

DOGWOOD

**LOT 466 THE COLONY AT LEXINGTON
INVENTORY MARKED**



COVER SHEET

DREAM FINDERS HOMES
DOGWOOD

DATE: JANUARY 17, 2019
REV.: FEBRUARY 01, 2022
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

CS

LOT 466 COLONY AT LEXINGTON

DOGWOOD REVISION LIST - STRUCTURAL:

- 1.) ADDED JOIST SERIES/SPACING (11-16)
- 2.) CHANGED FRAMING AND REMOVED FOOTINGS AND FOUNDATION SUPPORT FOR THE REMOVED VAULT IN BEDROOM 3. (11-16)
- 3.) ADDED FRAMING FOR CHASE AT SECOND FLOOR (11-16)
- 4.) ADDED/REMOVED EXTRA JOISTS IN CRAWL (11-16)
- 5.) ADDED PLUMBING DIMENSIONS WITH OPTIONAL MASTER MATH ON MONO (11-16)
- 6.) CHANGED ALL GARAGE HEADERS TO (3) PLY (11-16)
- 7.) CHANGED DOUBLE STUD POCKETS TO TRIPLE STUD POCKETS (11-18)
- 8.) REMOVED BRICK FROM REAR PORCH (11-18)
- 9.) REMOVED INTERIOR WALL BRACING PANELS (11-18)
- 10.) 2018 CODE UPDATE (6-19)
- 11.) CHANGE 2X6 EXTERIOR WALLS TO 2X4 EXTERIOR WALLS. (3-11-20)
- 12.) SQUARE FOOTAGES CHANGE ON SECOND FLOOR BETWEEN ALL ELEVATIONS DUE TO CLOSET BUMP OUT (B ELEVATIONS) AND BEDROOM 4 BUMP OUT (C ELEVATIONS) (08-13-20)
- 13.) SQUARE FOOTAGE OF FIRST FLOOR CHANGES WITH B ELEVATIONS DUE TO BUMP OUT IN FOYER (08-13-20)
- 14.) CHANGED ALL EXTERIOR WALLS FROM 2X6 TO 2X4 EXCEPT WHERE SHADED (11-01-20)
- 15.) REMOVED HEADER FROM STANDARD OWNER'S BATHROOM FOR TRANSOM WINDOW THAT WAS REMOVED (09-07-22)
- 16.) BASEMENT INTERIOR WALLS CHANGED FROM 2X4 TO 2X6 (09-28-22)
- 17.) CHANGED WALL BETWEEN FAMILY ROOM AND KITCHEN TO 2X6 (09-28-22)
- 18.) CHANGED OPENING FROM FOYER TO FAMILY ROOM FROM 4'-6" TO 4'-4" (09-28-22)

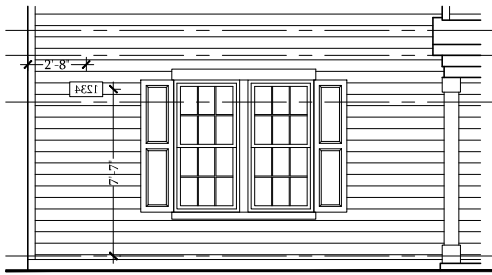
DOGWOOD REVISION LIST - ARCHITECTURAL:

- NOVEMBER 01, 2020
- | | |
|---|---|
| <ol style="list-style-type: none"> 1. CREATED ELEVATIONS TO BE IN STANDARDS WITH OTHER PLANS (SEE SHEETS A-1 THROUGH A-3.5) 2. CHANGED COLUMNS ON ELEVATIONS TO STANDARD COLUMNS 3. CHANGED GARAGE DOORS TO REPRESENT STANDARD GARAGE DOOR FOR EACH ELEVATION 4. FIXED COVERED PORCH TO KEEP COLUMNS FROM OVERLAPPING EDGE OF CONCRETE 5. REMOVED GRIDS FROM TRANSOMS ABOVE FRONT DOOR 6. ADDED NOTE FOR GARAGE DOOR "GARAGE DOOR PER SPECIFICATIONS AND GLASS INSERT (TOP PANEL ONLY)" 7. MOVED ROOF PLANS TO SHEETS S-4 8. ROOF ABOVE COVERED PATIO CHANGED TO SHED ROOF (SEE ON SIDE AND REAR ELEVATIONS) 9. REMOVED OPTION FOR FIREPLACE IN OWNER'S BEDROOM 10. CREATED SLAB INTERFACE PLAN (SEE SHEET A-4 THROUGH A-4.2) 11. MOVED ALL OPTIONS OFF BASE PLAN AND PLACED ON SEPARATE SHEET 12. ADDED NOTE FOR FLUSH COUNTERTOP ON ISLAND AND 34 1/2" H. WALL UNDER 13. CHANGED PATIO SIZE TO STANDARD 12'X10' 14. ADDED OPTIONAL GAS LINE 15. CHANGED NAME OF "FLEX ROOM" TO "STUDY" 16. CHANGED "BREAKFAST ROOM" TO "CASUAL DINING" 17. ADDED 2ND HOSE BIB 18. CALLED OUT "45" WALL WITH CAP" AS STANDARD 19. CHANGED ALL EXTERIOR WALLS FROM 2X6 TO 2X4 EXCEPT WHERE SHADED 20. ADDED NOTE "OPT. REF." 21. ADDED NOTE "OPT. W/D" 22. ADDED NOTE "WASHER ALWAYS TO BE LOCATED TO THE LEFT OF DRYER" 23. ADDED PDS ATTIC ACCESS 24. VERIFIED VENTILATION AND LIGHT REQUIREMENTS AT OWNER'S BEDROOM MEETS CODE (11-01-20) 25. SQUARE FOOTAGES ARE UPDATED AND CHANGED DUE TO MOVEMENT OF WALL DOWN CENTER OF HOUSE TO KEEP WALLS FROM MOVING BETWEEN ELEVATION CHOICES 26. SQUARE FOOTAGE OF COVERED PORCH CHANGED DUE TO KEEPING COLUMNS FROM OVERLAPPING CONCRETE EDGE 27. CREATED PARTIAL PLANS FOR B & C ELEVATIONS (FLOOR, SLAB, & ELECTRICAL) 28. REMOVED ALL WALL OUTLETS 29. REMOVED ALL PHONE OUTLETS 30. REMOVED ALL TV OUTLETS 31. PLACED STANDARD 3 BULB LIGHT IN KITCHEN 32. VERIFIED COACH LIGHT LOCATIONS (SEE ELEVS. | <ol style="list-style-type: none"> FOR DIMS.) 33. PLACED DASHED FANS WHERE APPLICABLE WITH NOTE "STD. LIGHT, OPT. FAN/LT PREWIRE" 34. UPDATED ELECTRICAL KEY 35. REMOVED UNDER CABINET LIGHTINGS 36. VERIFIED CO2 DETECTOR LOCATIONS 37. SHOWED PENDANT LIGHTS AS OPTIONAL 38. SHOWED CAN LIGHTS IN KITCHEN AND FAMILY ROOM AS "OPTIONAL CAN LIGHTS" 39. PLACED OPTIONAL FLOOD LIGHTS 40. PLACED OPTIONAL FLOOR OUTLET IN FAMILY ROOM 41. PLACED CALCULATIONS FOR SOFFIT AND RIDGE VENT REQUIREMENTS 42. CHANGED LAYOUT FOR BASE OWNER'S BATHROOM 43. ADDED OPTIONAL OWNER'S BATH 2 & OWNER'S BATH 3 44. REMOVED "OPTIONAL COVERED DECK AT OWNER'S BATH"
FEBRUARY 01, 2022 45. ADDED OPTIONAL DOUBLE GARAGE DOOR FLOOR PLAN TO FIRST FLOOR OPTIONS SHEET (02-01-22) 46. ADDED OPTIONAL BASEMENT TO PLANS (02-01-22) 47. REMOVED TRANSOM WINDOW FROM OWNER'S BATH 1 (09-07-22) 48. CHANGED BASEMENT INTERIOR WALLS TO 2X6 (09-28-22) 49. CHANGED WALL BETWEEN FAMILY ROOM AND KITCHEN TO 2X6 (09-28-22) 50. CHANGED OPENING FROM FOYER TO FAMILY ROOM FROM 4'-6" TO 4'-4" (09-28-22) 51. RECENTERED WINDOWS AND FIREPLACE IN FAMILY ROOM (09-28-22) 52. CREATED CHASE ON TUB SIDE OF OWNER'S BATH 2 BY REMOVING SOME DEPTH FROM EXISTING CHASE ON SHOWER SIDE TO GET CLEARANCE FOR TUBS FAUCET (11-01-23) 53. CREATED EQUAL CHASE IN SHOWER LOCATION FOR PRIMARY OWNER'S BATH 2 (11-01-23) 54. WINDOW OF OWNER'S BATH 2 MOVED BY 7" (11-01-23) 55. CHANGED OWNER'S BEDROOM TO PRIMARY BEDROOM (11-01-23) 56. CHANGED OWNER'S BATH TO PRIMARY BATH(11-01-23) |
|---|---|



Front Elevation-A-1

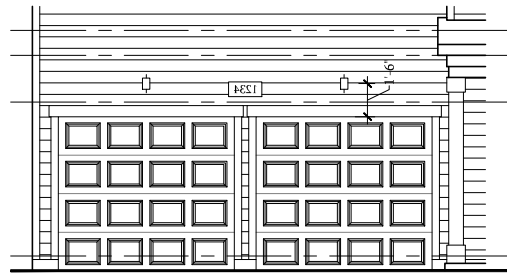
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Front Elevation

W/ Opt 2-Car side load Garage

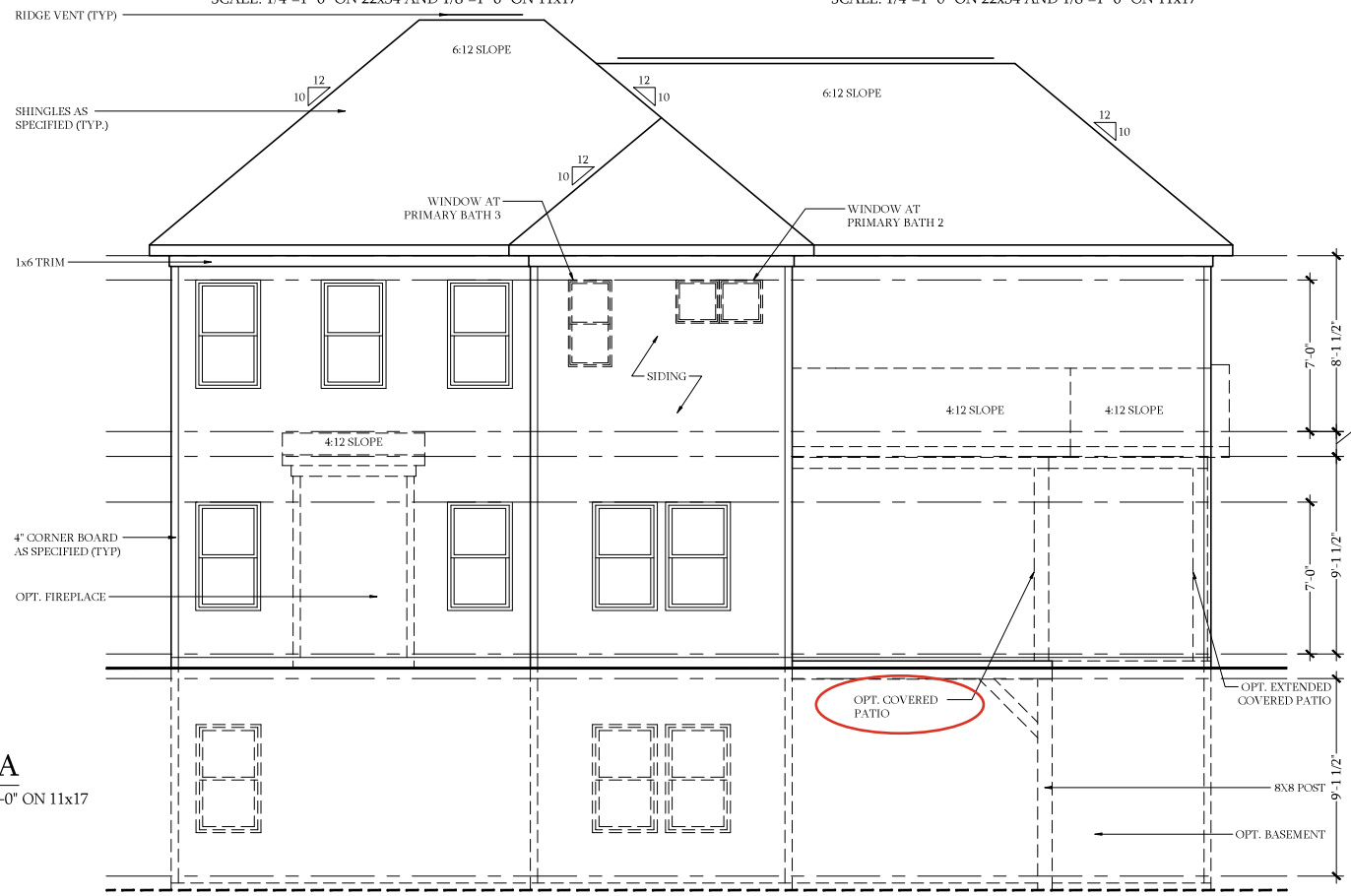
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Front Elevation

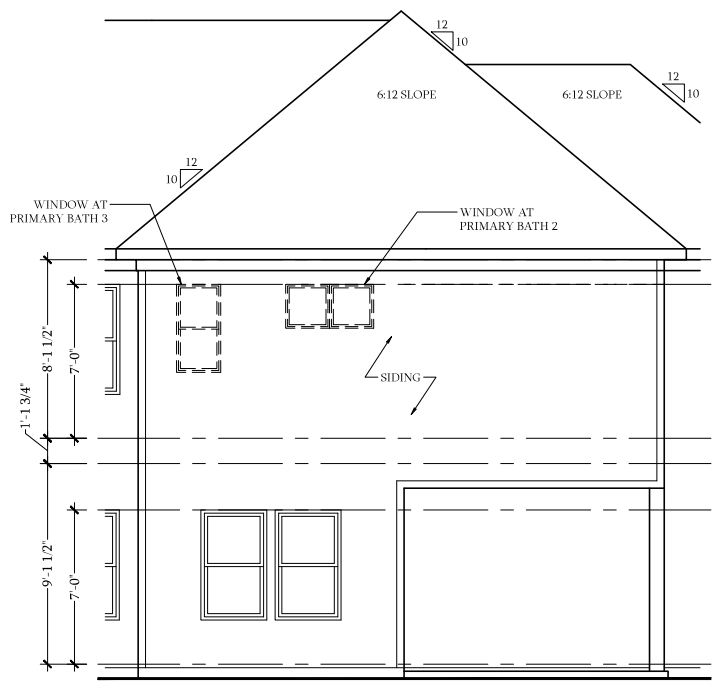
W/ Opt Double Load Garage

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Rear Elevation-A

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Rear Elevation

(w/ Opt. Extended W.I.C.)

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

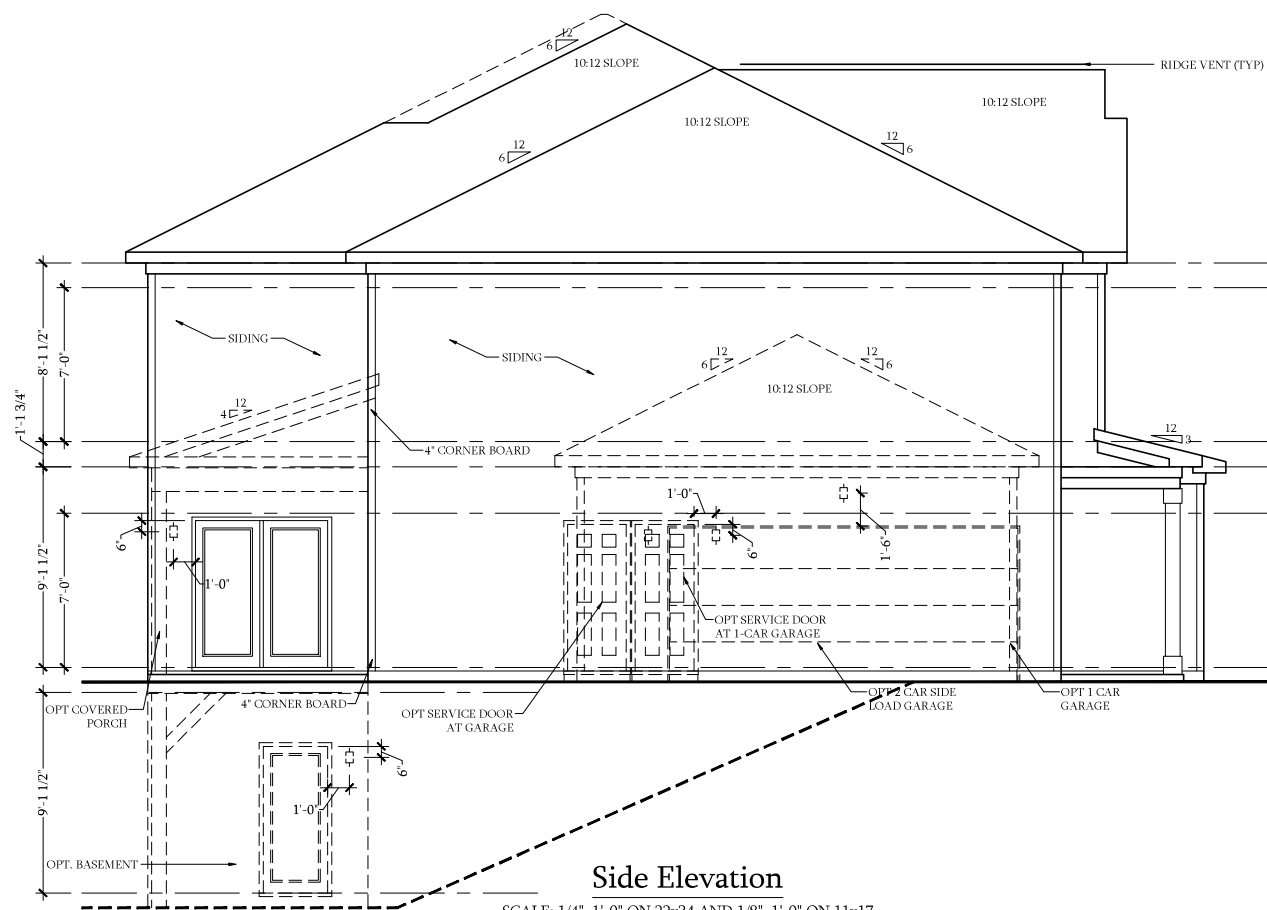


PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, MATERIALS, FINISHES, AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. DIMENSIONS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME. DREAM FINDERS HOMES. ©

DREAM FINDERS HOMES
DOGWOOD

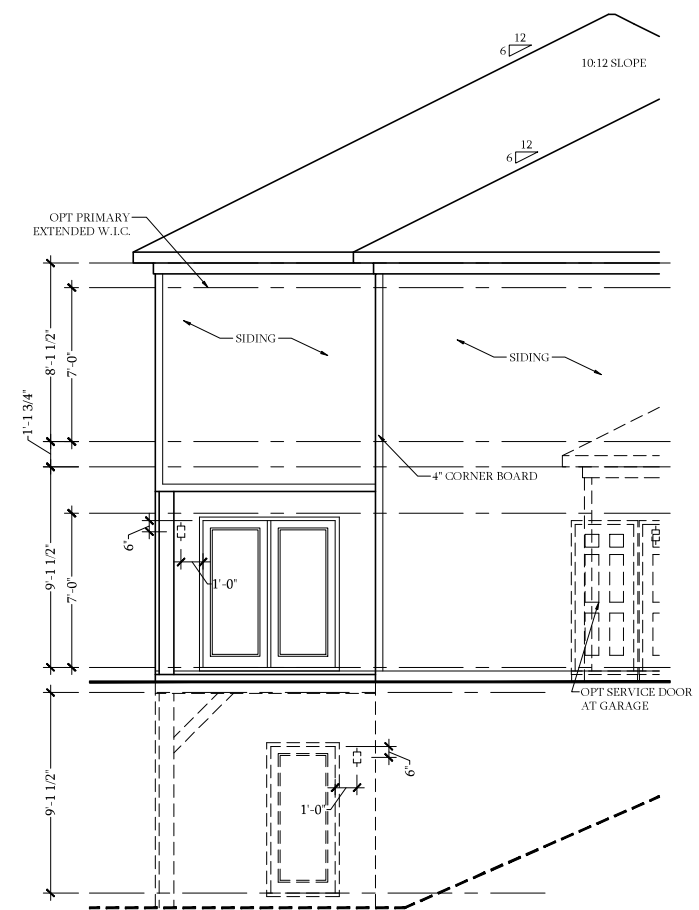
DATE: JANUARY 17, 2019
REV.: FEBRUARY 01, 2022
SCALE: AS NOTED
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

