



NOTE: Attach a site plan that includes property lines (front, side, and rear), location of proposed structures (including driveways, decks, etc.), and existing structures. This plan should be drawn to scale. Also, in order to receive a Privilege License from the Town of Coats to open a business, you must have a valid Zoning Permit, along with all applicable inspections from Harnett County.

Permit No.: 11/6-24-1 Date: 11/6/24 Fee: \$50

Parcel ID\*: 071600 0161 04 Area Zoned As: Agriculture (Ab)  
55 Williams Rd.

**APPLICANT:**

**PROPERTY OWNER:**

Name (Print) Serenity Built Homes, Inc.

Name United Equitable Properties

Address PO Box 1417

Address 55 Williams Rd

City, State Lillington NC

City, State Coats NC

Zip Code 27546

Zip Code 27521

Phone # 910-984-7042

Phone # 919-422-5692

Location of Property: IN-TOWN \_\_\_\_\_ ETJ \_\_\_\_\_ ETJ (contiguous)

Present Use of Property: Minor subdivision residential lot

**PROPOSED USE OF PROPERTY:**

- Single Family Dwelling: # Rooms: \_\_\_\_\_ # Bedrooms: 3 Square Feet: 1554
- Multi Family Dwelling: # of Units: \_\_\_\_\_ #Bedrooms (per unit): \_\_\_\_\_ Square Feet (per unit) \_\_\_\_\_
- Mobile Home (single lot): Single wide: \_\_\_\_\_ Double Wide: \_\_\_\_\_
- Mobile Home Park: Section 16, Zoning Ordinance must apply
- Business: Total # of employees per day \_\_\_\_\_ Type of business \_\_\_\_\_
- Others (specify): \_\_\_\_\_

Existing structure: Renovate: \_\_\_\_\_ Addition: \_\_\_\_\_ Demolish: \_\_\_\_\_

**WATER AND SEWER SUPPLY:**

Water:  Private  Public  Proposed  Existing  
 Sewer:  Private  Public  Proposed  Existing

Applicant: I certify that all of the information presented in this application is true, complete, and accurate to the best of my knowledge. False information is grounds for rejection of the application.

Signature: [Signature]

Date: 11-6-24

**ZONING ADMINISTRATOR USE ONLY**

Notes: \_\_\_\_\_

Approved:  Denied:

Zoning Administrator: [Signature]

Date: 11/6/24



Application # \_\_\_\_\_

Harnett County Central Permitting  
420 McKinney Pkwy Lillington, NC 27546  
PO Box 65 Lillington, NC 27546

910-893-7525 ext. 1 Fax 910-893-2793 www.harnett.org/permits

\* Must be owner/occupier or licensed contractor. Address, company name & phone must match information on license.

**Application for Residential Building and Trades Permit**

Owner's Name: United Equitable Properties LLC Date 11-6-24  
Site Address: 55 Williams R2 Coats NC 27521 Phone \_\_\_\_\_  
Subdivision: \_\_\_\_\_ Lot 5  
Description of Proposed Work: New Const Total Job Cost 230,000.00

**General Contractor Information**

Serenity Built Homes, Inc. 910-893-2462  
Building Contractor's Company Name Telephone  
PO Box 1417 Lillington NC 27546 Klawrence@capitalmarblecreations.com  
Address Email Address  
63787 \_\_\_\_\_  
License # \_\_\_\_\_

**Electrical Contractor Information**

Description of Work New Service Size: 200 Amps T-Pole:  Yes  No  
Electrical Innovators 919-279-7177  
Electrical Contractor's Company Name Telephone  
PO Box 73 Angier NC 27501 electricbiz@hotmail.com  
Address Email Address  
L29238  
License # \_\_\_\_\_

**Mechanical/HVAC Contractor Information**

Description of Work New  
JEM Heating & AC 910-897-5501  
Mechanical Contractor's Company Name Telephone  
724 Turlington Rd Dunn NC 28334 janzmhvac@centurylink.net  
Address Email Address  
17164  
License # \_\_\_\_\_

**Plumbing Contractor Information**

Description of Work New # Baths 2  
Jason Barefoot Plumbing 910-892-4736  
Plumbing Contractor's Company Name Telephone  
5476 Timothy Rd Dunn NC 28334 jasonlbarefoot@yahoo.com  
Address Email Address  
20694 P-1  
License # \_\_\_\_\_

