



NOTE: Attach a site plan that includes property lines (front, side, and rear), location of proposed structures (including driveways, decks, etc.), and existing structures. This plan should be drawn to scale. Also, in order to receive a Privilege License from the Town of Coats to open a business, you must have a valid Zoning Permit, along with all applicable inspections from Harnett County.

Permit No.: 11/6-24-1 Date: 11/6/24 Fee: \$50

Parcel ID*: 071600 0161 04 Area Zoned As: Agriculture (Ab)
55 Williams Rd.

APPLICANT:

PROPERTY OWNER:

Name (Print) Serenity Built Homes, Inc.

Name United Equitable Properties

Address PO Box 1417

Address 55 Williams Rd

City, State Lillington NC

City, State Coats NC

Zip Code 27546

Zip Code 27521

Phone # 910-984-7042

Phone # 919-422-5692

Location of Property: IN-TOWN ETJ ETJ (contiguous) [checked]

Present Use of Property: Minor subdivision residential lot

PROPOSED USE OF PROPERTY:

- [X] Single Family Dwelling: # Rooms: # Bedrooms: 3 Square Feet: 1554
[] Multi Family Dwelling: # of Units: #Bedrooms (per unit): Square Feet (per unit)
[] Mobile Home (single lot): Single wide: Double Wide:
[] Mobile Home Park: Section 16, Zoning Ordinance must apply
[] Business: Total # of employees per day Type of business
[] Others (specify):

[] Existing structure: Renovate: Addition: Demolish:

WATER AND SEWER SUPPLY:

Water: [] Private [checked] Public [] Proposed [] Existing
Sewer: [checked] Private [] Public [] Proposed [] Existing

Applicant: I certify that all of the information presented in this application is true, complete, and accurate to the best of my knowledge. False information is grounds for rejection of the application.

Signature: [Handwritten Signature]

Date: 11-6-24

ZONING ADMINISTRATOR USE ONLY

Notes:

Approved: [checked] Denied: []

Zoning Administrator: [Handwritten Signature]

Date: 11/6/24



Application # _____

Harnett County Central Permitting
420 McKinney Pkwy Lillington, NC 27546
PO Box 65 Lillington, NC 27546

910-893-7525 ext. 1 Fax 910-893-2793 www.harnett.org/permits

* Must be owner/occupier or licensed contractor. Address, company name & phone must match information on license.

Application for Residential Building and Trades Permit

Owner's Name: United Equitable Properties LLC Date 11-6-24
Site Address: 55 Williams R2 Coats NC 27521 Phone _____
Subdivision: _____ Lot 5
Description of Proposed Work: New Const Total Job Cost 230,000.00

General Contractor Information

Serenity Built Homes, Inc. 910-893-2462
Building Contractor's Company Name Telephone
PO Box 1417 Lillington NC 27546 Klawrence@capitalmarblecreations.com
Address Email Address
63787

Electrical Contractor Information

Description of Work New Service Size: 200 Amps T-Pole: Yes No
Electrical Innovators 919-279-7177
Electrical Contractor's Company Name Telephone
PO Box 73 Angier NC 27501 electricbiz@hotmail.com
Address Email Address
L29238
License #

Mechanical/HVAC Contractor Information

Description of Work New
JEM Heating & AC 910-897-5501
Mechanical Contractor's Company Name Telephone
724 Turlington Rd Dunn NC 28334 janzmhvac@centurylink.net
Address Email Address
17164
License #

Plumbing Contractor Information

Description of Work New # Baths 2
Jason Barefoot Plumbing 910-892-4736
Plumbing Contractor's Company Name Telephone
5476 Timothy Rd Dunn NC 28334 jasonlbarefoot@yahoo.com
Address Email Address
20694 P-1
License #

Insulation Contractor Information

Insulating Inc 919-772-9000
Insulation Contractor's Company Name & Address Telephone
5902 Fayetteville Rd Raleigh NC 27603

NOTE: General Contractor / owner must fill out and sign the second page of this application.

I hereby certify that I have the authority to make necessary application, that the application is correct and that the construction will conform to the regulations in the Building, Electrical, Plumbing and Mechanical codes, and the Harnett County Zoning Ordinance. I state the information on the above contractors is correct as known to me and that by signing below I have obtained all subcontractors permission to obtain these permits and if any changes occur including listed contractors, site plan, number of bedrooms, building and trade plans, Environmental Health permit changes or proposed use changes, I certify it is my responsibility to notify the Harnett County Central Permitting Department of any and all changes.

EXPIRED PERMIT FEES - 6 Months to 2 years permit re-issue fee is \$150.00. After 2 years re-issue fee is as per current fee schedule.


Signature of Owner/Contractor/Officer(s) of Corporation

11-6-24
Date

Affidavit for Worker's Compensation N.C.G.S. 87-14

The undersigned applicant being the:

General Contractor Owner Officer/Agent of the Contractor or Owner

Do hereby confirm under penalties of perjury that the person(s), firm(s) or corporation(s) performing the work set forth in the permit:


Has three (3) or more employees and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) who has their own policy of workers' compensation insurance covering themselves.

Has no more than two (2) employees and no subcontractors.

While working on the project for which this permit is sought it is understood that the Central Permitting Department issuing the permit may require certificates of coverage of worker's compensation insurance prior to issuance of the permit and at any time during the permitted work from any person, firm or corporation carrying out the work.

Sign w/Title:  Date: _____

ABBREVIATIONS

- ACC. ACCESS
- BWL. BRACED WALL LINE
- BWP. BRACED WALL PANEL
- C.O. CASSED OPENING
- C.J. CEILING JOIST
- C.L.S. CLOSURE
- C.L. CLOSURE
- COMP. COMPOSITION
- CONC. CONCRETE
- CONT. CONTINUOUS
- C.M.U. CONCRETE MASONRY UNIT
- D.H. DOUBLE HUNG
- D.A. DIAMETER
- D.L. DOUBLE JOIST
- DN. DOWN
- EXH. EXHAUST
- EXT. EXTERIOR
- FL.J. FLOOR JOIST
- FTS. FOOTING
- G.F.I. GROUND FAULT INTERRUPTER
- H.B. HOSE BIB
- L.V. LAMINATED VENEER LUMBER
- M.O. MASONRY OPENING
- M.S. MASONRY
- MAX. MAXIMUM
- M.C. MEDICINE CABINET
- M.T. METAL
- MIN. MINIMUM
- O.C. ON CENTER
- OSB ORIENTED STRAND BOARD
- PERF. PERFORATED
- REC. RECESSED
- REIN. REINFORCED
- SCR. SCREENED
- S.D. SMOKE DETECTOR
- SEC. SECOND
- SHWR. SHOWER
- S.V.P. SOUTHERN YELLOW PINE
- S.P.F. SPRUCE/PINE/FIR
- SUSP. SUSPENDED
- TP. TYPICAL
- U.O.N. UNLESS OTHERWISE NOTED
- WASH. WASHER
- W.H. WATER HEATER
- W.P. WEATHER PROOF
- W.W.M. WELDED WIRE MESH
- WOW. HT. WINDOW HEIGHT
- WD. WOOD