A - ELEVATIONS
A-1

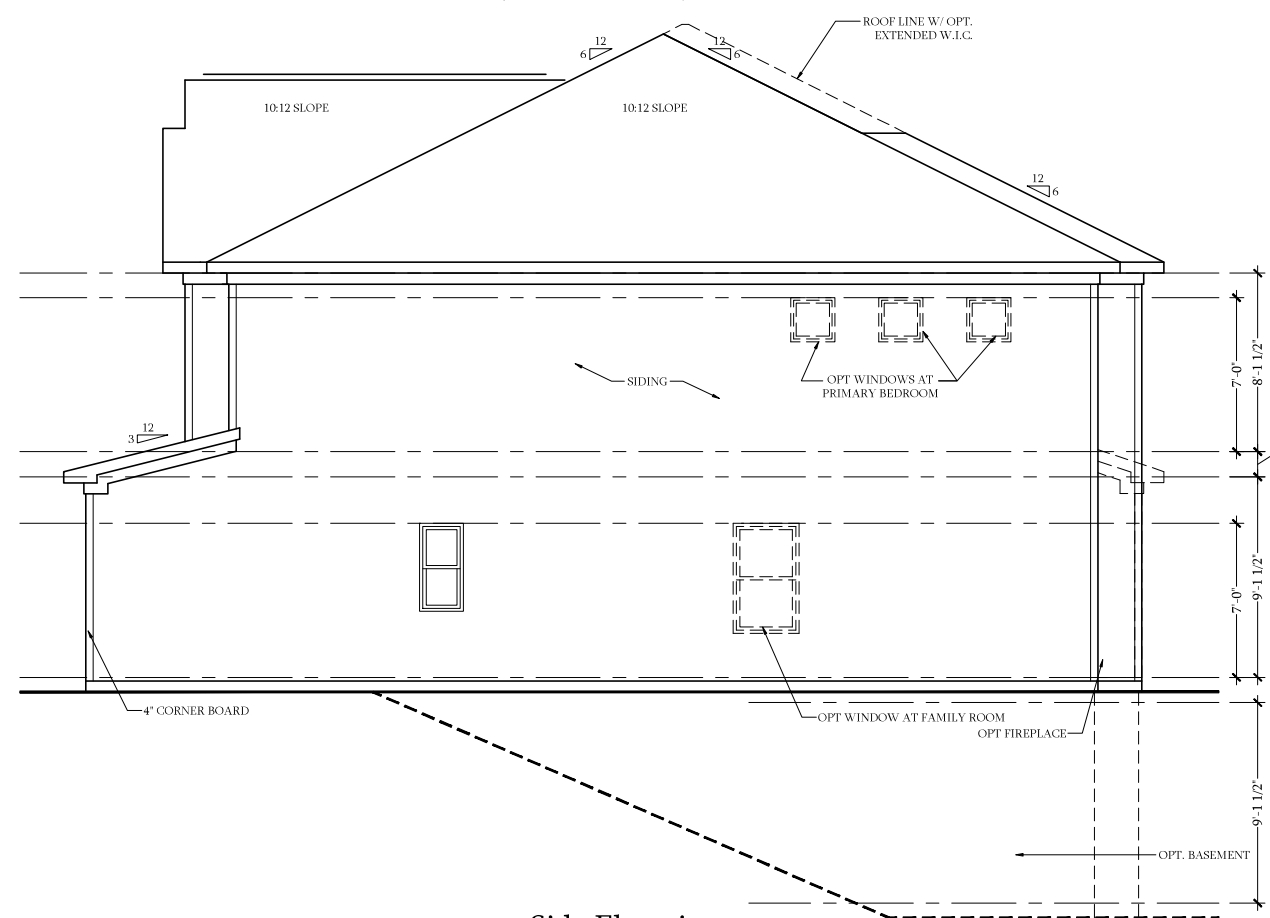


Side Elevation

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



**Side Elevation
w/ Extended W.I.C.**



Side Elevation

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

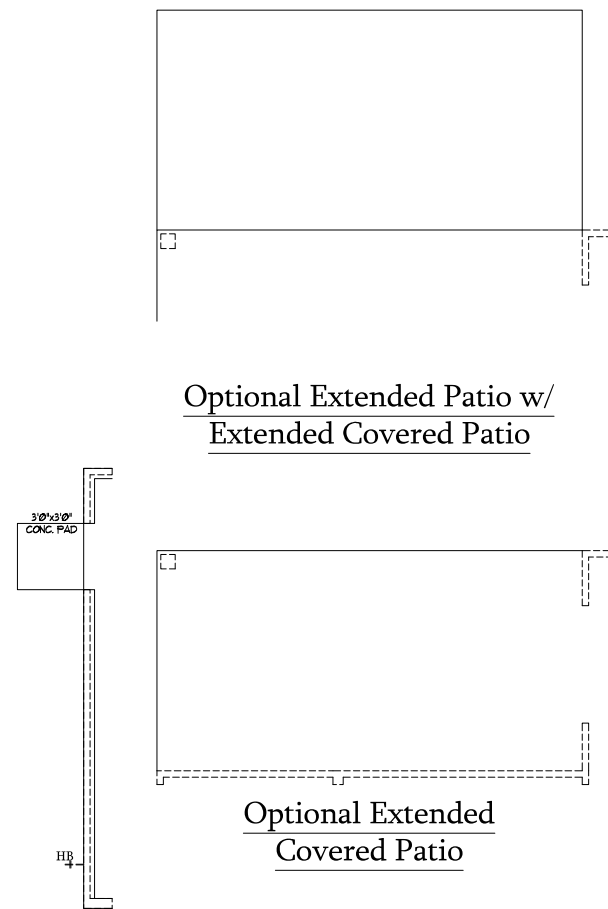


PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FINANCING OFFERS, AND OTHER MARKETING MATERIALS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME CURRENT DETAILS. COPYRIGHT © DREAM FINDERS HOMES

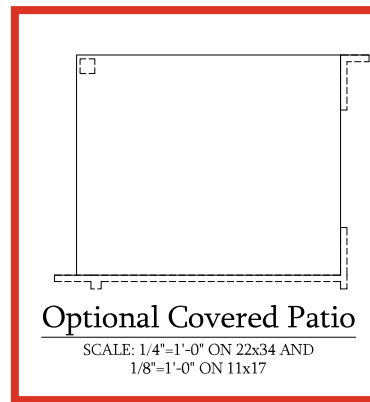
DREAM FINDERS HOMES
DOGWOOD

DATE: JANUARY 17, 2019
REV: FEBRUARY 01, 2022
SCALE: AS NOTED
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

A ELEVATION
SIDE ELEVATIONS
A-1.1

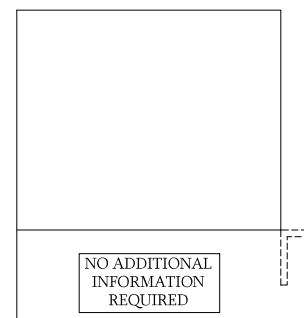


**Optional Extended Patio w/
Extended Covered Patio**



Optional Covered Patio
SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17

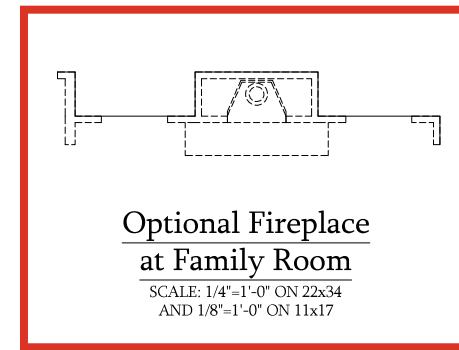
NO ADDITIONAL
INFORMATION
REQUIRED



Optional Extended Patio

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17

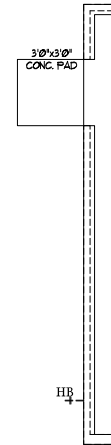
NO ADDITIONAL
INFORMATION
REQUIRED



**Optional Fireplace
at Family Room**

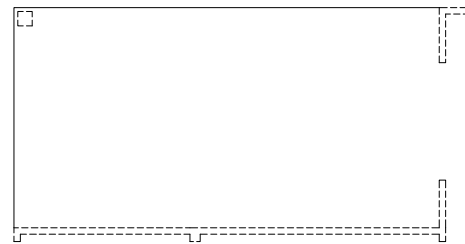
SCALE: 1/4"=1'-0" ON 22x34
AND 1/8"=1'-0" ON 11x17

NO ADDITIONAL
INFORMATION
REQUIRED



**Optional Service Door
at 1-Car Carriage Garage**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17

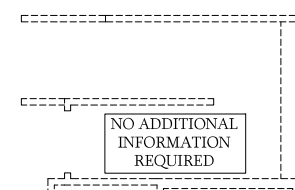


**Optional Extended
Covered Patio**

**Optional Valet at
Garage Entry**

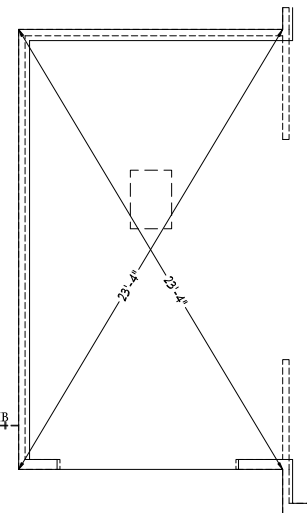
SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17

NO ADDITIONAL
INFORMATION
REQUIRED



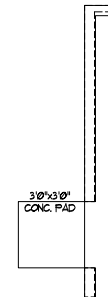
**Optional Window
at Family Room**

SCALE: 1/4"=1'-0" ON 22x34
AND 1/8"=1'-0" ON 11x17



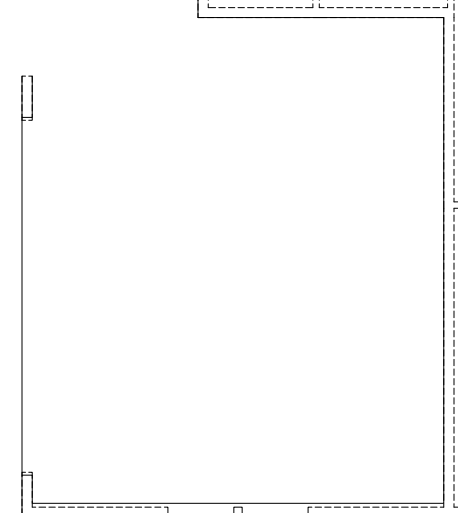
Optional 1-Car Carriage Garage

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



**Optional Service
Door at Garage**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



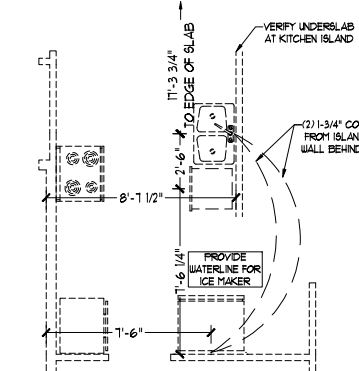
Optional 2-Car Side Load Garage

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17

**Optional Drop Zone
at Garage Entry**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17

NO ADDITIONAL
INFORMATION
REQUIRED

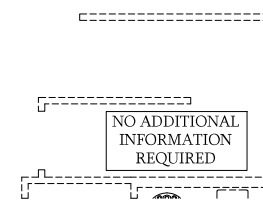


Optional Gourmet Kitchen

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17

**Stairs to Optional
Basement**

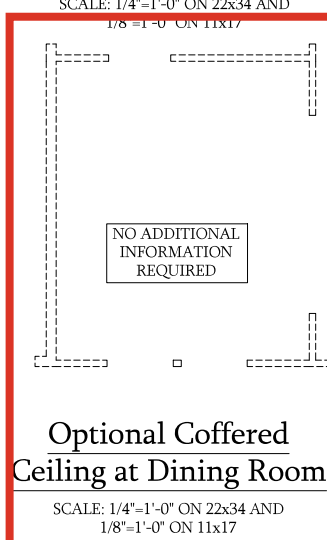
SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



**Optional Open Rail
ILO 45" Wall w/ Cap**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17

NO ADDITIONAL
INFORMATION
REQUIRED



**Optional Coffered
Ceiling at Dining Room**

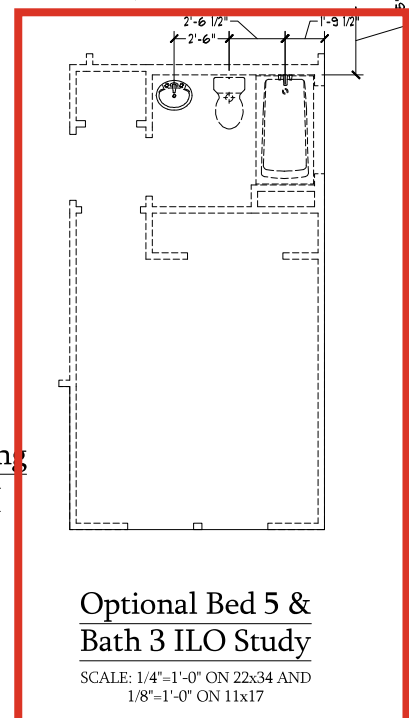
SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17

NO ADDITIONAL
INFORMATION
REQUIRED

NO ADDITIONAL
INFORMATION
REQUIRED

**Optional Bi-Swing
Doors at Study**

SCALE: 1/4"=1'-0" ON 22x34
AND 1/8"=1'-0" ON 11x17



**Optional Bed 5 &
Bath 3 ILO Study**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



Optional Double Garage Door

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



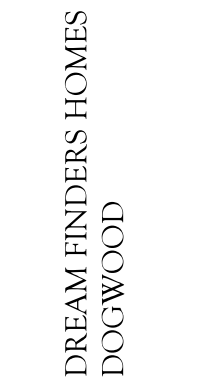
**Optional 2-Car Side Load Garage
w/ Elev. B**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17

NO ADDITIONAL
INFORMATION
REQUIRED

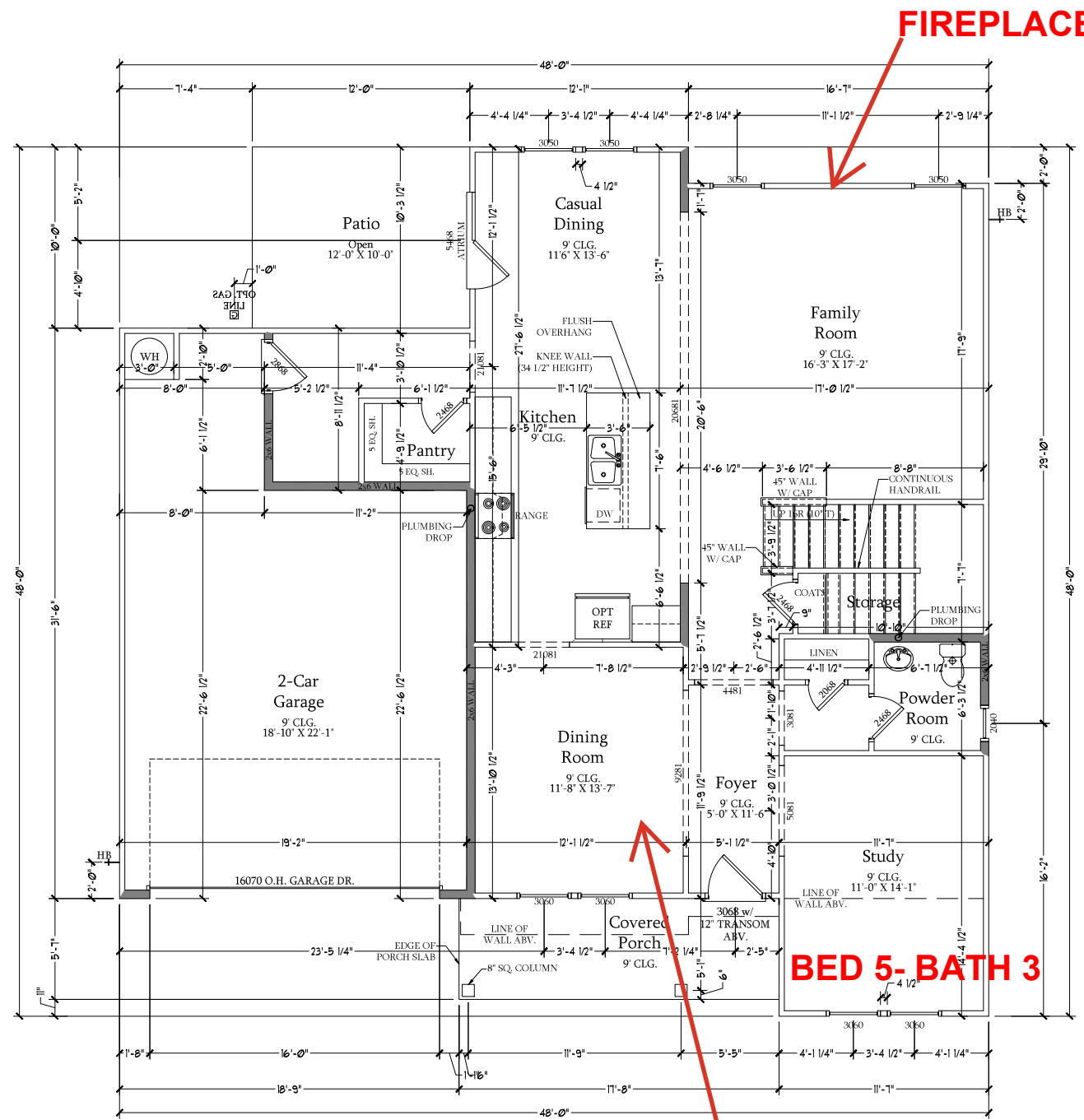


PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, DIMENSIONS, FINISHES, AND MATERIALS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. DIMENSIONS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME. DREAM FINDERS HOMES. © CURRENT DETAILS. COPYRIGHT © DREAM FINDERS HOMES



DATE: JANUARY 17, 2019
REV.: FEBRUARY 01, 2022
SCALE: 1/4"=1'-0"
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

SLAB INTERFACE
PLAN - OPTIONS
A-4.1



First Floor Plan
 SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17

FIREPLACE

COFFERED CEILING

BED 5-BATH 3

ELEVATION A SQUARE FOOTAGE	
1st FLOOR:	1331 SQ. FT.
2nd FLOOR:	1661 SQ. FT.
TOTAL:	3004 SQ. FT.
GARAGE:	503 SQ. FT.
FRONT PORCH:	38 SQ. FT.
STD. REAR PATIO:	100 SQ. FT.
OPT. BASEMENT:	1269 SQ. FT.
1st FLOOR OPTIONS	
OPT. FIREPLACE:	11 SQ. FT.
2nd FLOOR OPTIONS	
OPT. OWNER'S EXTENDED W.C.G.:	18 SQ. FT.
UNHEATED OPTIONS	
OPT. 1-CAR GARAGE:	240 SQ. FT.
OPT. REAR COVERED PORCH:	120 SQ. FT.
OPT. 2'x10' EXTENDED PATIO:	120 SQ. FT.
OPT. EXTENDED PATIO:	133 SQ. FT.
OPT. EXTENDED COVERED PORCH:	133 SQ. FT.
OPT. COVERED DECK:	120 SQ. FT.

ELEVATION A SQUARE FOOTAGE w/ FULL BRICK VENEER	
1st FLOOR:	1379 SQ. FT.
2nd FLOOR:	1716 SQ. FT.
TOTAL:	3095 SQ. FT.
GARAGE:	575 SQ. FT.
FRONT PORCH:	98 SQ. FT.
STD. REAR PATIO:	100 SQ. FT.
OPT. BASEMENT:	1269 SQ. FT.
1st FLOOR OPTIONS	
OPT. FIREPLACE:	15 SQ. FT.
2nd FLOOR OPTIONS	
OPT. OWNER'S EXTENDED W.C.G.:	171 SQ. FT.
UNHEATED OPTIONS	
OPT. 1-CAR GARAGE:	240 SQ. FT.
OPT. REAR COVERED PORCH:	120 SQ. FT.
OPT. 2'x10' EXTENDED PATIO:	120 SQ. FT.
OPT. EXTENDED PATIO:	133 SQ. FT.
OPT. EXTENDED COVERED PORCH:	133 SQ. FT.
OPT. COVERED DECK:	120 SQ. FT.