**Insulation Contractor Information**

Insulating Inc 5902 Fayetteville Rd Raleigh 919-772-9000  
Insulation Contractor's Company Name & Address Telephone  
NC 27603

**NOTE: General Contractor / owner must fill out and sign the second page of this application.**

I hereby certify that I have the authority to make necessary application, that the application is correct and that the construction will conform to the regulations in the Building, Electrical, Plumbing and Mechanical codes, and the Harnett County Zoning Ordinance. I state the information on the above contractors is correct as known to me and that by signing below I have obtained all subcontractors permission to obtain these permits and if any changes occur including listed contractors, site plan, number of bedrooms, building and trade plans, Environmental Health permit changes or proposed use changes, I certify it is my responsibility to notify the Harnett County Central Permitting Department of any and all changes.

**EXPIRED PERMIT FEES** - 6 Months to 2 years permit re-issue fee is \$150.00. After 2 years re-issue fee is as per current fee schedule.

  
Signature of Owner/Contractor/Officer(s) of Corporation

11-6-24  
Date

**Affidavit for Worker's Compensation N.C.G.S. 87-14**

The undersigned applicant being the:

General Contractor     Owner     Officer/Agent of the Contractor or Owner

Do hereby confirm under penalties of perjury that the person(s), firm(s) or corporation(s) performing the work set forth in the permit:


Has three (3) or more employees and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) who has their own policy of workers' compensation insurance covering themselves.

Has no more than two (2) employees and no subcontractors.

While working on the project for which this permit is sought it is understood that the Central Permitting Department issuing the permit may require certificates of coverage of worker's compensation insurance prior to issuance of the permit and at any time during the permitted work from any person, firm or corporation carrying out the work.

Sign w/Title:  Date: \_\_\_\_\_

**ABBREVIATIONS**

- ACC. ACCESS
- BWL. BRACED WALL LINE
- BWP. BRACED WALL PANEL
- C.O. CASSED OPENING
- C.J. CEILING JOIST
- C.L.S. CLOSET
- C.L. CLOTH
- COMP. COMPOSITION
- CONC. CONCRETE
- CONT. CONTINUOUS
- C.M.U. CONCRETE MASONRY UNIT
- D.H. DOUBLE HUNG
- D.A. DIAMETER
- D.L. DOUBLE JOIST
- DN. DOWN
- EXH. EXHAUST
- EXT. EXTERIOR
- FL.J. FLOOR JOIST
- FTS. FOOTING
- G.F.I. GROUND FAULT INTERRUPTER
- H.B. HOSE BIB
- L.V. LAMINATED VENEER LUMBER
- M.O. MASONRY OPENING
- M.S. MASONRY
- MAX. MAXIMUM
- M.C. MEDICINE CABINET
- M.T. METAL
- MIN. MINIMUM
- O.C. ON CENTER
- OSB ORIENTED STRAND BOARD
- PERF. PERFORATED
- REC. RECESSED
- REIN. REINFORCED
- SCR. SCREENED
- S.D. SMOKE DETECTOR
- SEC. SECOND
- SHWR. SHOWER
- S.V.P. SOUTHERN YELLOW PINE
- S.P.F. SPRUCE/PINE/FIR
- SUSP. SUSPENDED
- TYP. TYPICAL
- U.O.A. UNLESS OTHERWISE NOTED
- WASH. WASHER
- W.H. WATER HEATER
- W.P. WEATHER PROOF
- W.W.M. WELDED WIRE MESH
- WOW. HT. WINDOW HEIGHT
- WD. WOOD

**SYMBOLS**

- O- HOSE BIB
- S SWITCH
- 3 3-WAY SWITCH
- ◇ LIGHT FIXTURE
- ⊠ EXHAUST FAN & LIGHT
- ⊠ SMOKE DETECTOR
- ◀ SHOWER HEAD
- ⊕ TELEPHONE JACK
- ⊕ CONNENANCE OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ GROUND FAULT INTERRUPTER
- ⊕ CEILING FAN
- ⊕ CARBON MONOXIDE ALARM

**GENERAL NOTES AND SPECIFICATIONS**

**EXCAVATION**

EXCAVATE TO UNDISTURBED SOIL. BOTTOM OF FOOTING SHALL EXTEND BELOW LOCAL FROST LINE AND TO MINIMUM DEPTH OF 12" BELOW ADJACENT GRADE. (PRESUMED 2000 PSF SOIL BEARING CAPACITY).  
EXPANSIVE, COMPRESSIVE OR SHIFTING SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSUME A STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE.

