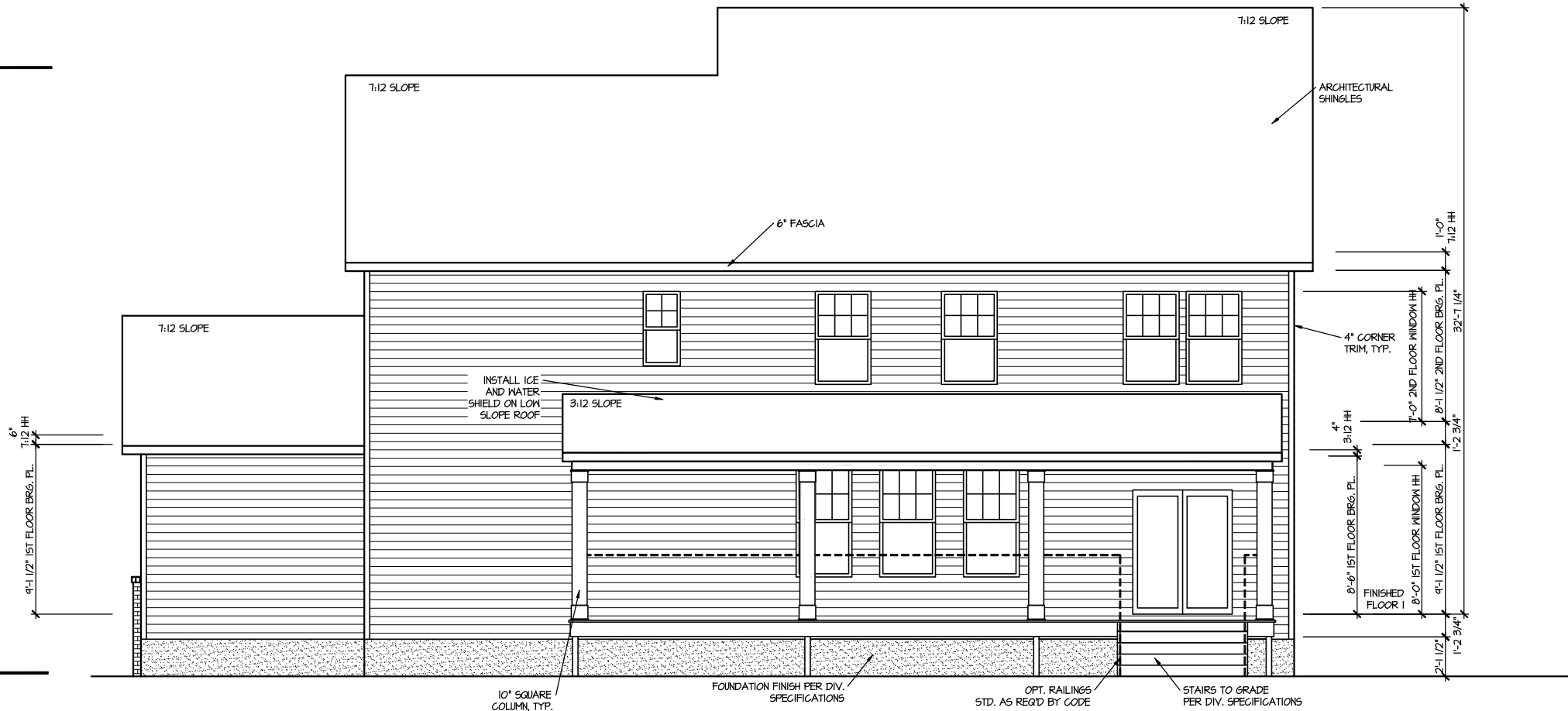


FRONT ELEVATION 5  
SCALE: 1/8" = 1'-0"



REAR ELEVATION 5  
SCALE: 1/8" = 1'-0"

FILE: Lot\_00,0012.dwg DATE: 7/9/2024 1:32 PM

MASTER PLAN INFORMATION	
REVISION	DATE
1-RALE	12-11-2023
	UPDATED DATE
	04-19-2024

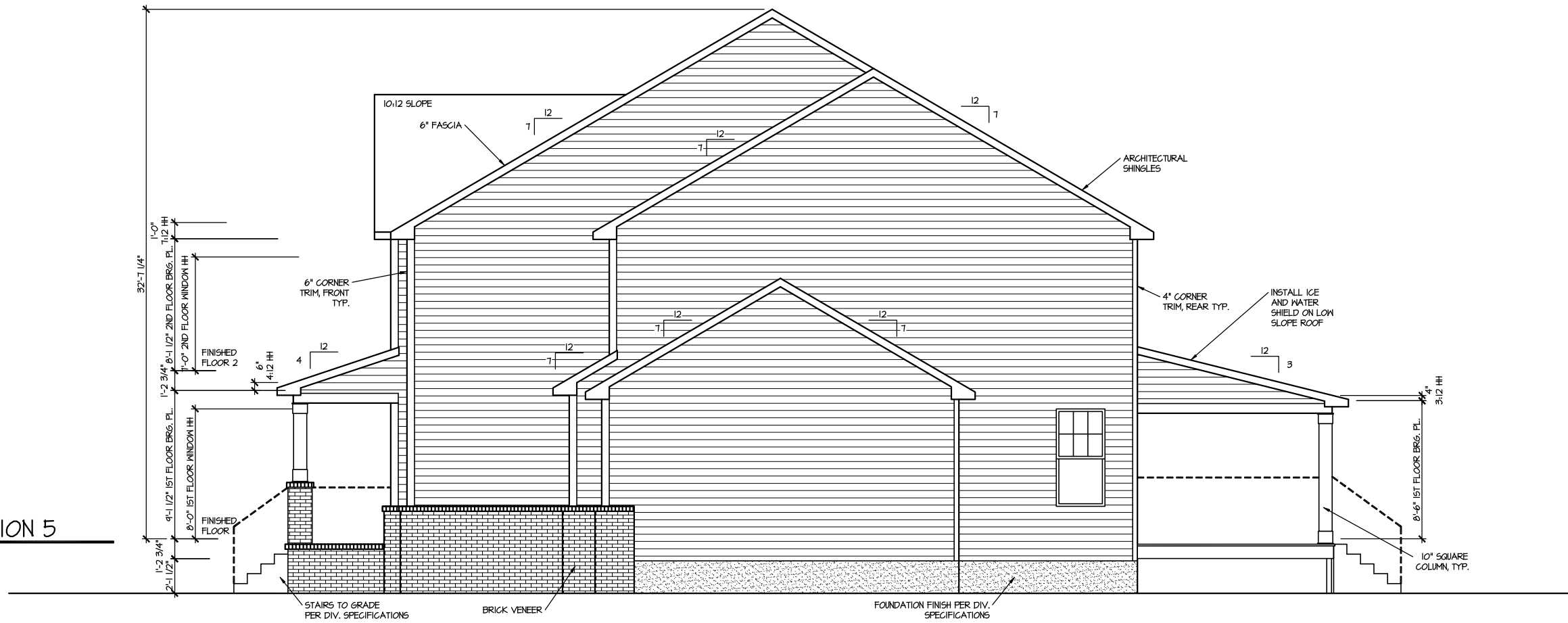
DRAWN BY: ITS  
DATE: 07/09/2024  
PLAN NO. 3501



HOUSE NAME: TOWNSEND  
DRAWING TITLE: FRONT & REAR ELEVATIONS

SHEET No. A.1

**RIGHT ELEVATION 5**  
SCALE: 1/8" = 1'-0"



**LEFT ELEVATION 5**  
SCALE: 1/8" = 1'-0"



FILE: Lot\_00.0012.dwg DATE: 7/9/2024 1:32 PM

MASTER PLAN INFORMATION	
REVISION	DATE
1-RALE	12-11-2023
	UPDATED DATE
	04-19-2024

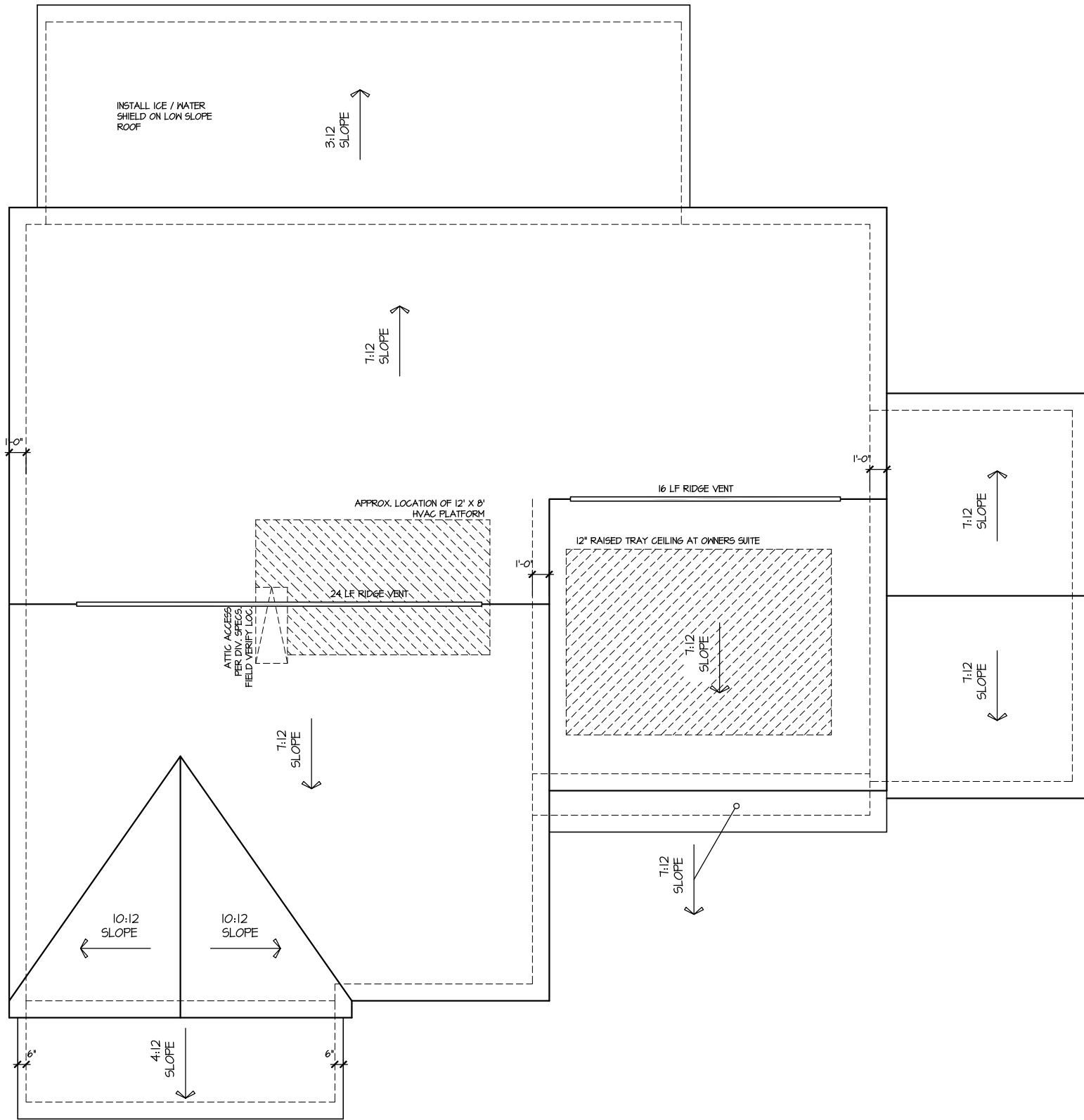
DRAWN BY: ITS  
DATE: 07/09/2024  
PLAN NO. 3501



HOUSE NAME: TOWNSEND  
DRAWING TITLE: RIGHT & LEFT ELEVATIONS

SHEET No. A1.2

UPPER ROOF VENTILATION CALCULATIONS:  
 ROOF AREA = 2101 SQ. FT.  
 OVERALL REQUIRED VENTILATION:  
 1 TO 80 = 14.0 SQ. FT.  
 1 TO 300 = 7.00 SQ. FT.  
 50-80% IN TOP THIRD = 3.50 - 5.60 SQ. FT. (1 TO 300)  
 NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN / LINEAR FT.  
 NET FREE AREA OF RIDGE VENT = 18 SQ. IN / LINEAR FT.  
 LOWER VENTING (BOTTOM 2/3 RISE)  
 100 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 5.70 SQ. FT.  
 UPPER VENTING (TOP 1/3 RISE)  
 40 LINEAR FEET OF RIDGE X 18 SQ. IN. = 5.0 SQ. FT.  
 5.0 SQ. FT. BETWEEN 50% - 80%  
 (1 TO 300 ALLOWED)  
 TOTAL ROOF VENTILATION: 8.46 SQ. FT. > 7.00 SQ. FT. (REQ'D)

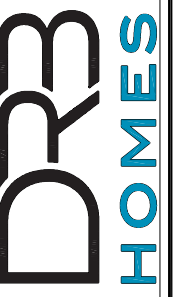


ROOF PLAN ELEV. 5  
 SCALE: 1/8" = 1'-0"