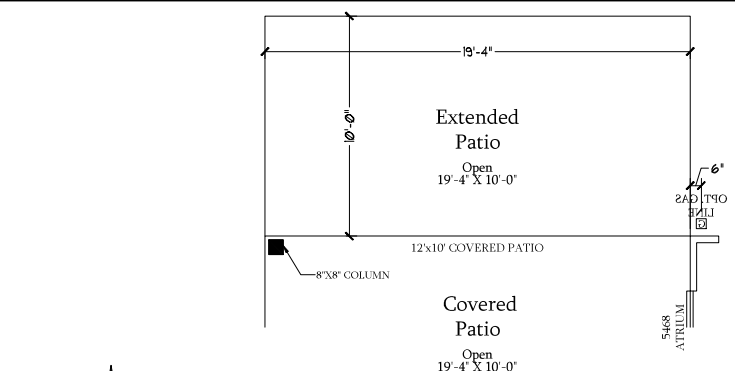


PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. DIMENSIONS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME. © 2022 DREAM FINDERS HOMES

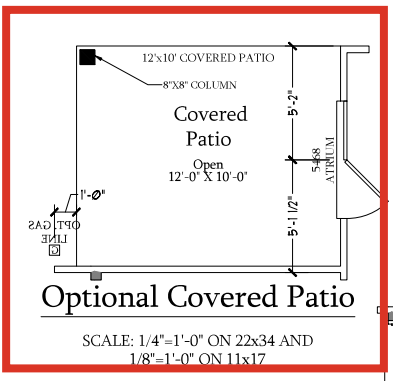
DREAM FINDERS HOMES
 DOGWOOD

DATE: JANUARY 17, 2019
 REV.: FEBRUARY 01, 2022
 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:

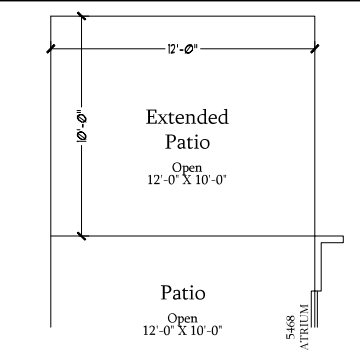
FIRST FLOOR
 PLAN
 A-6



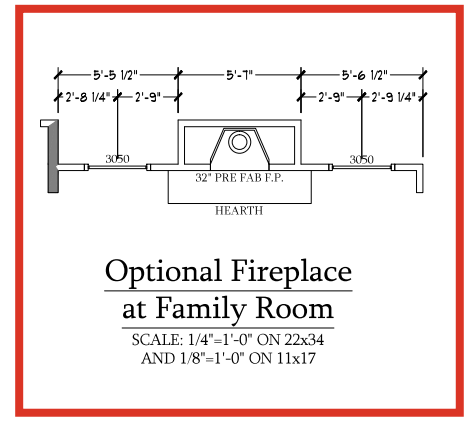
Optional Extended Patio w/ Extended Covered Patio
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



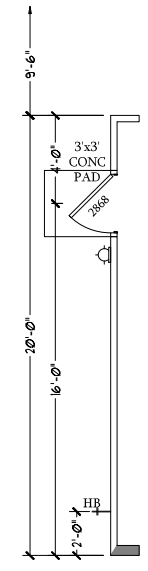
Optional Covered Patio
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



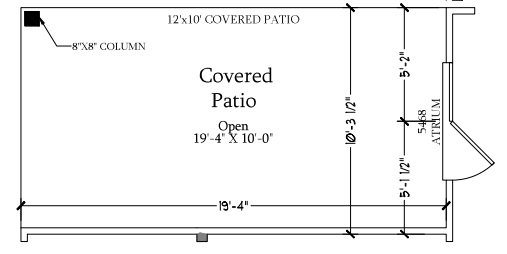
Optional Extended Patio
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



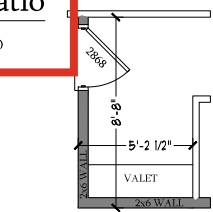
Optional Fireplace at Family Room
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



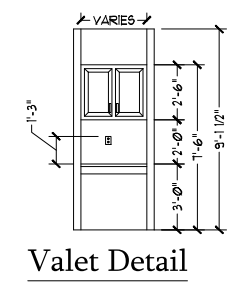
Optional Service Door at 1-Car Carriage Garage
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



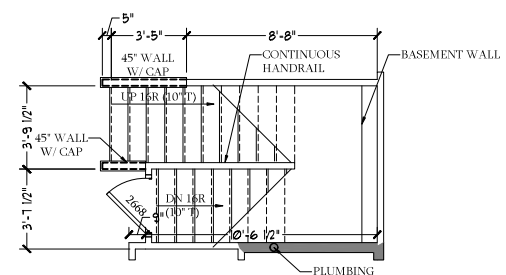
Optional Extended Covered Patio
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



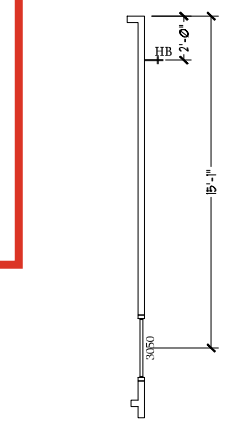
Optional Valet at Garage Entry
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



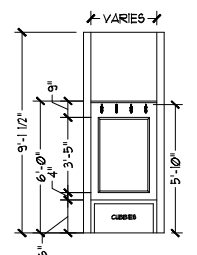
Valet Detail



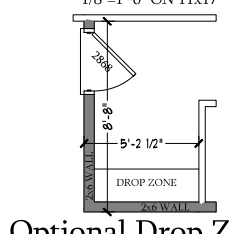
Stairs to Optional Basement
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



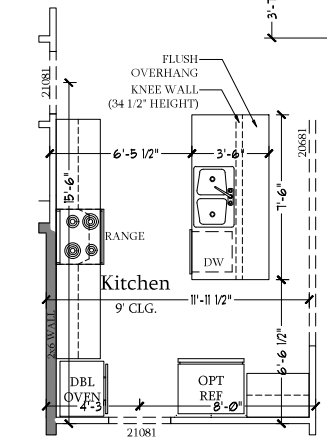
Optional Window at Family Room
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



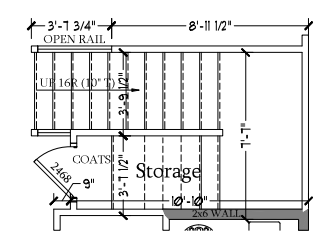
Drop Zone Detail



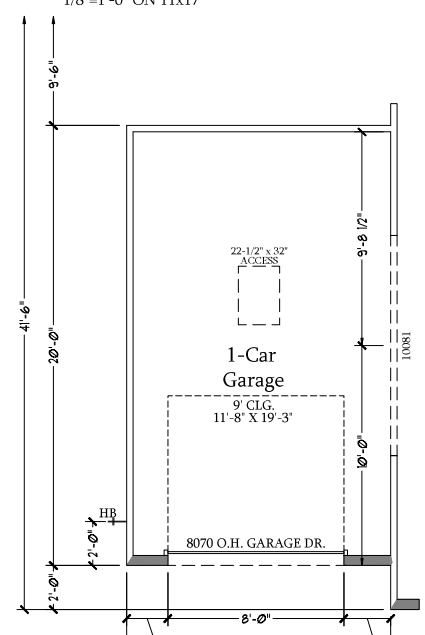
Optional Drop Zone at Garage Entry
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



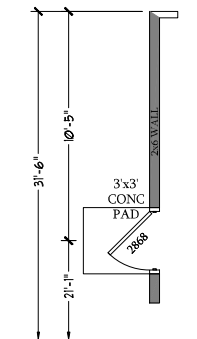
Optional Gourmet Kitchen



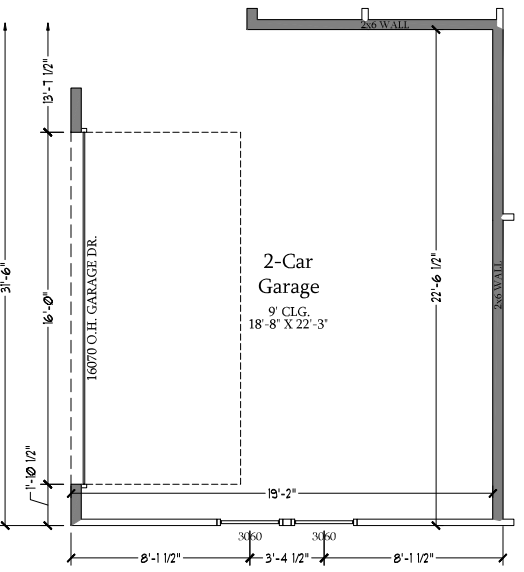
Optional Open Rail ILO 45" Wall w/ Cap
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



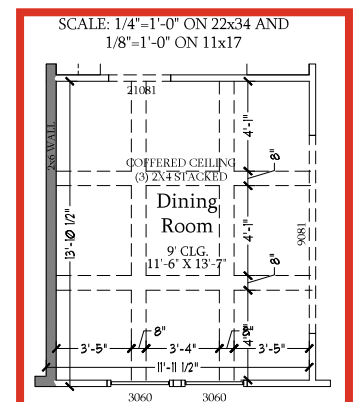
Optional 1-Car Carriage Garage
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



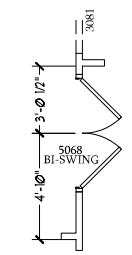
Optional Service Door at Garage
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



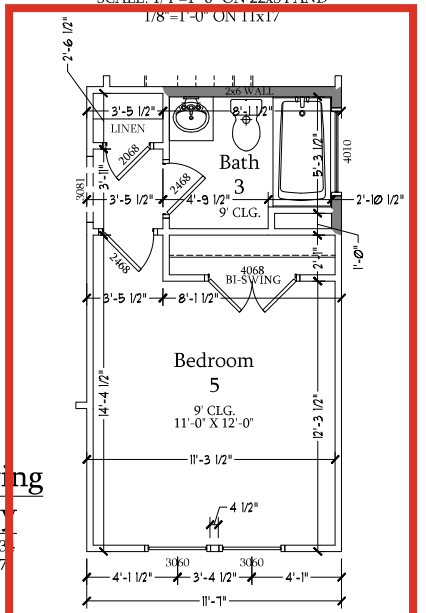
Optional 2-Car Side Load Garage
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



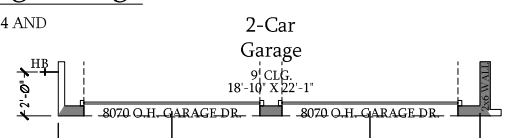
Optional Coffered Ceiling at Dining Room
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



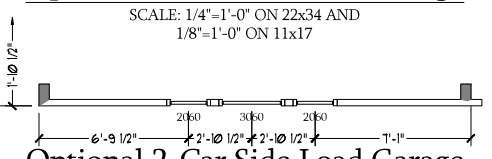
Optional Bi-Swing Doors at Study
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Optional Bed 5 & Bath 3 ILO Study
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Optional Double Garage Door
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Optional 2-Car Side Load Garage w/ Elev. B
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

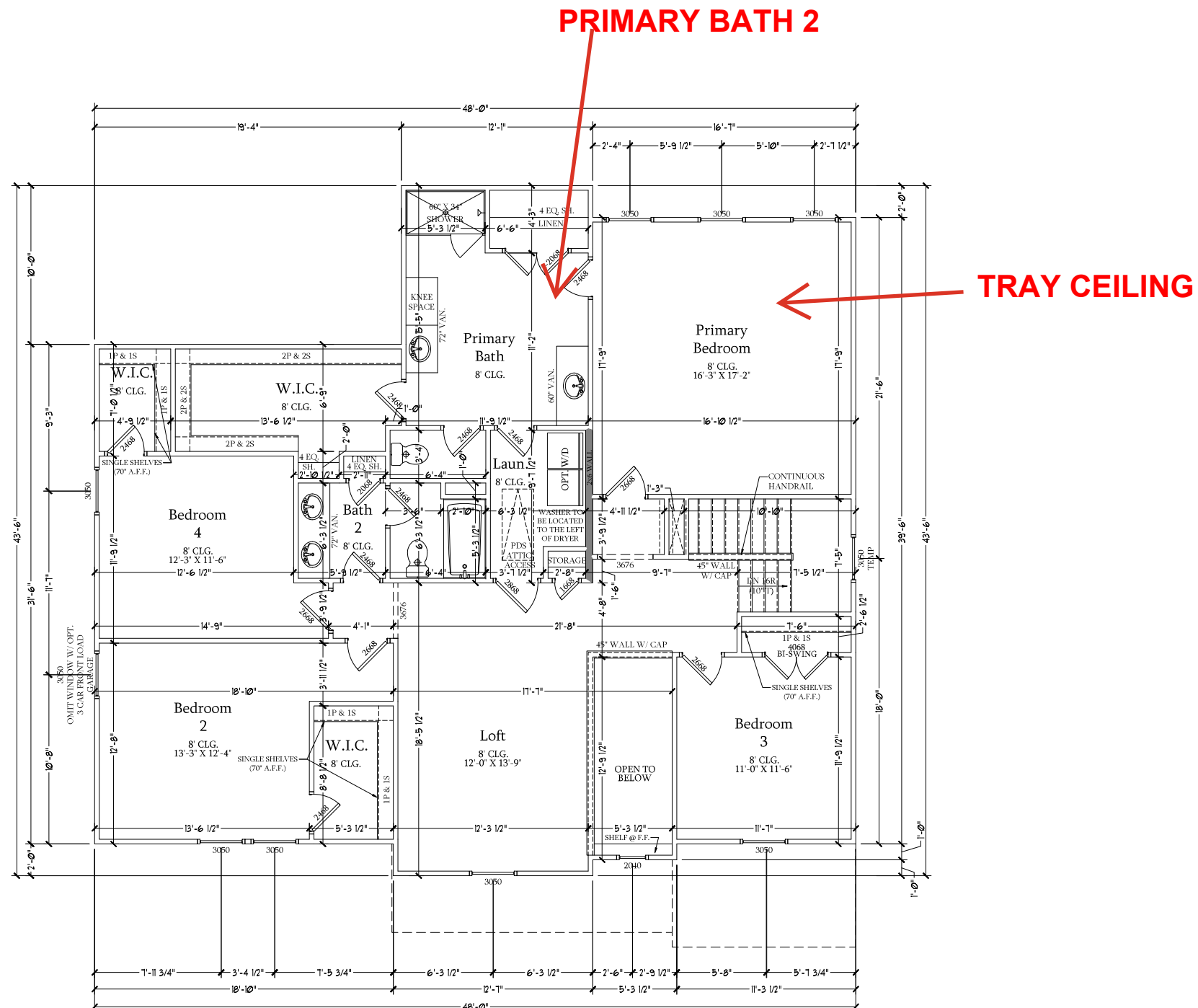


PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. DIMENSIONS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME. © DREAM FINDERS HOMES

DREAM FINDERS HOMES
DOGWOOD

DATE: JANUARY 17, 2019
REV.: FEBRUARY 01, 2022
SCALE: 1/4"=1'-0"
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

FIRST FLOOR PLAN - OPTIONS
A-6.1



Second Floor Plan
 SCALE: 1/4"=1'-0" ON 22x34 AND
 1/8"=1'-0" ON 11x17

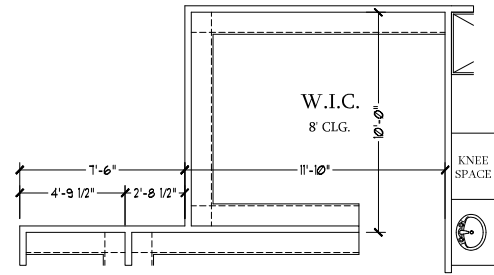


PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME. © 2022 DREAM FINDERS HOMES. CURRENT DETAILS. COPYRIGHT © DREAM FINDERS HOMES

DREAM FINDERS HOMES
 DOGWOOD

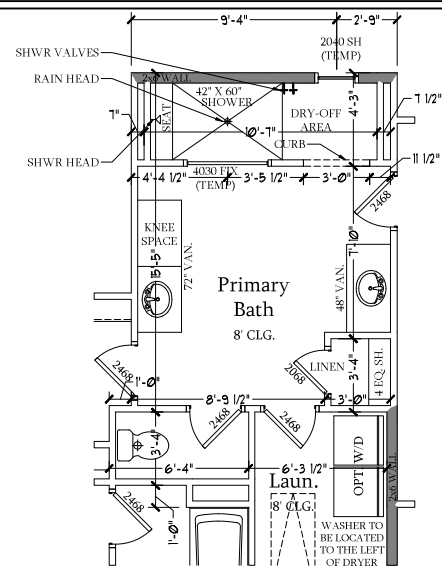
DATE: JANUARY 17, 2019
 REV.: FEBRUARY 01, 2022
 SCALE: 1/4"=1'-0"
 DRAWN BY:
 ENGINEERED BY:
 REVIEWED BY:

SECOND FLOOR PLAN
A-7



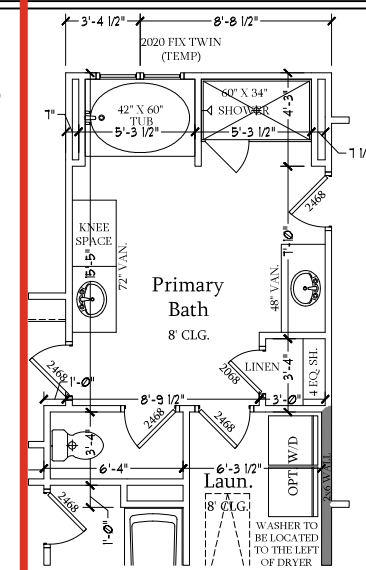
**Optional Extended W.I.C.
at Primary Bathroom**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



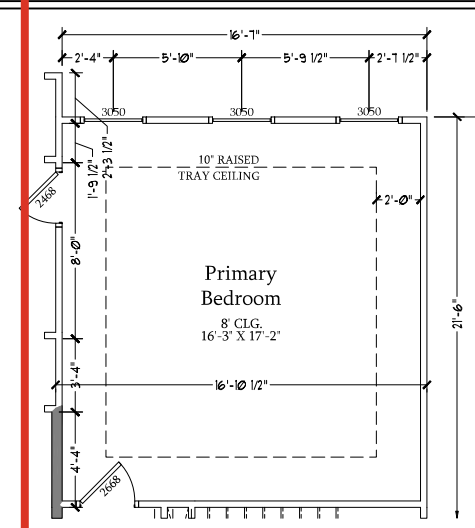
Optional Primary Bath 3

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



Optional Primary Bath 2

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17

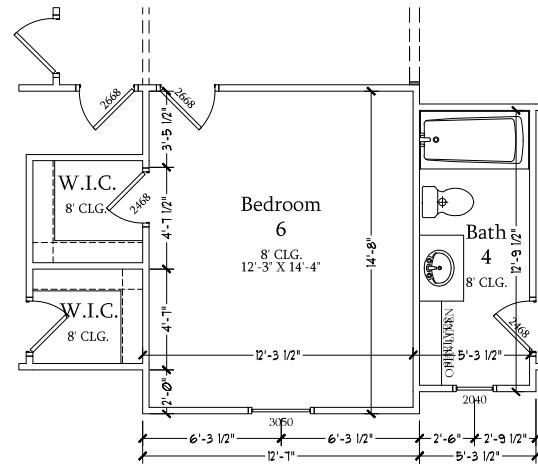


**Optional Tray Ceiling
at Primary Bedroom**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17

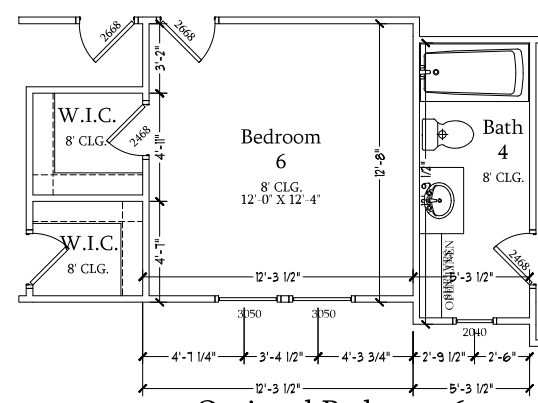
**Optional Windows at
Primary Bedroom**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



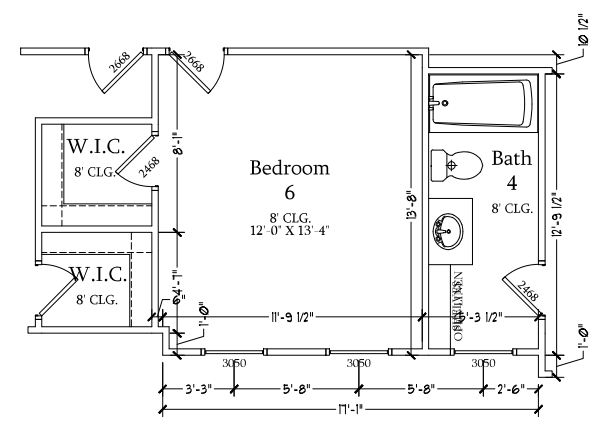
**Optional Bedroom 6
& Bath 4 ILO Loft
w/ Elev. A**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



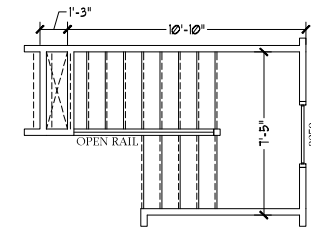
**Optional Bedroom 6
& Bath 4 ILO Loft
w/ Elev. B**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



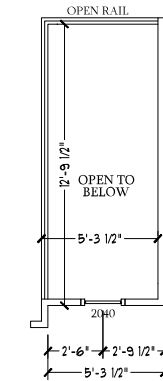
**Optional Bedroom 6
& Bath 4 ILO Loft
w/ Elev. C**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



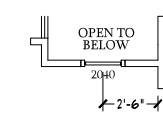
**Optional Open Rail
ILO 45" Wall w/ Cap**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



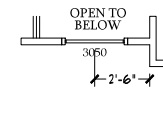
**Optional Open Rail
ILO 45" Wall w/ Cap
w/ Elev. A**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