SYMBOLS

- O- HOSE BIB
- S SWITCH
- 3 3-WAY SWITCH
- ◇ LIGHT FIXTURE
- ⊠ EXHAUST FAN & LIGHT
- ⊠ SMOKE DETECTOR
- ◁ SHOWER HEAD
- ⊕ TELEPHONE JACK
- ⊕ CONVENIENCE OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ GROUND FAULT INTERRUPTER
- ⊕ CEILING FAN
- ⊕ CARBON MONOXIDE ALARM

GENERAL NOTES AND SPECIFICATIONS

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ORIGINAL PURCHASE AGREEMENT

SEE ATTACHED CONSTRUCTION LICENSE FOR INVOICE NUMBER 12875.

BUILDING CODE INFORMATION

THIS PLAN HAS BEEN DRAWN TO CONFORM TO THE NORTH CAROLINA BUILDING CODE, 2018 EDITION (2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS) WITH AMENDMENTS UNLESS OTHERWISE NOTED. (SEE ATTACHMENTS)

PRIOR TO CONSTRUCTION

THE CONTRACTOR SHALL REVIEW THE PLANS FOR THIS PROJECT AND BE RESPONSIBLE TO INSURE COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL REGULATIONS THAT MAY BE REQUIRED BY VA/VAH/RD. THE CONTRACTOR SHALL VERIFY PLAN DIMENSIONS, STRUCTURAL COMPONENTS, AND GENERAL SPECIFICATIONS CONTAINED IN THIS SET OF PLANS AND REPORT ANY DISCREPANCIES TO STANDARD HOMES PLAN SERVICE PRIOR TO COMMENCING CONSTRUCTION OR CORRECTION BEFORE PROCEEDING WITH WORK ON HOUSE.

THE CONTRACTOR SHALL DETERMINE ROUGH OPENING SIZES FOR ALL DIMENSIONS AS REQUIRED.

DO NOT SCALE FROM BLUEPRINTS. REFER TO THE LABELED DIMENSIONS FOR ACTUAL MEASUREMENTS.

IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO OBTAIN ALL NECESSARY PERMITS AND TO SECURE THE SERVICES OF A PROFESSIONAL ENGINEER IF REQUIRED BY THE BUILDING CODE OFFICIAL.

SHIPPING DATE :

STAMP MUST APPEAR IN RED. PLANS FOR WHICH A BUILDING PERMIT HAS NOT BEEN OBTAINED ONE YEAR FROM THE ABOVE DATE WILL BE CONSIDERED OBSOLETE. STANDARD HOMES PLAN SERVICE, INC. A FEE MAY BE CHARGED FOR THIS SERVICE.

EXCAVATION

EXCAVATE TO UNDISTURBED SOIL. BOTTOM OF FOOTING SHALL EXTEND BELOW LOCAL FROST LINE AND TO MINIMUM DEPTH OF 12" BELOW ADJACENT GRADE. (PRESUMED 2000 PSF SOIL BEARING CAPACITY).

EXPANSIVE, COMPRESSIVE OR SHIFTING SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSUME A STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE.

FOUNDATION

PROVIDE 1/2" DIA. STEEL ANCHOR BOLTS 6" O.C., 1'-0" MAX. FROM CORNERS AND 1'-0" MAX. FROM ENDS OF EACH PLATE SECTION, WITH 7" MIN. EMBEDMENT.

PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.

SLOPE GRADE AWAY FROM FOUNDATION WALLS 6" MINIMUM WITHIN THE FIRST 10 FEET.

PROVIDE PRESSURE TREATED LUMBER FOR SILLS, PLATES, BANDS AND ANY LUMBER IN CONTACT WITH MASONRY.

PROVIDE APPROVED AND BONDED CHEMICAL SOIL TREATMENT AGAINST FUNGUS, TERMITES AND OTHER HARMFUL INSECTS.

CRAWL SPACE

ALL GROUND JOISTS AND ENDS OF GIRDERS SHALL REST ON SOLID BEAMS. FILL CORES OF GROUND JOISTS WITH CONCRETE. FILL TOP COURSE CORES OF EXTERIOR FOUNDATION WALL WITH CONCRETE.

FOOTINGS SHALL EXTEND 6" AND SHALL BE 12" THICK UNDER GROUND PIER.

CHIMNEY FOOTING SHALL EXTEND 12" MINIMUM BEYOND EACH SIDE AND SHALL BE AT LEAST 12" THICK.

FRAMING

ALL FLOOR JOISTS, CEILING JOISTS, RAFTERS, GIRDERS, HEADERS, SILLS AND BEAMS SHALL BE NO. 2 SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

ALL LOAD BEARING WALLS SHALL BE STUD GRADE SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

DESIGN SPECIFICATIONS FOR LAMINATED VENEER LUMBER (L.V.L.) BEAMS AND HEADERS :

GRADE :	2550Fp-2.0E
BEARING Fy :	2490
WALL Fy :	10'
SHEAR Fv :	290

SUPPORT FOR HEADERS:

HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. EACH END OF STUD ADJACENT TO EACH END OF THE HEADER SHALL BE END NAIL TO EACH END OF THE HEADER WITH FOUR-160 NAILS. SEE TABLE BELOW.

MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS:

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES)
3 FEET OR LESS	16
4 FT.	1
8 FT.	2
12 FT.	3
16 FT.	5
	6
	4

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA

ROOF LIVE LOAD (POUNDS PER SQUARE FOOT) : 20 PSF
 NOMINAL DESIGN WIND SPEED (MILES PER HOUR) : 120 MPH
 EXPOSURE CATEGORY "B" UNLESS OTHERWISE NOTED
 WINDWALL DESIGN PRESSURE RATING : DP 25
 COMPONENT AND CLADDING LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET OR LESS:

PRESSURE ZONE	ULTIMATE DESIGN WIND SPEED (MPH)			
	115	120	130	140
ZONE 1	13.1, -14.0	14.2, -15.0	16.7, -18.0	19.4, -21.0
ZONE 2	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 3	13.1, -18.0	14.2, -21.0	16.7, -24.0	19.4, -28.0
ZONE 4	14.3, -16.0	15.5, -18.0	18.2, -21.0	21.2, -22.0
ZONE 5	14.3, -18.0	15.5, -20.0	18.2, -24.0	21.2, -28.0

ASSUMED MEAN ROOF HEIGHT: 16'-3"

SEISMIC CONDITION BY ZONE : ZONES A AND B

SUBJECT TO DAMAGE FROM WEATHERING : MODERATE

CLIMATE ZONES (UNLESS OTHERWISE NOTED): ZONES 3 AND 4

WINDWALL DESIGN PRESSURE RATING : DP 25

CEILING R-30 EXCEPT WHERE NOTED OTHERWISE

WINDOW U-FACTOR ≤ 0.35; RECOMMENDED SHGC ≤ 0.30

MISCELLANEOUS

LOCATE ALL CONVEIENCE OUTLETS ABOVE KITCHEN BASE CABINETS 42" ABOVE FINISHED FLOOR.