FILE: Lot\_00,0012.dwg DATE: 7/9/2024 1:32 PM

MASTER PLAN INFORMATION  
 REVISION DATE  
 1-RALE 12-11-2023  
 UPDATED DATE  
 04-19-2024

DRAWN BY:  
 ITS  
 DATE:  
 07/09/2024  
 PLAN NO.  
 3501



HOUSE NAME:  
 TOWNSEND  
 DRAWING TITLE  
 ROOF PLAN

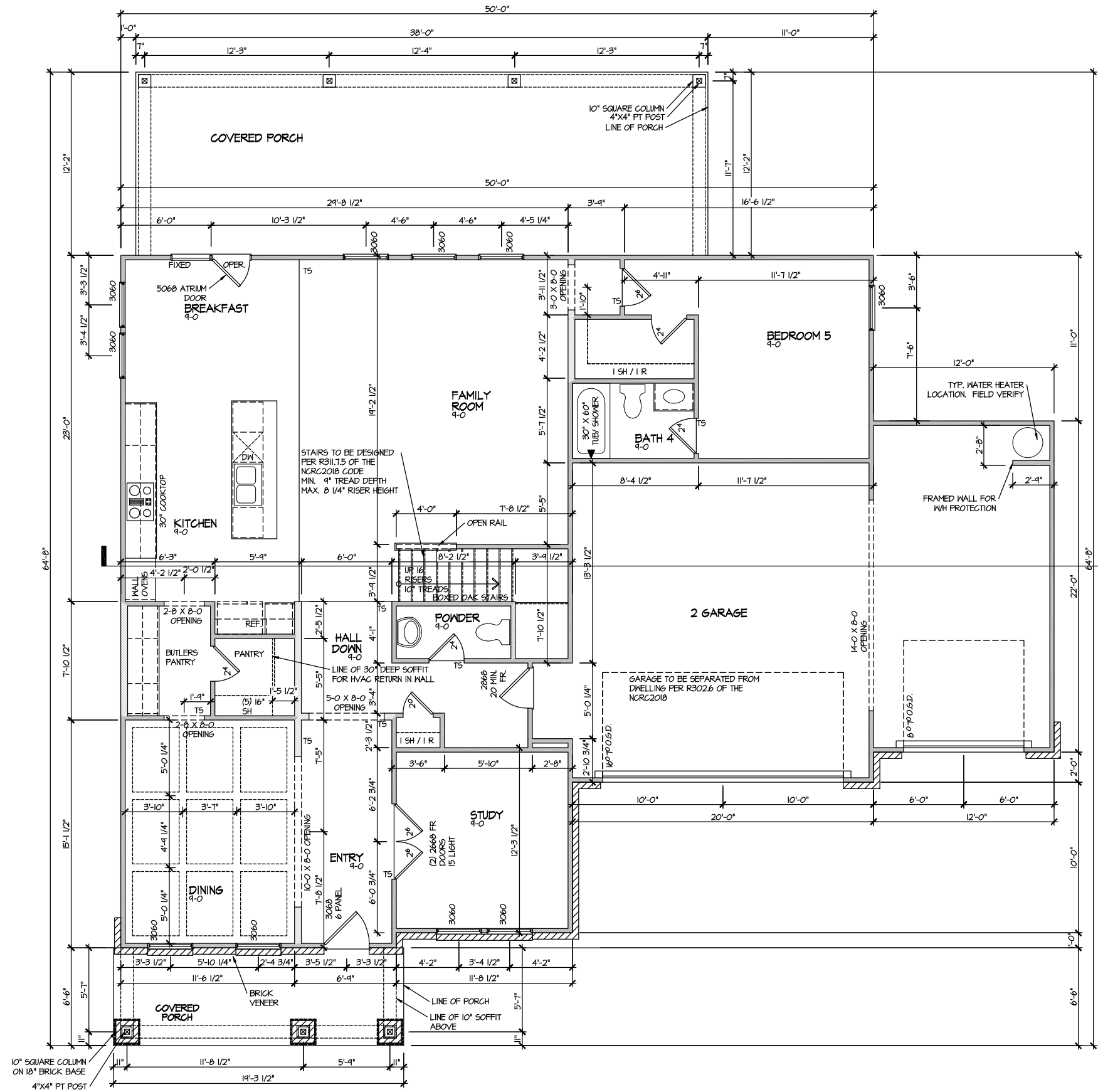
SHEET No.  
 A.3



FILE: Lot\_00.0012.dwg DATE: 7/9/2024 1:32 PM

# ELEVATION 5 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



MASTER PLAN INFORMATION	
REVISION	DATE
1-RALE	12-11-2023
	UPDATED DATE
	04-19-2024

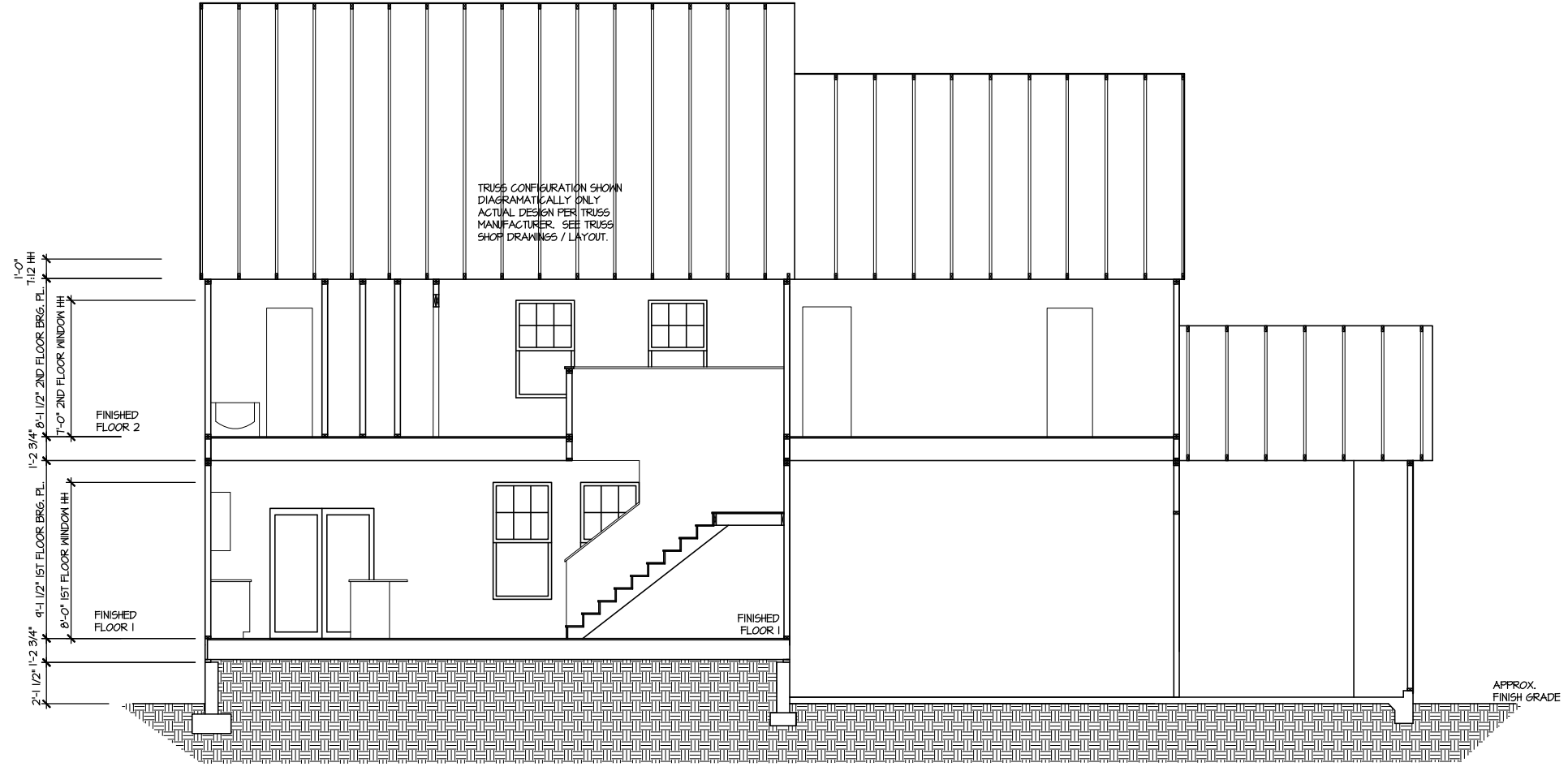
DRAWN BY:	ITS
DATE:	07/09/2024
PLAN NO.	3501



HOUSE NAME:  
**TOWNSEND**  
DRAWING TITLE  
**FIRST FLOOR PLAN**

SHEET No.  
**A3.1**





**SECTION I**  
SCALE: 1/8" = 1'-0"

REVISION  
1-RALE

DATE  
12-11-2023

MASTER PLAN INFORMATION  
DRAWN BY:  
ITS  
DATE:  
07/09/2024  
PLAN NO.  
3501

**DRB**  
**HOMES**

HOUSE NAME:  
**TOWNSEND**  
DRAWING TITLE  
**BUILDING SECTION**

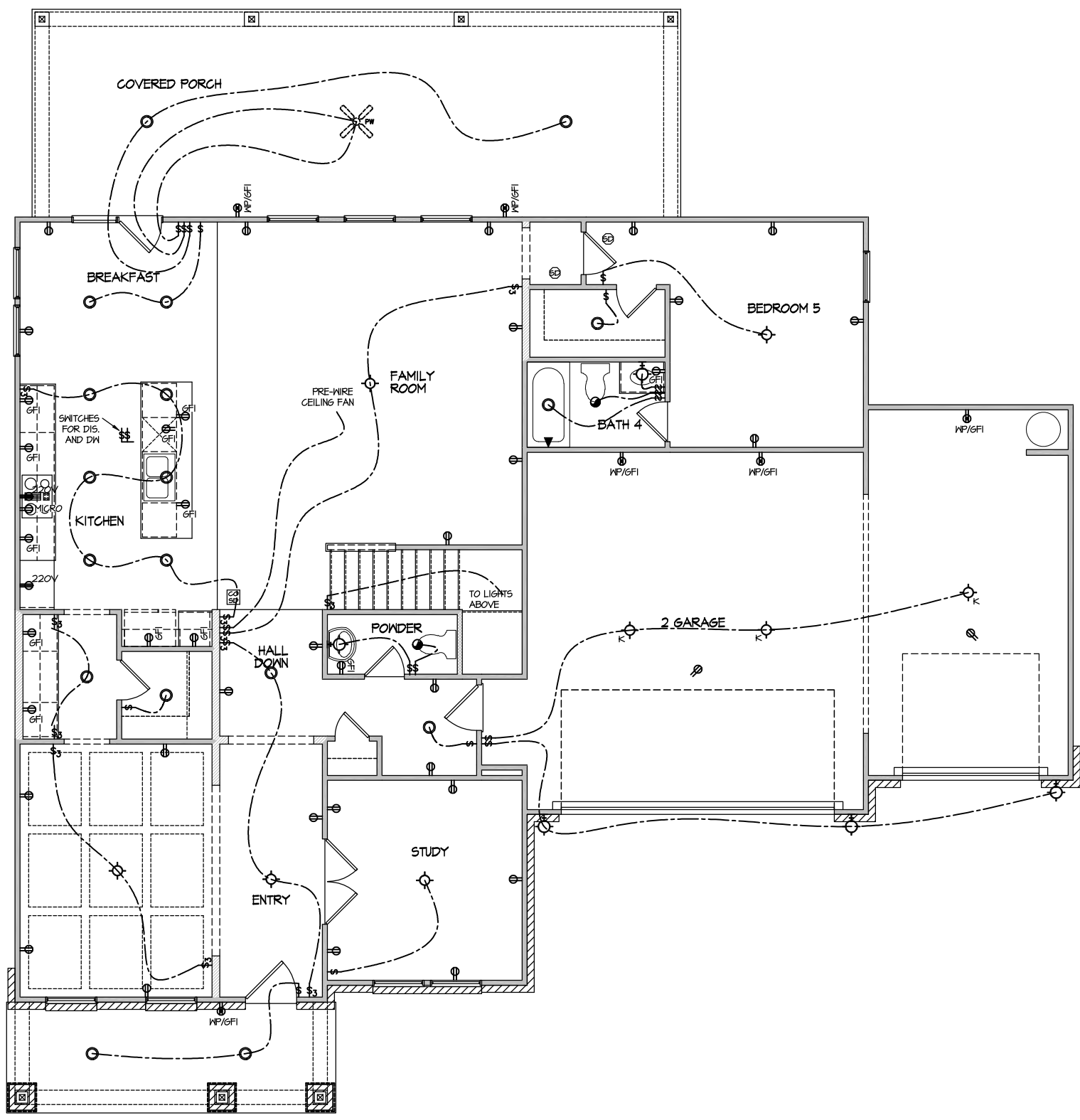
SHEET No.  
**A4.1**



**ELECTRICAL LEGEND**

- ⊕ SINGLE POLE SWITCH
- ⊕<sub>3</sub> THREE WAY SWITCH
- ⊕<sub>4</sub> FOUR WAY SWITCH
- ⊕-⊕ DUPLEX AFCI RECEPTACLE
- ⊕-⊕ (with bottom half shaded) DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
- ⊕ (with floor symbol) DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
- 220V ⊕ RECEPTACLE - 220V
- GFI ⊕ DUPLEX AFCI RECEPTACLE - GFI
- WP/GFI ⊕ DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
- ⊕ (with smoke detector symbol) SMOKE DETECTOR - WIRED IN SERIES
- ⊕ (with fan symbol) EXHAUST FAN MOTOR
- ⊕ (with TV symbol) TV JACK
- ⊕ (with TV symbol) TV JACK
- ⊕ (with bell symbol) CO / SMOKE DETECTOR
- ⊕ (with bell symbol) DOOR CHIME
- ⊕ (with light symbol) LIGHT FIXTURE - WALL MOUNTED
- ⊕ (with light symbol) LIGHT FIXTURE - CEILING MOUNTED
- ⊕ (with light symbol) LIGHT FIXTURE - SURFACE MOUNTED LED
- ⊕ (with lamp symbol) FULLCHAIN LAMPHOLDER
- ⊕ (with lamp symbol) KEYLESS LAMPHOLDER
- ⊕ (with motion sensor symbol) MOTION SENSOR FLOOD LIGHT

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



**ELECTRICAL PLAN**  
**FIRST FLOOR - ELEV. 5**  
 SCALE: 1/8" = 1'-0"

FILE: Lot\_00.0012.dwg DATE: 7/9/2024 1:32 PM

MASTER PLAN INFORMATION	
REVISION	DATE
1-RALE	12-11-2023
UPDATED DATE	04-19-2024

DRAWN BY:	ITS
DATE:	07/09/2024
PLAN NO.	3501



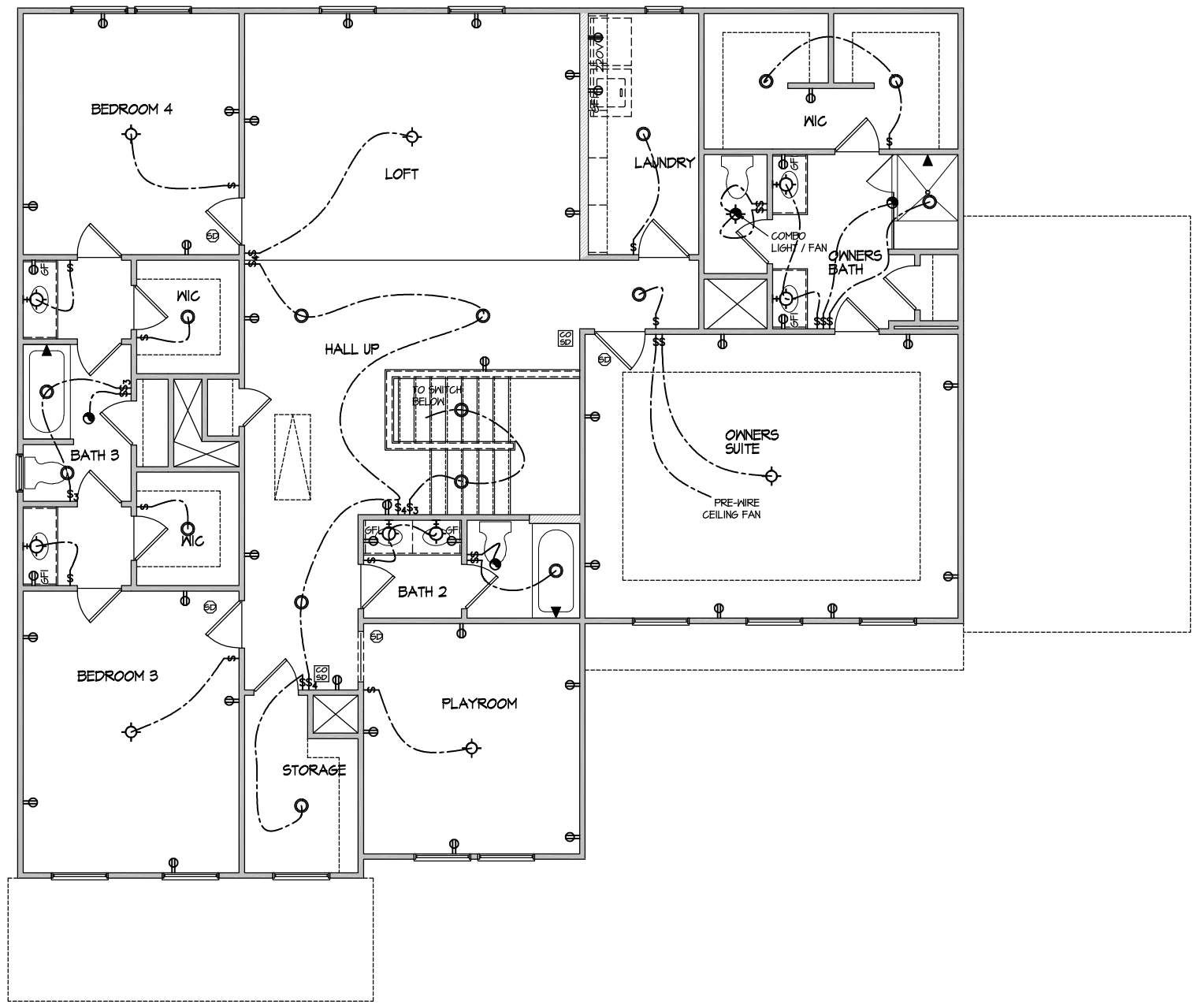
HOUSE NAME:  
**TOWNSEND**  
 DRAWING TITLE  
**FIRST FLOOR ELECTRICAL**

SHEET No.

**ELECTRICAL LEGEND**

- ⊕ SINGLE POLE SWITCH
- ⊕<sub>3</sub> THREE WAY SWITCH
- ⊕<sub>4</sub> FOUR WAY SWITCH
- ⊕-⊕ DUPLEX AFCI RECEPTACLE
- ⊕-⊕ (with bottom half shaded) DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
- ⊕-⊕ (with top half shaded) DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
- ⊕-⊕ (with 220V symbol) RECEPTACLE - 220V
- ⊕-⊕ (with GFI symbol) DUPLEX AFCI RECEPTACLE - GFI
- ⊕-⊕ (with WP/GFI symbol) DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
- ⊕-⊕ (with SD symbol) SMOKE DETECTOR - WIRED IN SERIES
- ⊕-⊕ (with fan symbol) EXHAUST FAN MOTOR
- ⊕-⊕ (with TV symbol) TV JACK
- ⊕-⊕ (with TV symbol) TV JACK
- ⊕-⊕ (with CO symbol) CO / SMOKE DETECTOR
- ⊕-⊕ (with door symbol) DOOR CHIME
- ⊕-⊕ (with light symbol) LIGHT FIXTURE - WALL MOUNTED
- ⊕-⊕ (with light symbol) LIGHT FIXTURE - CEILING MOUNTED
- ⊕-⊕ (with light symbol) LIGHT FIXTURE - SURFACE MOUNTED LED
- ⊕-⊕ (with P symbol) FULLCHAIN LAMPHOLDER
- ⊕-⊕ (with K symbol) KEYLESS LAMPHOLDER
- ⊕-⊕ (with motion symbol) MOTION SENSOR FLOOD LIGHT