**Optional Open Rail
ILO 45" Wall w/ Cap
w/ Elev. B**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



**Optional Open Rail
ILO 45" Wall w/ Cap
w/ Elev. C**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17

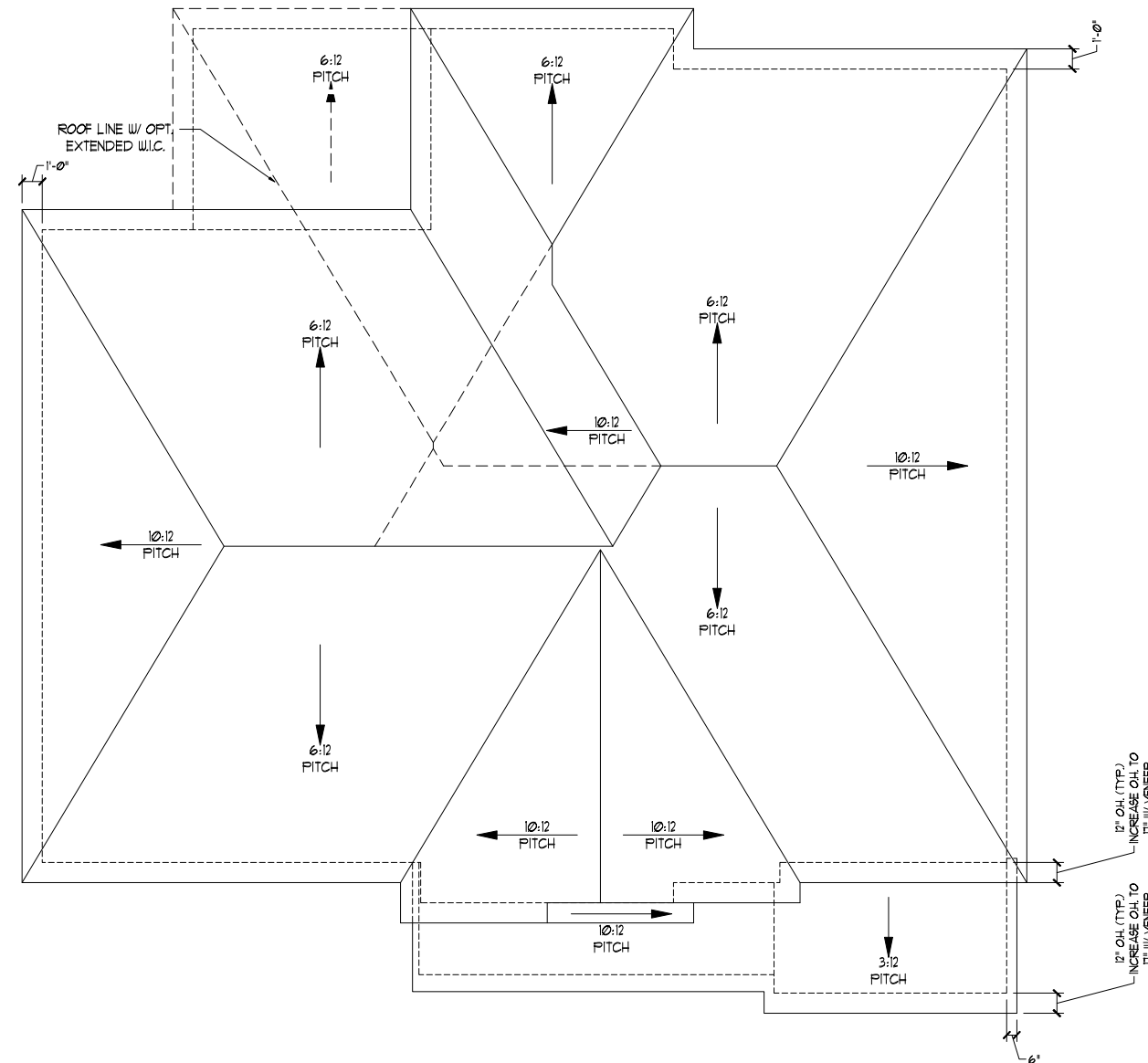


PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME. © DREAM FINDERS HOMES

DREAM FINDERS HOMES
DOGWOOD

DATE: JANUARY 17, 2019
REV: FEBRUARY 01, 2022
SCALE: 1/4"=1'-0"
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

SECOND FLOOR
PLAN - OPTIONS
A-7.1



**Roof Plan
Elevation A**

SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17

TOTAL UNDER ROOF AREA: 1870 SQ. FT. / 300 = 6.23 SQ. FT.
 VENTING AREA REQUIRED: 1870 SQ. FT. / 300 = 6.23 SQ. FT.
 TOTAL REQUIREMENTS: LOWER: 3.11 UPPER: 3.11

LOWER AREA VENTING

SOFFIT VENT	SIZE:	PER UNIT:	# UNITS:	PROVIDED:
	-	.041 SF/LF	132'-0"	5.412
LOWER AREA VENTING PROVIDED:				-

UPPER AREA VENTING

RIDGE VENT	SIZE:	PER UNIT:	# UNITS:	PROVIDED:
	-	.125 SF/LF	38'-0"	4.75
UPPER AREA VENTING PROVIDED:				-

TOTAL AREA PROVIDED			
SOFFIT AND RIDGE VENT			10.162



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. DIMENSIONS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME OFFICE FOR CURRENT DETAILS. COPYRIGHT © DREAM FINDERS HOMES

DREAM FINDERS HOMES
DOGWOOD

DATE: JANUARY 17, 2019

REV.: FEBRUARY 01, 2022

SCALE: 1/4"=1'-0"

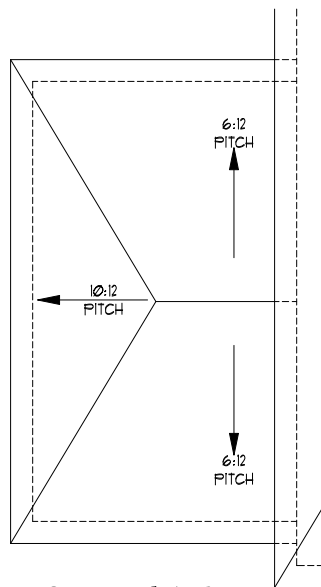
DRAWN BY:

ENGINEERED BY:

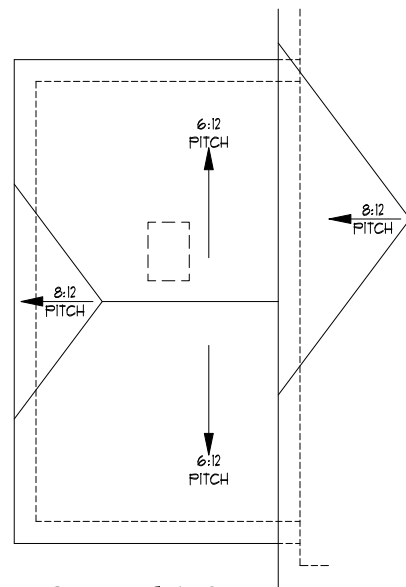
REVIEWED BY:

ELEVATIONS A-1
& A-2 ROOF PLAN

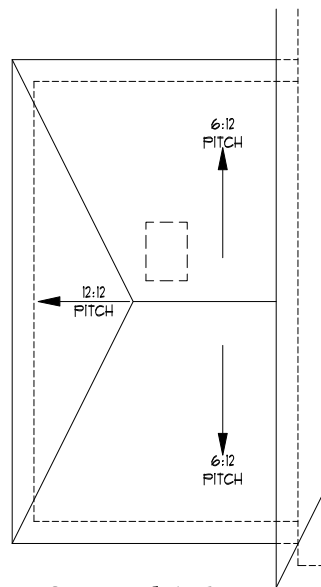
A-8



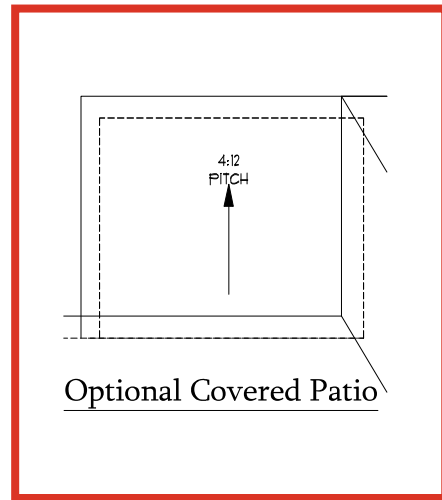
Optional 1-Car Carriage Garage Elevation A



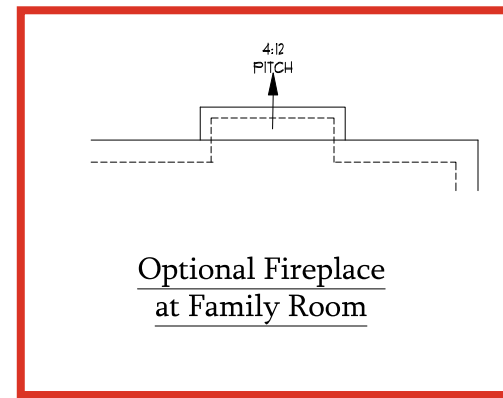
Optional 1-Car Carriage Garage Elevation B



Optional 1-Car Carriage Garage Elevation C



Optional Covered Patio



Optional Fireplace at Family Room

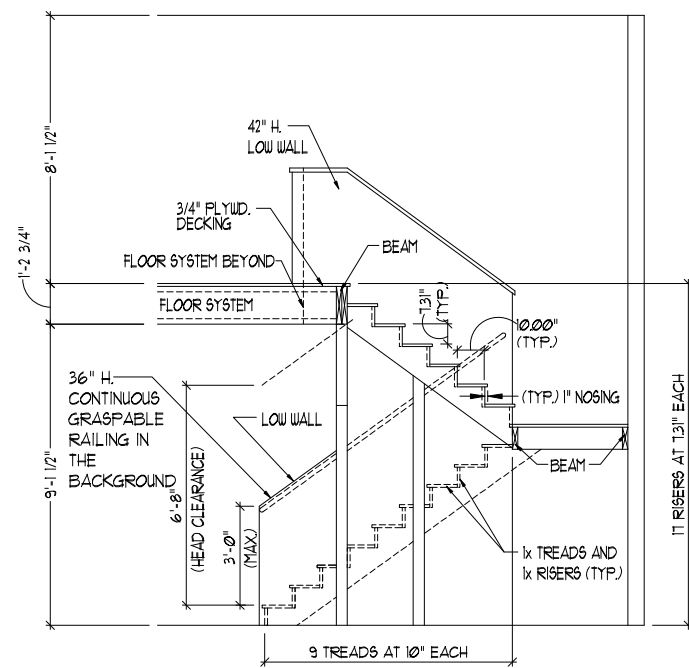


PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, DIMENSIONS, FINISHES, AND MATERIALS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND SURVEY. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME OFFER FOR CURRENT DETAILS. COPYRIGHT © DREAM FINDERS HOMES

DREAM FINDERS HOMES
DOGWOOD

DATE: JANUARY 17, 2019
REV.: FEBRUARY 01, 2022
SCALE: 1/4"=1'-0"
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

ROOF PLAN
OPTIONS
A-8.3



TYPICAL STAIR DETAIL
(NTS)

* * * * *

STAIR NOTES:

RAILING:
BALUSTERS SHALL BE SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH.

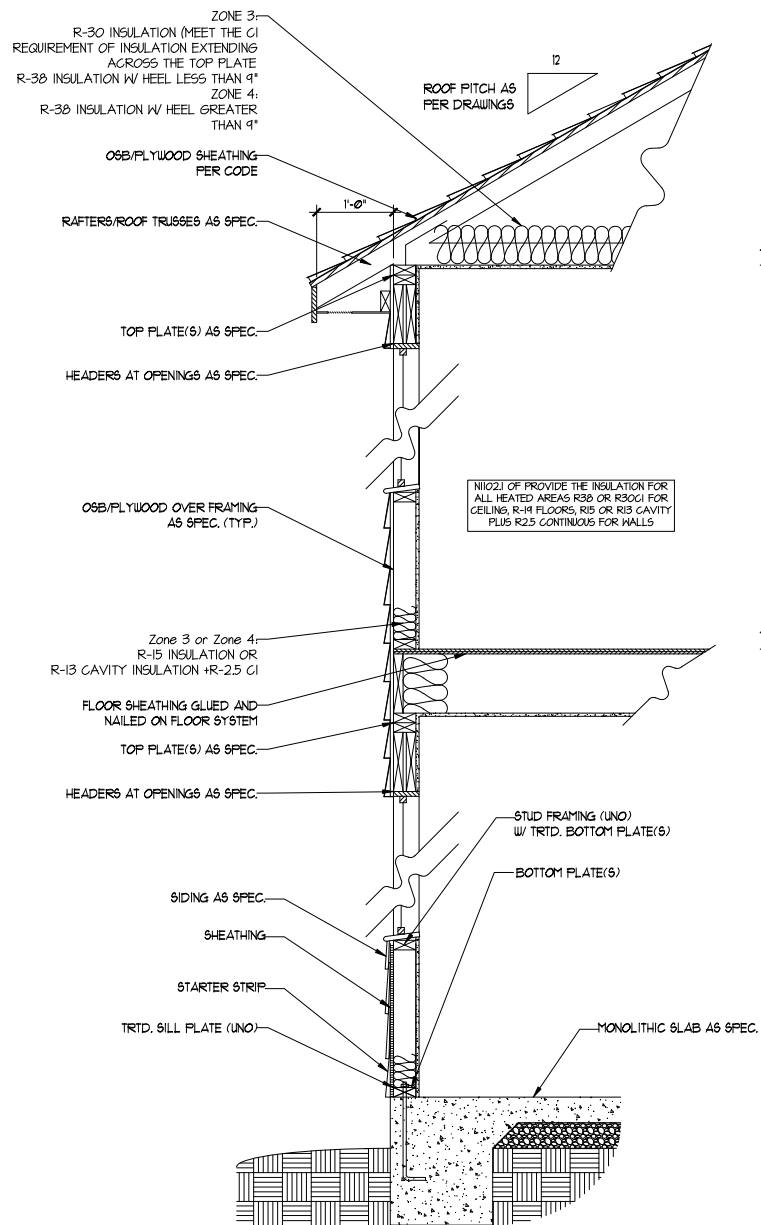
THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE A SUCH A SIZE THAT A SPHERE OF 6 INCHES CANNOT PASS THROUGH.

OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 3/8 INCHES TO PASS THROUGH.

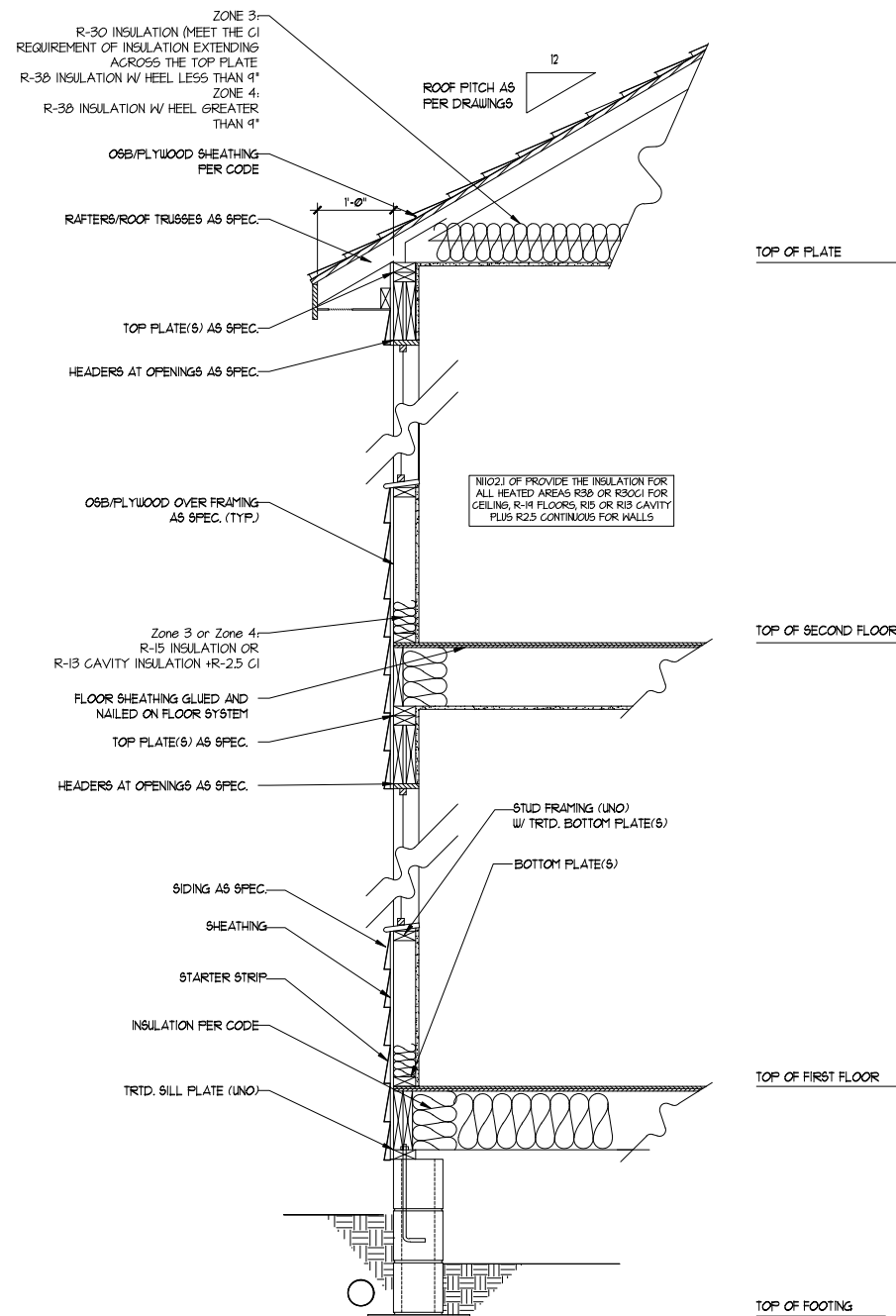
HANDRAILS:
HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT, TO A POINT DIRECTLY ABOVE THE LOWEST RISER. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCH BETWEEN THE WALL AND HANDRAILS.

CONTINUOUS GRASPABLE HANDRAIL MUST MEET TYPE ONE OR TYPE TWO CRITERIA

* * * * *



WALL SECTION W/ SLAB
W/ STD. SIDING SHOWN (NTS)



WALL SECTION W/ CRAWL SPACE
W/ STD. SIDING SHOWN (NTS)



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. DIMENSIONS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME CURRENT DETAILS. COPYRIGHT © DREAM FINDERS HOMES

DREAM FINDERS HOMES
DOGWOOD

DATE: JANUARY 17, 2019
REV.: FEBRUARY 01, 2022
SCALE: 1/4"=1'-0"
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

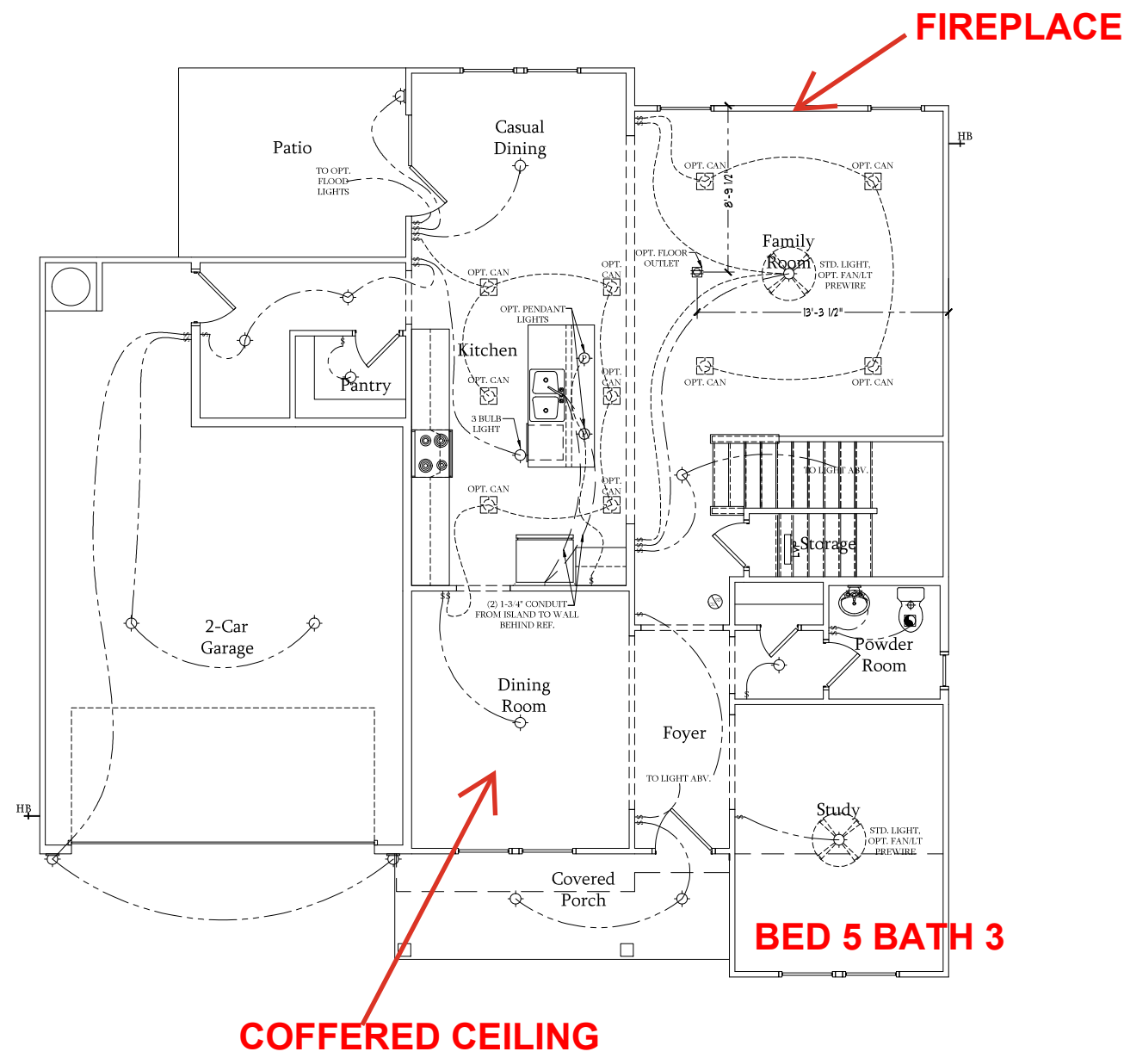
WALL SECTIONS
AND STAIR
DETAIL
AD-1

ELECTRICAL LEGEND

- 120V OUTLET
- 120V GFI OUTLET
- 120V SWITCHED OUTLET
- 120V BASEBOARD OUTLET
- 4-PLEX
- FLOOR MOUNTED 120V
- FLOOR MOUNTED 120V GFI
- WEATHERPROOF
- 220V OUTLET
- 120V DEDICATED CIRCUIT
- 220V DEDICATED CIRCUIT
- SPECIAL PURPOSE (240 V, ETC.)
- WALL MOUNT LIGHT
- CEILING MOUNT LIGHT
- PENDANT LIGHT
- RECESSED CAN LIGHT
- MINI CAN LIGHT
- EYEBALL LIGHT
- FLUORESCENT LIGHT
- UNDERCABINET LIGHT
- FLOOD LIGHT
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- TELEPHONE
- TV CONNECTION
- CONDUIT FOR COMPONENT WIRING
- SPEAKER
- COMBO SMOKE/CARBON MONOXIDE DETECTOR
- 110 V SMOKE DETECTOR
- EXHAUST FAN
- LOW VOLTAGE PANEL
- CEILING FAN
- CEILING FAN W/ LIGHT