**FOUNDATION**

PROVIDE 1/2" DIA. STEEL ANCHOR BOLTS 6" O.C., 1'-0" MAX. FROM CORNERS AND 1'-0" MAX. FROM ENDS OF EACH PLATE SECTION, WITH 7" MIN. EMBEDMENT.  
PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.  
SLOPE GRADE AWAY FROM FOUNDATION WALLS 6" MINIMUM WITHIN THE FIRST 10 FEET.  
PROVIDE PRESSURE TREATED LUMBER FOR SILLS, PLATES, BANDS AND ANY LUMBER IN CONTACT WITH MASONRY.  
PROVIDE APPROVED AND BONDED CHEMICAL SOIL TREATMENT AGAINST FUNGUS, TERMITES AND OTHER HARMFUL INSECTS.

**CRAWL SPACE**

ALL GROUND JOISTS AND ENDS OF GIRDERS SHALL REST ON SOLID BEAMS. FILL CORES OF GROUND JOISTS WITH CONCRETE. FILL TOP COURSE CORES OF EXTERIOR FOUNDATION WALL WITH CONCRETE.  
FOOTINGS SHALL EXTEND 6" AND SHALL BE 12" THICK UNDER GROUND PIER.

**FRAMING**

ALL FLOOR JOISTS, CEILING JOISTS, RAFTERS, GIRDERS, HEADERS, SILLS AND BEAMS SHALL BE NO. 2 SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.  
ALL LOAD BEARING WALLS SHALL BE STUD GRADE SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.  
DESIGN SPECIFICATIONS FOR LAMINATED VENEER LUMBER (L.V.L.) BEAMS AND HEADERS :  
GRADE : 2550Fp-2.0E  
SECTION Pp : 2460  
MAX. 2.0 X 10'  
SHEAR Pp : 290

**SHIPPING DATE :**

STAMP MUST APPEAR IN RED. PLANS FOR WHICH A BUILDING PERMIT HAS NOT BEEN OBTAINED ONE YEAR FROM THE ABOVE DATE WILL BE CONSIDERED OBSOLETE. STANDARD HOMES PLAN SERVICE, INC. A FEE MAY BE CHARGED FOR THIS SERVICE.

**CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA**

ROOF LIVE LOAD (POUNDS PER SQUARE FOOT) : 20 PSF  
NOMINAL DESIGN WIND SPEED (MILES PER HOUR) : 120 MPH  
EXPOSURE CATEGORY "B" UNLESS OTHERWISE NOTED  
WIND DESIGN PRESSURE RATINGS : DP 25  
COMPONENT AND CLADDING LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET OR LESS:

PRESSURE ZONE	ULTIMATE DESIGN WIND SPEED (MPH)				
	115	120	130	140	
ZONE 1	13.1, -14.0	14.2, -15.0	16.7, -18.0	19.4, -21.0	
ZONE 2	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0	
ZONE 3	13.1, -18.0	14.2, -21.0	16.7, -24.0	19.4, -28.0	
ZONE 4	14.3, -16.0	15.5, -18.0	18.2, -21.0	21.2, -22.0	
ZONE 5	14.3, -18.0	15.5, -20.0	18.2, -24.0	21.2, -28.0	

ASSUMED MEAN ROOF HEIGHT: 16'-3"  
SEISMIC CONDITION BY ZONE : ZONES A AND B  
SUBJECT TO DAMAGE FROM WEATHERING : MODERATE  
CLIMATE ZONES (UNLESS OTHERWISE NOTED): ZONES 3 AND 4  
WIND DESIGN PRESSURE RATINGS : DP 25  
CEILING R-30 EXCEPT WHERE NOTED OTHERWISE  
WINDOW U-FACTOR ≤ 0.35; RECOMMENDED SHGC ≤ 0.30

**MISCELLANEOUS**

LOCATE ALL CONNENANCE OUTLETS ABOVE KITCHEN BASE CABINETS 42" ABOVE FINISHED FLOOR.