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



**ELECTRICAL PLAN**  
**SECOND FLOOR - ELEV. 5**  
 SCALE: 1/8" = 1'-0"

FILE: Lot\_00.0012.dwg DATE: 7/9/2024 1:32 PM

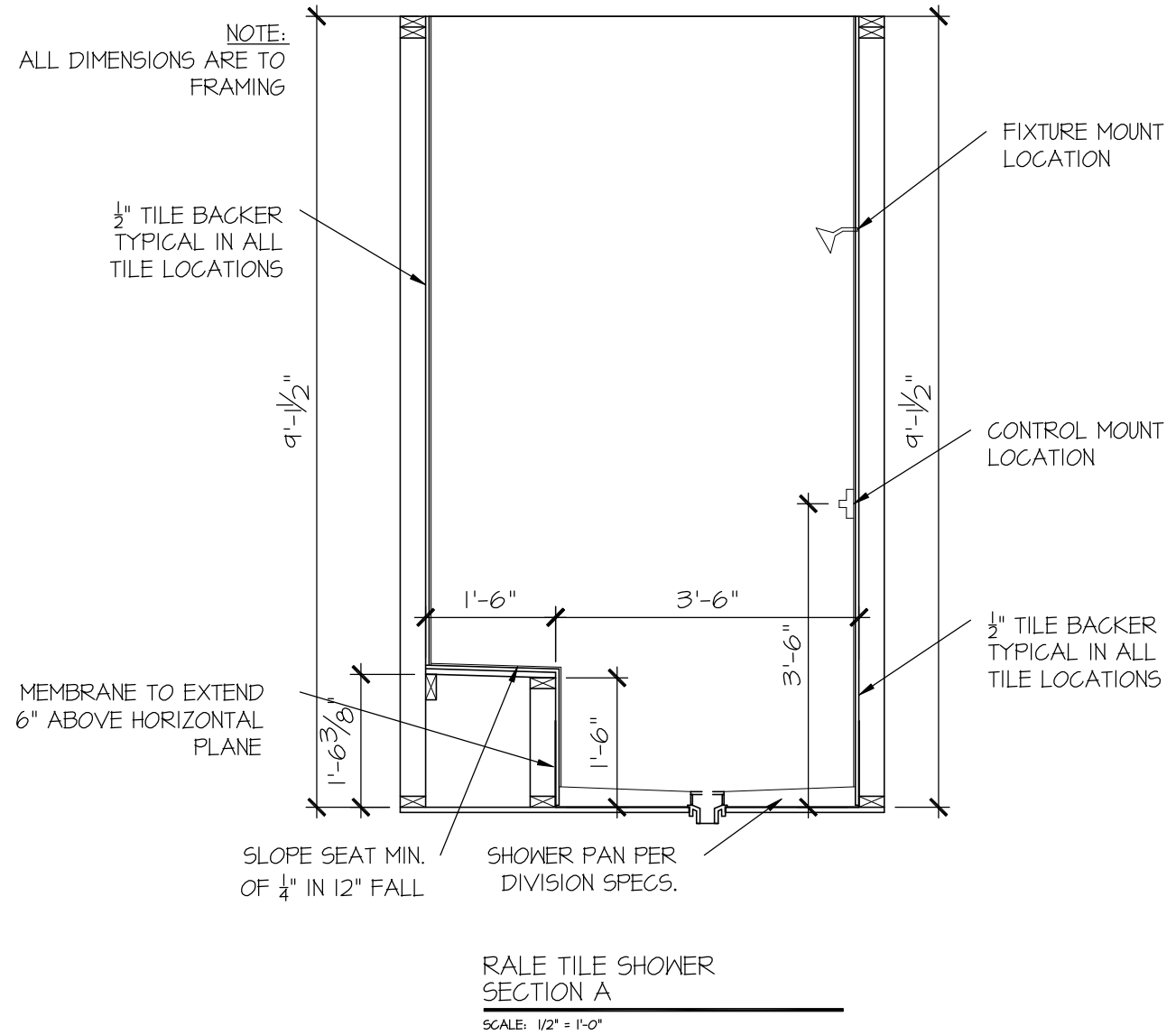
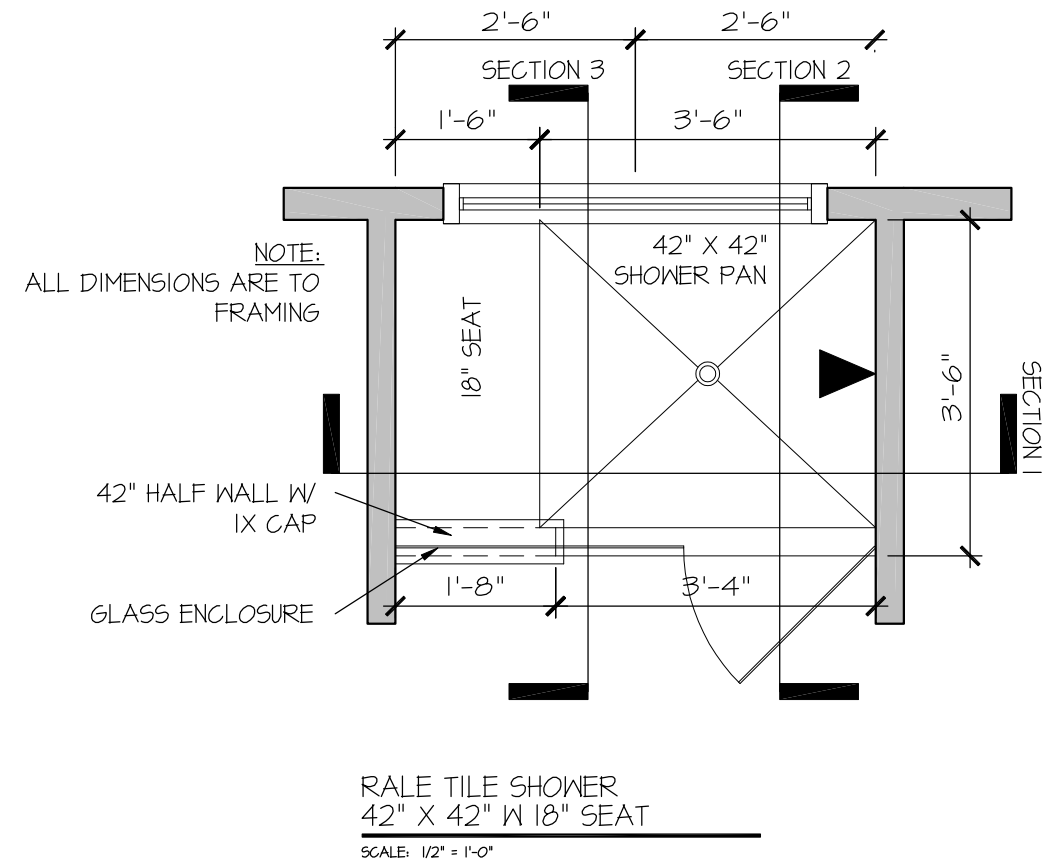
MASTER PLAN INFORMATION	
REVISION	DATE
1-RALE	12-11-2023
	UPDATED DATE
	04-19-2024

DRAWN BY:	ITS
DATE:	07/09/2024
PLAN NO.	3501



HOUSE NAME:	TOWNSEND
DRAWING TITLE	SECOND FLOOR ELECTRICAL

SHEET No.	1.2
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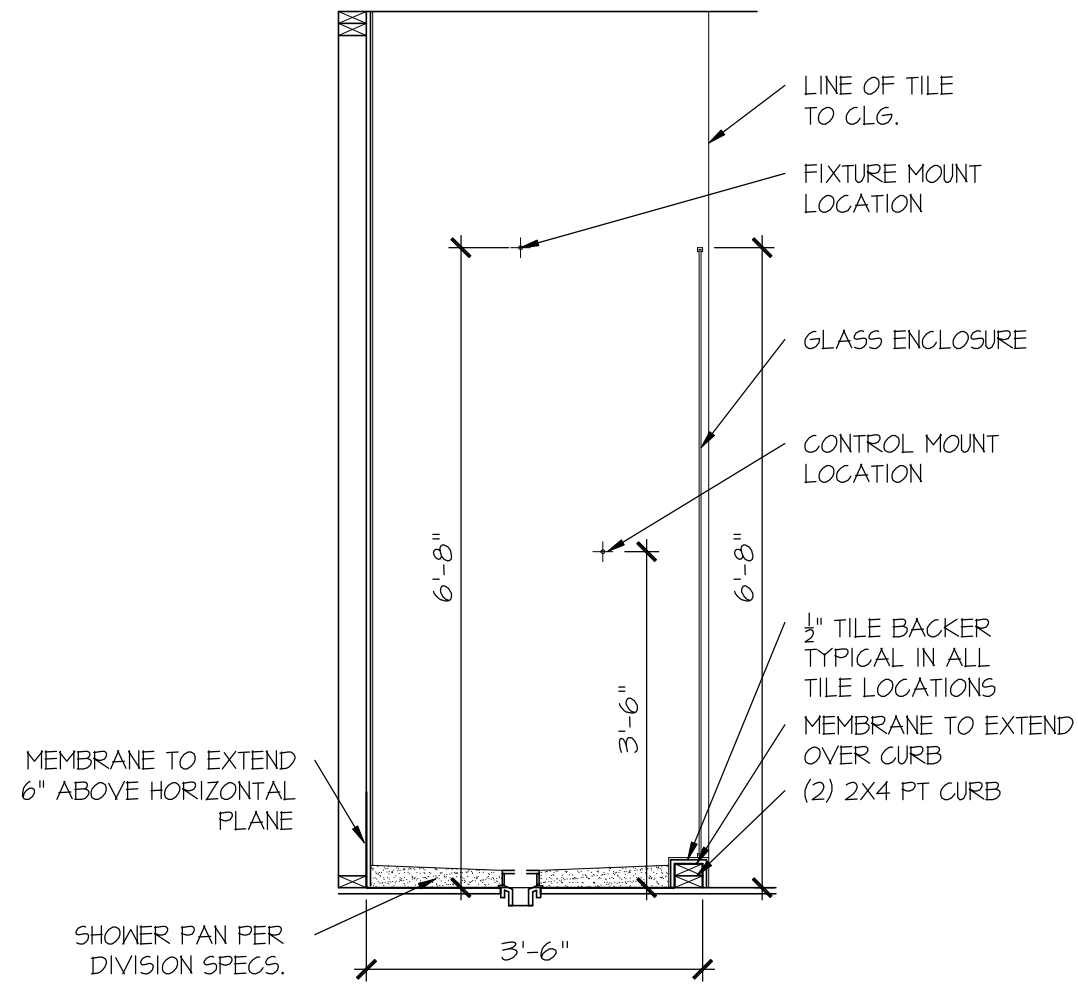


DRAWN BY:  
L. BEAVERS  
DATE: 9/1/22  
PLAN NO.  
11 X 17 SCALE  
24 X 36 SCALE

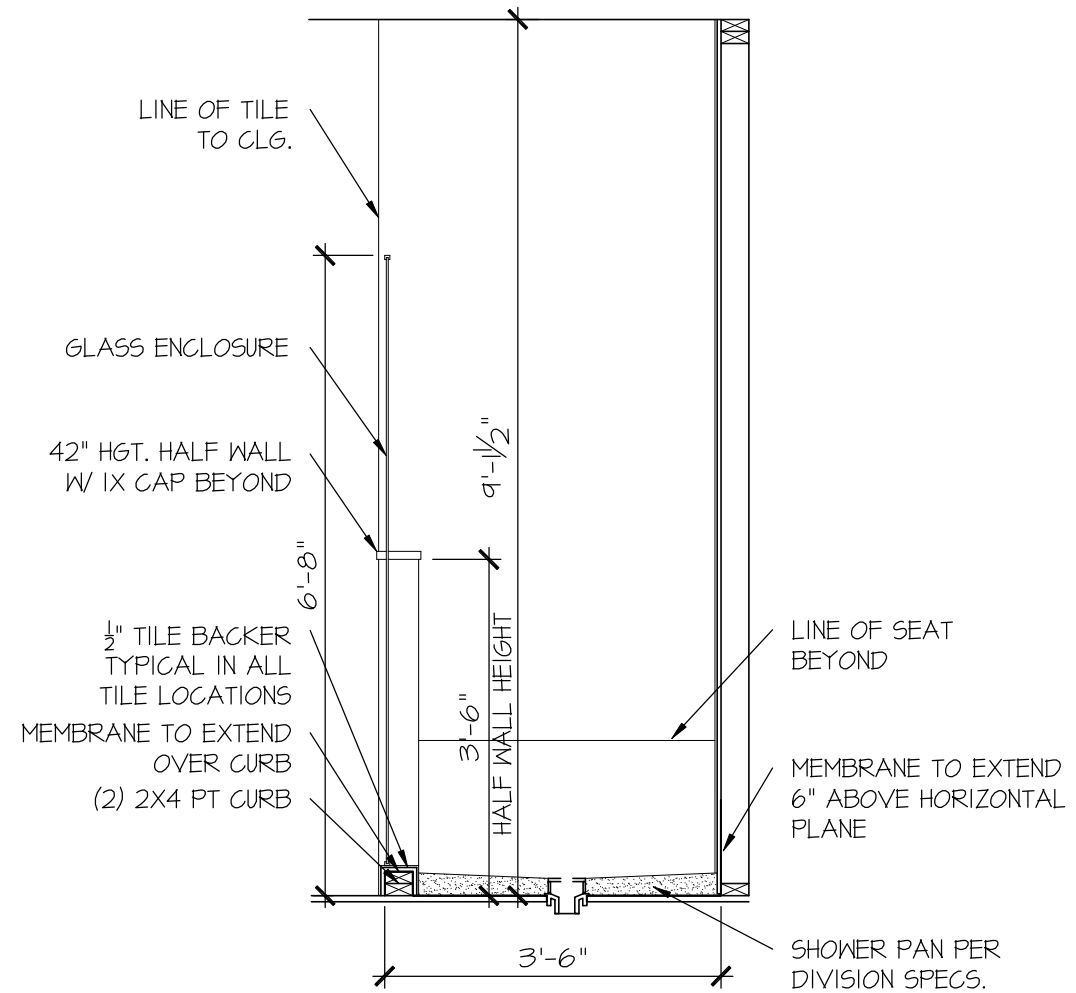


HOUSE NAME:  
DRAWING TITLE  
RALE TILE SHOWER DETAIL

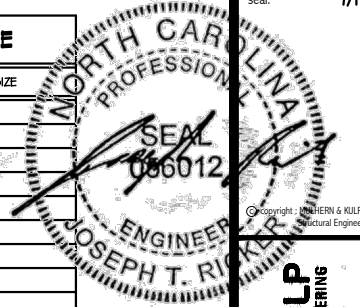
SHEET No.  
01.12



RALE TILE SHOWER SECTION B  
SCALE: 1/2" = 1'-0"



RALE TILE SHOWER SECTION C  
SCALE: 1/2" = 1'-0"



MULHERN+KULP  
RESIDENTIAL STRUCTURAL ENGINEERING  
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P: 704-698-2801  
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N.C. LIC. #C-3825



M&K project number:  
126-23047  
project mgr: JTR  
drawn by: KFG  
issue date: 07-12-24  
REVISIONS:  
date: initial:

**DRB HOMES**

STRUCTURAL NOTES  
HONEYCUTT HILLS  
LOT 12 - TOWNSEND 5  
RALEIGH, NC

sheet:  
**SO.0**

### MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUTS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO, FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

### ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSH BEAMS DO NOT EXCEED THE FOLLOWING:  
A. ROOF TRUSSES:  
1/4" DEAD LOAD  
B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:  
1/8" DEAD LOAD  
C. FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS:  
LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD. (NOT DIFFERENTIAL DEFLECTION)

### LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:  
**120 MPH WIND IN 2018 NCSEBC:RC**  
(120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1604) & ASCE 7-10, AS PERMITTED BY R301.1.3 OF THE 2018 NCSEBC:RC, OR THE SIMPLIFIED PRESCRIPTIVE PROCEDURE IN ACCORDANCE WITH THE 2015 IRC IF THE PARAMETERS OF SECTION R602.12 COMPLY. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSEBC:RC SECTION R802.11.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 & R802.11.

### EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:  
FASTEN SHEATHING W/ 2 3/8"x0.131" NAILS @ 6" O.C. AT EDGES @ 12" O.C. IN THE PANEL FIELD. TYP. U.N.O.
- HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL EDGES IS NOT REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 1/2" 16 GA STAPLES (1/8" CROWN) @ 3" O.C. AT EDGES @ 6" O.C. IN FIELD.

### BLOCKED PANEL EDGES

- AT DESIGNATED AREAS - FASTEN SHEATHING W/ 2 3/8" x 0.131" NAILS @ 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN THE PANEL FIELD OR 1 3/4" 16 GA STAPLES (1/8" CROWN) @ 3" O.C. AT EDGES @ 6" O.C. IN FIELD. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENINGS.

### 3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W/ 8d NAILS @ 3" O.C. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENINGS.

### NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS:  
FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

--- INDICATES EXTENT OF INT. OSB SHEARWALL OR 3" O.C. OSB SHEARWALL.  
▷ INDICATES HOLD-DOWN BELOW

### FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES MARBLE FLOORS - CONTACT MK FOR MARBLE FLOOR DESIGNS)
- AT 1-JOIST FLOORS, PROVIDE 1 1/8" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.

- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND - 2 1/2" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES @ 12" O.C. FIELD.
- 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES @ 8" O.C. FIELD.
- 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES @ 6" O.C. IN FIELD.
- #6 x 2" MIN. SCREWS @ 6" O.C. @ PANEL EDGES @ 12" O.C. FIELD.

### ROOF FRAMING

- BAY WINDOWS & SHED ROOFS (UP TO 6' SPAN) CAN BE 2x4 OR 2x6 RAFTERS & CEILING JOISTS @ 16/24" O.C.

- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H25T CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) H25T CLIPS AT 2-PLY GIRDER TRUSSES, (3) H25T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.

- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TP1'S BCSI 1-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (MAX 7' SPAN) W/ 2x4 LEDGER FASTENED TO:  
- RIM BOARD W/ (2) 3"x0.131" NAILS @ 16" O.C. MAX. (1-JOISTS)  
- TRUSSES VERTICALS W/ (3) 3"x0.131" NAILS @ 14.2" O.C. MAX. (FLOOR TRUSSES)

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS - W/ 2 1/2" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES @ 12" O.C. FIELD.
- W/ 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES @ 8" O.C. FIELD.
- W/ 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES @ 6" O.C. FIELD.

### HOLD-DOWN SCHEDULE

SYMBOL	SPECIFICATION
▷ HD-1	SIMPSON HIT4 HOLD-DOWN *
▷ HD-2	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) (PRE-BENT MSTC66 ALT. WHEN SPECIFIED)
▷ HD-3	SIMPSON STDH4/14RJ HOLD-DOWN

ALTERNATIVE TO S66B24 ANCHOR BOLT SPECIFICATION:  
• UTILIZE SIMPSON "SET" EPOXY SYSTEM TO FASTEN 3/8" DIA. THREADED ROD INTO CONCRETE FOUNDATION. PROVIDE 12" MIN. EMBEDMENT INTO CONCRETE. INSTALL PER MANUF. RECOMMENDATIONS. DO NOT LOCATE ANCHORS WITHIN 1 3/4" @ EDGE OF FOUNDATION.