ELECTRICAL NOTES:

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (G.F.I.) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
SWITCHES... 14"
OUTLETS... 14"
TELEPHONE... 14" (UNLESS ABV COUNTERTOP)
TELEVISION... 14"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE A.F.C.I. DEVICE AND TAMPER-PROOF RECEPTACLES.
5. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE G.F.C.I. PROTECTED (G.F.I.).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



First Floor Plan
SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. DIMENSIONS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME. DREAM FINDERS HOMES. COPYRIGHT ©

DREAM FINDERS HOMES
DOGWOOD

DATE: JANUARY 17, 2019
REV.: FEBRUARY 01, 2022
SCALE: 1/4"=1'-0"
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

FIRST FLOOR ELECTRICAL PLAN
E-1

ELECTRICAL LEGEND

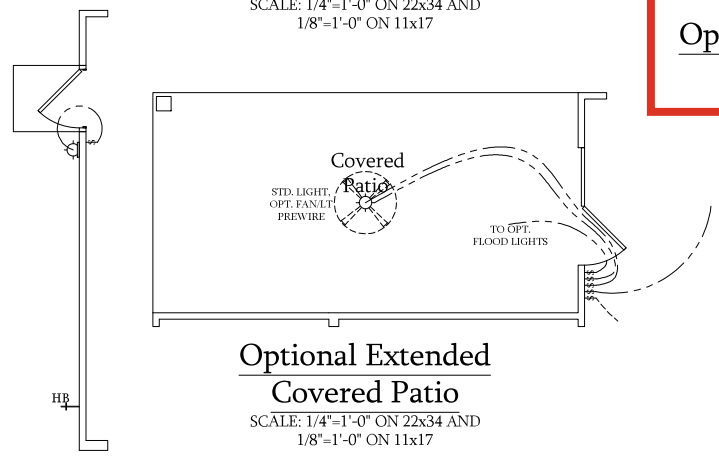
- 120V OUTLET
- 120V GFI OUTLET
- 120V SWITCHED OUTLET
- 120V BASEBOARD OUTLET
- 4-PLEX
- FLOOR MOUNTED 120V
- FLOOR MOUNTED 120V GFI
- WEATHERPROOF
- 220V OUTLET
- 120V DEDICATED CIRCUIT
- 220V DEDICATED CIRCUIT
- SPECIAL PURPOSE (240 V, ETC.)
- WALL MOUNT LIGHT
- CEILING MOUNT LIGHT
- PENDANT LIGHT
- RECESSED CAN LIGHT
- MINI CAN LIGHT
- EYEBALL LIGHT
- FLUORESCENT LIGHT
- UNDERCABINET LIGHT
- FLOOD LIGHT
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- TELEPHONE
- TV CONNECTION
- CONDUIT FOR COMPONENT WIRING
- SPEAKER
- COMBO SMOKE/ CARBON MONOXIDE DETECTOR
- 110 V SMOKE DETECTOR
- EXHAUST FAN
- LOW VOLTAGE PANEL

- CEILING FAN
- CEILING FAN W/ LIGHT

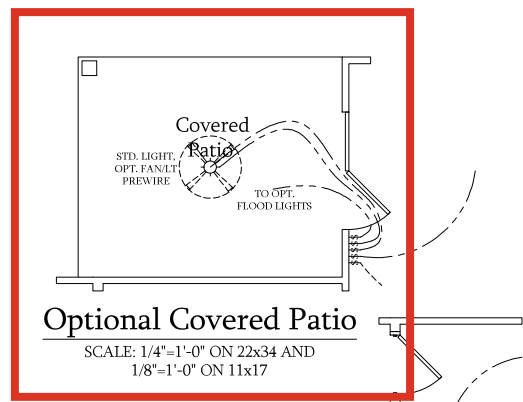
ELECTRICAL NOTES:

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (G.F.I.) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
SWITCHES... 42"
OUTLETS... 14"
TELEPHONE... 14" (UNLESS ABV COUNTERTOP)
TELEVISION... 14"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE A.F.C.I. DEVICE AND TAMPER-PROOF RECEPTACLES.
5. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE G.F.C.I. PROTECTED (G.F.I.).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/ CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

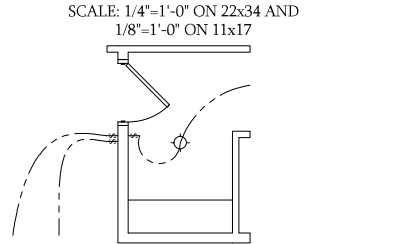
Optional Extended Patio w/ Extended Covered Patio
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



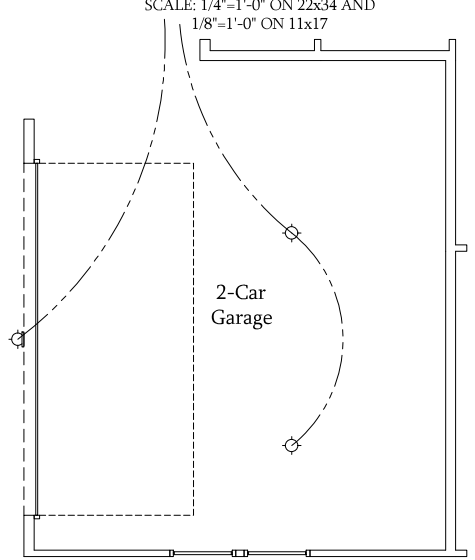
Optional Covered Patio
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



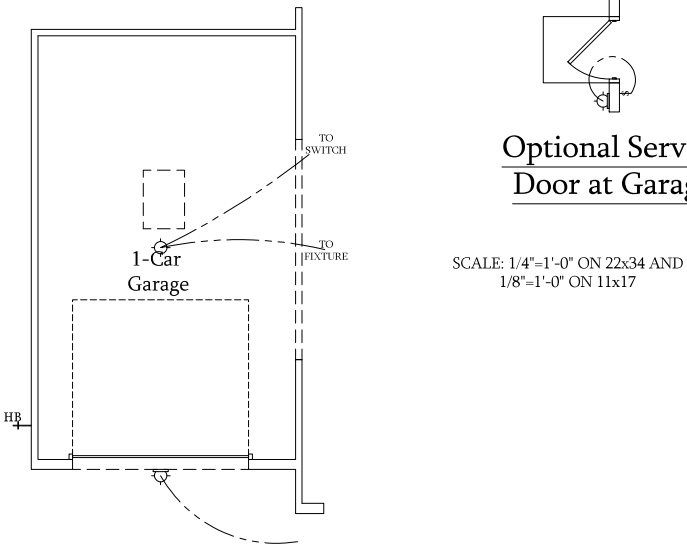
Optional Valet at Garage Entry
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



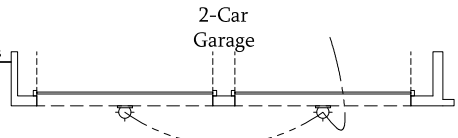
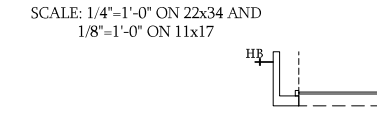
Optional Drop Zone at Garage Entry
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Optional Service Door at Garage
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

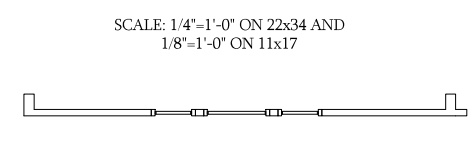


Optional 1-Car Carriage Garage
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

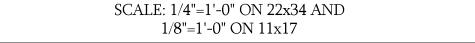


Optional Double Garage Door
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

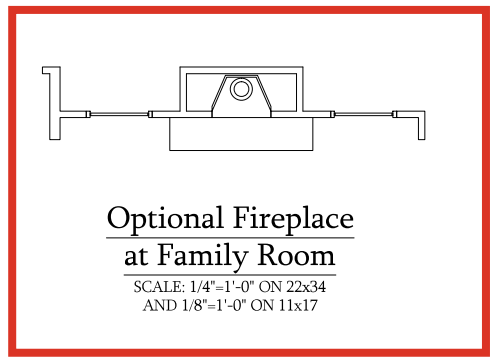
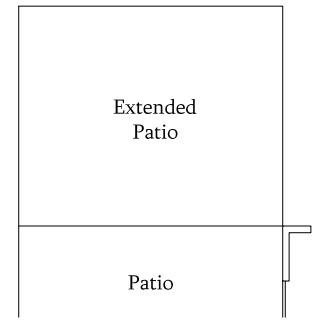
Optional 2-Car Side Load Garage
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



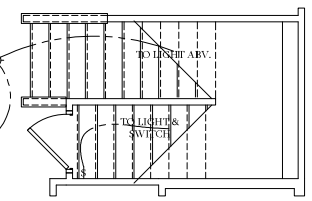
Optional 2-Car Side Load Garage w/ Elev. B
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



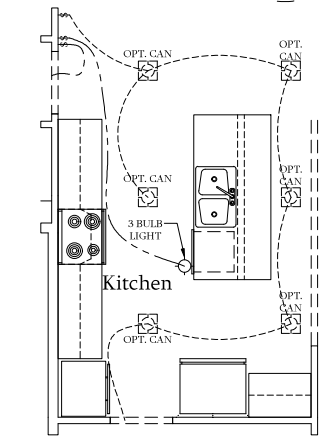
Optional Extended Patio
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



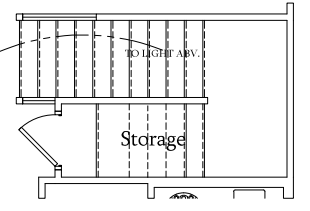
Optional Fireplace at Family Room
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



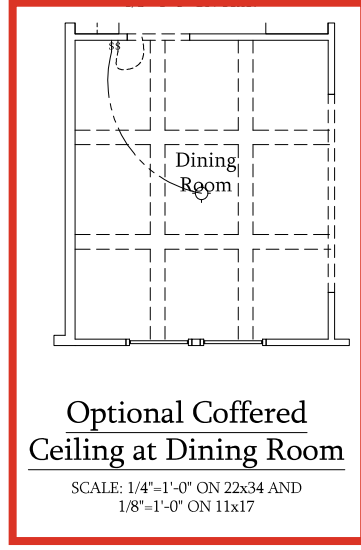
Stairs to Optional Basement
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



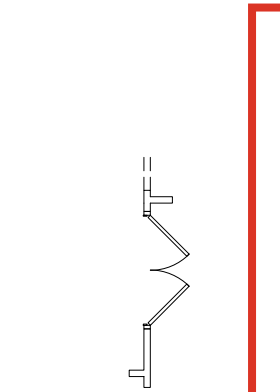
Optional Gourmet Kitchen
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



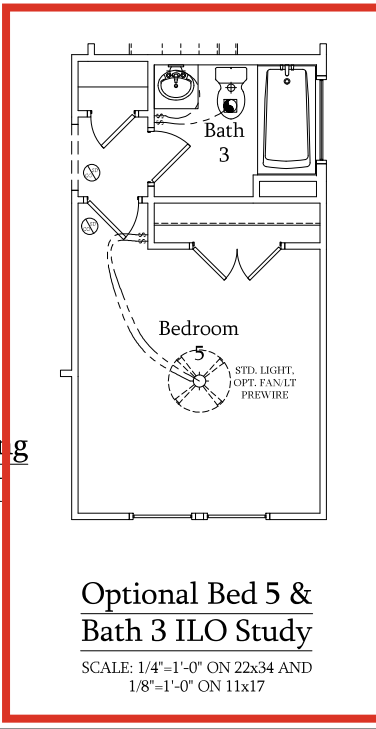
Optional Open Rail ILO 45" Wall w/ Cap
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Optional Coffered Ceiling at Dining Room
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Optional Bi-Swing Doors at Study
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Optional Bed 5 & Bath 3 ILO Study
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Optional Window at Family Room
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME. © DREAM FINDERS HOMES

DREAM FINDERS HOMES
DOGWOOD

DATE: JANUARY 17, 2019
REV.: FEBRUARY 01, 2022
SCALE: 1/4"=1'-0"
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

FIRST FLOOR ELECTRICAL PLAN - OPTIONS

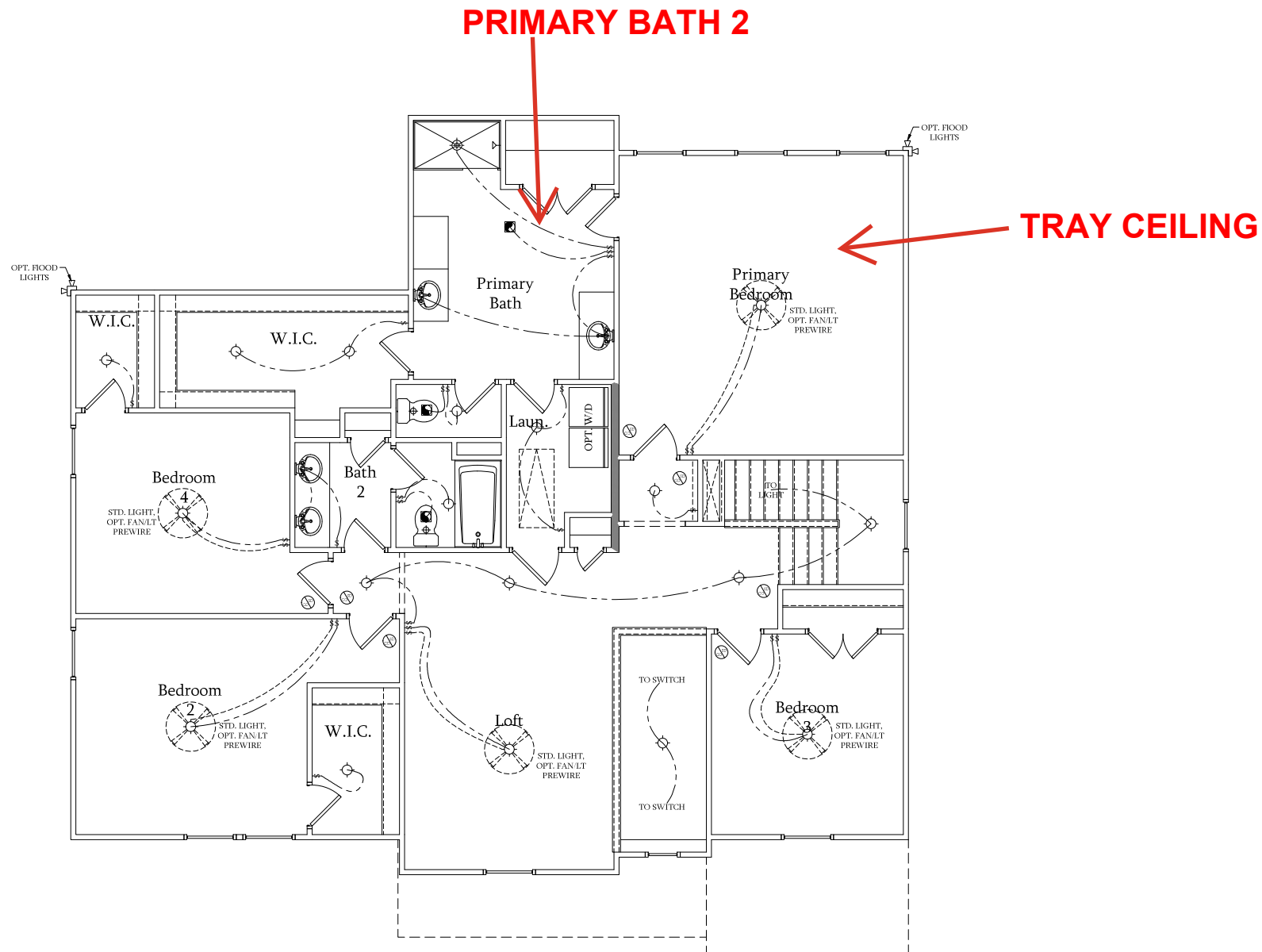
ELECTRICAL LEGEND

- 120V OUTLET
- 120V GFI OUTLET
- 120V SWITCHED OUTLET
- 120V BASEBOARD OUTLET
- 4-PLEX
- FLOOR MOUNTED 120V
- FLOOR MOUNTED 120V GFI
- WEATHERPROOF
- 220V OUTLET
- 120V DEDICATED CIRCUIT
- 220V DEDICATED CIRCUIT
- SPECIAL PURPOSE (240 V, ETC.)
- WALL MOUNT LIGHT
- CEILING MOUNT LIGHT
- PENDANT LIGHT
- RECESSED CAN LIGHT
- MINI CAN LIGHT
- EYEBALL LIGHT
- FLUORESCENT LIGHT
- UNDERCABINET LIGHT
- FLOOD LIGHT
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- TELEPHONE
- TV CONNECTION
- CONDUIT FOR COMPONENT WIRING
- SPEAKER
- COMBO SMOKE/CARBON MONOXIDE DETECTOR
- 110 V SMOKE DETECTOR
- EXHAUST FAN
- LOW VOLTAGE PANEL

- CEILING FAN
- CEILING FAN W/ LIGHT

ELECTRICAL NOTES:

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (G.F.I.) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
SWITCHES . . . 42"
OUTLETS . . . 14"
TELEPHONE . . . 14" (UNLESS ABOVE COUNTERTOP)
TELEVISION . . . 14"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE A.F.C.I. DEVICE AND TAMPER-PROOF RECEPTACLES.
5. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE G.F.C.I. PROTECTED (G.F.I.).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



Second Floor Plan
SCALE: 1/4"=1'-0" ON 22x34 AND
1/8"=1'-0" ON 11x17



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. DIMENSIONS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME. DREAM FINDERS HOMES

DREAM FINDERS HOMES
DOGWOOD

DATE: JANUARY 17, 2019
REV.: FEBRUARY 01, 2022
SCALE: 1/4"=1'-0"
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

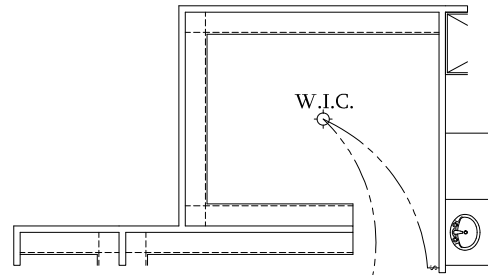
SECOND FLOOR
ELECTRICAL PLAN

ELECTRICAL LEGEND

- 120V OUTLET
- 120V GFI OUTLET
- 120V SWITCHED OUTLET
- 120V BASEBOARD OUTLET
- 4-PLEX
- FLOOR MOUNTED 120V
- FLOOR MOUNTED 120V GFI
- WEATHERPROOF
- 220V OUTLET
- 120V DEDICATED CIRCUIT
- 220V DEDICATED CIRCUIT
- SPECIAL PURPOSE (240 V, ETC.)
- WALL MOUNT LIGHT
- CEILING MOUNT LIGHT
- PENDANT LIGHT
- RECESSED CAN LIGHT
- MINI CAN LIGHT
- EYEBALL LIGHT
- FLUORESCENT LIGHT
- UNDERCABINET LIGHT
- FLOOD LIGHT
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- TELEPHONE
- TV CONNECTION
- CONDUIT FOR COMPONENT WIRING
- SPEAKER
- COMBO SMOKE/ CARBON MONOXIDE DETECTOR
- 110 V SMOKE DETECTOR
- EXHAUST FAN
- LOW VOLTAGE PANEL
- CEILING FAN
- CEILING FAN W/ LIGHT

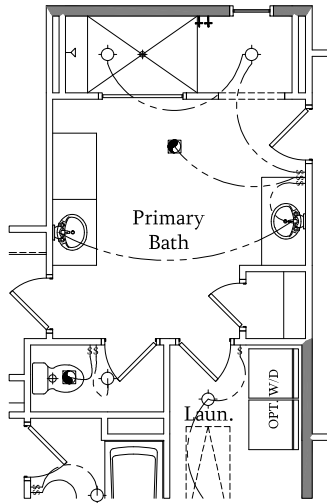
ELECTRICAL NOTES:

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (G.F.I.) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR:
SWITCHES . . . 42"
OUTLETS . . . 14"
TELEPHONE . . . 14" (UNLESS ABOVE COUNTERTOP)
TELEVISION . . . 14"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE A.F.C.I. DEVICE AND TAMPER-PROOF RECEPTACLES.
5. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE G.F.C.I. PROTECTED (G.F.I.).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FOSSIL-FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



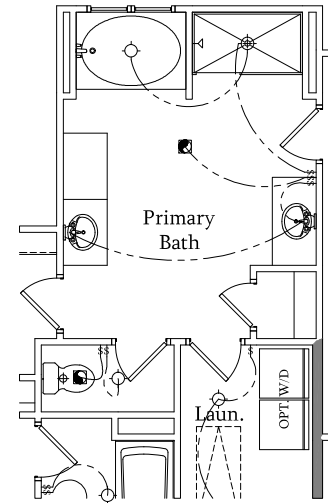
Optional Extended W.I.C. at Primary Bathroom