**EMERGENCY EGRESS REQUIREMENTS**

IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY COMPLIANCE WITH EGRESS REQUIREMENTS BASED ON SPECIFICATIONS PROVIDED IN THE 2018 INTERNATIONAL RESIDENTIAL CODE.  
2018 NORTH CAROLINA RESIDENTIAL CODE  
THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. THE NET CLEAR OPENING SHALL NOT BE LESS THAN 4.0 SQUARE FEET WHERE THE NET CLEAR OPENING SHALL BE AT LEAST 20 INCHES IN WIDTH. THE MINIMUM CLEAR OPENING WIDTH SHALL NOT BE LESS THAN 5.0 SQUARE FEET IN THE CASE OF A GROUND STORY WINDOW AND NOT LESS THAN 5.7 SQUARE FEET IN THE CASE OF A SECOND STORY WINDOW.

**INTERNATIONAL RESIDENTIAL CODE**

THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET EXCEPT GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.



**Standard Homes Plan Service, Inc.**  
7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526  
SEE THESE DESIGN PROVIDER DETAILS AT WWW.STANDARDHOMES.COM  
(919)552-5677



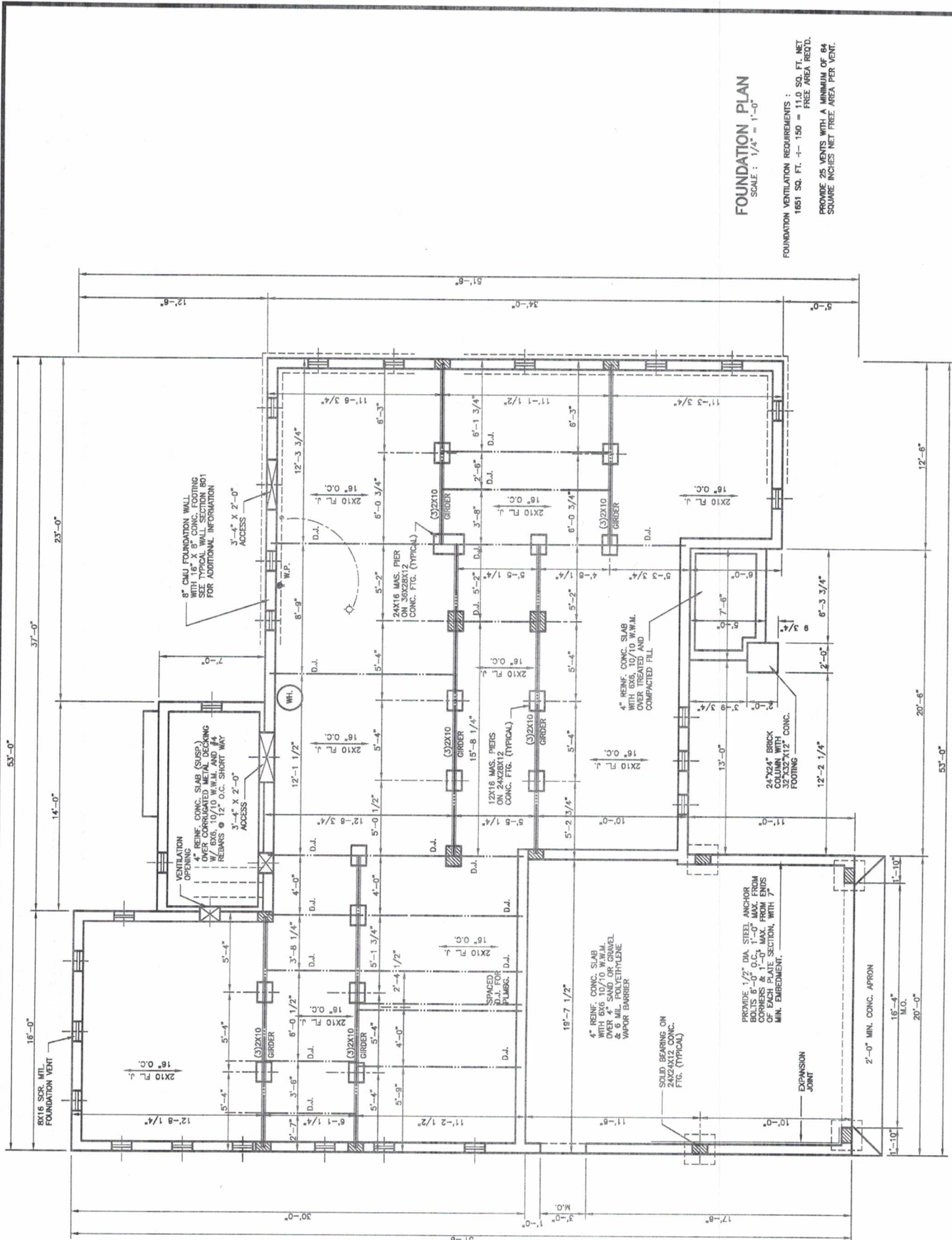
DESIGNED FOR  
SERENITY BUILT HOMES

PLAN  
FIONA

NO. 2

SID.