### LEGEND

- [Symbol] INTERIOR BEARING WALL
- [Symbol] BEARING WALL ABOVE
- [Symbol] BEAM / HEADER
- [Symbol] INDICATES SHEAR WALL & EXTENT
- [Symbol] EXTENT OF OVERFRAMING
- JL METAL HANGER
- \* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▷ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

### NON-BEARING HEADER SCHEDULE

SPAN	2x4 NON-BEARING PARTITION WALL	2x6 NON-BEARING PARTITION WALL
UP TO 3'-0"	(1)2x4 FLAT	(1)2x6 FLAT
UP TO 6'-0"	(2)2x4	(3)2x4
UP TO 8'-0"	(2)2x6	(3)2x6

NOTES:  
• ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX.)

### GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE, RESIDENTIAL CODE.
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

DESIGN LOADS:  
ROOF DEAD = 7 PSF T.C., 10 PSF B.C.  
LIVE = 16 PSF  
LOAD DURATION FACTOR = 1.25

FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS)  
DEAD = 10 PSF (1-JOISTS & SOLID SAMN)  
10 PSF T.C., 5 PSF B.C. (TRUSSES)  
(ADD'L 10 PSF @ TILE)

LATERAL 120 MPH, EXPOSURE B. SEISMIC A/B.

SOIL 2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

### GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.

- REFER TO FASTENING SCHEDULE TABLE R602.3(1) FOR ALL CONNECTIONS, TYP. U.N.O.

- EXT. & INT. BRG WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SFF OR STYP "STUD" GRADE LUMBER, OR BETTER, U.N.O.
- WALLS OVER 12' TALL SHALL BE PER PLAN.

- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SPY) LUMBER, OR BETTER (KILN-DRIED). ALL HEADERS HAVE BEEN DESIGNED BASED ON CALCULATED LOADS & SIZED ACCORDINGLY. CODE TABLES HAVE NOT BEEN USED.

- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 16" O.C. (MAX., U.N.O.)
- HEADERS IN NON-LOAD BEARING WALLS SHALL BE:  
(1)2x4/6 FLAT @ OPENINGS UP TO 4'; (2)2x4/6 FLAT UP TO 8'.

- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).

- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:  
• LSL - Fb=2325 psi; Fv=310 psi; E=1.55x10<sup>6</sup> psi  
• LVL - Fb=2600 psi; Fv=285 psi; E=2.0x10<sup>6</sup> psi  
• PSL - Fb=2900 psi; Fv=290 psi; E=2.0x10<sup>6</sup> psi

- MK SHALL BE FULLY INDEMNIFIED FOR ANY AND ALL ISSUES RESULTING FROM OR RELATED TO ANY BUILDING COMPONENT IF THE OWNER DOES NOT SUBMIT THE COMPONENT SHOP DRAWINGS TO MK FOR STRUCTURAL REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

- FOR 2 & 3 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O.C. OR 2 ROWS 1/2"x3/8" SIMPSON SDS SCREWS (OR 3/8" TRUSSLOK SCREWS) @ 16" O.C. USE A MINIMUM OF 3 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3/8" OR 5/8" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.

- FOR 4 PLY BEAMS OF EQUAL WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 1/2"x6" SIMPSON SDS SCREWS (OR 6 3/8" TRUSSLOK SCREWS) @ 16" O.C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE. A SOLID 7" BEAM IS ACCEPTABLE.

- ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD @ (1)2x KING STUD, MINIMUM.  
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.

- ALL MULTI-PLY STUDS TO BE FASTENED TOGETHER W/ 3"x0.131" NAILS @ 24" O.C. (MIN.), EACH PLY.

- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND/BEARING. BLOCKING TO MATCH POST ABOVE.

- FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS WITH P.A.F.'s (HILTI) X-CF PINS OR EQUAL @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C. STAGGERED.

- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BC52-2/4 CAP & ABM44Z BASE, U.N.O.

### GENERAL STRUCTURAL NOTES

#### FOUNDATION

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE, RESIDENTIAL CODE.
- FOOTING DESIGN - 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:
  - 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C., 1" MIN. EMBEDMENT (CONC.), 15" MIN. EMBEDMENT (CMU)
  - SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONC.)
  - SIMPSON MAB23 ANCHOR STRAPS @ 2'-8" O.C. (CMU)(REFER TO DETAILS FOR 10' TALL WALL ANCHOR REQUIREMENTS)
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR CMU SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.

- BASEMENT INTERIOR BEARING WALLS & EXTERIOR WALK-OUT BASEMENT WALLS SHALL BE 2x6 @ 16" O.C. SFF OR STYP, "STUD" GRADE OR BETTER.

- CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:  
F<sub>c</sub> = 4,000 psi ..... FOUNDATION WALLS  
2,500 psi ..... FOOTINGS & INTERIOR SLABS ON GRADE  
3,000 psi ..... GARAGE & EXTERIOR SLABS ON GRADE  
f<sub>y</sub> = 60,000 psi

- BASEMENT FOUNDATION WALL DESIGN BASED ON:
  - 9' OR 10' HEIGHT (AS NOTED ON PLANS)
  - TALLER WALLS MUST BE ENGINEERED.
  - NOMINAL WIDTH (4 1/2" FOR 10" THICK WALL).

- BASEMENT WALL DESIGN IS BASED ON 60 PCF BACKFILL SOIL TYPE CLASSIFICATIONS (SC, ML-CL, OR CL).

- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.

- PROVIDE (2) #5 BARS AROUND ALL SIDES OF OPENINGS IN CONCRETE BMNT. FND. WALL WITH 2" CLEAR. REINFORCEMENT SHALL EXTEND 12" PAST CORNER OF OPENING IN ALL DIRECTIONS.
  - FOR OPENINGS UP TO 36", PROVIDE MINIMUM 10" CONCRETE DEPTH OVER OPENING OR (3)2x10 W/ (2)2x6 JACK STUDS, U.N.O.
  - LARGER OPENINGS SHALL BE PER PLAN.

- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.

- ALL FOOTINGS SHALL BEAR AT LEAST 12" BELOW FINISH GRADE.

- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.

- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.
  - JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
  - JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (1:1 RATIO), WITH A MAXIMUM OF 1:1.5 RATIO
  - CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL SLABS

- CONCRETE MASONRY UNITS (CMU) SHALL BE ASTM C90 WITH A MIN. COMPRESSIVE STRENGTH OF 1900 psi (F<sub>m</sub>=1500 psi). MORTAR SHALL BE ASTM C270, TYPE S. CMU DESIGN PER ACI 530 & 530.1.
- CMU FOUNDATION WALLS SHALL HAVE DUR-O-WALL' HORIZONTAL JOINT REINFORCEMENT (OR EQUAL) - 9 GA. MINIMUM @ 16" O.C.

- PROVIDE 2x8 x 16" LONG P.T. PLATE ON TOP OF ALL CRAWL SPACE PIERS. ALL PIERS SHALL BE GROUTED SOLID.

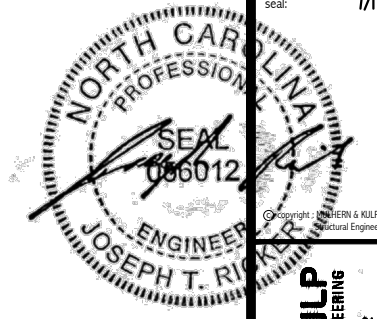
- PROVIDE 2x6 P.T. PLATE ON INTERIOR CRAWL SPACE WALLS, FASTENED PER ANCHORAGE SPECIFICATION NOTED ABOVE.
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

- BUILDER TO VERIFY THAT MODEL HAS BEEN ADEQUATELY TREATED BY A LICENSED AND BONDED PEST CONTROL COMPANY FOR SUBTERRANEAN TERMITES. METHOD AND TYPE OF TREATMENT TO BE DETERMINED BY PEST CONTROL COMPANY.

### CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.131" NAILS	3"x0.120" NAILS
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
SOLE PLATE TO JOIST/BLK'G.	(3) NAILS @ 4" o.c.	(3) NAILS @ 4" o.c.
STUD TO SOLE PLATE	(2) TOENAILS	(3) TOENAILS*
TOP OR SOLE PLATE TO STUD	(2) NAILS	(3) NAILS
RIM TO TOP PLATE	TOENAILS @ 8" o.c.	TOENAILS @ 6" o.c.*
BLK'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS	(3) TOENAILS*
DOUBLE STUD	NAILS @ 24" o.c.	NAILS @ 16" o.c.
DOUBLE TOP PLATE	NAILS @ 24" o.c.	NAILS @ 16" o.c.
DOUBLE TOP PLATE LAP SPLICE	(4) NAILS IN LAPPED AREA	(1) NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2) NAILS	(2) NAILS

\* 3/8"x0.131 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE \* ARE SHOWN)



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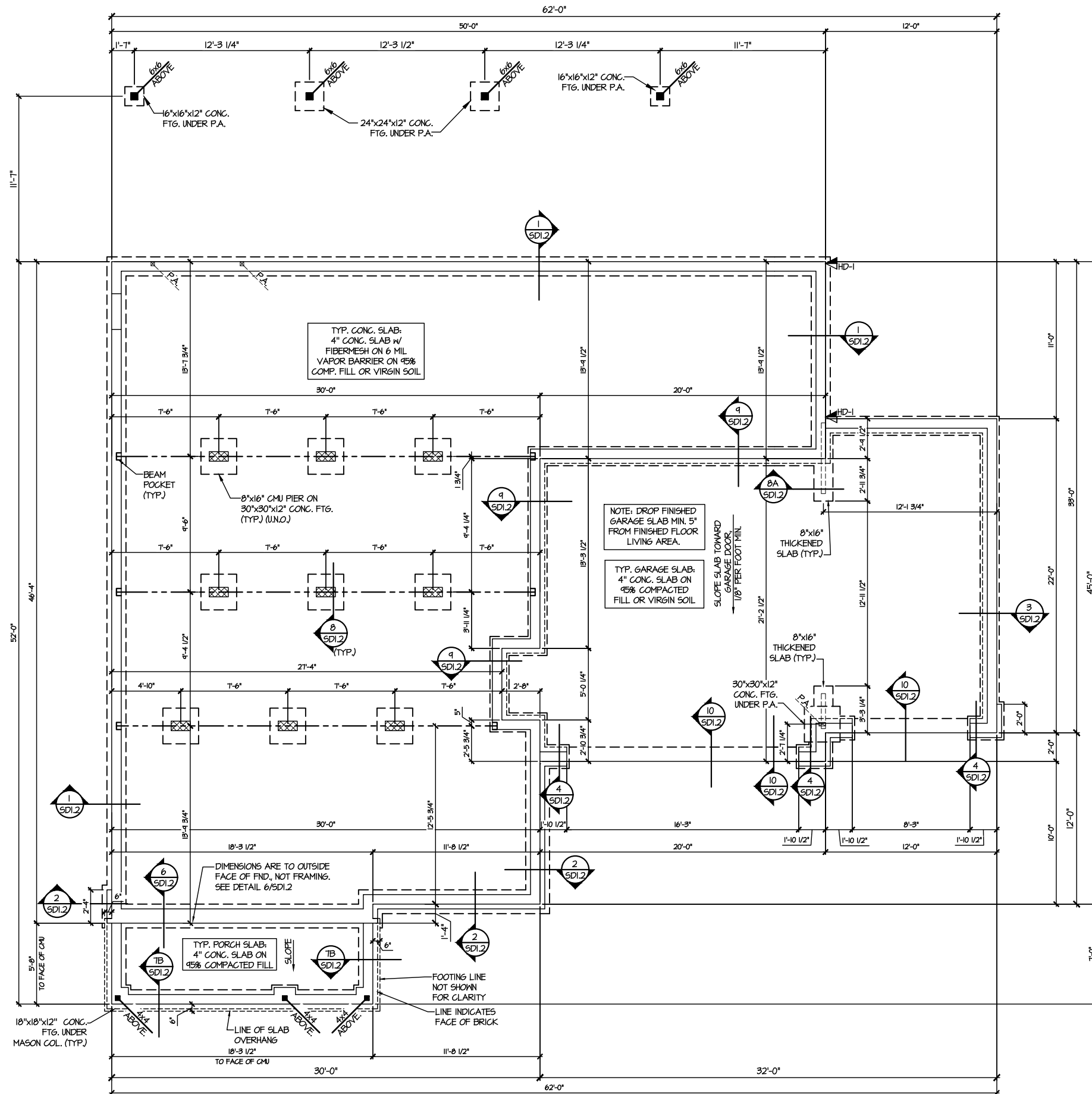
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project mgr: JTR  
drawn by: KFG  
issue date: 07-12-24

REVISIONS:  
date: initial:



FOUNDATION PLANS  
HONEYCUTT HILLS  
LOT 12 - TOWNSEND 5  
RALEIGH, NC

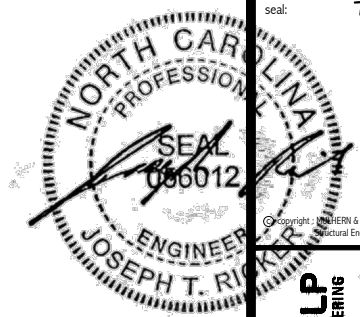
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**1 CRAWL SPACE FOUNDATION PLAN**  
SCALE: 1/8"=1'-0"

LEGEND	
	INTERIOR BEARING WALL
	BEARING WALL ABOVE
	BEAM / HEADER
	INDICATES SHEAR WALL & EXTENT
	EXTENT OF OVERFRAMING
	J.L. METAL HANGER
	* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
	INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

**REFER TO 50.0 FOR  
TYPICAL STRUCTURAL NOTES  
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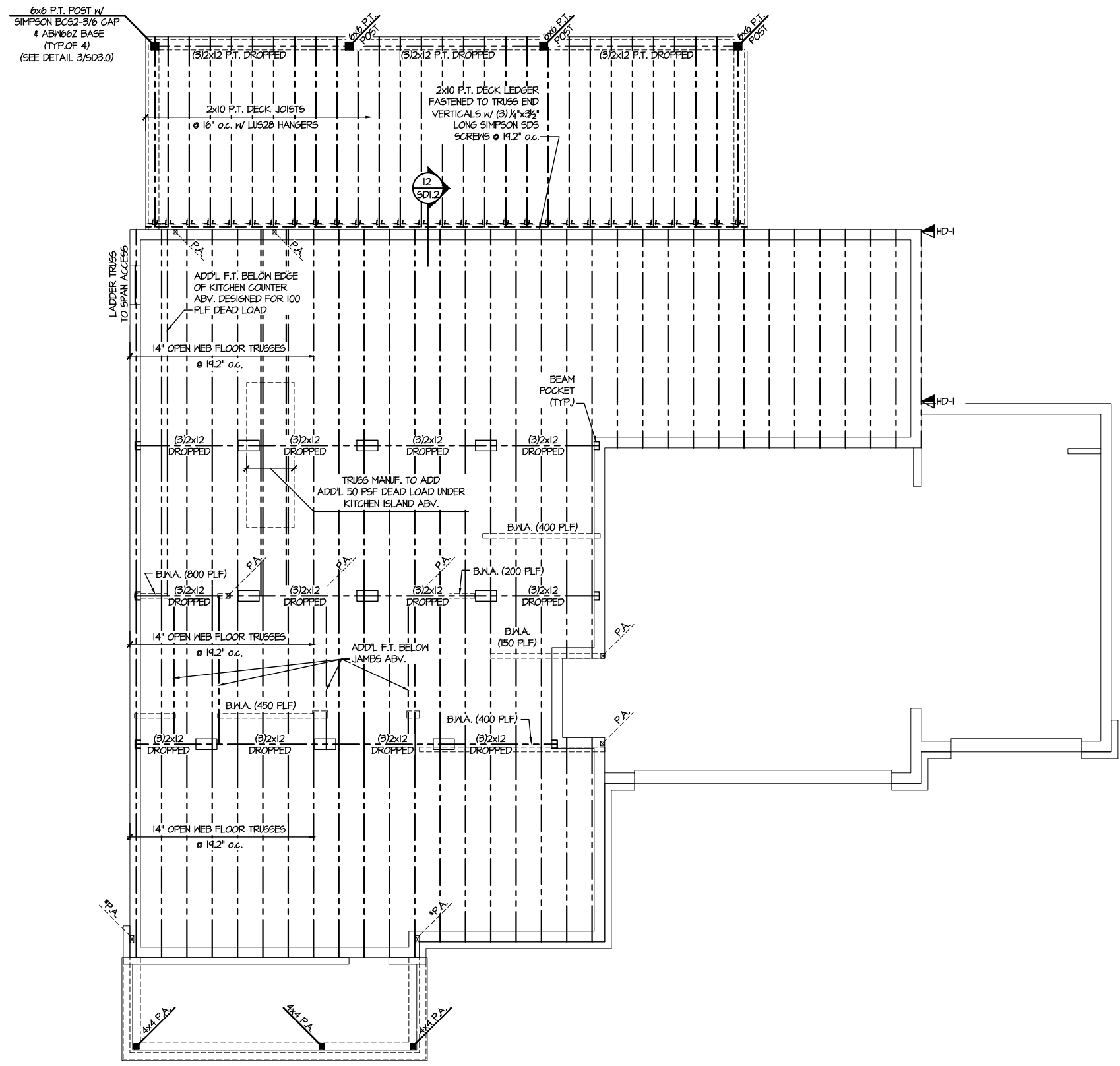
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drawn by: KFG  
issue date: 07-12-24