EMERGENCY EGRESS REQUIREMENTS

IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY COMPLIANCE WITH ALL EGRESS REQUIREMENTS BASED ON SPECIFICATIONS PROVIDED IN THIS PLAN.

2018 NORTH CAROLINA RESIDENTIAL CODE

THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. THE NET CLEAR OPENING SHALL NOT BE LESS THAN 4.0 SQUARE FEET WHERE THE NET CLEAR OPENING SHALL BE AT LEAST 20 INCHES IN WIDTH. THE MINIMUM CLEAR OPENING WIDTH SHALL NOT BE LESS THAN 5.0 SQUARE FEET IN THE CASE OF A GROUND STORY WINDOW AND NOT LESS THAN 5.7 SQUARE FEET IN THE CASE OF A SECOND STORY WINDOW.

2015 INTERNATIONAL RESIDENTIAL CODE

THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. THE NET CLEAR OPENING SHALL NOT BE LESS THAN 5.7 SQUARE FEET EXCEPT GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH SHALL NOT BE LESS THAN 20 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.



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 7200 SUNSET LAKE ROAD FUYQUAY-VARINA, NC 27526
 (919)552-5677
 SEE THESE DESIGN PROVIDED ONLINE AT WWW.STANDARDHOMES.COM



REVISED 02-02-22

NO. MITL SKOWN SHEET
 2 SID. 1 OF 9

WINDOW SCHEDULE	
A	3'-0" X 6'-2" WD. D.H.
B	2'-4" X 5'-2" WD. D.H.
C	2'-8" X 4'-2" WD. D.H.
D	2'-0" X 4'-2" WD. D.H.
E	3'-0" X 5'-2" WD. D.H.
F	
G	
H	

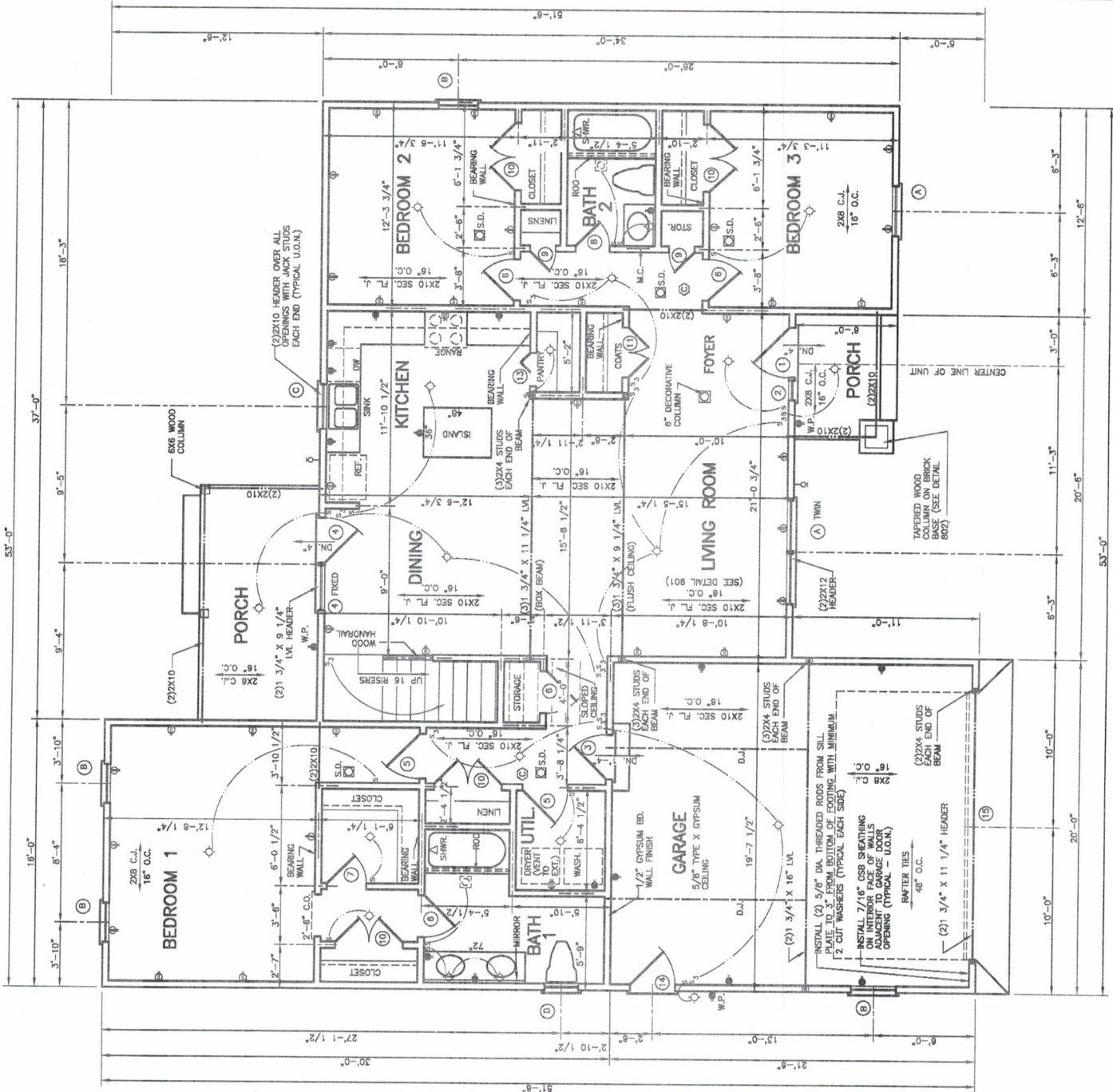
DOOR SCHEDULE	
1	3'-0" X 6'-8" X 1 3/4"
2	SIDE-LITE 1'-2" X 6'-8" X 1 3/4"
3	20-MINUTE FIRE-RATED 2'-8" X 6'-8" X 1 3/4"
4	FRENCH 2'-8" X 6'-8" X 1 3/4"
5	2'-8" X 6'-8" X 1 3/8"
6	2'-8" X 6'-8" X 1 3/8"
7	2'-4" X 6'-8" X 1 3/8"
8	2'-0" X 6'-8" X 1 3/8"
9	1'-8" X 6'-8" X 1 3/8"
10	DOUBLE OPENING 4'-0" X 6'-8" X 1 3/8"
11	DOUBLE OPENING 3'-0" X 6'-8" X 1 3/8"
12	LOANED BIFOLD 4'-0" X 6'-8" X 1 3/8"
13	LOANED BIFOLD 2'-0" X 6'-8" X 1 3/8"
14	9-LITE 2'-8" X 6'-8" X 1 3/4"
15	OVERHEAD GARAGE DOOR 15'-0" X 8'-0"
16	
17	
18	