1 OF 9



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

FOUNDATION VENTILATION REQUIREMENTS:  
1651 SQ. FT. ± 150 = 11.0 SQ. FT. NET FREE AREA REQ'D.  
PROVIDE AS VENTS WITH A MINIMUM OF #4 SQUARE INCHES NET FREE AREA PER VENT.

REVISED 02-02-22

FLAH	NO.	MIT'L. SHOWN	SHEET
FIONA	2	SID.	2 OF 9

DESIGNED FOR  
SERENITY BUILT HOMES



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WINDOW SCHEDULE	
A	3'-0" X 6'-2" WD. D.H.
B	2'-4" X 5'-2" WD. D.H.
C	2'-8" X 4'-2" WD. D.H.
D	2'-0" X 4'-2" WD. D.H.
E	3'-0" X 5'-2" WD. D.H.
F	
G	
H	

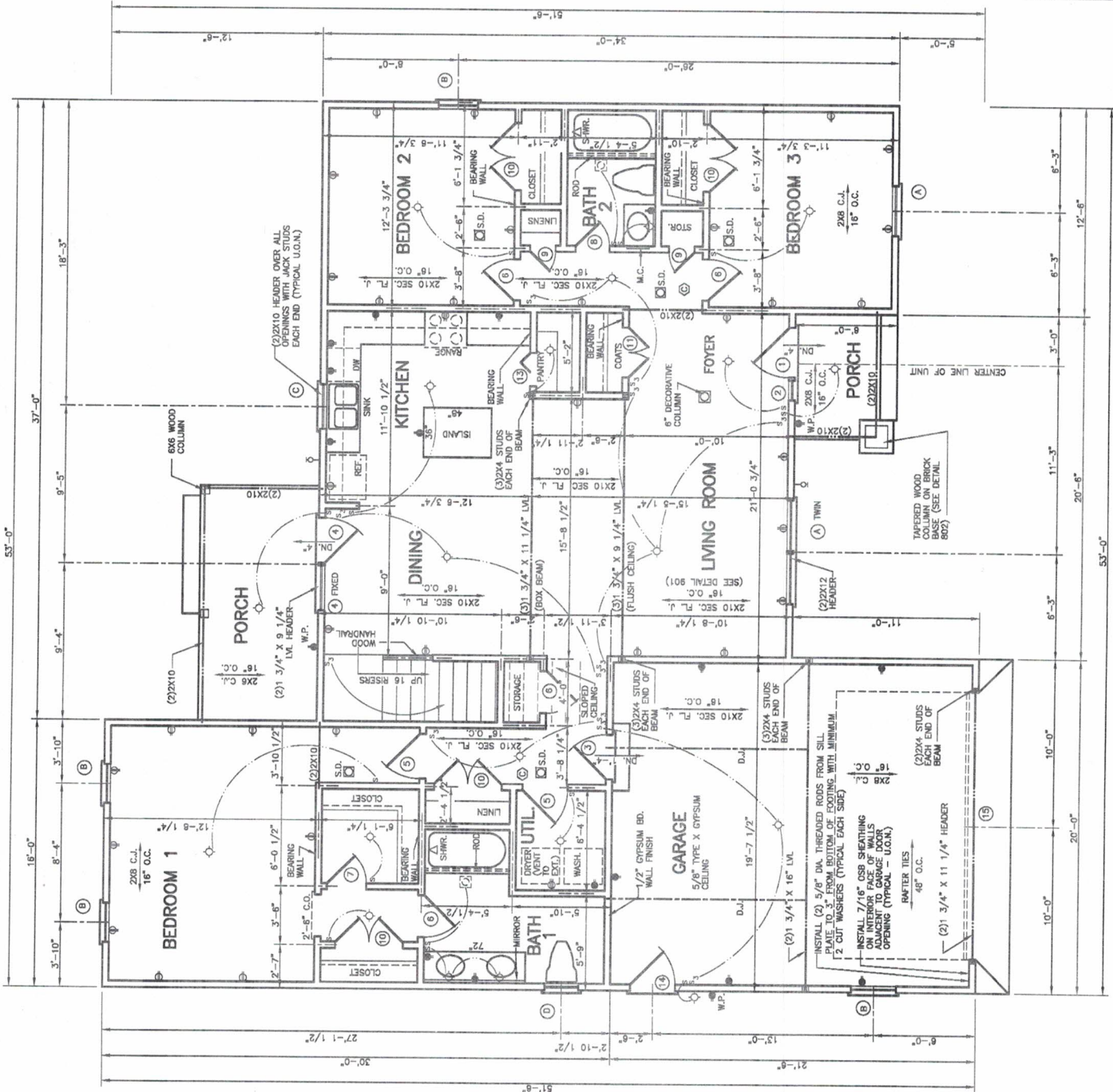
DOOR SCHEDULE	
1	3'-0" X 6'-8" X 1 3/4"
2	SIDE-LITE 1'-2" X 6'-8" X 1 3/4"
3	20-MINUTE FIRE-RATED 2'-8" X 6'-8" X 1 3/4"
4	FRENCH 2'-8" X 6'-8" X 1 3/4"
5	2'-8" X 6'-8" X 1 3/8"
6	2'-8" X 6'-8" X 1 3/8"
7	2'-4" X 6'-8" X 1 3/8"
8	2'-0" X 6'-8" X 1 3/8"
9	1'-8" X 6'-8" X 1 3/8"
10	DOUBLE OPENING 4'-0" X 6'-8" X 1 3/8"
11	DOUBLE OPENING 3'-0" X 6'-8" X 1 3/8"
12	LOANED BIFOLD 4'-0" X 6'-8" X 1 3/8"
13	LOANED BIFOLD 2'-0" X 6'-8" X 1 3/8"
14	9-LITE 2'-8" X 6'-8" X 1 3/4"
15	OVERHEAD GARAGE DOOR 15'-0" X 8'-0"
16	
17	
18	