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FLOOR FRAMING PLANS  
HONEYCUTT HILLS  
LOT 12 - TOWNSEND 5  
RALEIGH, NC

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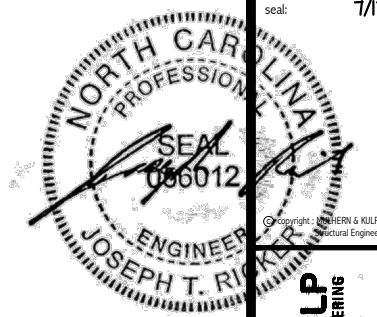


**1** 1ST FLOOR FRAMING PLAN  
SCALE: 1/8"=1'-0"

**LEGEND**

- [Symbol] INTERIOR BEARING WALL
- [Symbol] BEARING WALL ABOVE
- [Symbol] BEAM / HEADER
- [Symbol] INDICATES SHEAR WALL & EXTENT
- [Symbol] EXTENT OF OVERFRAMING
- [Symbol] JL METAL HANGER
- \* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▶ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

**REFER TO 50.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES**



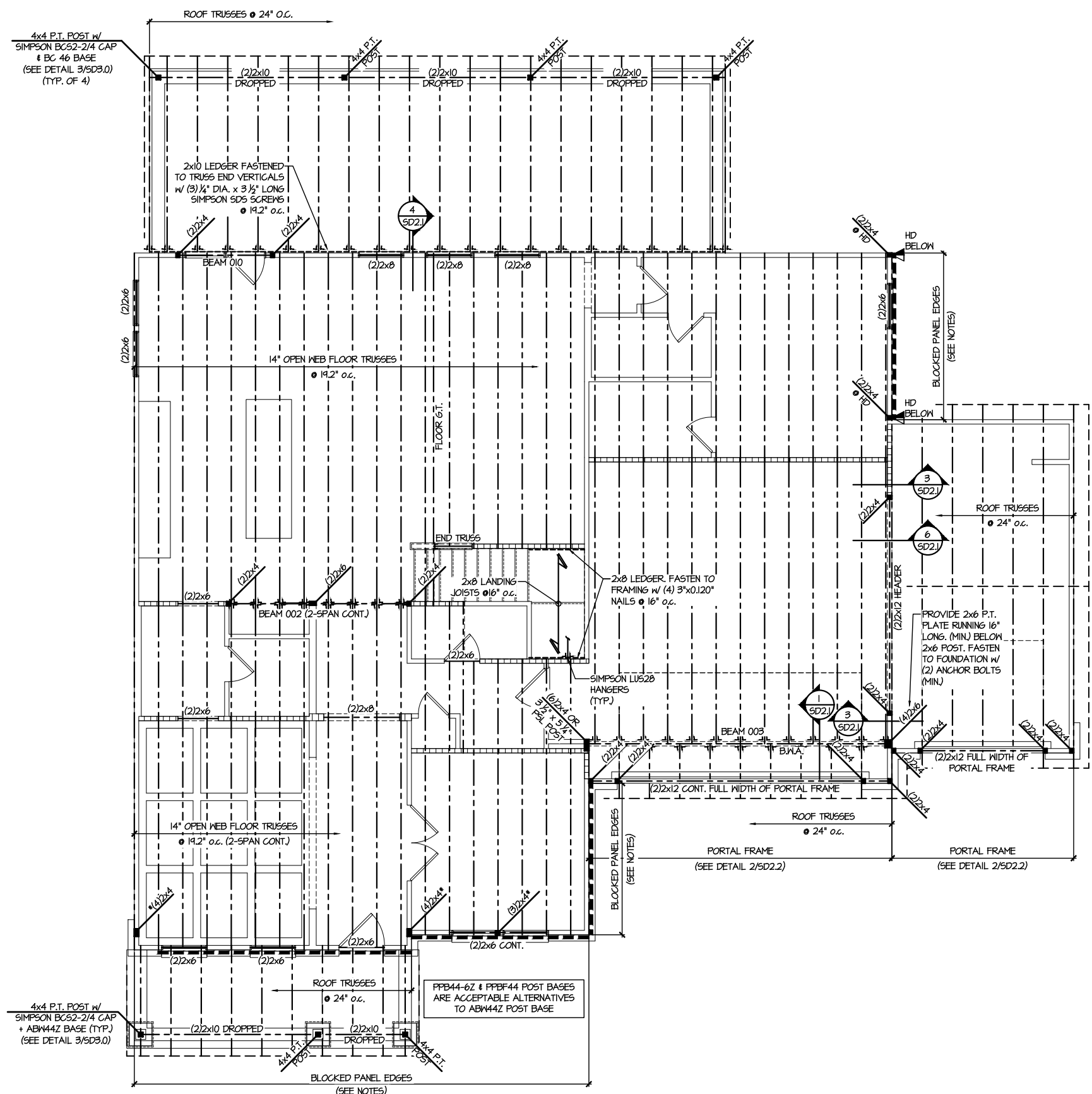
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FLOOR FRAMING PLANS  
HONEYCUTT HILLS  
LOT 12 - TOWNSEND 5  
RALEIGH, NC

sheet: **S3.0**



**SD2.I REFERS TO SD2.IA FOR LVL/PSL/LSL BEAMS OR SD2.IB FOR FLITCH BEAMS OR SD2.IC FOR STEEL BEAMS**

**REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES**

**LEGEND**

- ◻ INTERIOR BEARING WALL
- ◻ BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- ◻ EXTENT OF OVERFRAMING
- JL METAL HANGER
- \* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▶ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

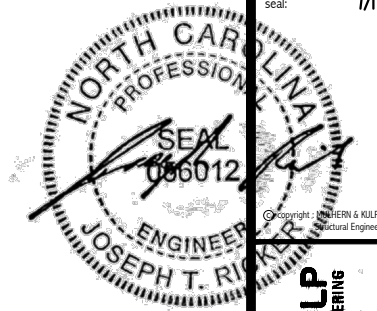
**ENGINEERED BEAM MATERIAL SCHEDULE**

BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)3/4"x14" - H	3 1/2"x14" - H	(2)3/4"x12" - F	(2)2x10 + (1) 1/2"x11/4" STEEL FLITCH PLATE - H	N/A
002	(2)3/4"x14" - F	3 1/2"x14" - F	(3)3/4"x14" - F	(2)2x12 + (1) 3/8"x11/4" STEEL FLITCH PLATES - F	W12x14
003	(3)3/4"x18" - FT	5 1/4"x18" - FT	N/A	(3)2x12 + (2) 3/8"x11/4" STEEL FLITCH PLATES - F	W12x26 - F
004	N/A	N/A	N/A	N/A	N/A
005	(2)3/4"x14" - F	3 1/2"x14" - F	(2)3/4"x14" - F	(2)2x10 + (1) 1/2"x11/4" STEEL FLITCH PLATE - F	N/A
006	(2)3/4"x14" - F	3 1/2"x14" - F	N/A	(2)2x12 + (1) 3/8"x11/4" STEEL FLITCH PLATES - F	N/A
007	(3)3/4"x14" - F	5 1/4"x14" - F	(4)3/4"x14" - F	(3)2x12 + (2) 1/2"x11/4" STEEL FLITCH PLATES - F	W12x14 - F
008	(2)3/4"x14" - F	3 1/2"x14" - F	(3)3/4"x14" - F	(2)2x12 + (1) 3/8"x11/4" STEEL FLITCH PLATES - F	W12x14 - F
009	(2)3/4"x14" - F	3 1/2"x14" - F	N/A	N/A	N/A
010	(2)3/4"x14" - H	3 1/2"x14" - H	(2)3/4"x12" - H	(2)2x10 + (1) 1/2"x11/4" STEEL FLITCH PLATE - H	N/A
011	(2)3/4"x14" - H	3 1/2"x14" - H	(2)3/4"x12" - H	(2)2x10 + (1) 1/2"x11/4" STEEL FLITCH PLATE - H	N/A
012	(2)3/4"x14" - H	3 1/2"x14" - H	N/A	N/A	N/A
013	(3)3/4"x16" - H	5 1/4"x16" - H	N/A	N/A	N/A
014	(3)3/4"x16" - FB	5 1/4"x16" - FB	N/A	N/A	N/A
015	(2)3/4"x14" - F	3 1/2"x14" - F	(2)3/4"x14" - F	N/A	N/A
016	(3)3/4"x18" - FT	5 1/4"x18" - FT	N/A	N/A	N/A
017	(2)3/4"x14" - F	3 1/2"x14" - F	(2)3/4"x14" - F	N/A	N/A
018	(3)3/4"x14" - D	5 1/4"x14" - D	(3)3/4"x14" - D	N/A	N/A
019	(4)3/4"x14" - F	T"x14" - F	N/A	N/A	N/A
020	(2)3/4"x14" - F	3 1/2"x14" - F	(2)3/4"x14" - F	N/A	N/A

**BEAM NOTATION:**  
 - "F" INDICATES FLUSH BEAM  
 - "FT" INDICATES FLUSH TOP BEAM  
 - "FB" INDICATES FLUSH BOTTOM BEAM  
 - "D" INDICATES DROPPED BEAM  
 - "H" INDICATES DROPPED OPENING HEADER  
 • REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS  
 • REFER TO DETAIL E/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS  
 • FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.  
 • FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.

**2ND FLOOR FRAMING PLAN**  
SCALE: 1/8"=1'-0"





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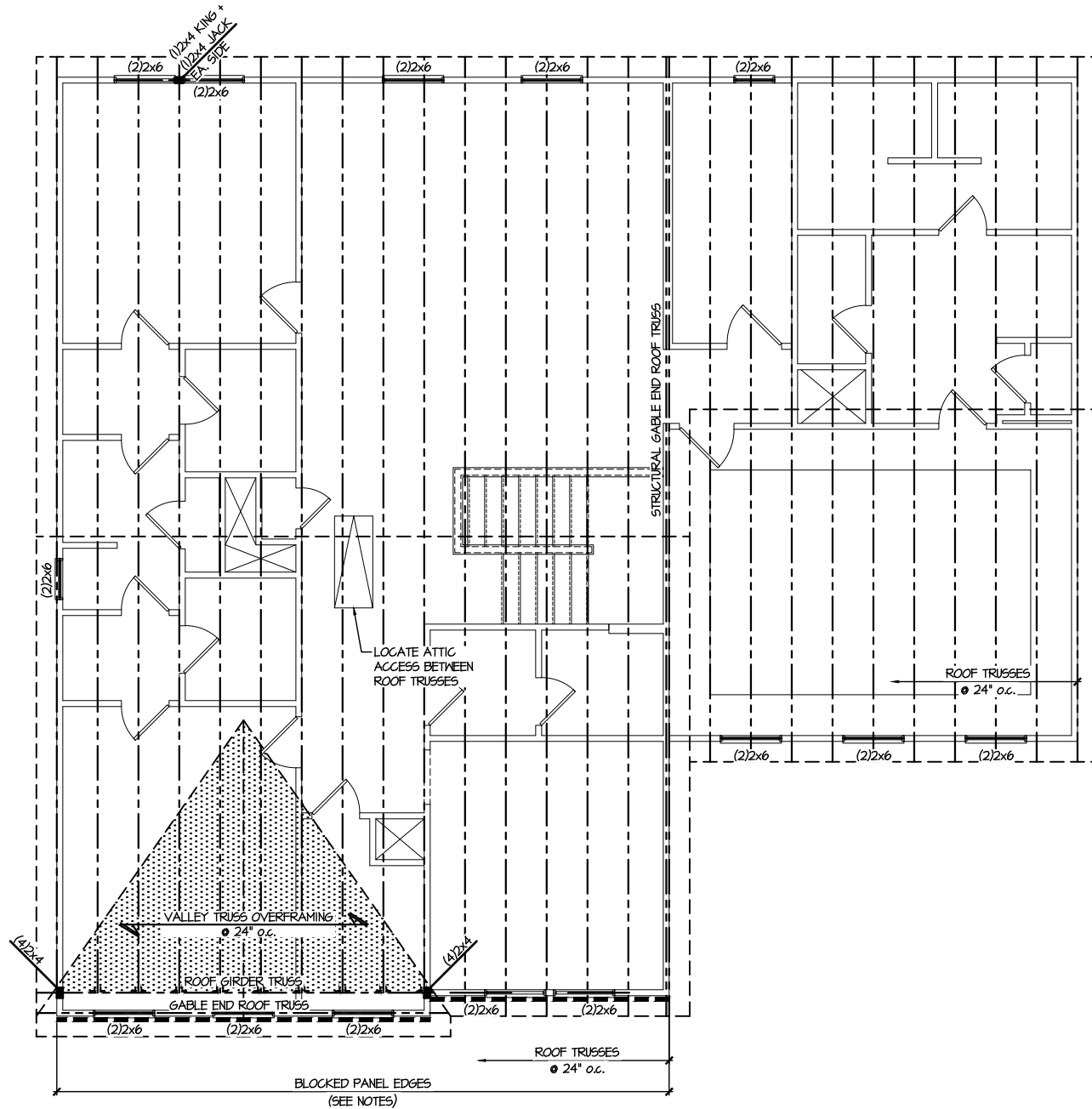
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drawn by: KFG  
issue date: 07-12-24

REVISIONS:  
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ROOF FRAMING PLANS  
HONEYCUTT HILLS  
LOT 12 - TOWNSEND 5  
RALEIGH, NC

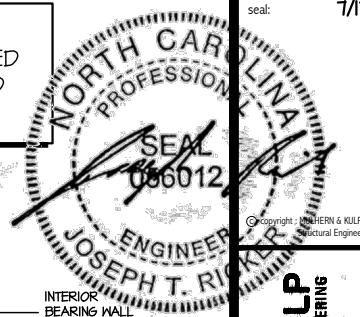
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**1 ROOF FRAMING PLAN**  
SCALE: 1/8"=1'-0"

LEGEND	
	INTERIOR BEARING WALL
	BEARING WALL ABOVE
	BEAM / HEADER
	INDICATES SHEAR WALL & EXTENT
	EXTENT OF OVERFRAMING
	HL METAL HANGER
	* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
	▷ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO 50.0 FOR  
TYPICAL STRUCTURAL NOTES  
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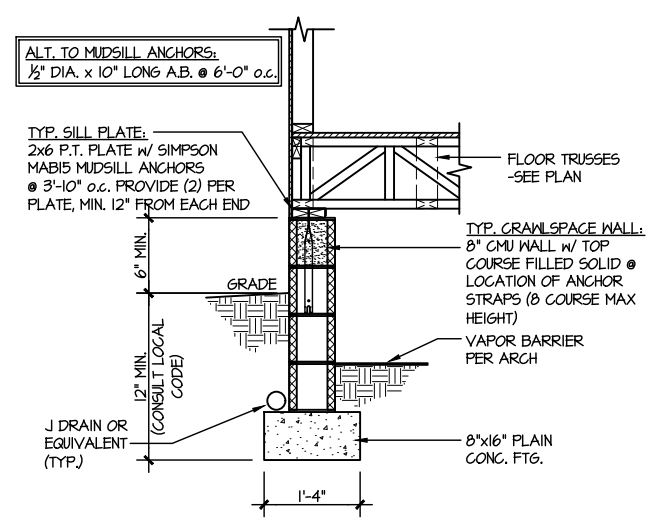
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FOUNDATION DETAILS  
HONEYCUTT HILLS  
LOT 12 - TOWNSEND 5  
RALEIGH, NC

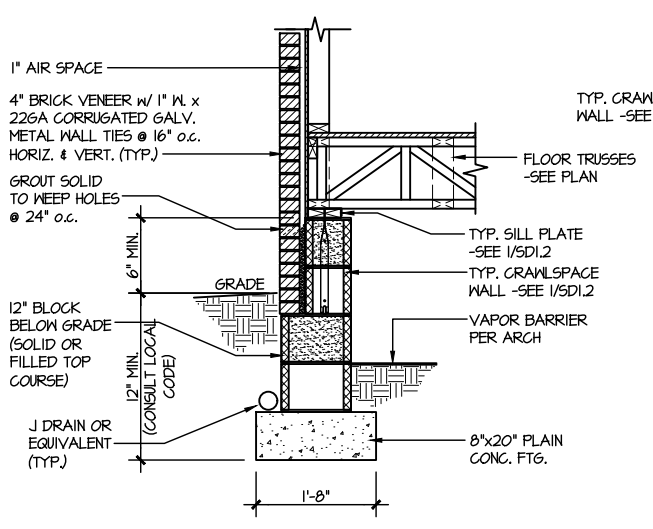
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LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

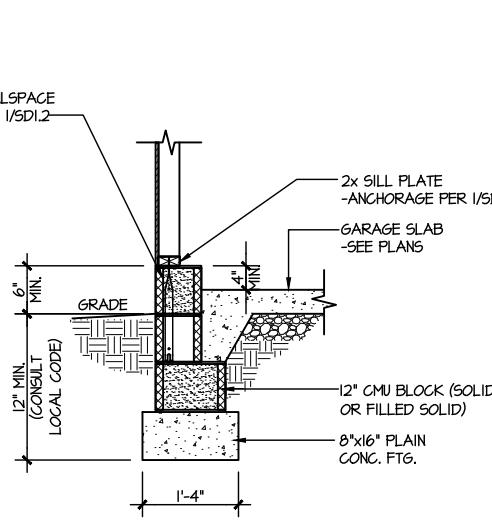
NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