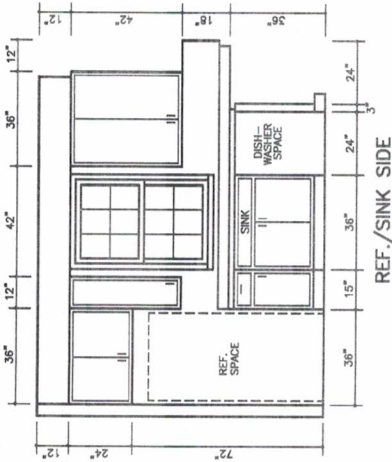
FLOOR PLAN
SCALE: 1/4" = 1'-0"

HEATED AREA : 1564 SQ. FT. IN SIDING
GARAGE : 425 SQ. FT.
TOTAL EXTERIOR ROOM : 961 SQ. FT.
REAR PORCH : 88 SQ. FT.
FRONT PORCH : 38 SQ. FT.
CEILING HEIGHT : 9 FT.

REVISED 02-03-22
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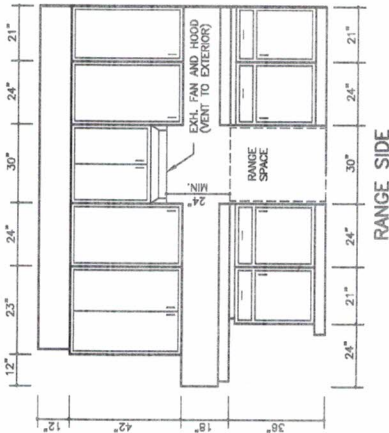
DESIGNED FOR: SERENITY BUILT HOMES
PLAN: **FIONA** NO. **2** SID.
SHEET: 3 of 9





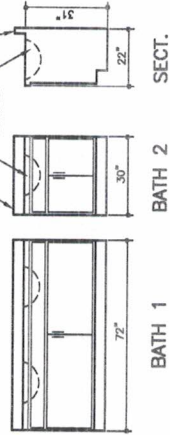
REF./SINK SIDE

KITCHEN CABINET ELEVATIONS
 SCALE: 3/8"=1'-0"
 FOR SECTION THRU CABINETS, SEE DETAIL ON COVER SHEET.

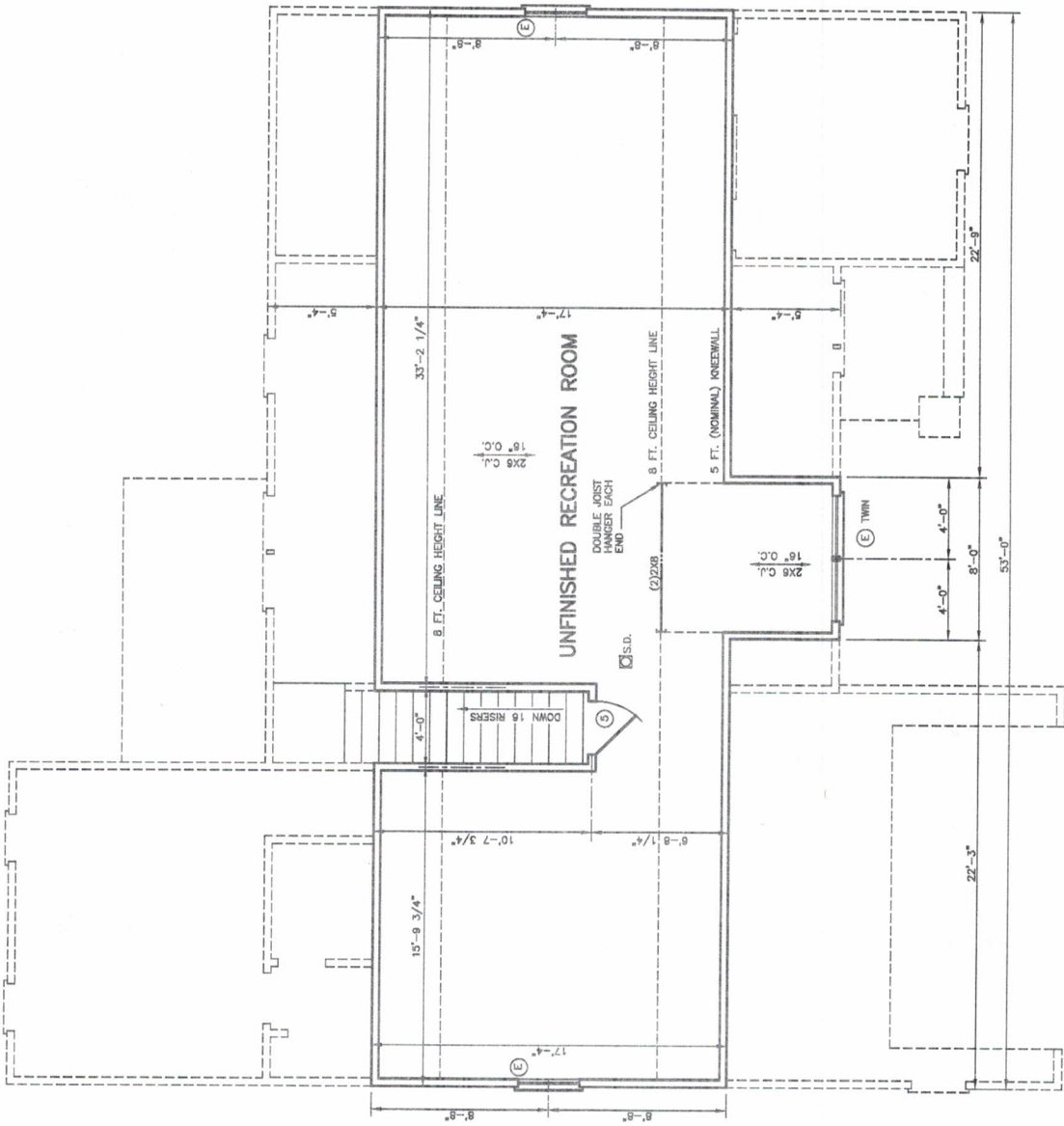


RANGE SIDE

VANITY DETAILS
 SCALE: 3/8"=1'-0"



BATH 1 BATH 2 SECT.