**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

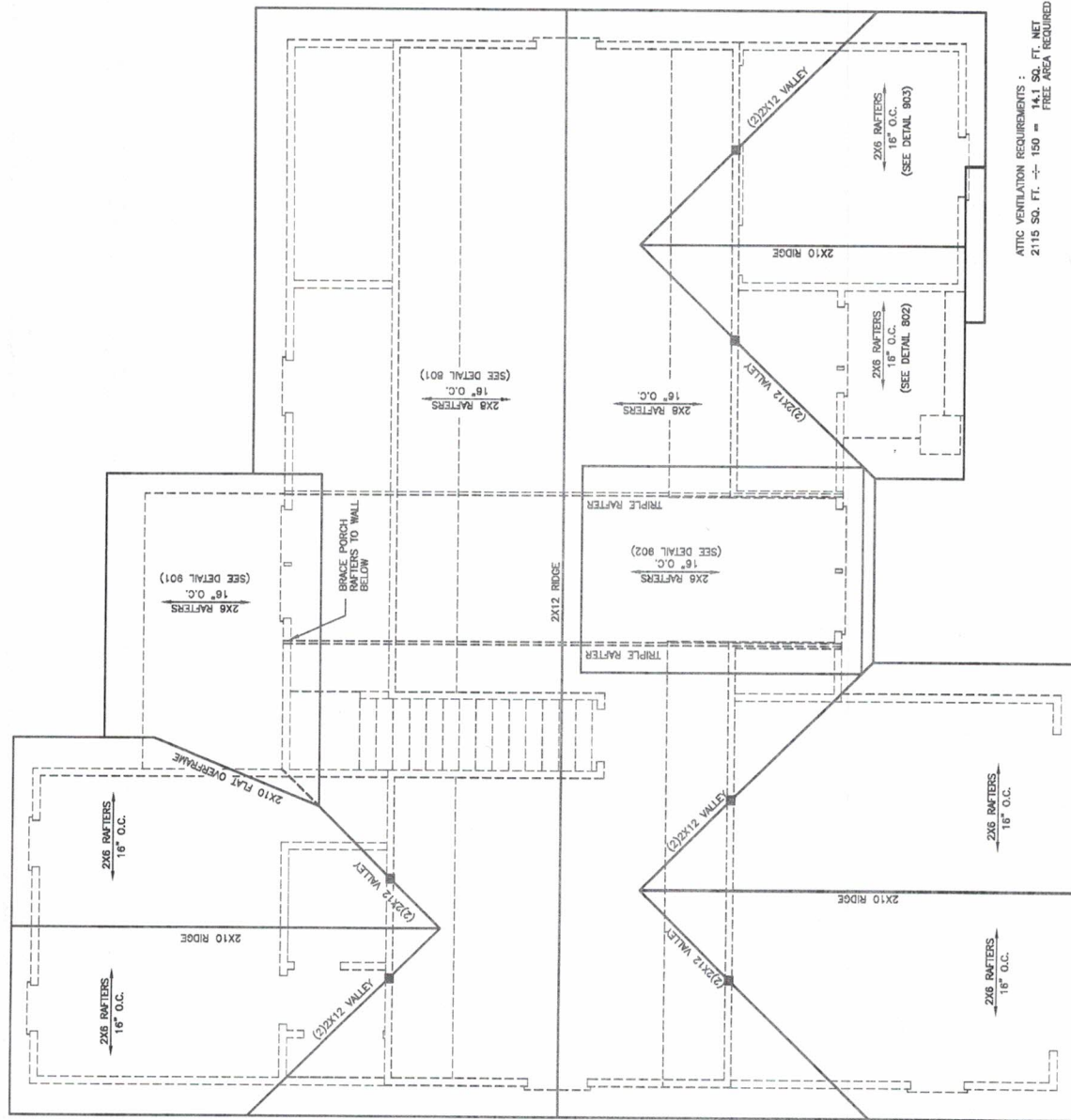
HEATED AREA : 1564 SQ. FT. IN SIDING  
GARAGE : 425 SQ. FT.  
TOTAL EXTERIOR ROOM : 961 SQ. FT.  
REAR PORCH : 88 SQ. FT.  
FRONT PORCH : 38 SQ. FT.  
CEILING HEIGHT : 9 FT.