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



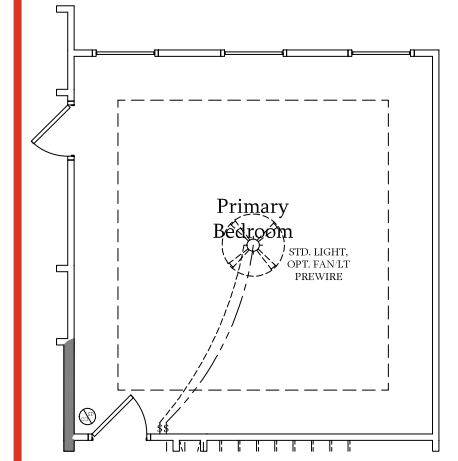
Optional Primary Bath 3

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Optional Primary Bath 2

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

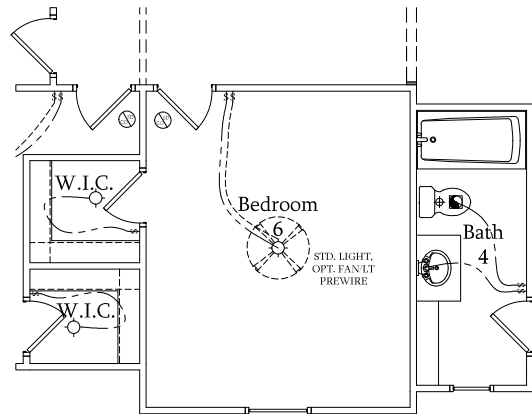


Optional Tray Ceiling at Primary Bedroom

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

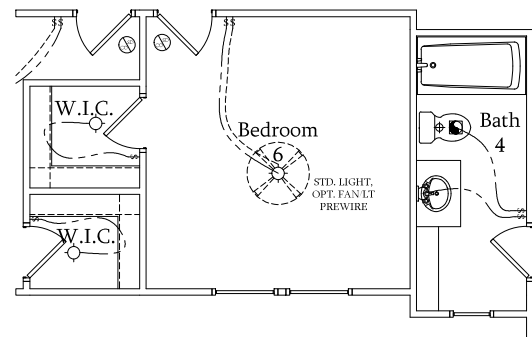
Optional Windows at Primary Bedroom

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



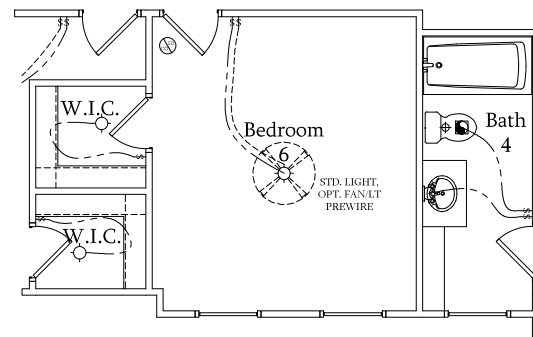
Optional Bedroom 6 & Bath 4 ILO Loft w/ Elev. A

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



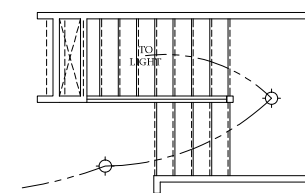
Optional Bedroom 6 & Bath 4 ILO Loft w/ Elev. B

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



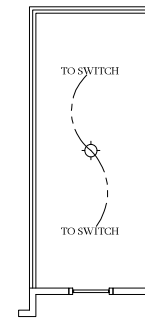
Optional Bedroom 6 & Bath 4 ILO Loft w/ Elev. C

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



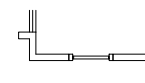
Optional Open Rail ILO 45" Wall w/ Cap

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



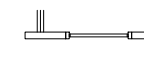
Optional Open Rail ILO 45" Wall w/ Cap w/ Elev. A

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Optional Open Rail ILO 45" Wall w/ Cap w/ Elev. B

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Optional Open Rail ILO 45" Wall w/ Cap w/ Elev. C

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

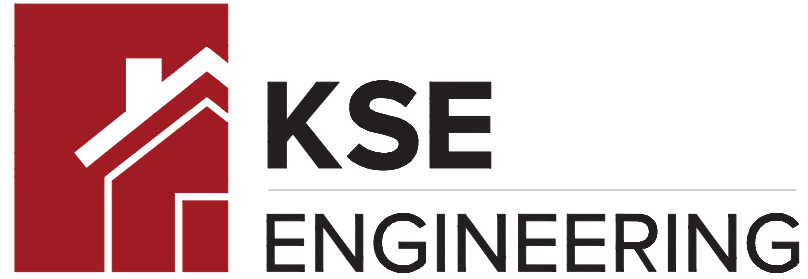


PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME. DREAM FINDERS HOMES. COPYRIGHT ©

DREAM FINDERS HOMES
DOGWOOD

DATE: JANUARY 17, 2019
REV.: FEBRUARY 01, 2022
SCALE: 1/4"=1'-0"
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

SECOND FLOOR ELECTRICAL PLAN - OPTIONS



1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951
 www.kse-eng.com (215) 804 - 4449

DOGWOOD
 LH
 NORTH CAROLINA

THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. THIS COORDINATION IS NOT THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER OF RECORD (SER). SHOULD ANY DISCREPANCIES BECOME APPARENT, THE CONTRACTOR SHALL NOTIFY KSE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS. IT IS THE INTENT OF THE ENGINEER LISTED ON THESE DOCUMENTS THAT THESE DOCUMENTS BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL OF THE INFORMATION CONTAINED IN THESE DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE DOCUMENTS.

DESIGN SPECIFICATIONS:

DESIGN BUILDING CODE (REFERRED TO HEREIN AS 'THE BUILDING CODE'):
 • 2018 NORTH CAROLINA RESIDENTIAL CODE. WALL BRACING PER INTERNATIONAL RESIDENTIAL CODE 2015 EDITION.

DESIGN LIVE LOADS:
 • ROOF = 20 PSF (LOAD DURATION FACTOR=1.25)
 • UNINHABITABLE ATTICS WITH LIMITED STORAGE = 20 PSF (WHERE SPECIFIED ON PLANS)
 • HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS = 30 PSF
 • FLOOR = 40 PSF
 • FLOOR (SLEEPING AREAS) = 30 PSF
 • DECK = 40 PSF
 • BALCONY = 40 PSF
 • STAIRS = 40 PSF

DESIGN DEAD LOADS:
 • ROOF TRUSS = 17 PSF (TC=7, BC=10)
 • FLOOR TRUSS = 15 PSF (TC=10, BC=5)
 • FLOOR JOIST = 10 PSF
 • QUEEN ANNE BRICK = 25 PSF

NOTE: STRUCTURAL FRAMING HAS NOT BEEN DESIGNED FOR TILE, GRANITE, MARBLE OR OTHER MATERIALS HEAVIER THAN THE ABOVE LOADING UNLESS SPECIFICALLY NOTED ON PLANS.

DESIGN WIND LOADS:
 • ULTIMATE WIND SPEED = Up to 130 MPH
 • EXPOSURE CATEGORY = B

ASSUMED SOIL BEARING CAPACITY = 2000 PSF

ASSUMED LATERAL SOIL PRESSURE = 45 PCF

FROST DEPTH = 12"

SEISMIC DESIGN CATEGORY = B

ENGINEERED LUMBER SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:

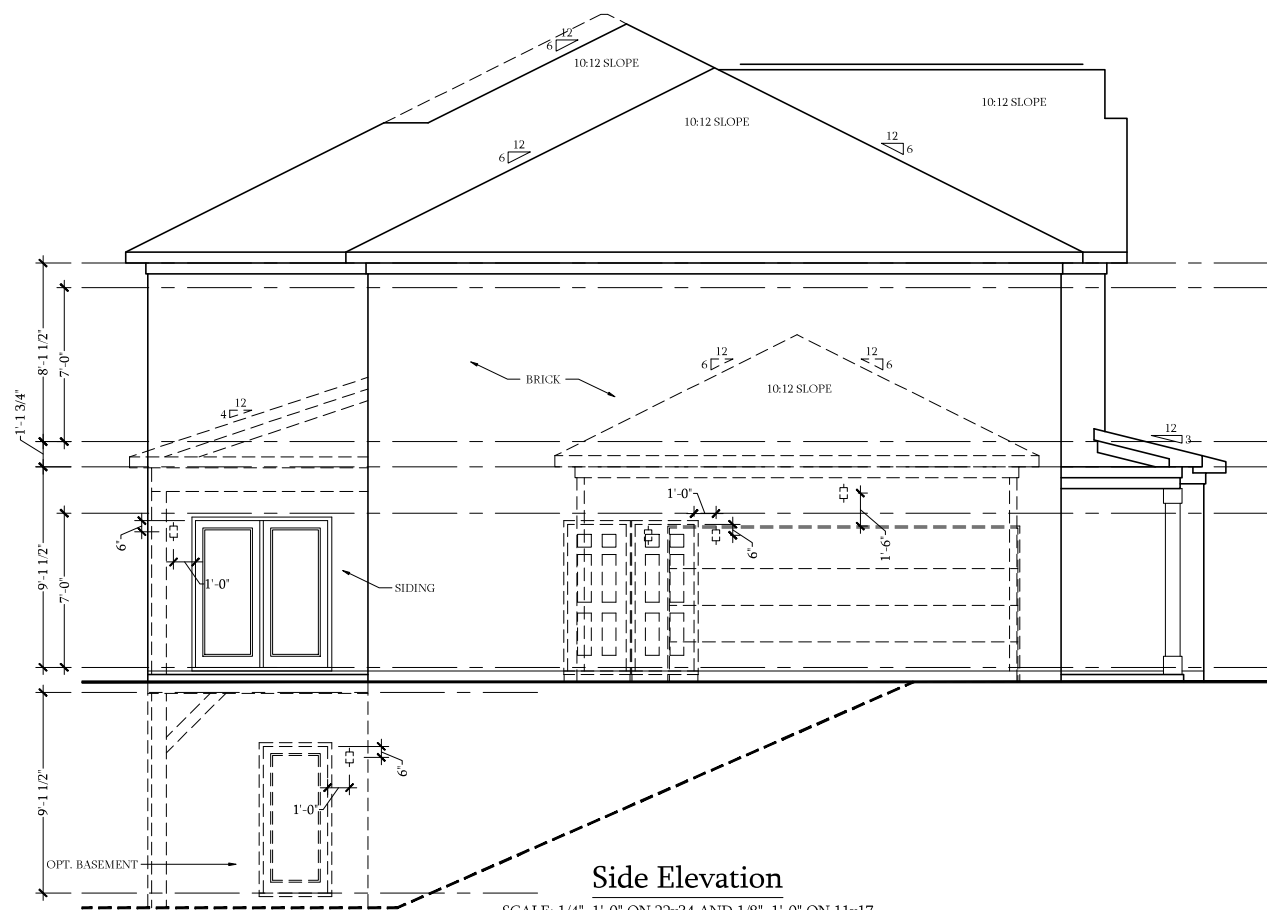
- TJI 210 SERIES (SERIES AND SPACING PER PLANS)
- LSL: E=1,550,000 PSI, F_B=2,325 PSI, F_V=310 PSI, F_C=900 PSI
- LVL: E=2,000,000 PSI, F_B=2,600 PSI, F_V=285 PSI, F_C=750 PSI
- PSL: E=2,100,000 PSI, F_B=2,900 PSI, F_V=290 PSI, F_C=625 PSI

THIS PLAN HAS BEEN DESIGNED PER THE 2018 EDITION OF THE NC RESIDENTIAL CODE. WHERE FRAMING, FOUNDATION, OR OTHER STRUCTURAL ITEMS DO NOT COMPLY WITH THE PRESCRIPTIVE METHODS OF THE CODE, THOSE ITEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE PER NCRS R301.1.3.



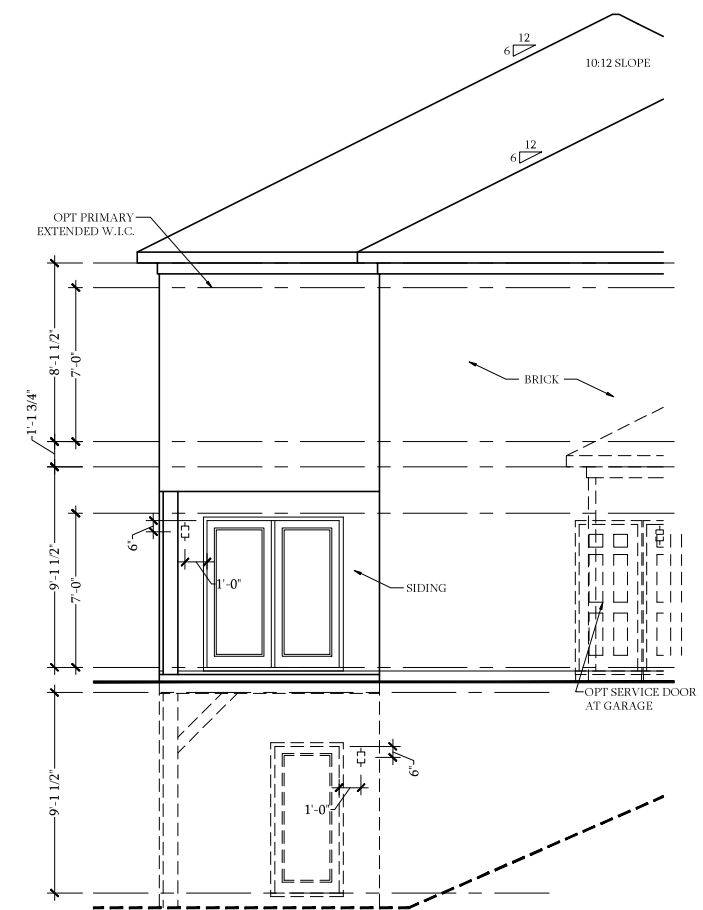
Cover Sheet
 Dogwood Model - LH
 Up to 130 M.P.H.
 Carolina Division

Project #: 105-16007
 Designed By: KRK
 Checked By:
 Issue Date: 4/9/19
 Re-Issue: 10/10/22
 Scale: 1/8"=1'-0" @ 11x17
 1/4"=1'-0" @ 22x34

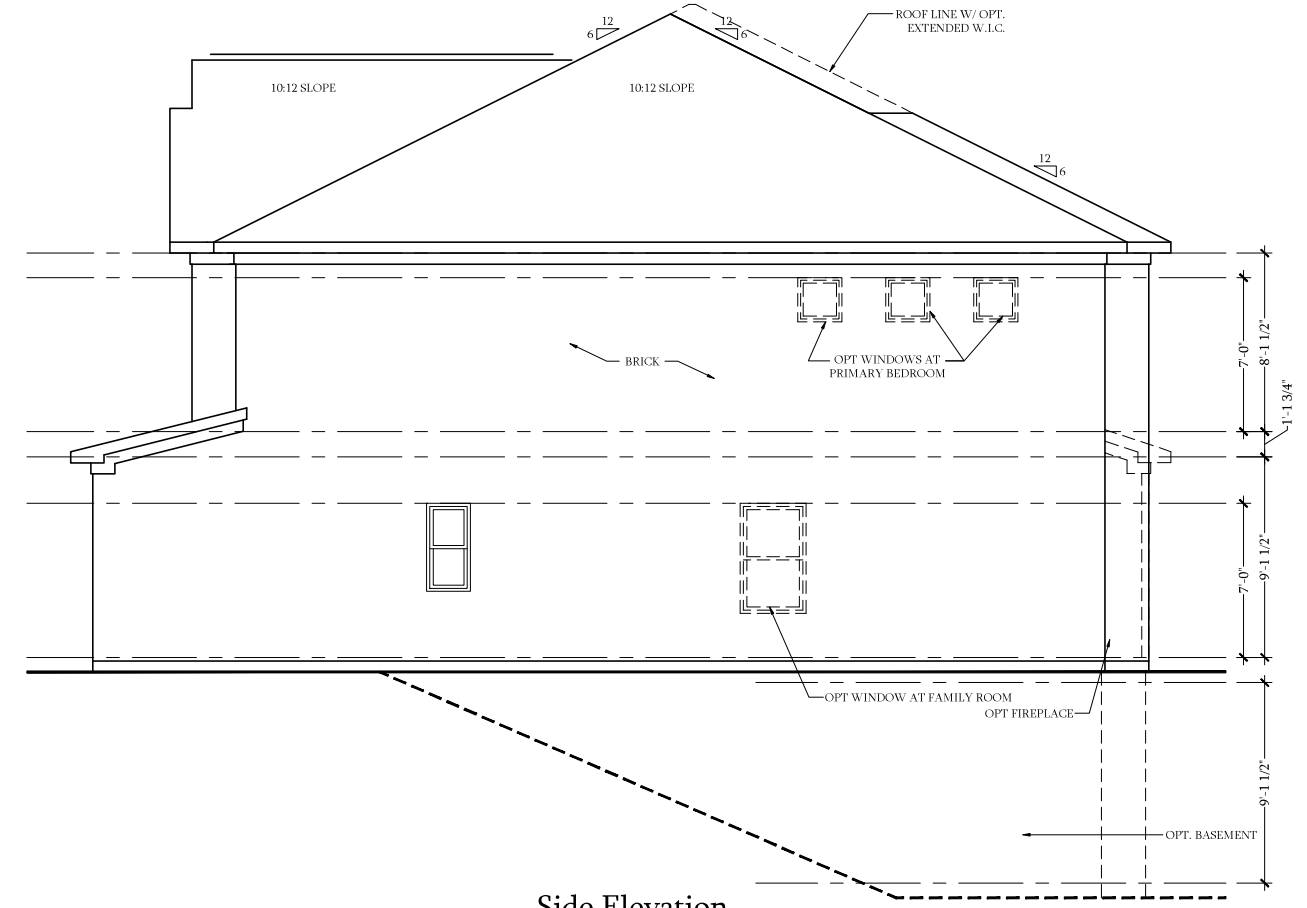


Side Elevation

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



Side Elevation
w/ Extended W.I.C.



Side Elevation

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



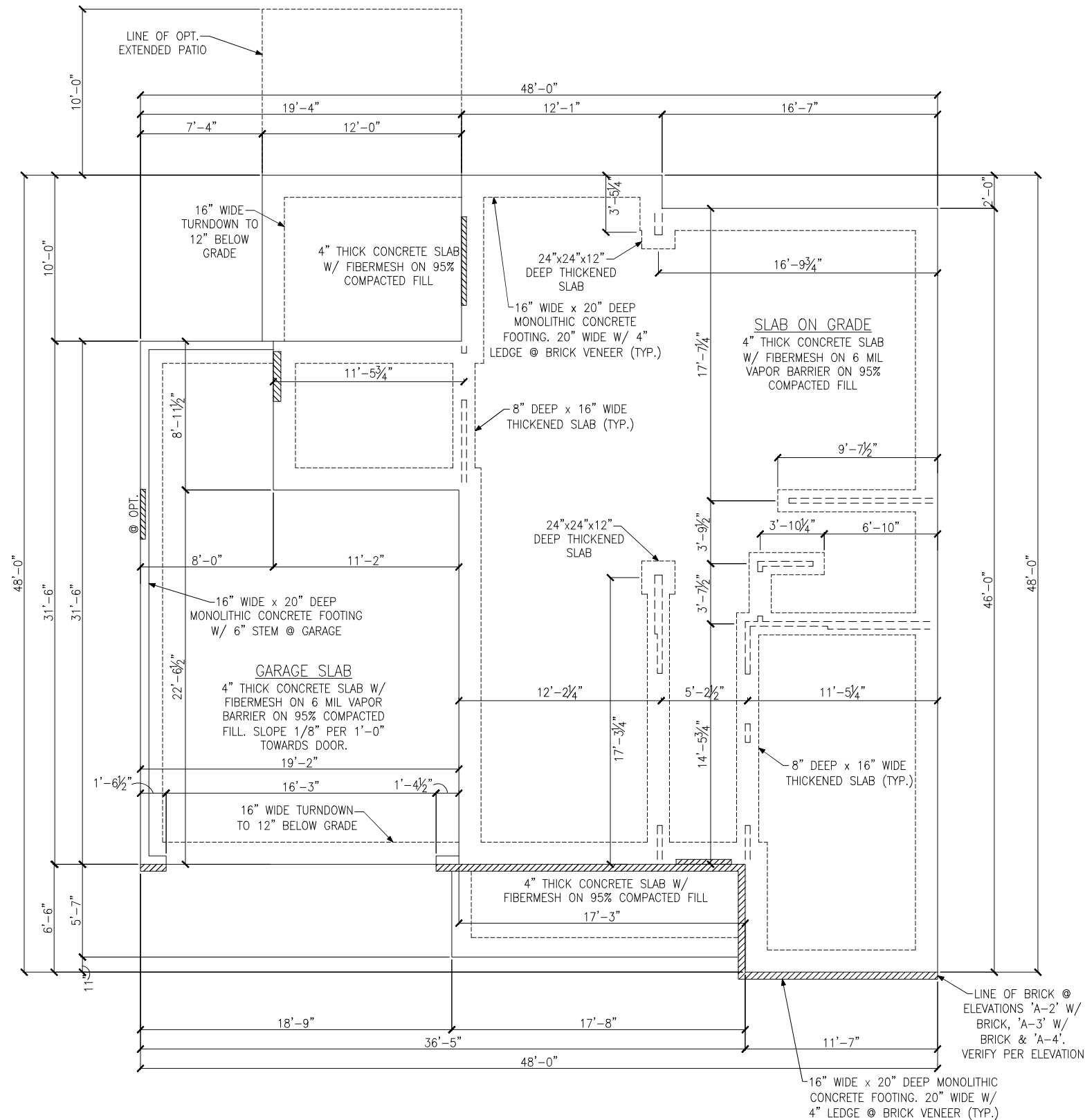
PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, AND FINANCING ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME CURRENT DETAILS. COPYRIGHT © DREAM FINDERS HOMES