UNFINISHED RECREATION ROOM FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DESIGNED FOR: SERENITY BUILT HOMES

DESIGNED BY: APPROVED

NO. MAT'L SHOWN SHEET: 4 OF 9

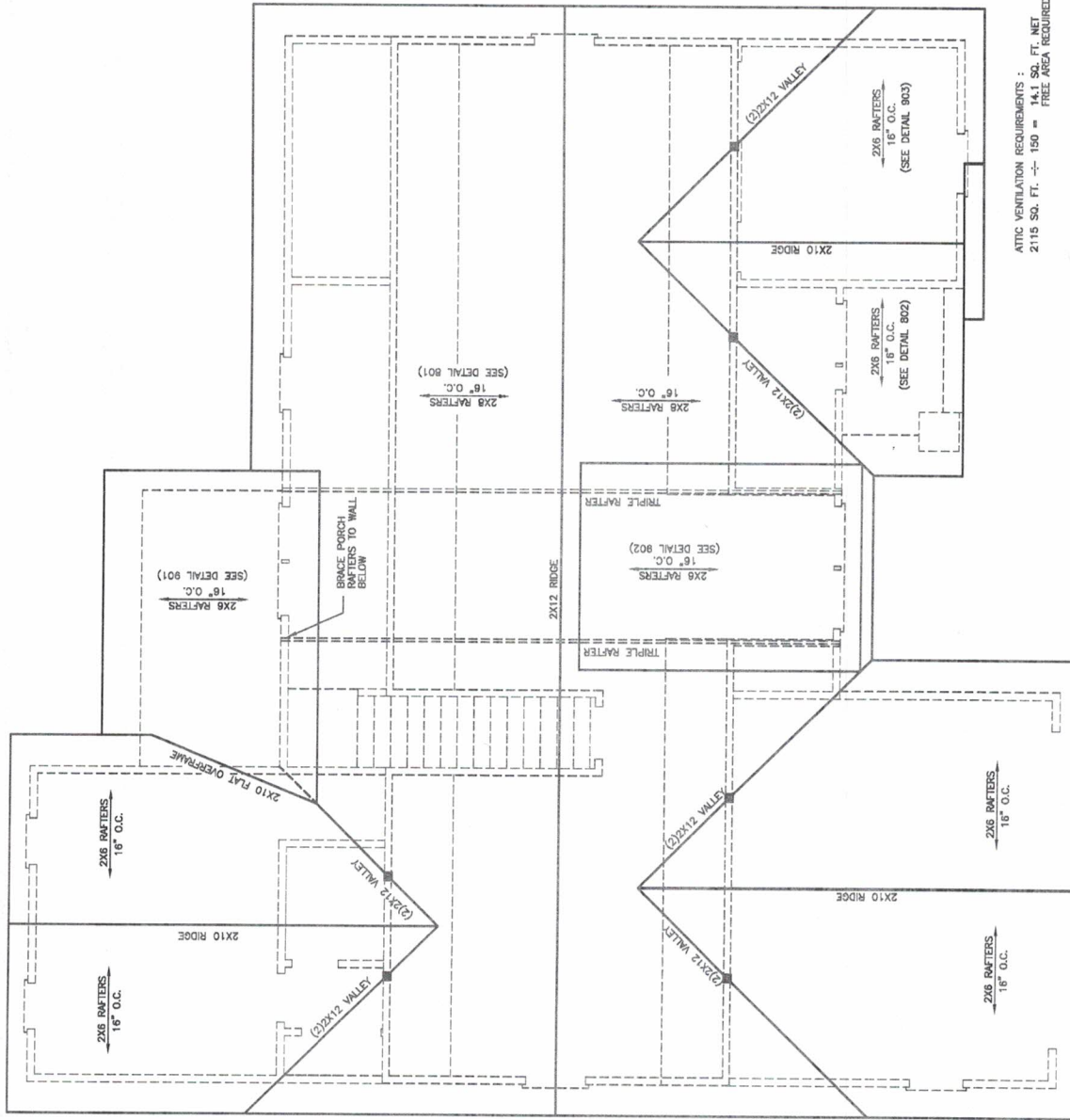
PLAN: FIONA 2 SID.

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SEE HOME DESIGN PROVIDER ONLINE AT WWW.STANDARDHOMES.COM

REVISIONS: 02-02-22



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INDICATES (2)2x4 BRACE TO WALL BELOW

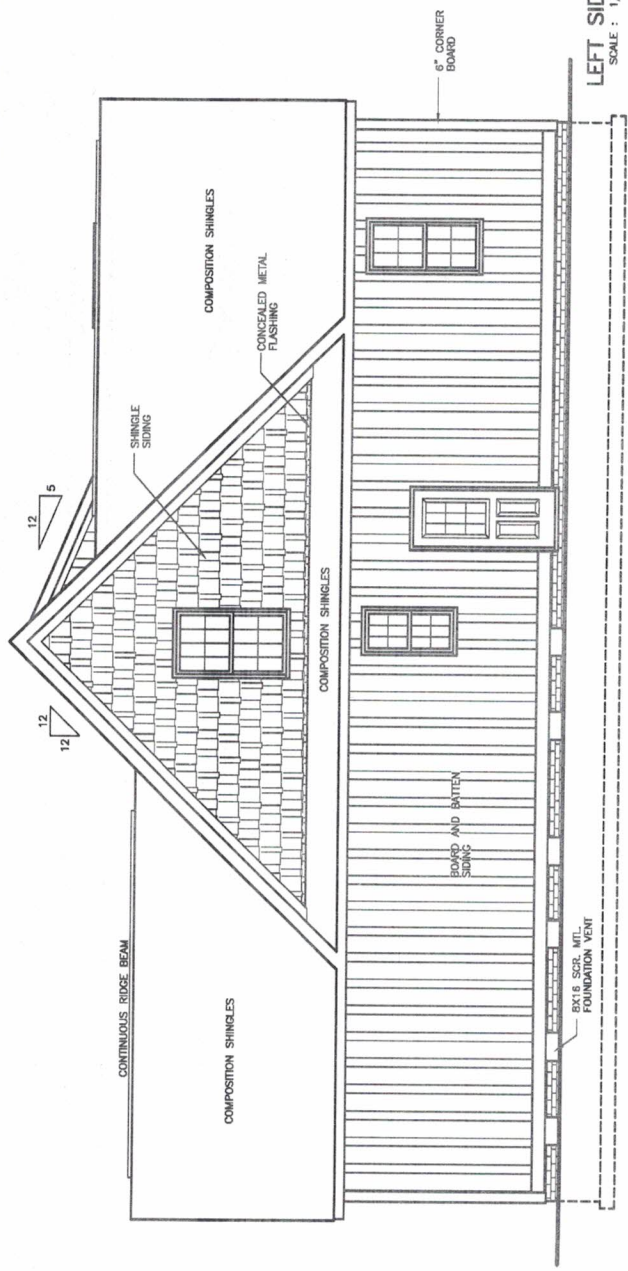
ATTIC VENTILATION REQUIREMENTS :
 2115 SQ. FT. - 150 = 14.1 SQ. FT. NET
 FREE AREA REQUIRED