REVISED 02-03-22  
**Standard Homes Plan Service, Inc.**  
7200 SUNSET LAKE ROAD FLOUJY-MARINA, N.C. 27526 (919)552-5677  
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DESIGNED FOR: SERENITY BUILT HOMES  
PLAN: **FIONA** NO. **2** SID.  
SHEET: 3 of 9







INDICATES (2)2x4 BRACE TO WALL BELOW

ATIC VENTILATION REQUIREMENTS :  
 2115 SQ. FT. - 150 = 14.1 SQ. FT. NET  
 FREE AREA REQUIRED

ROOF PLAN  
 SCALE : 1/4" = 1'-0"

REVISED 02-02-22

NO.	AMTL. SHOWN	SHEET
2	SID.	5 OF 9

DESIGNED FOR  
 SERENITY BUILT HOMES

PLAN  
 FIONA

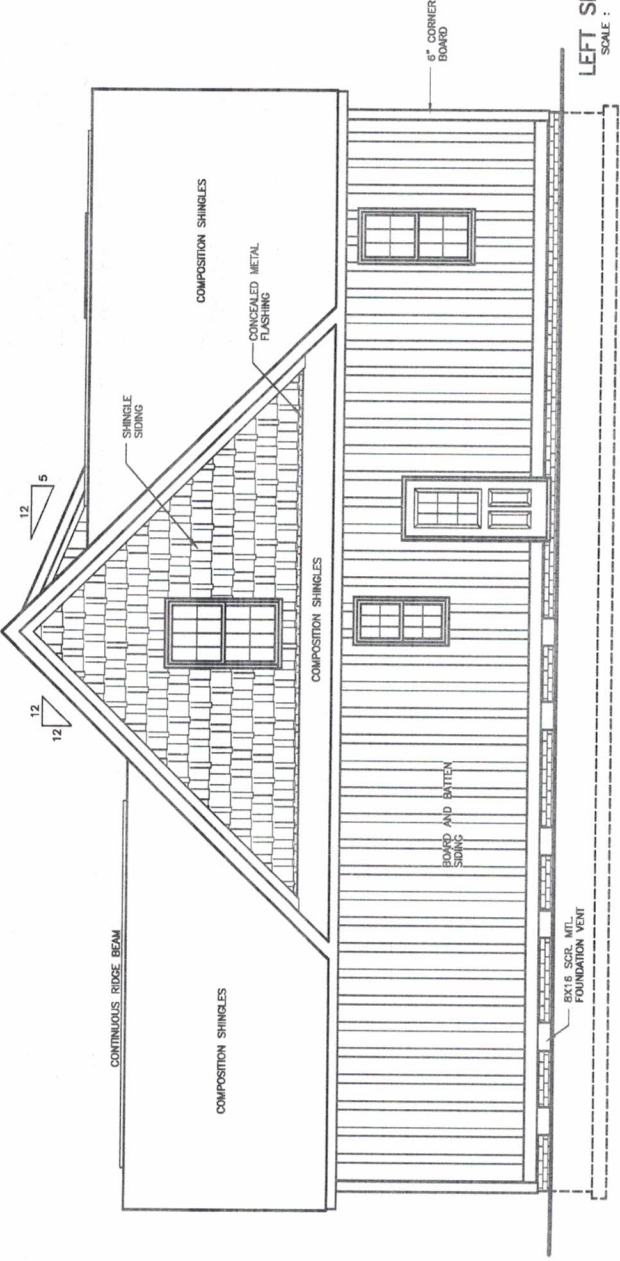


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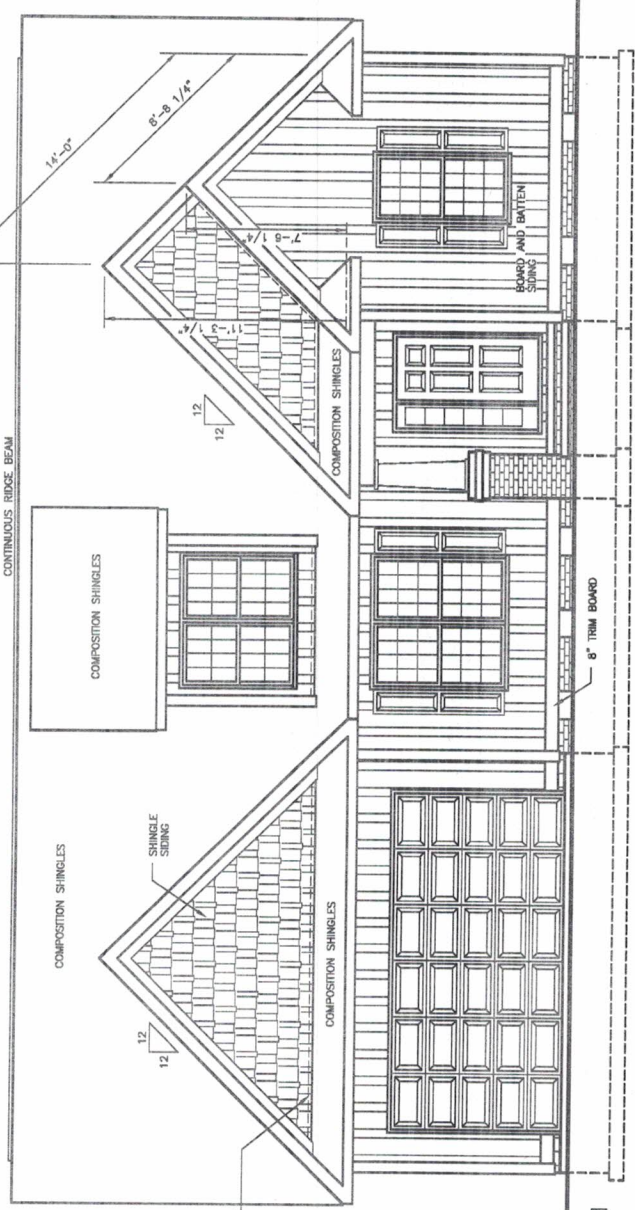




REMOVE GUTTERS, DOWNSPOUTS AND SPLASHPADS  
ACCORDING TO LOCAL CODE AND RAINFALL CONDITIONS.  
ALL SPLASHPADS SHALL CARRY WATER 60"  
FROM BUILDING.




**LEFT SIDE ELEVATION**  
SCALE : 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE : 1/4" = 1'-0"

REVISED 02-02-22

	DESIGNED FOR	PLAN	NO.	MAT'L SHOWN	SHEET
	SERENITY BUILT HOMES	FIONA	2	SID.	6 OF 9

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