DREAM FINDERS HOMES
DOGWOOD

DATE: JANUARY 17, 2019
REV.: FEBRUARY 01, 2022
SCALE: AS NOTED
DRAWN BY:
ENGINEERED BY:
REVIEWED BY:

A - 4 SIDE ELEVATIONS

A-1.5



MONOLITHIC SLAB FOUNDATION PLAN
 ELEVATIONS 'A-1', 'A-2', 'A-3' & 'A-4'

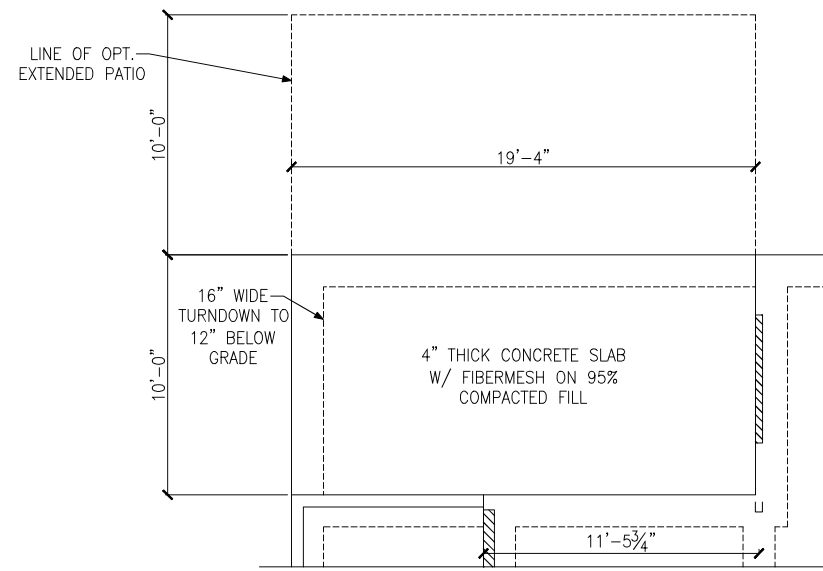
LEGEND	
	PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
	BEARING WALL ABOVE
	INTERIOR BEARING WALL
	BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
	LOCATION OF DOOR ABOVE
REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS	



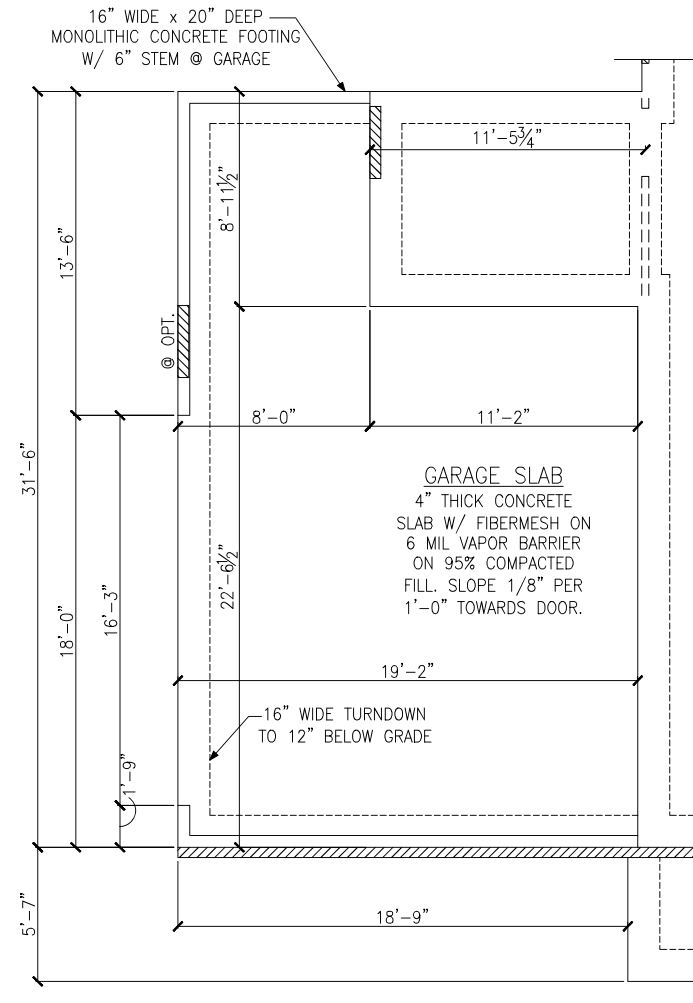
Monolithic Slab Foundation Plan
 Elevations 'A-1', 'A-2', 'A-3' & 'A-4'
 Dogwood Model - LH
 Up to 130 M.P.H.
 Carolina Division

Project #: 105-16007
 Designed By: KRK
 Checked By:
 Issue Date: 4/9/19
 Re-Issue: 10/10/22
 Scale: 1/8"=1'-0" @ 11x17
 1/4"=1'-0" @ 22x34

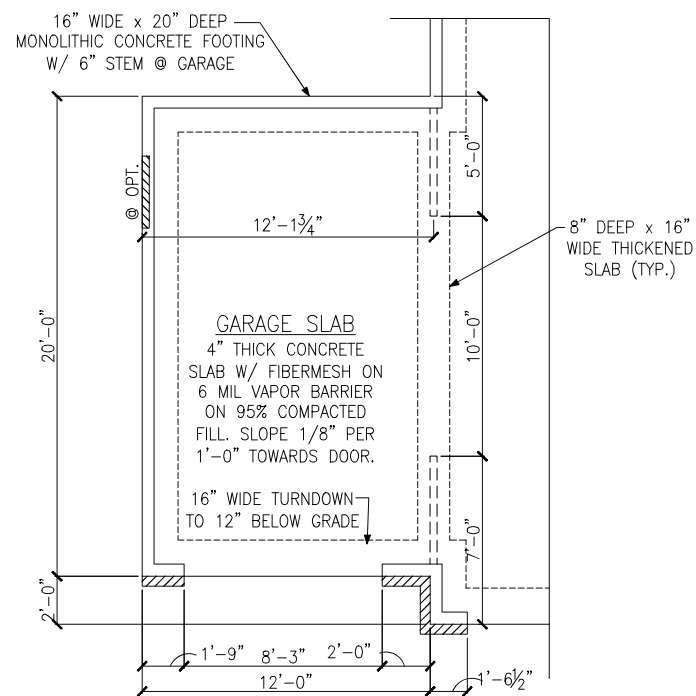




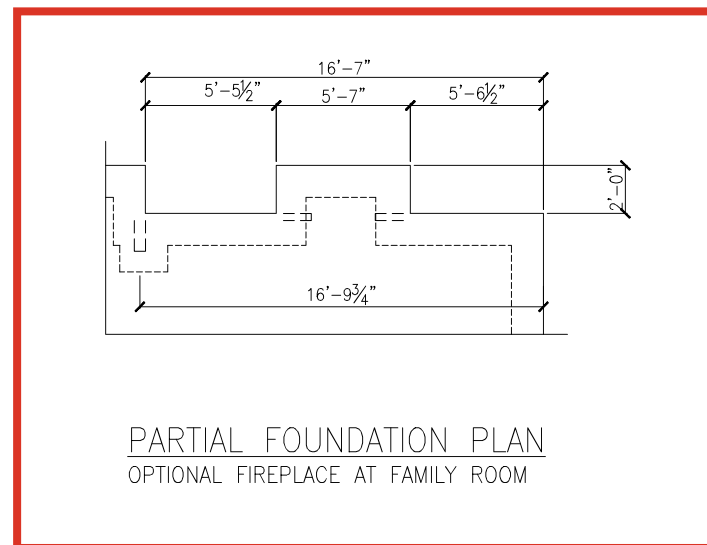
PARTIAL FOUNDATION PLAN
 OPTIONAL EXTENDED COVERED PATIO



PARTIAL FOUNDATION PLAN
 OPTIONAL 2-CAR SIDE LOAD GARAGE
 ELEVATION A



MONOLITHIC SLAB FOUNDATION PLAN
 OPTIONAL 1-CAR CARRIAGE GARAGE



PARTIAL FOUNDATION PLAN
 OPTIONAL FIREPLACE AT FAMILY ROOM

LEGEND

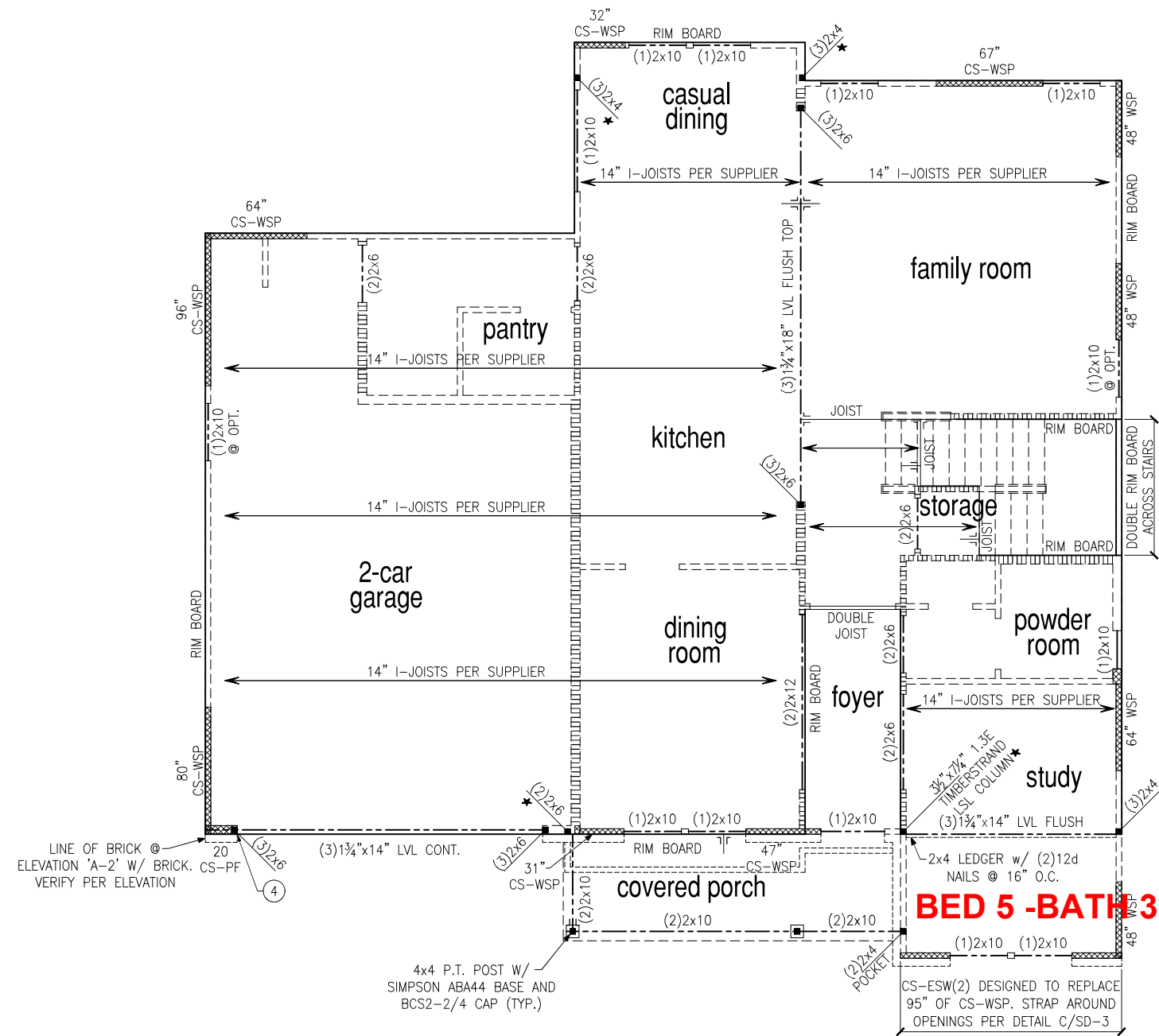
- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
- LOCATION OF DOOR ABOVE

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS



Monolithic Slab Foundation Plans
 Options
 Dogwood Model - LH
 Up to 130 M.P.H.
 Carolina Division

Project #: 105-16007
 Designed By: KRK
 Checked By:
 Issue Date: 4/9/19
 Re-Issue: 10/10/22
 Scale: 1/8"=1'-0" @ 11x17
 1/4"=1'-0" @ 22x34



SECOND FLOOR FRAMING PLAN
ELEVATIONS 'A-1', 'A-2' & 'A-3' W/ STONE

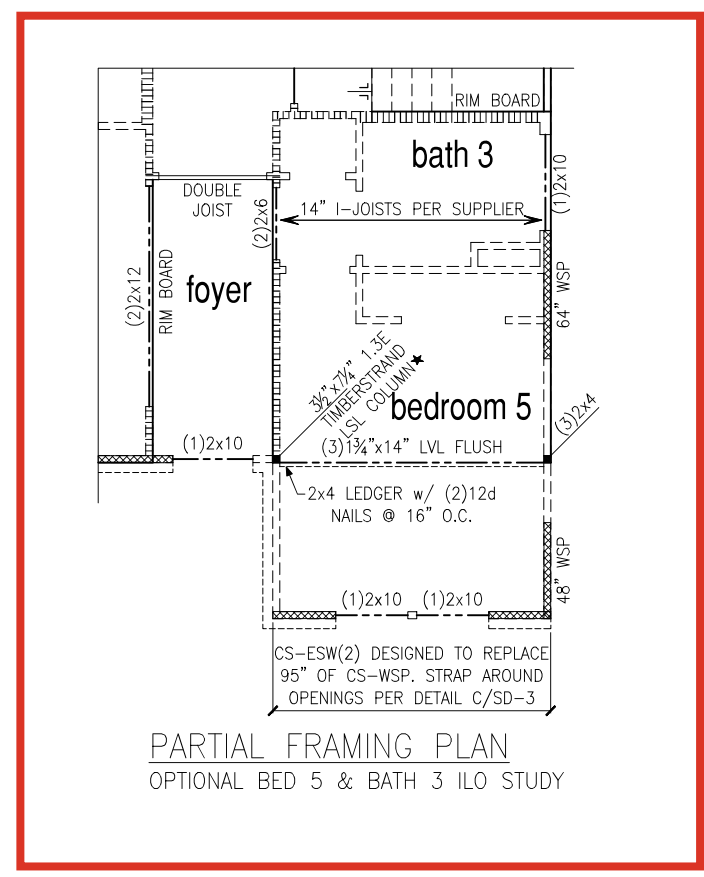
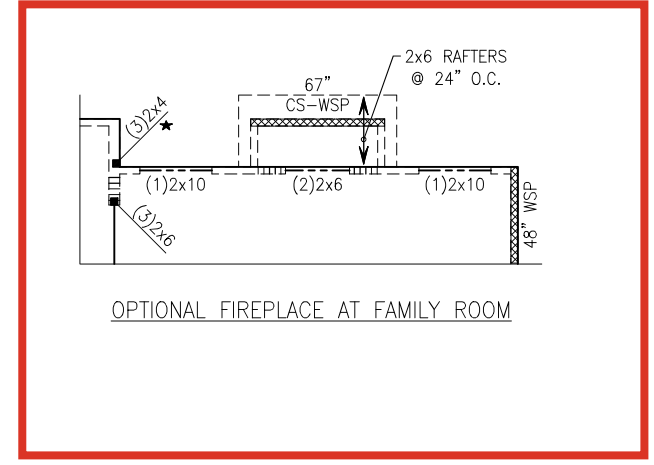
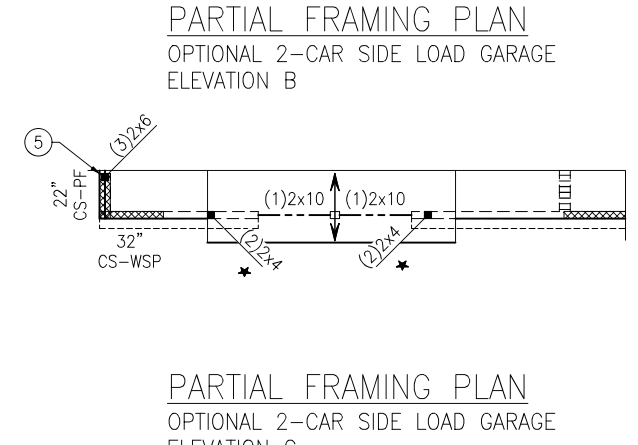
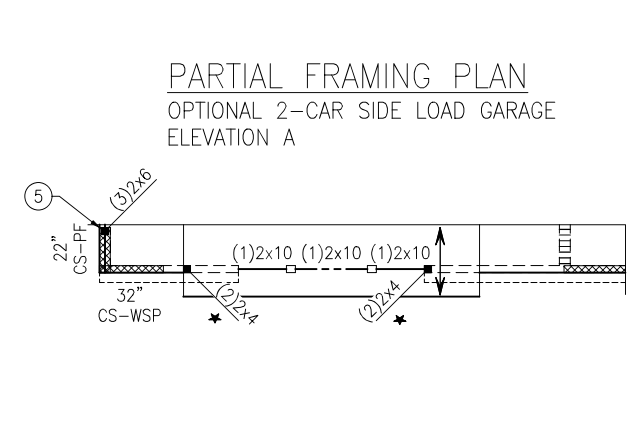
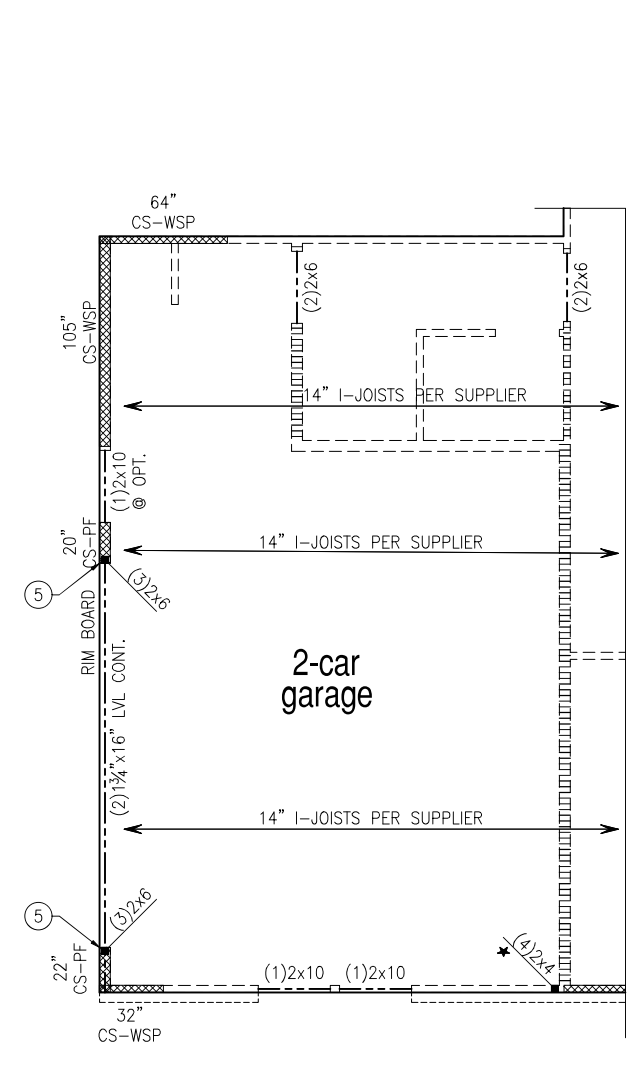
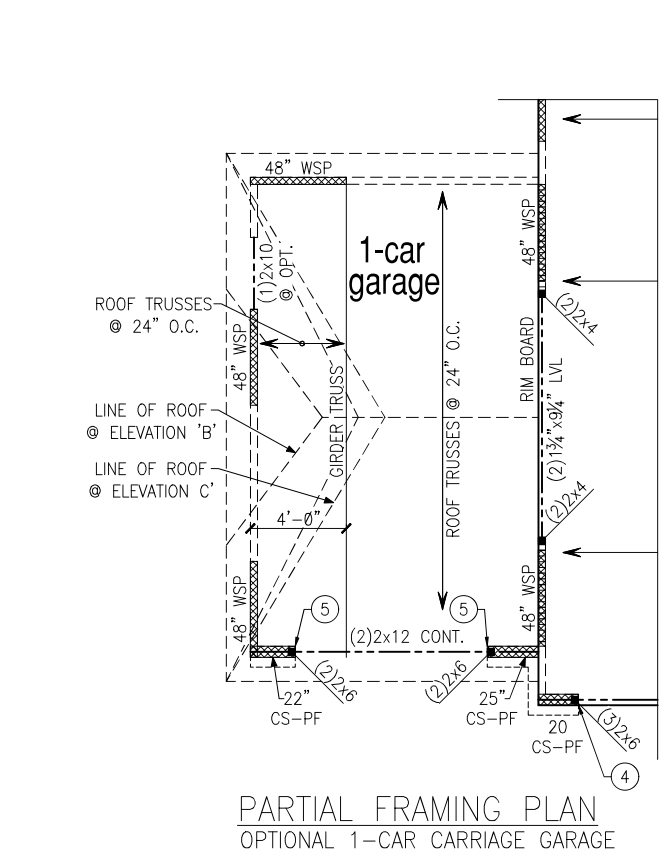
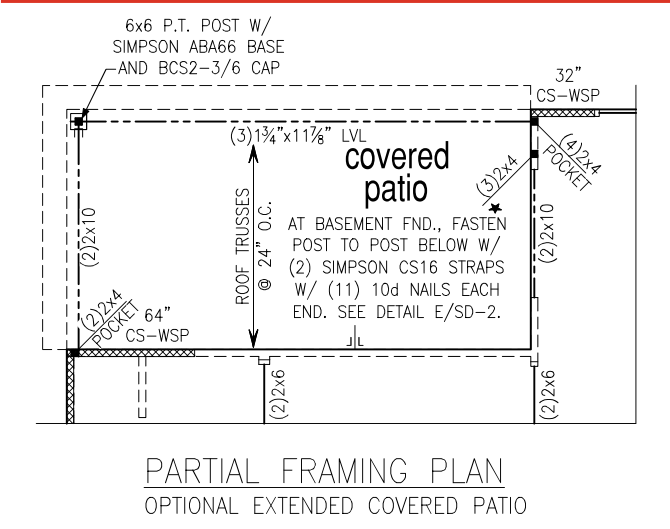
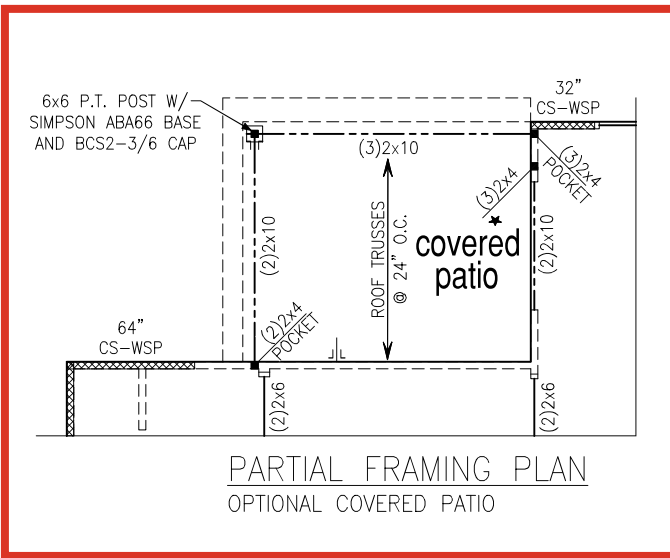
LEGEND	
	PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
	BEARING WALL ABOVE
	INTERIOR BEARING WALL
	BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS	
PLAN DESIGNED WITH 9' WALL PLATES	
FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.	
KEYNOTES:	
④	INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
⑤	INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.