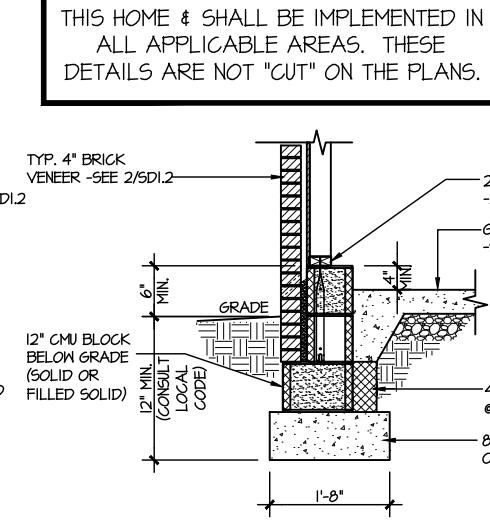
1 TYPICAL CRAWLSPACE FOUNDATION  
SCALE: 3/8"=1'-0"



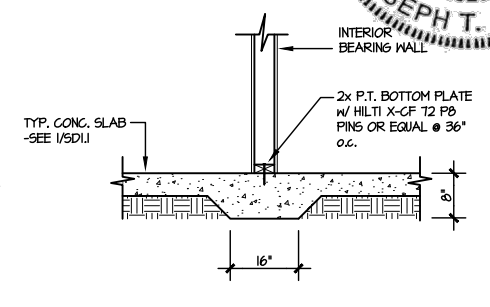
2 TYPICAL CRAWLSPACE FOUNDATION  
SCALE: 3/8"=1'-0" W/ BRICK VENEER



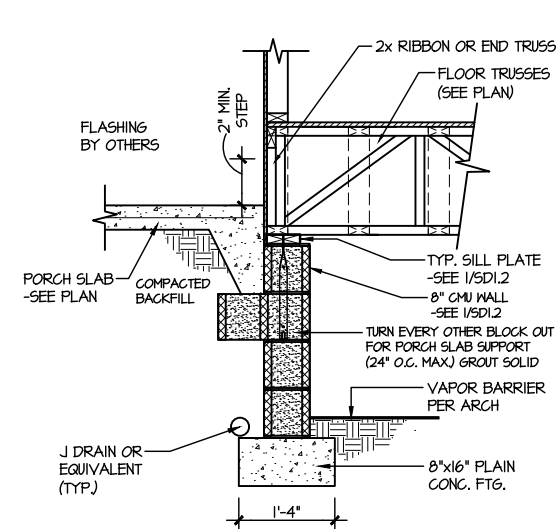
3 TYPICAL GARAGE FOUNDATION  
SCALE: 3/8"=1'-0"



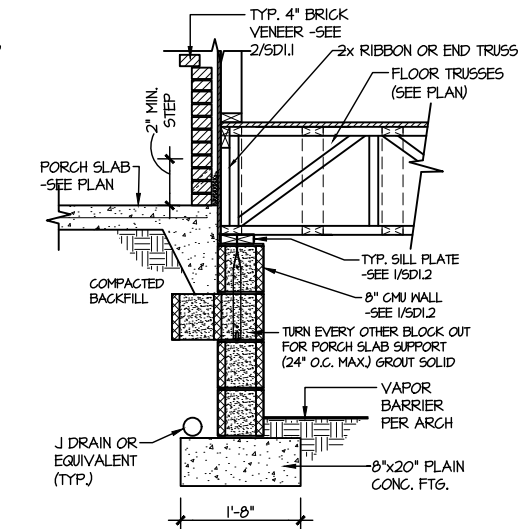
4 TYPICAL GARAGE FOUNDATION  
SCALE: 3/8"=1'-0" W/ BRICK VENEER



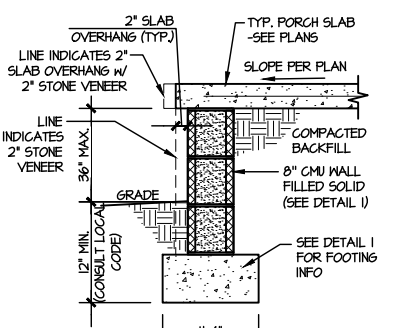
8A TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL  
SCALE: 3/8"=1'-0"



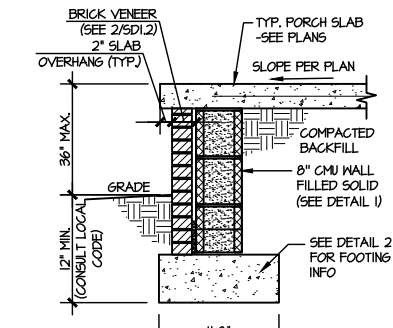
5 TYPICAL CRAWLSPACE FOUNDATION @ PORCH/PATIO SLAB  
SCALE: 3/8"=1'-0" (REFER TO DETAIL 12 FOR WOOD PORCH OPTION)



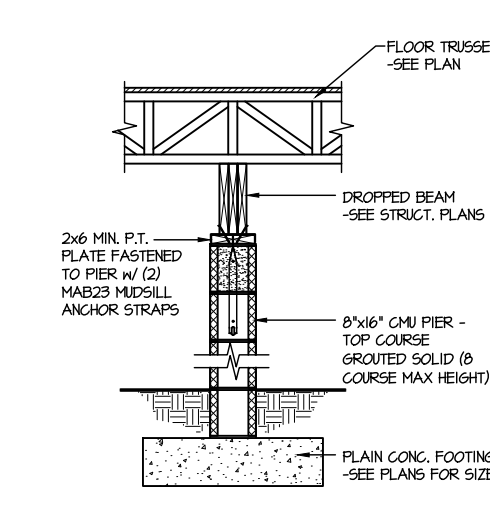
6 TYPICAL CRAWLSPACE FOUNDATION @ PORCH/PATIO SLAB  
SCALE: 3/8"=1'-0" W/ BRICK VENEER



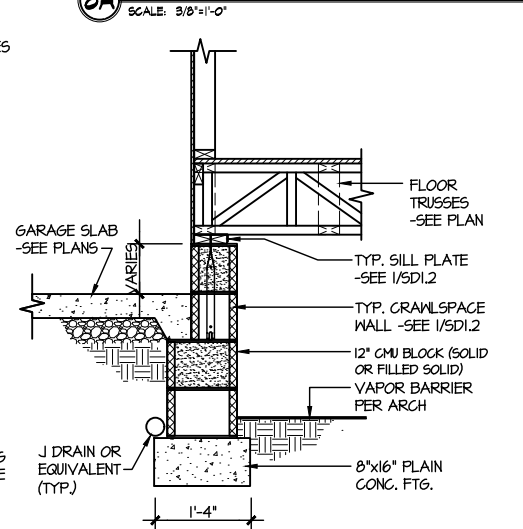
7A TYP. FOOTING @ PORCH SLAB  
SCALE: 3/8"=1'-0"



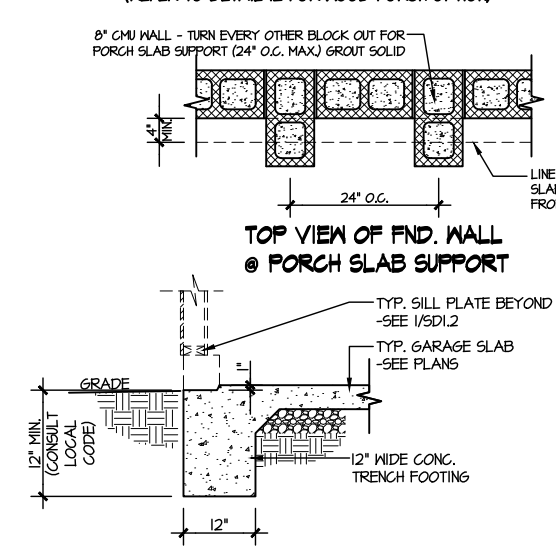
7B TYP. FOOTING @ PORCH SLAB  
SCALE: 3/8"=1'-0" W/ BRICK VENEER



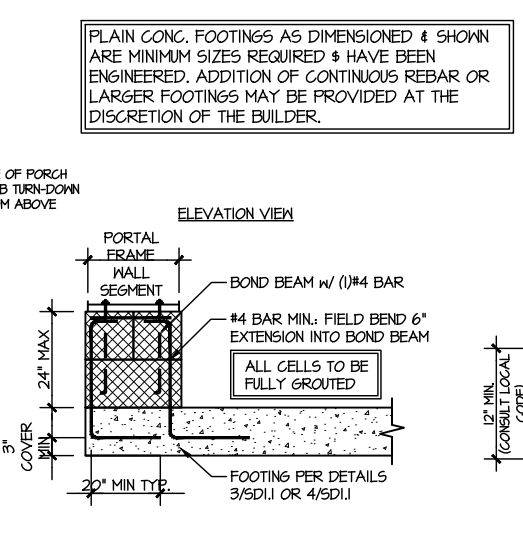
8 TYPICAL CRAWLSPACE FND. @ INTERIOR PIER  
SCALE: 3/8"=1'-0"



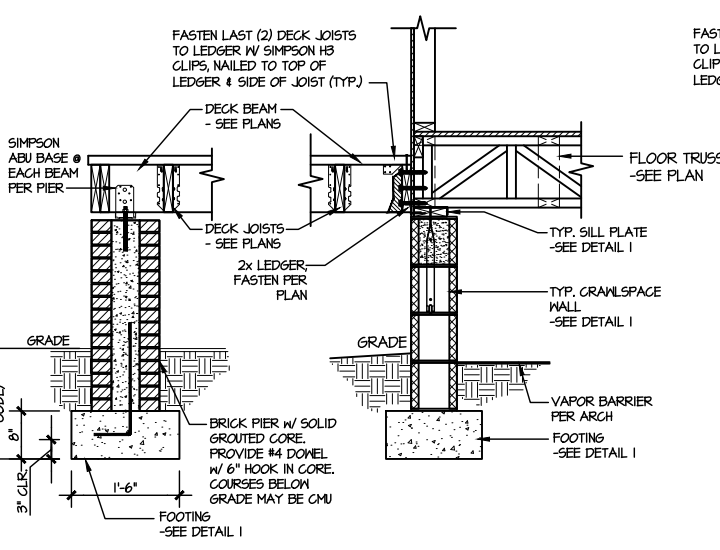
9 TYPICAL CRAWLSPACE FOUNDATION @ GARAGE  
SCALE: 3/8"=1'-0"



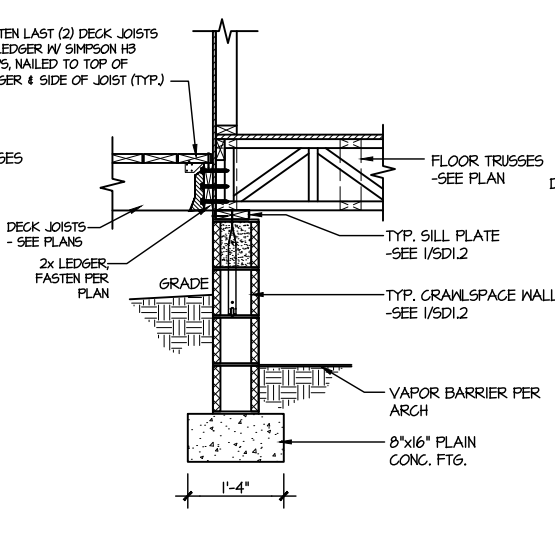
10 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING  
SCALE: 3/8"=1'-0"



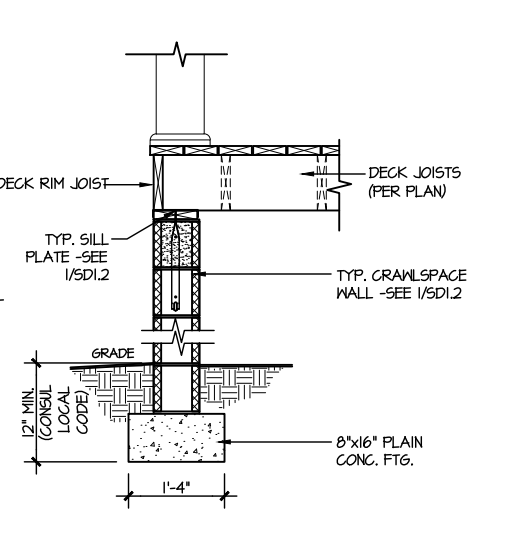
A GARAGE PORTAL FRAME STEM WALL REINFORCEMENT  
SCALE: 3/8"=1'-0"



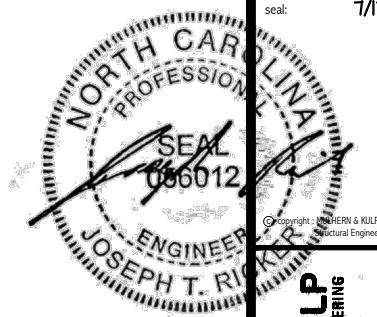
11 TYPICAL CRAWLSPACE FOUNDATION @ WOOD PORCH/DECK W/ PIERS  
SCALE: 3/8"=1'-0"