ROOF PLAN
 SCALE : 1/4" = 1'-0"

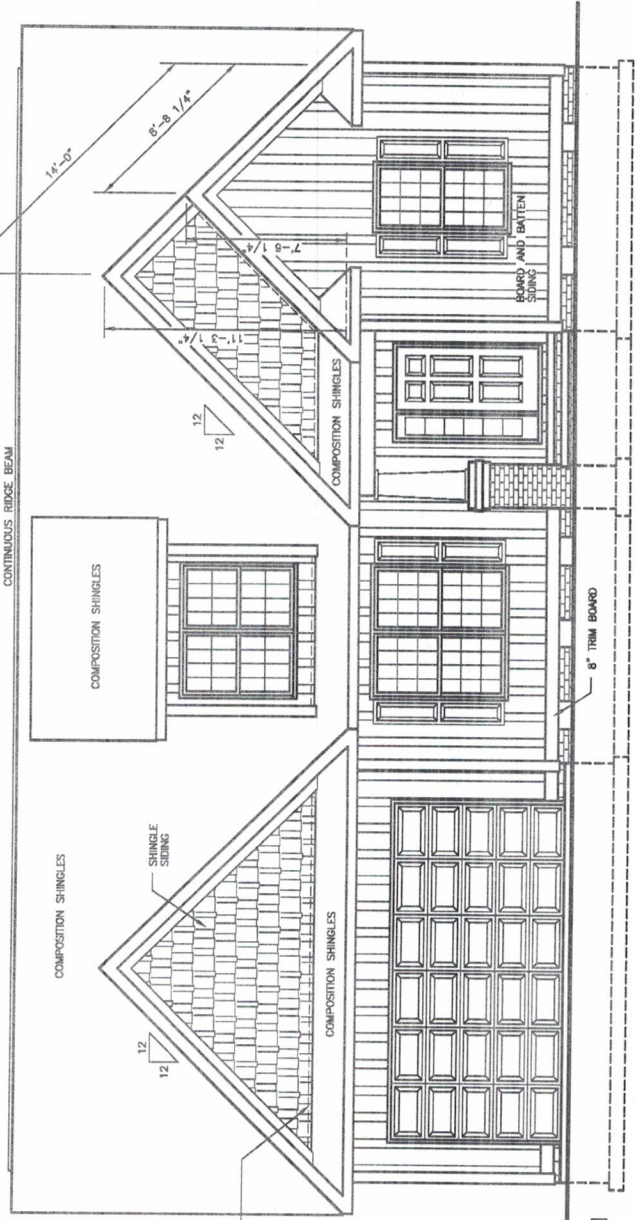
	Standard Homes Plan Service, Inc. 7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526 <small>SEE YOUR DESSAY PROVIDER ONLINE AT WWW.STANDARDHOMES.COM</small>		DESIGNED FOR	PLAN	NO.	AMTL. SHOWN	SHEET
			SERENITY BUILT HOMES	FIONA	2	SID.	5 OF 9

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REMOVE GUTTERS, DOWNSPOUTS AND SPLASHPADS
ACCORDING TO LOCAL CODE AND RAINFALL CONDITIONS.
ALL SPLASHPADS SHALL CARRY WATER 60"
FROM BUILDING.




LEFT SIDE ELEVATION
SCALE : 1/4" = 1'-0"

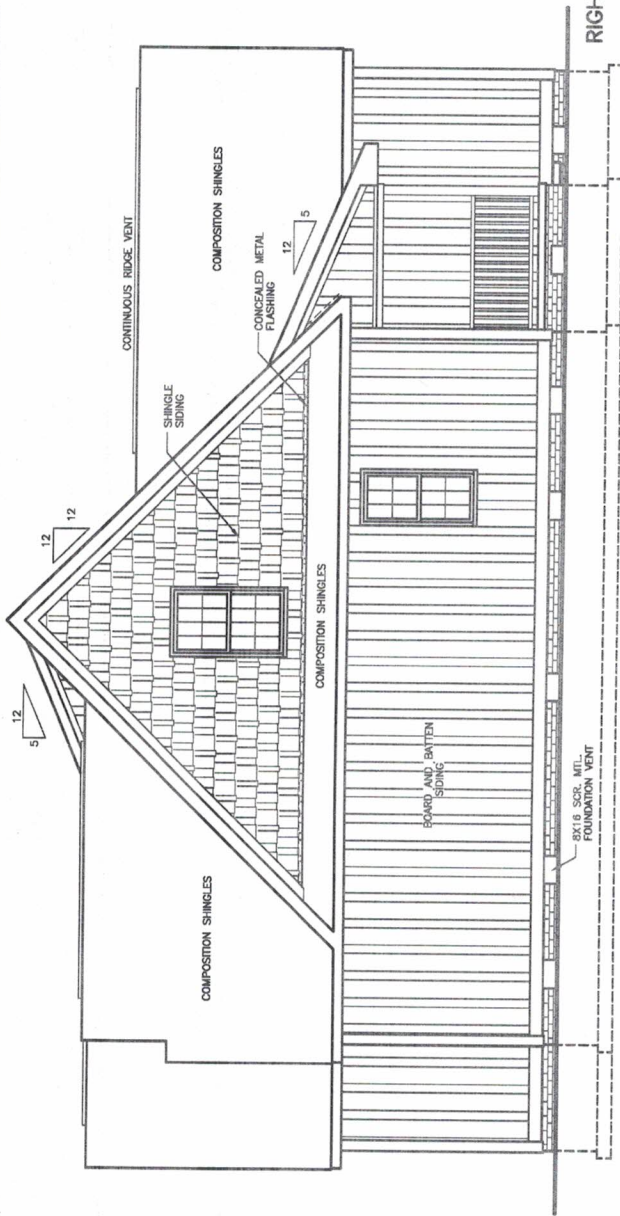


FRONT ELEVATION
SCALE : 1/4" = 1'-0"