Second Floor Framing Plan
Elevations 'A-1', 'A-2' & 'A-3' w/ Stone
Dogwood Model - LH
Up to 130 M.P.H.
Carolina Division

Project #: 105-16007
Designed By: KRK
Checked By:
Issue Date: 4/9/19
Re-Issue: 10/10/22
Scale: 1/8"=1'-0" @ 11x17
1/4"=1'-0" @ 22x34





LEGEND

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

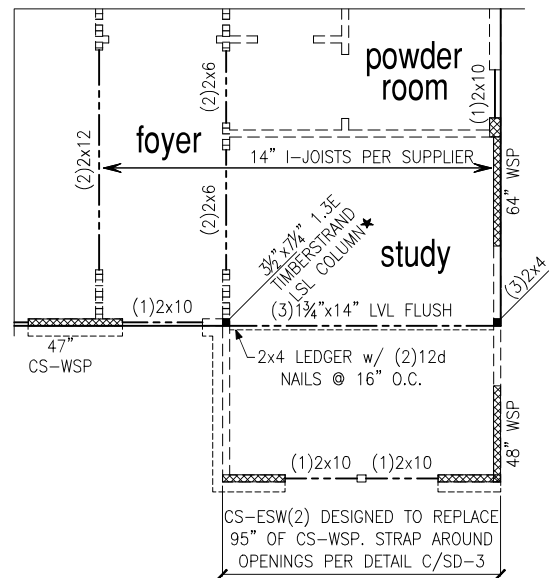
PLAN DESIGNED WITH 9" WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

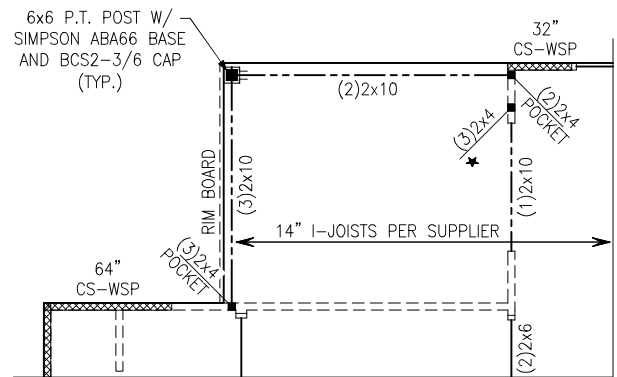
KEYNOTES:

- ④ INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
- ⑤ INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.





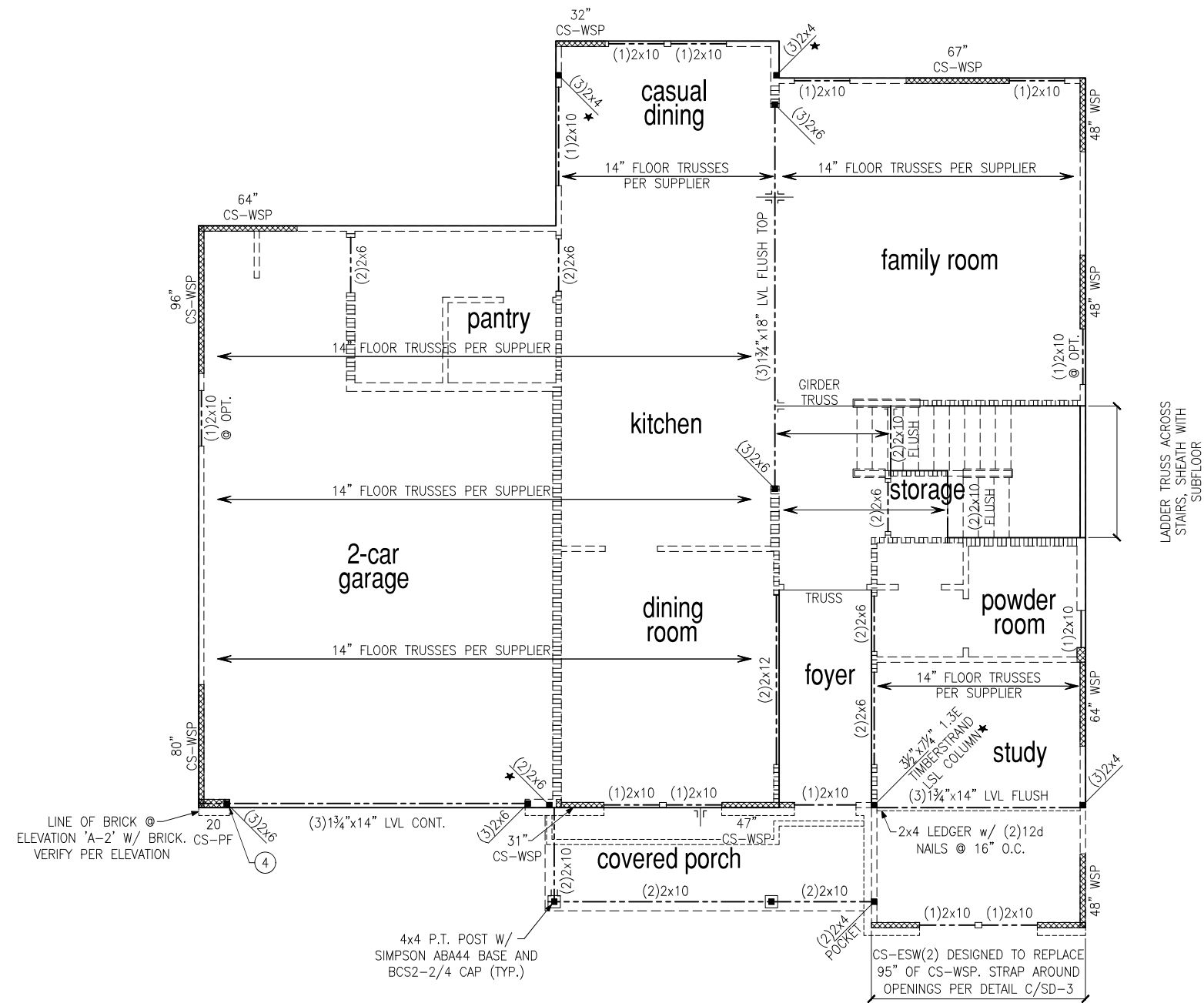
PARTIAL FRAMING PLAN
OPTIONAL BEDROOM 6 & BATH 4 ILO LOFT



PARTIAL FRAMING PLAN
OPTIONAL EXTENDED W.I.C. AT OWNER'S BATHROOM

LEGEND	
	PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
	BEARING WALL ABOVE
	INTERIOR BEARING WALL
	BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
	48\"/>
REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS	
PLAN DESIGNED WITH 9' WALL PLATES	
FLOOR FRAMING TO BE 14\"/>	
KEYNOTES:	
④	INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
⑤	INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.





SECOND FLOOR FRAMING PLAN
ELEVATIONS 'A-1', 'A-2' & 'A-3' W/ STONE

LEGEND

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9" WALL PLATES

FLOOR FRAMING TO BE 14" DEEP OPEN WEB TRUSSES, SPACING PER MANUFACTURER.

KEYNOTES:

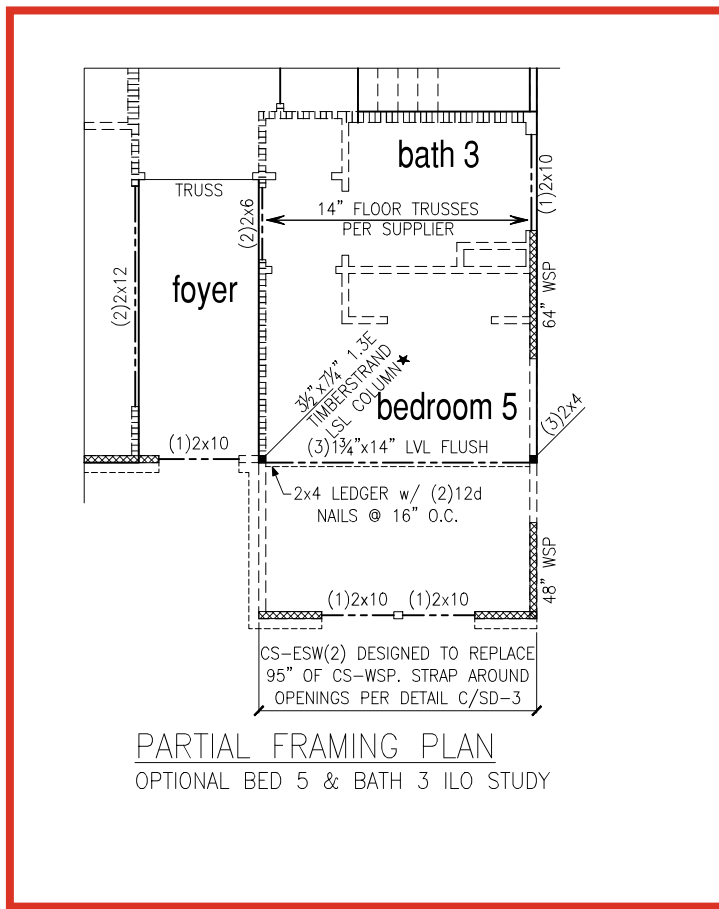
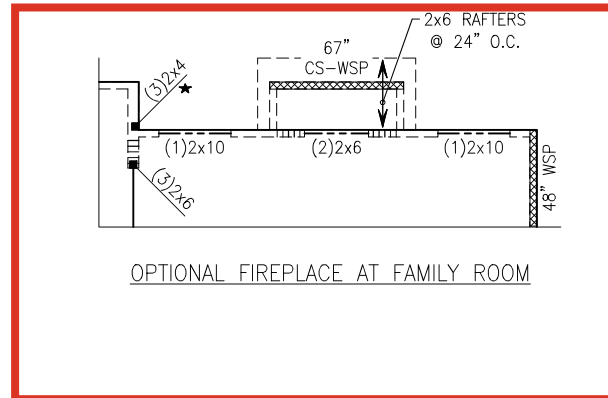
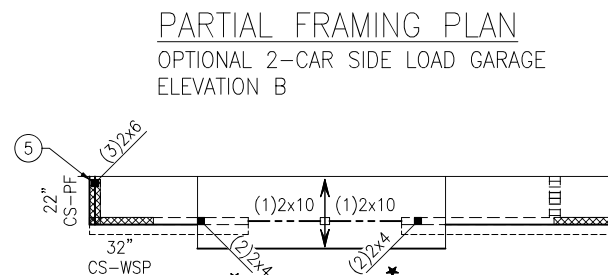
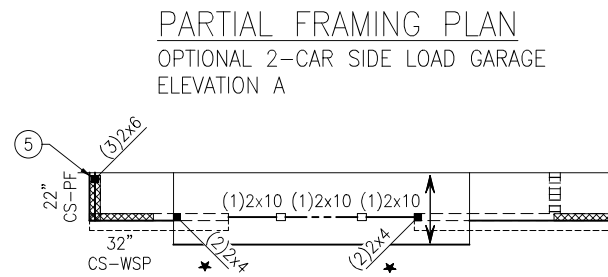
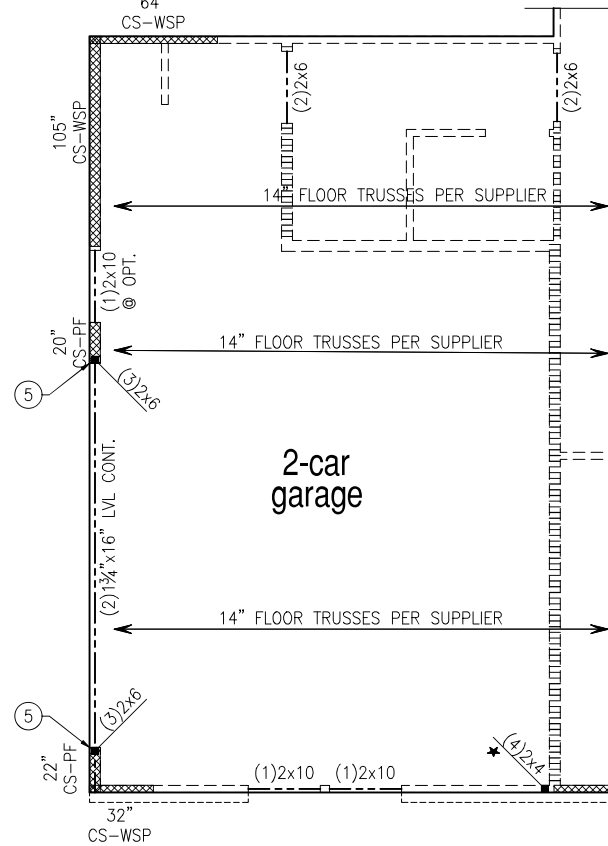
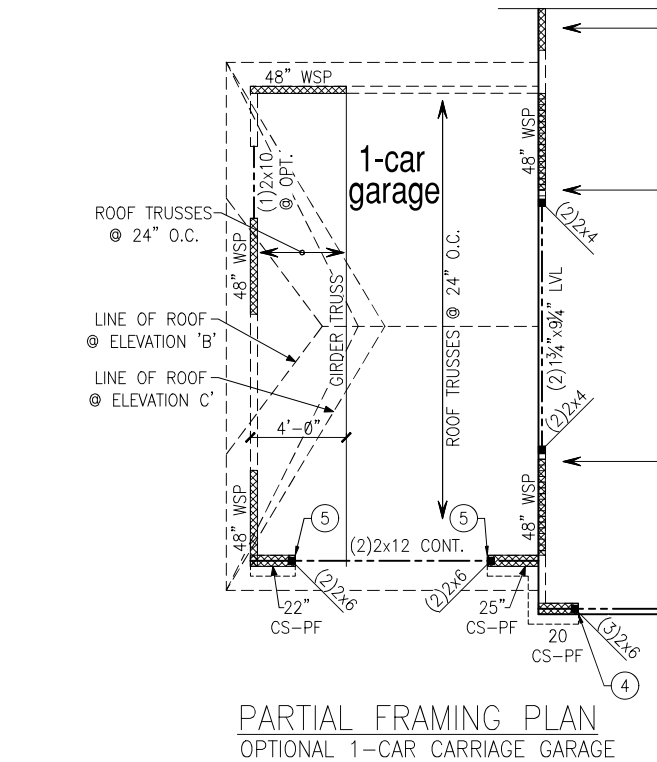
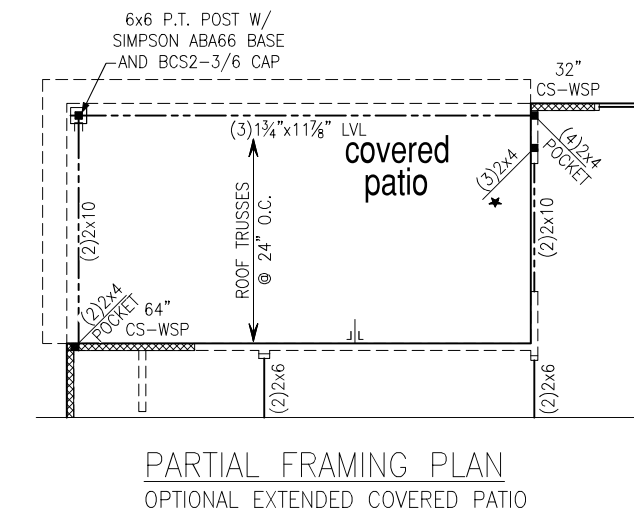
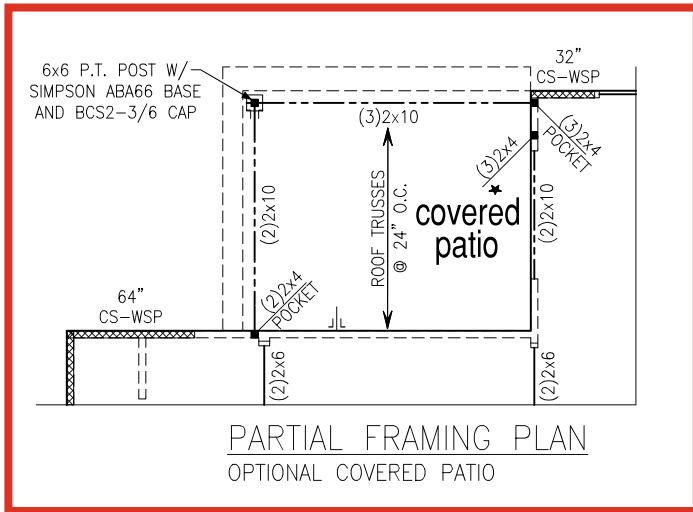
- ④ INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
- ⑤ INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.



Second Floor Framing Plan
Elevations 'A-1', 'A-2' & 'A-3' w/ Stone
Dogwood Model - LH
Up to 130 M.P.H.
Carolina Division

Project #: 105-16007
Designed By: KRK
Checked By:
Issue Date: 9/6/21
Re-Issue: 10/10/22
Scale: 1/8"=1'-0" @ 11x17
1/4"=1'-0" @ 22x34





LEGEND

- ★ PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- ▤ INTERIOR BEARING WALL
- ▨ BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
- 48" WSP

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

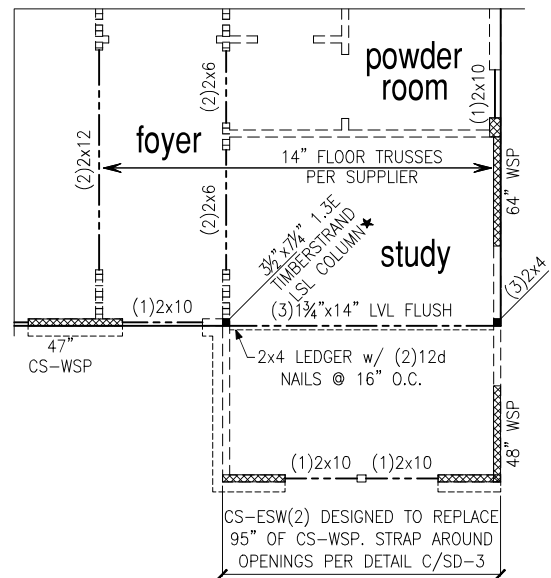
PLAN DESIGNED WITH 9' WALL PLATES

FLOOR FRAMING TO BE 14" DEEP OPEN WEB TRUSSES, SPACING PER MANUFACTURER.

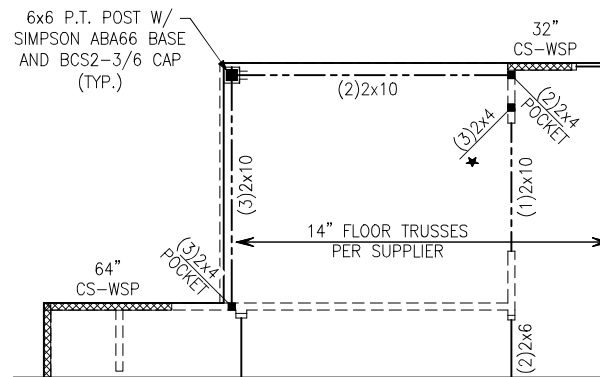
KEYNOTES:

- INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
- INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.





PARTIAL FRAMING PLAN
OPTIONAL BEDROOM 6 & BATH 4 ILO LOFT



PARTIAL FRAMING PLAN
OPTIONAL EXTENDED W.I.C. AT OWNER'S BATHROOM

LEGEND	
	PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
	BEARING WALL ABOVE
	INTERIOR BEARING WALL
	BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
	48\"/>
REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS	
PLAN DESIGNED WITH 9' WALL PLATES	
FLOOR FRAMING TO BE 14\"/>	
KEYNOTES:	
④	INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
⑤	INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.