12 TYPICAL CRAWLSPACE FOUNDATION @ WOOD PORCH/DECK  
SCALE: 3/8"=1'-0"



13 TYPICAL CRAWLSPACE FOUNDATION @ WOOD PORCH/DECK PERIMETER  
SCALE: 3/8"=1'-0"



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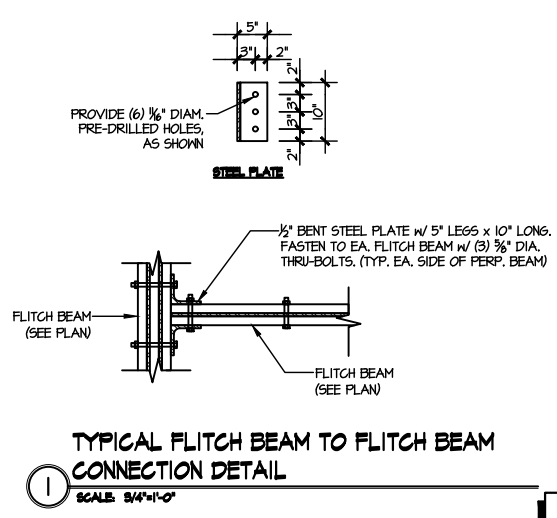
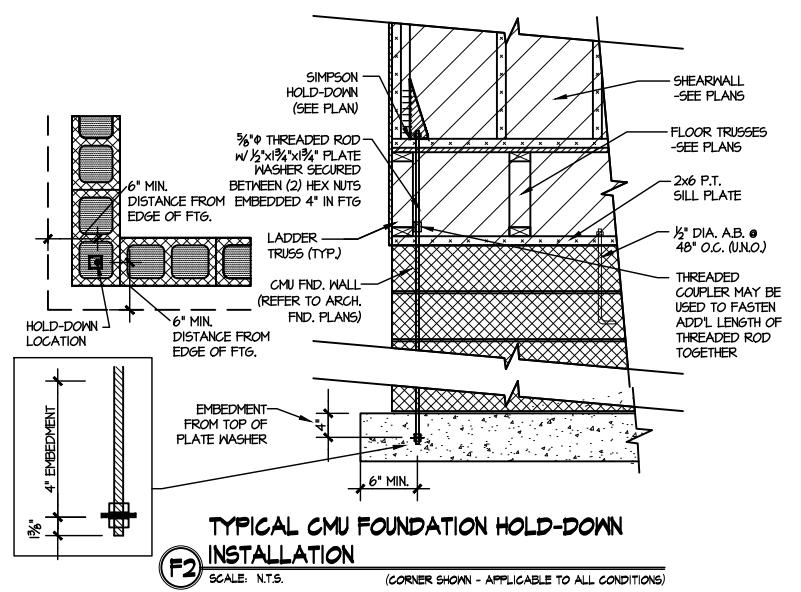
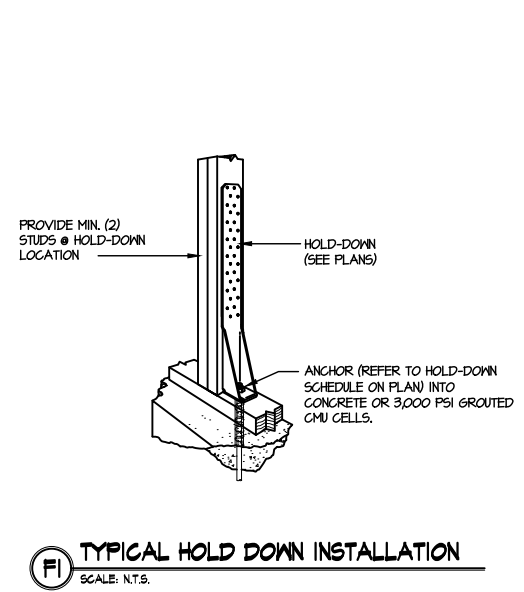
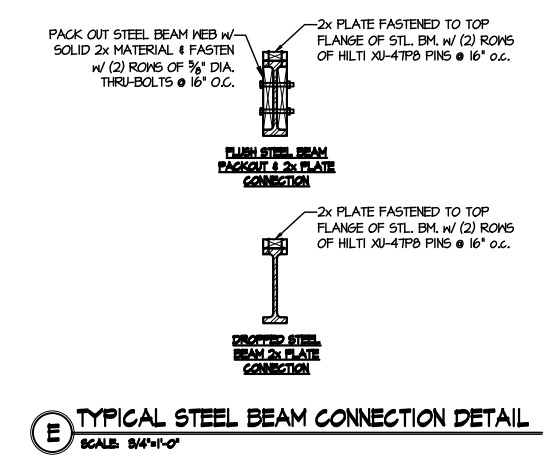
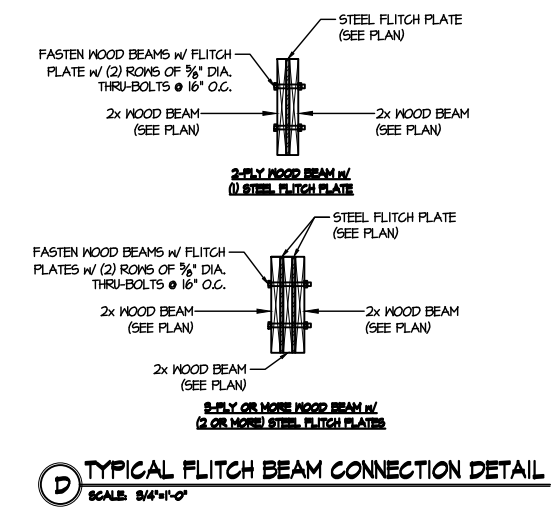
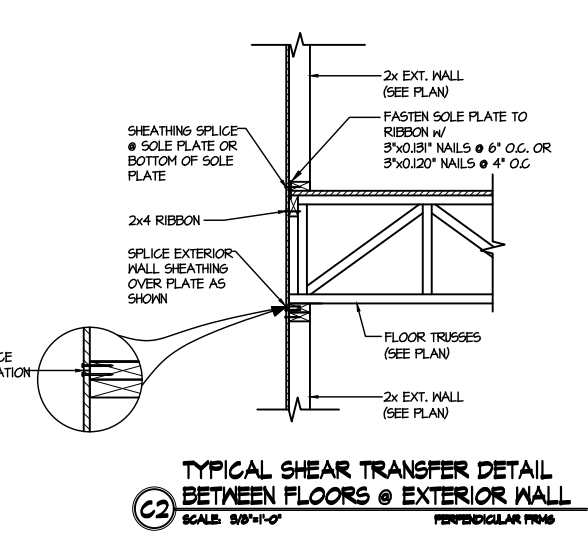
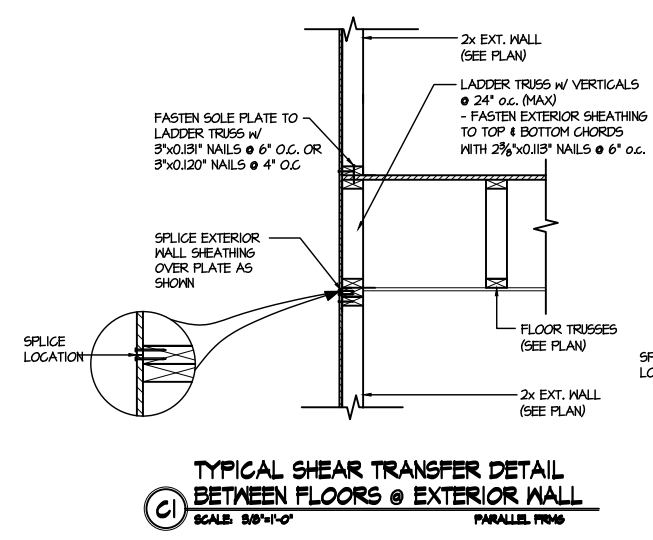
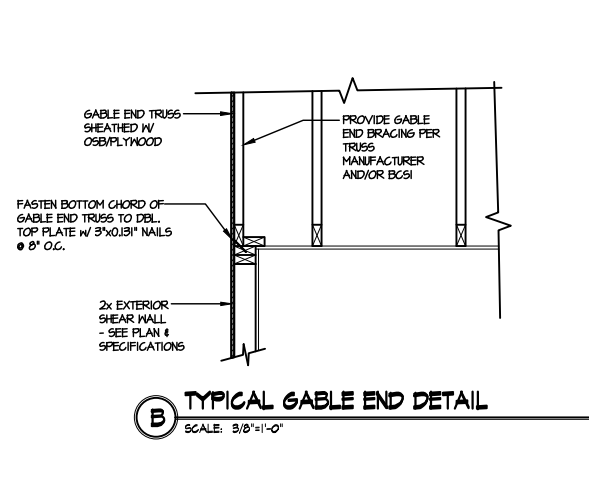
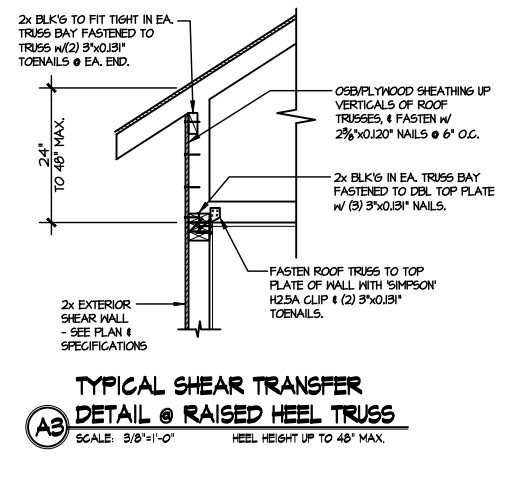
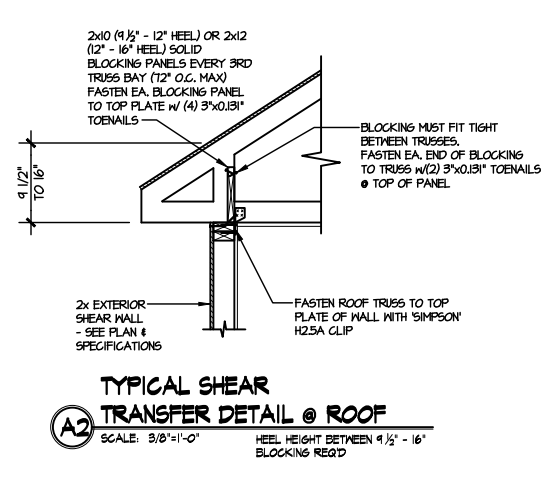
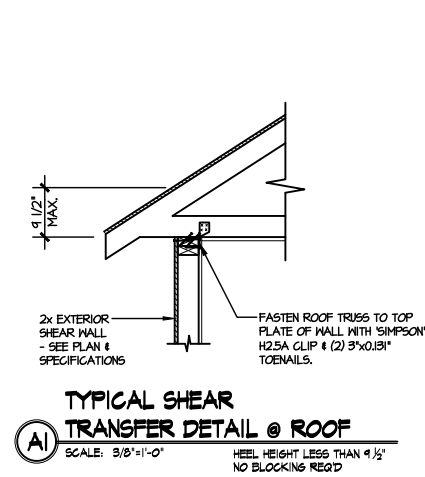
M&K project number:  
126-23047  
project mgr: JTR  
drawn by: KFG  
issue date: 07-12-24

REVISIONS:  
date: initial:

**DRB**  
**HOMES**

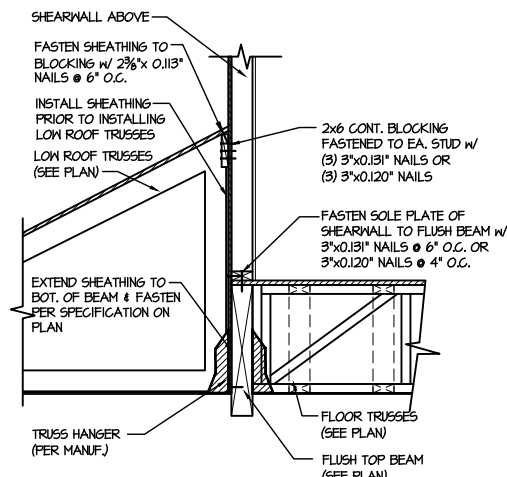
FRAMING DETAILS  
HONEYCUTT HILLS  
LOT 12 - TOWNSEND 5  
RALEIGH, NC

sheet:  
**SD2.0**

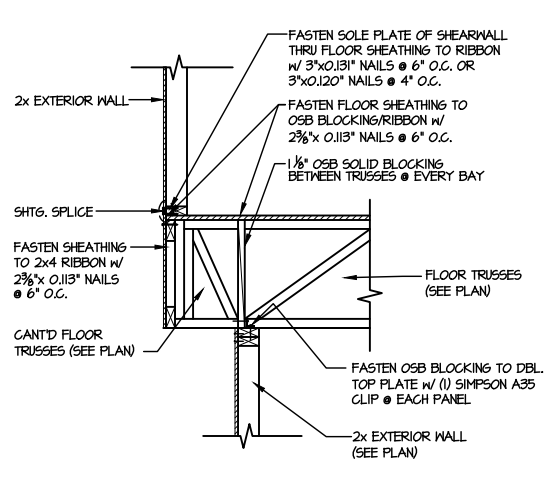


LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

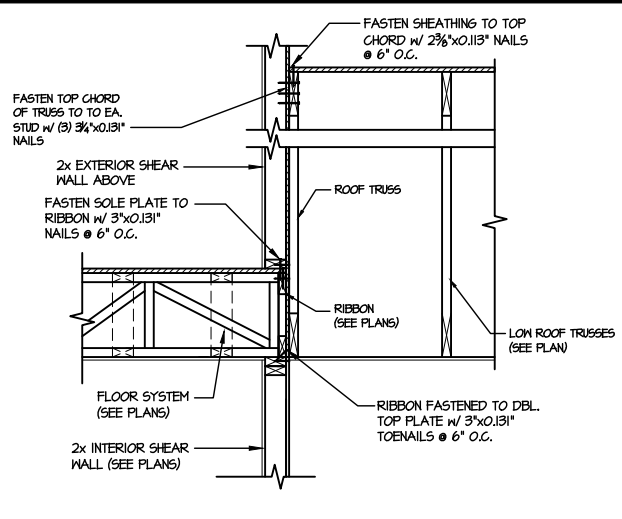
NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



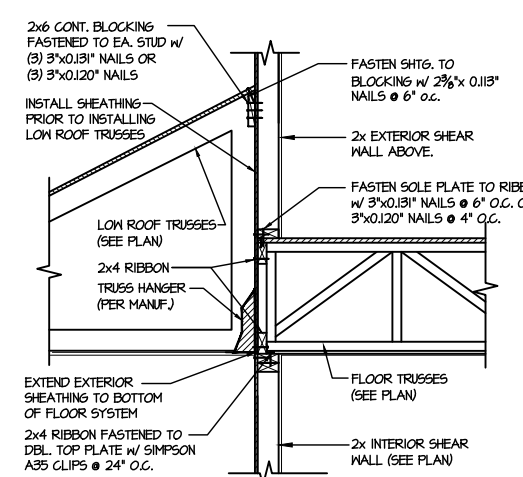
**1** SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE  
SCALE: 3/4"=1'-0"



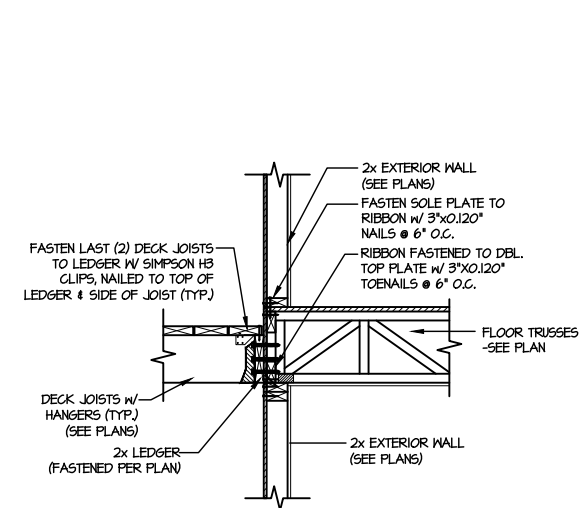
**2** SHEAR TRANSFER DETAIL BETWEEN FLOORS @ CANT'D EXT. WALL  
SCALE: 3/4"=1'-0"



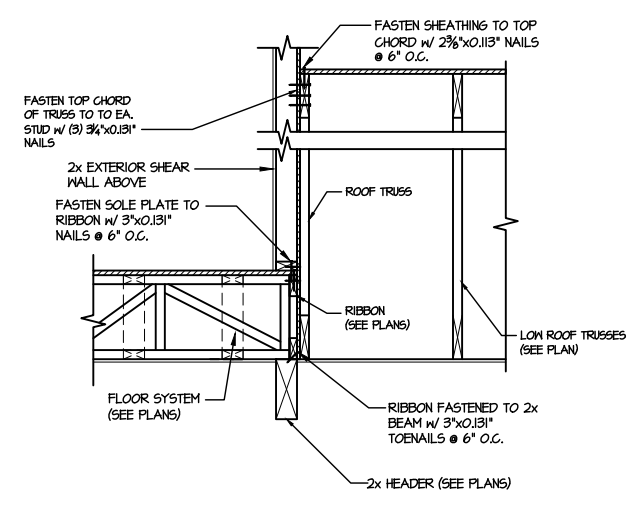
**3** TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL  
SCALE: 3/4"=1'-0"



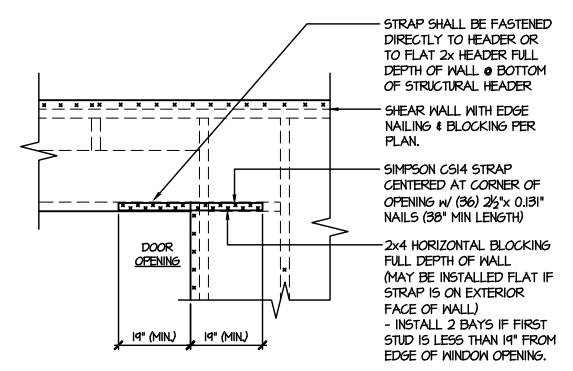
**4** TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL  
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



**5** DECK LEDGER CONNECTION DETAIL  
SCALE: 3/4"=1'-0"

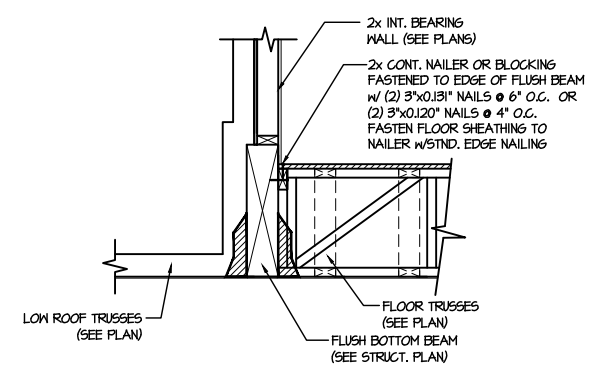


**6** TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL  
SCALE: 3/4"=1'-0"

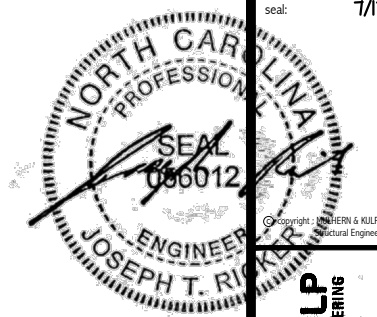


**7** TYPICAL EXT. WALL & INT. SHEARWALL OPENING ELEVATION  
SCALE: NTS

- STRAPS MAY BE INSTALLED ON EXTERIOR OR INTERIOR FACE OF WALL
- WHEN INSTALLED ON THE EXTERIOR FACE OF THE WALL, STRAPS TO BE INSTALLED ON EXTERIOR FACE OF SHGT. & MAY BE MOVED 1/2" FROM EDGE TO ALLOW FOR DOOR NAILING
- REQUIRED ONLY @ OPENINGS WHERE SPECIFIED ON PLAN



**8** SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE  
SCALE: 3/4"=1'-0"



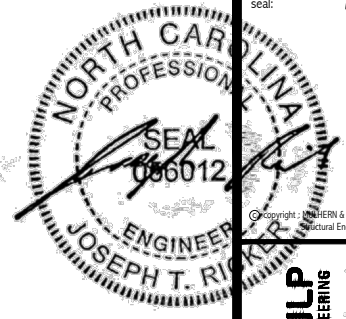
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M&K project number: 126-23047  
project mgr: JTR  
drawn by: KFG  
issue date: 07-12-24

REVISIONS:  
date: initial:

