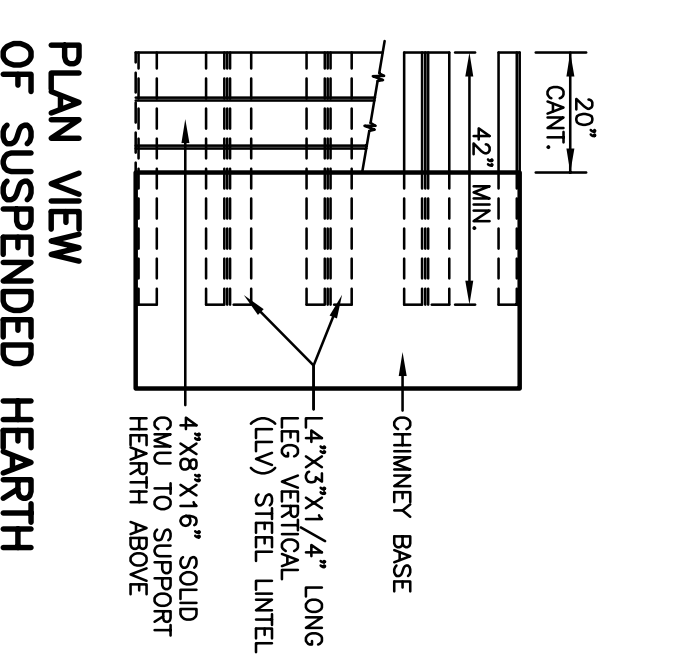
D007
SECT. THRU FIREPLACE ON WOOD FLOOR



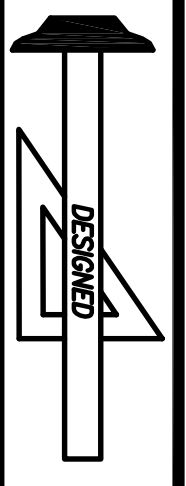
D007
CORNER POST INTERSECTING WALL DETAIL BASIC WALL FRAMING



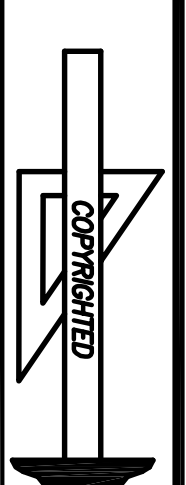
D008
EXTERIOR CORNER DETAIL ADVANCED WALL FRAMING



D009
PLAN VIEW OF SUSPENDED HEARTH



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STANDARD CONSTRUCTION DETAILS