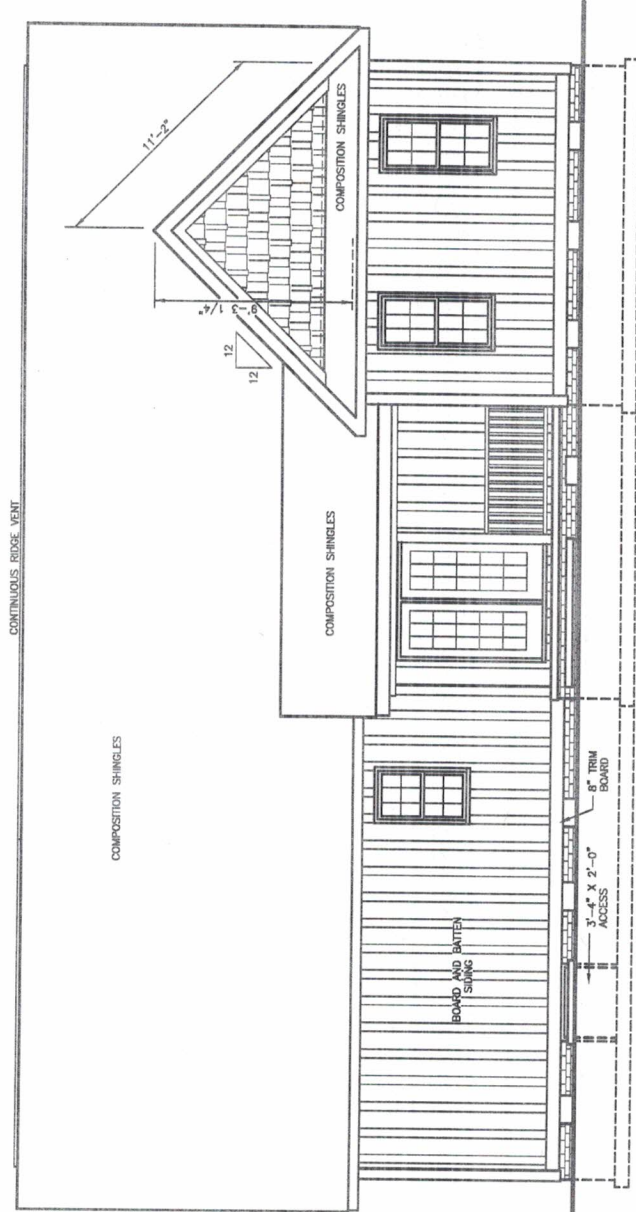
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	DESIGNED FOR	PLAN	NO.	MAT'L SHOWN	SHEET
	SERENITY BUILT HOMES	FIONA	2	SID.	6 of 9

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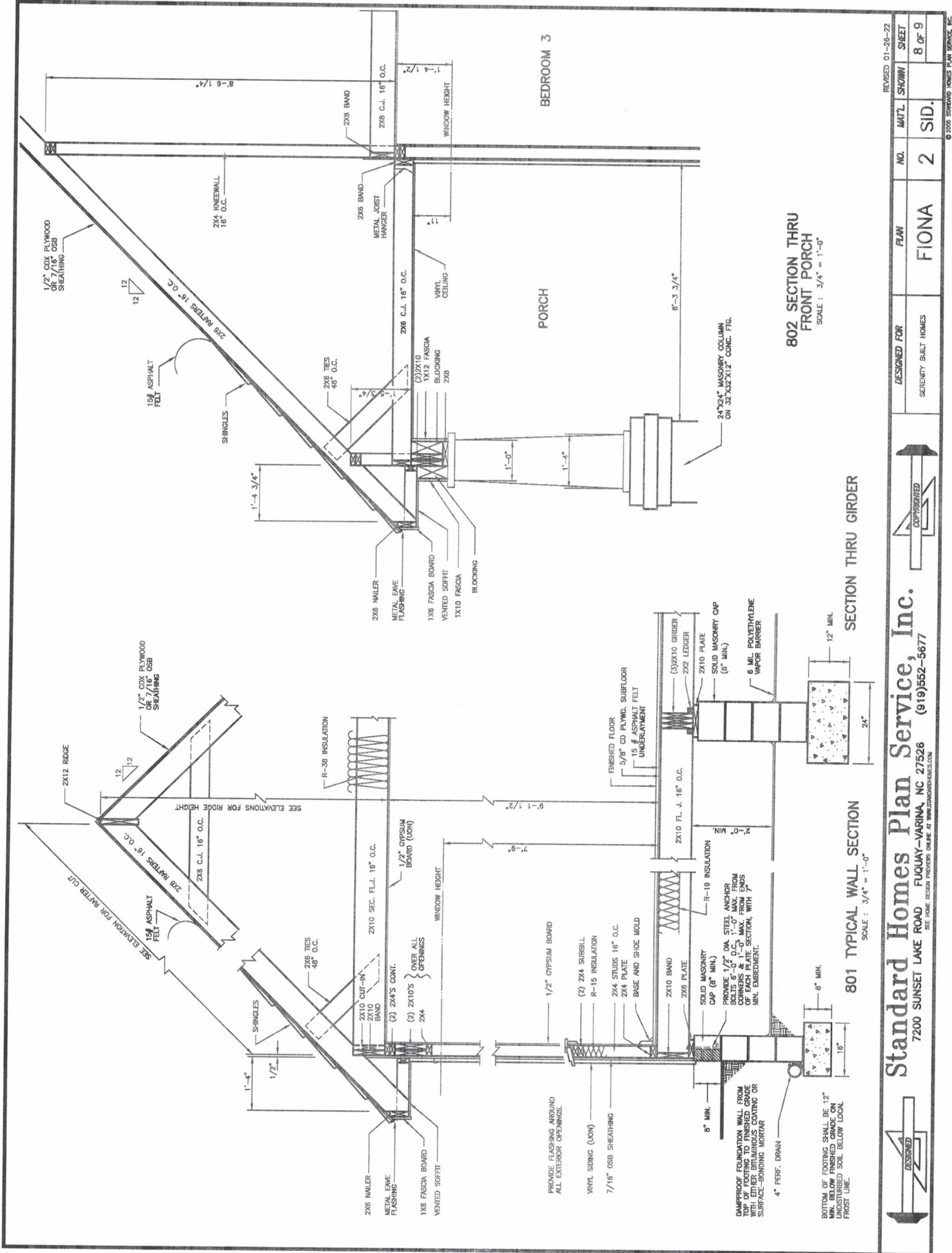


RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

	DESIGNED FOR	PLAN	NO.	MITL SHOWN	SHEET		
	SERENITY BUILT HOMES FUGUAY-VARINA, NC 27526 (919)552-5677 <small>SEE HOME DESIGN PROVIDER ONLINE AT WWW.STANDARDHOMES.COM</small>	FIONA	2	2	7 OF 9		
7200 SUNSET LAKE ROAD FUGUAY-VARINA, NC 27526 (919)552-5677 <small>SEE HOME DESIGN PROVIDER ONLINE AT WWW.STANDARDHOMES.COM</small>		DESIGNED FOR SERENITY BUILT HOMES		PLAN FIONA	NO. 2	MITL SHOWN 2	SHEET 7 OF 9



802 SECTION THRU FRONT PORCH
SCALE: 3/4" = 1'-0"

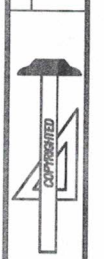
SECTION THRU GIRDER

801 TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"

DESIGNED FOR	DESIGNED BY	NO.	PLAN	SHEET
SERENITY BUILT HOMES	FIONA	2	SID.	8 OF 9

REVISED 01-26-22

8025 STANDARD HOMES PLAN SERVICE, INC.



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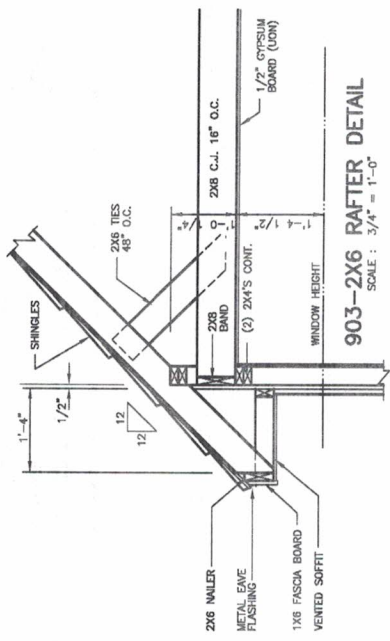
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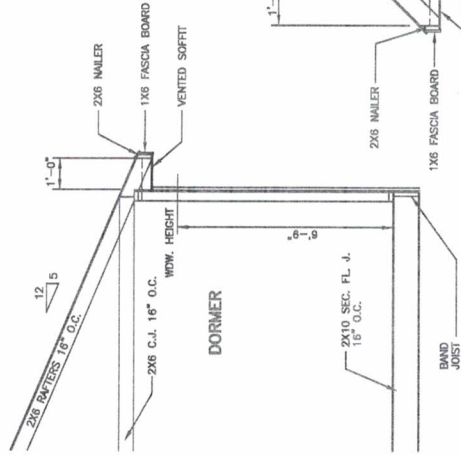
DESIGNED BY

8025 STANDARD HOMES PLAN SERVICE, INC.

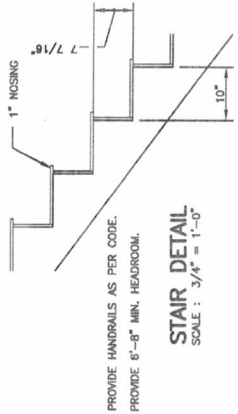
8025 STANDARD HOMES PLAN SERVICE, INC.



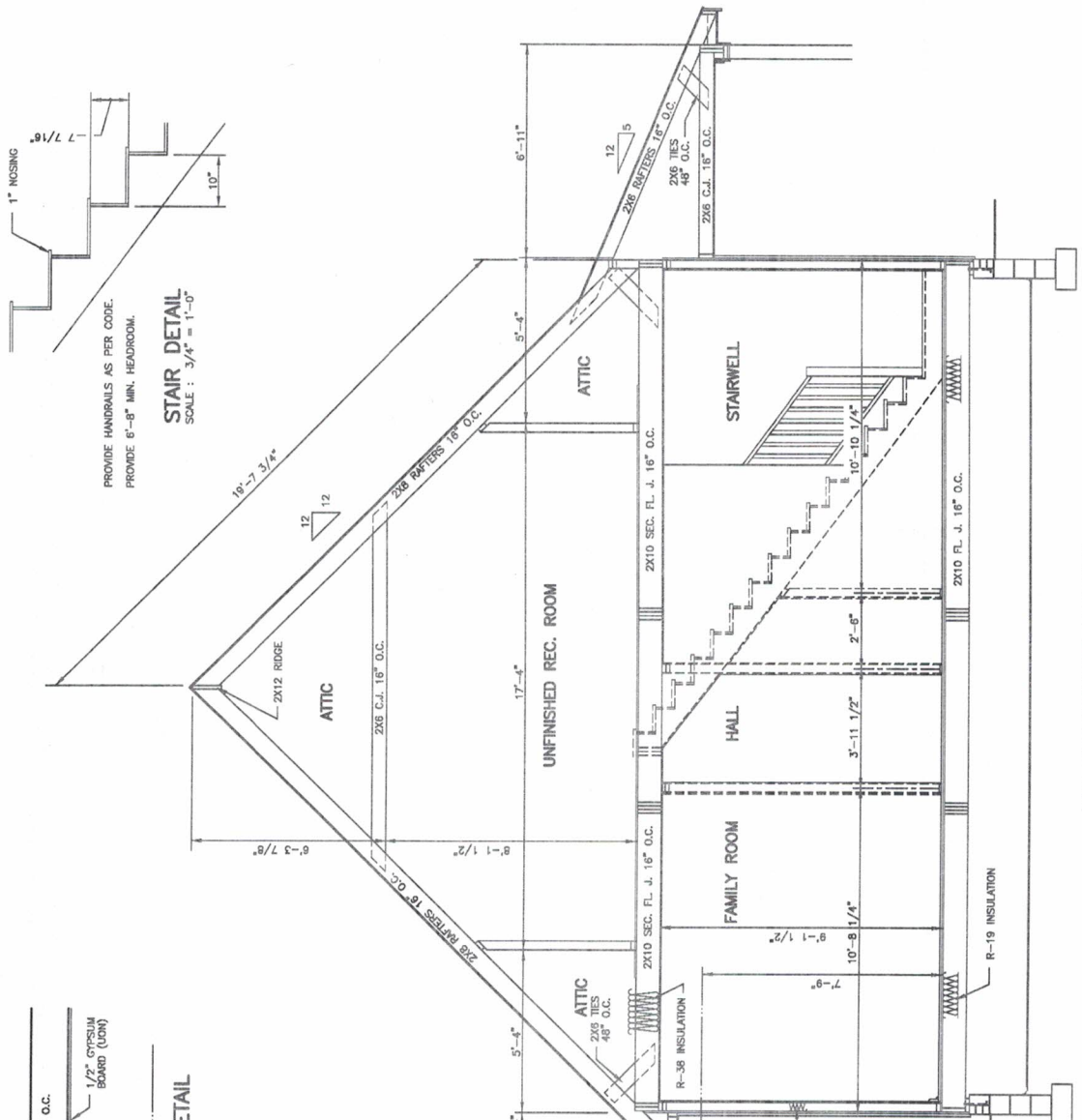
903-2X6 RAFTER DETAIL
SCALE: 3/4" = 1'-0"



902 DORMER SECTION
SCALE: 3/8" = 1'-0"



STAIR DETAIL
SCALE: 3/4" = 1'-0"



901 TRANSVERSE SECTION
SCALE: 3/8" = 1'-0"

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DESIGNED FOR	FIONA	PLAN	NO. 2	MAYL. SHOWN	SHEET	9 OF 9
DESIGNED	COPYRIGHTED	DESIGNED FOR	SERENITY BUILT HOMES			

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