**DRB HOMES**

FRAMING DETAILS  
HONEYCUTT HILLS  
LOT 12 - TOWNSEND 5  
RALEIGH, NC



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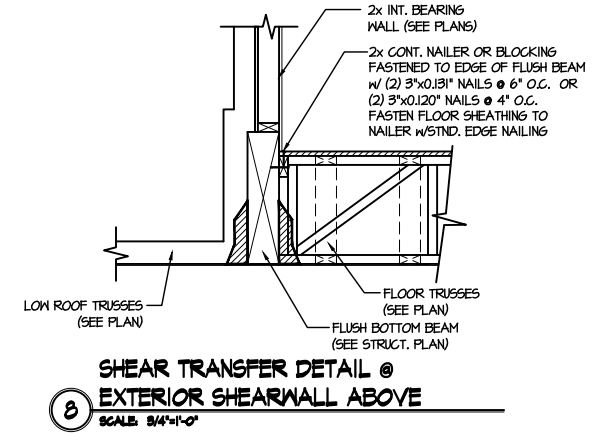
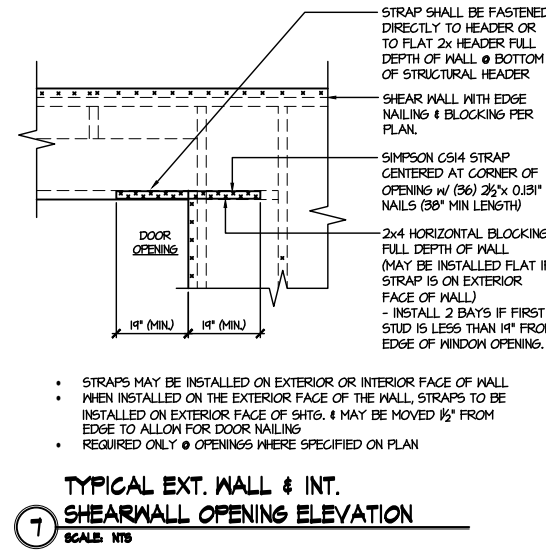
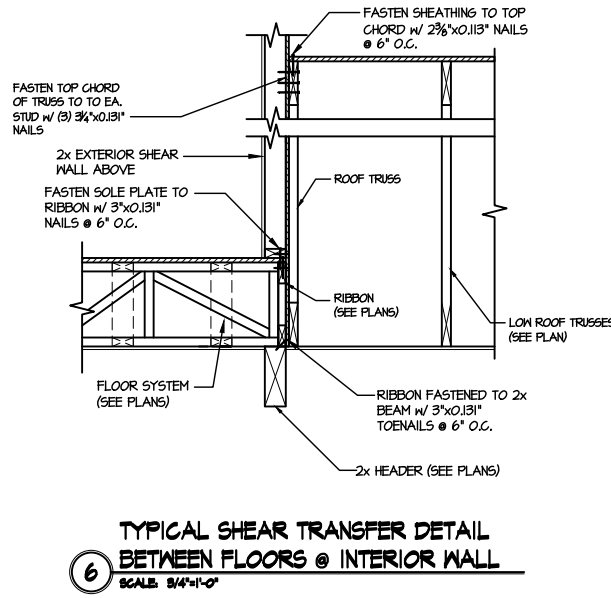
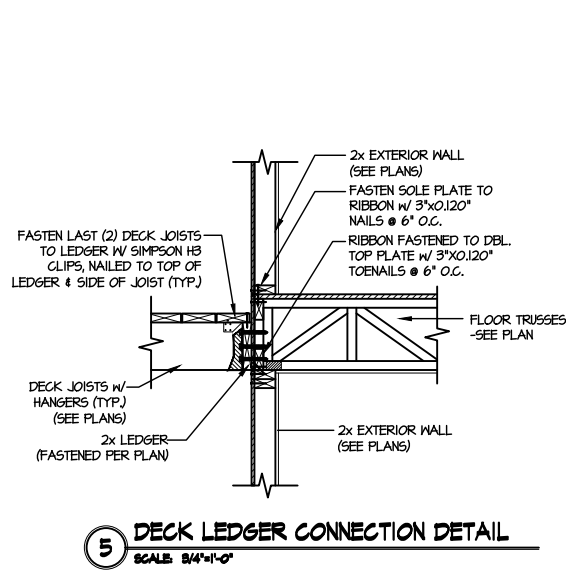
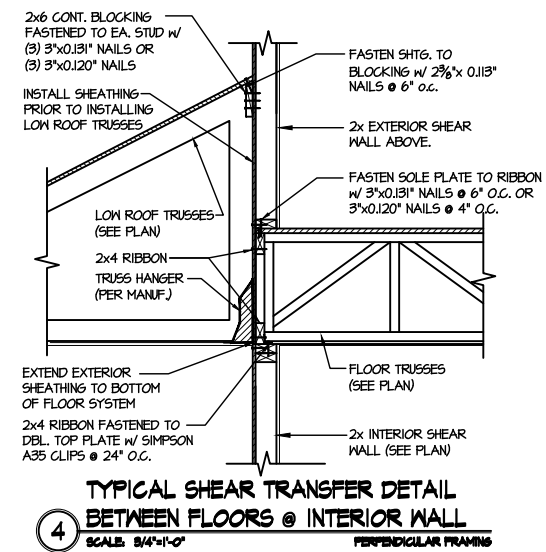
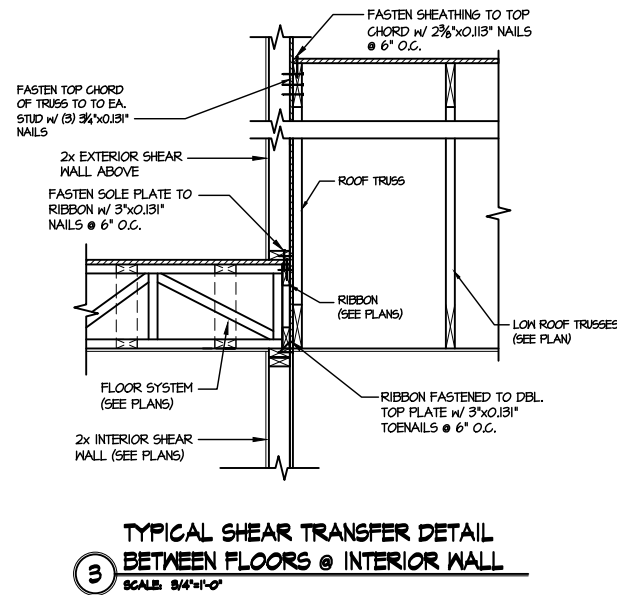
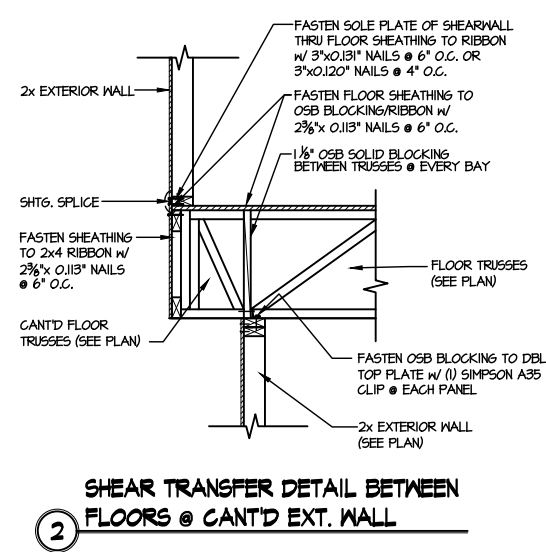
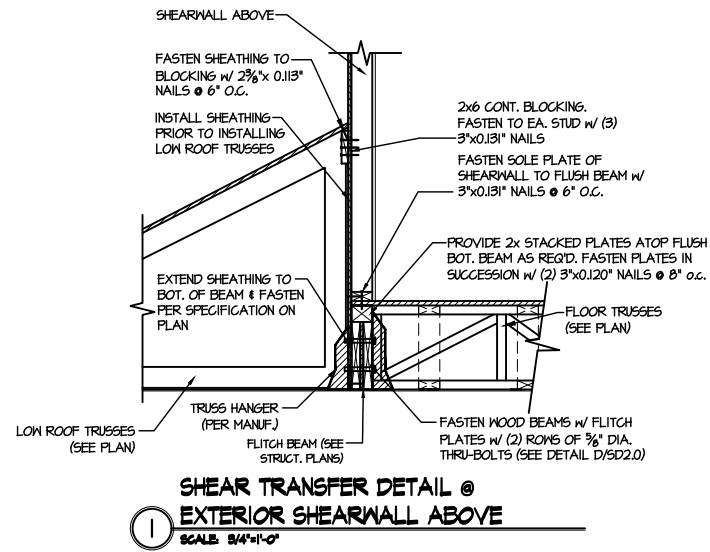
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126-23047  
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issue date: 07-12-24

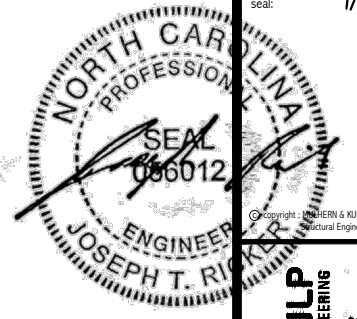
REVISIONS:  
date: initial:

**DRB**  
**HOMES**

FRAMING DETAILS  
HONEYCUTT HILLS  
LOT 12 - TOWNSEND 5  
RALEIGH, NC

sheet:  
**SD2.1B**





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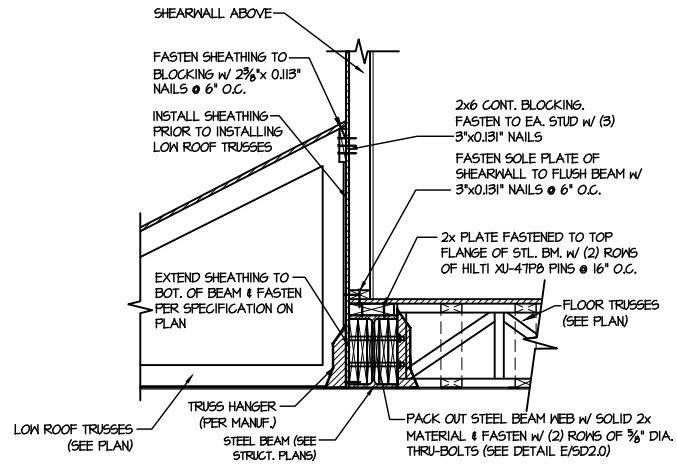
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project mgr: JTR  
drawn by: KFG  
issue date: 07-12-24

REVISIONS:  
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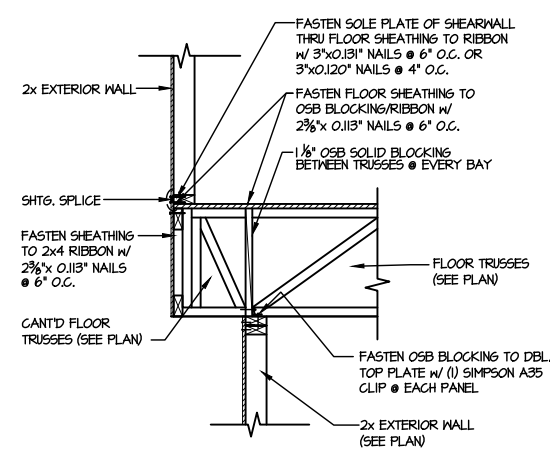
DRB  
HOMES

FRAMING DETAILS  
HONEYCUTT HILLS  
LOT 12 - TOWNSEND 5  
RALEIGH, NC

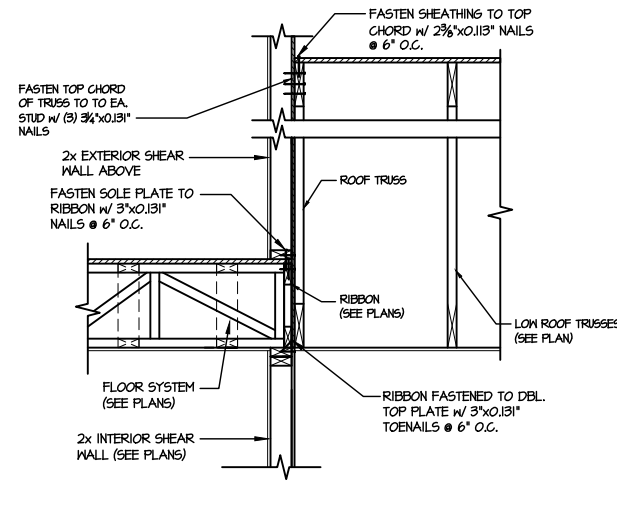
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SD2.1C



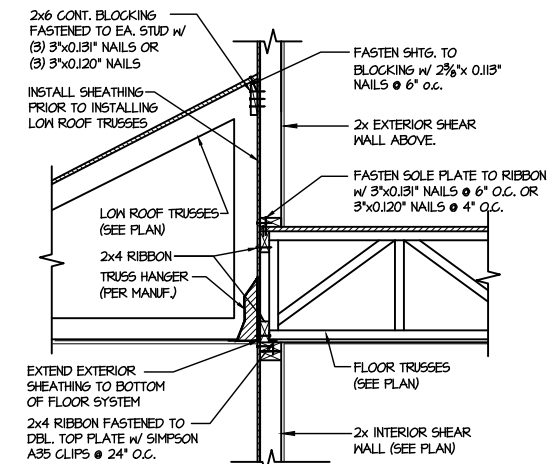
1 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE  
SCALE: 3/4"=1'-0"



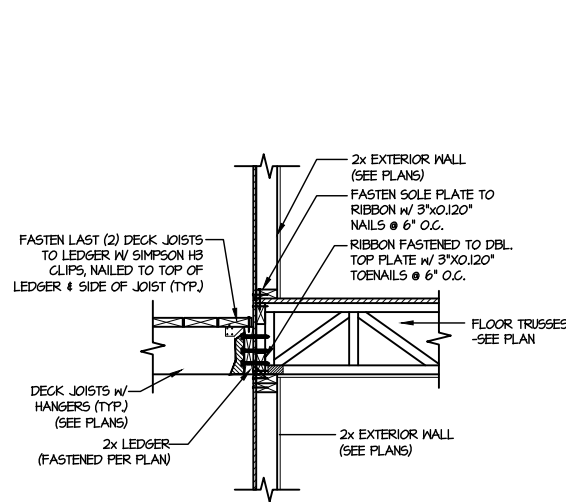
2 SHEAR TRANSFER DETAIL BETWEEN FLOORS @ CANT'D EXT. WALL  
SCALE: 3/4"=1'-0"



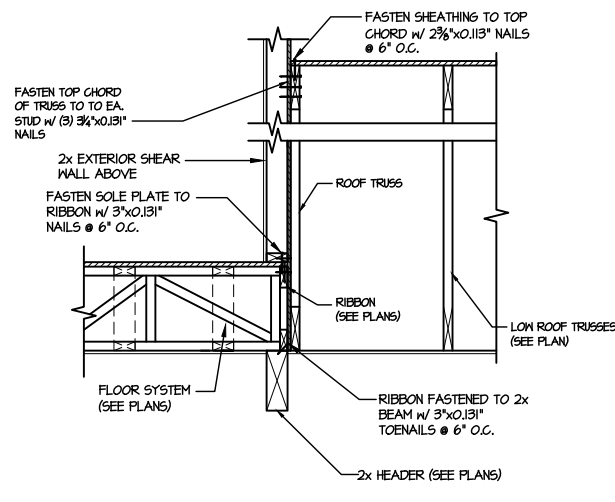
3 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL  
SCALE: 3/4"=1'-0"



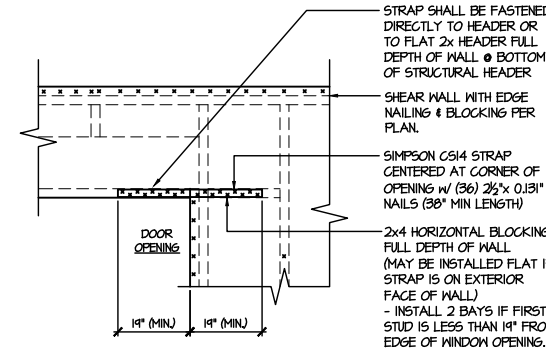
4 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL  
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



5 DECK LEDGER CONNECTION DETAIL  
SCALE: 3/4"=1'-0"

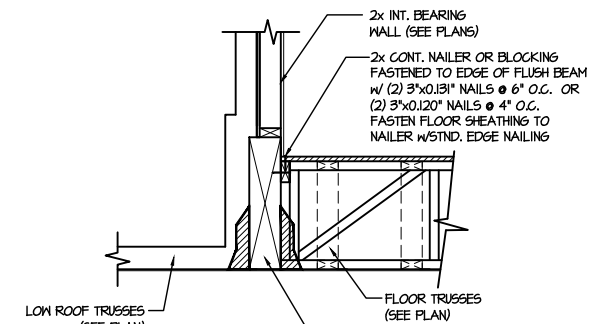


6 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL  
SCALE: 3/4"=1'-0"

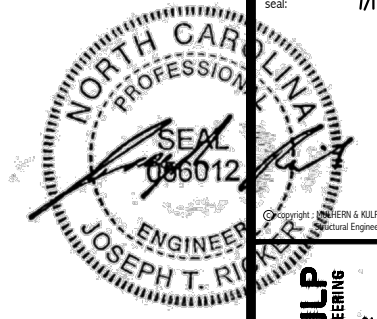


- STRAPS MAY BE INSTALLED ON EXTERIOR OR INTERIOR FACE OF WALL
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- REQUIRED ONLY @ OPENINGS WHERE SPECIFIED ON PLAN

7 TYPICAL EXT. WALL & INT. SHEARWALL OPENING ELEVATION  
SCALE: NTS



8 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE  
SCALE: 3/4"=1'-0"



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M&K project number:  
126-23047

project mgr: JTR  
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issue date: 07-12-24

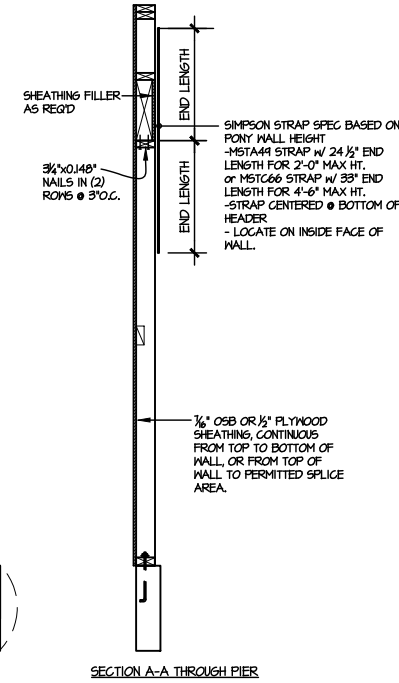
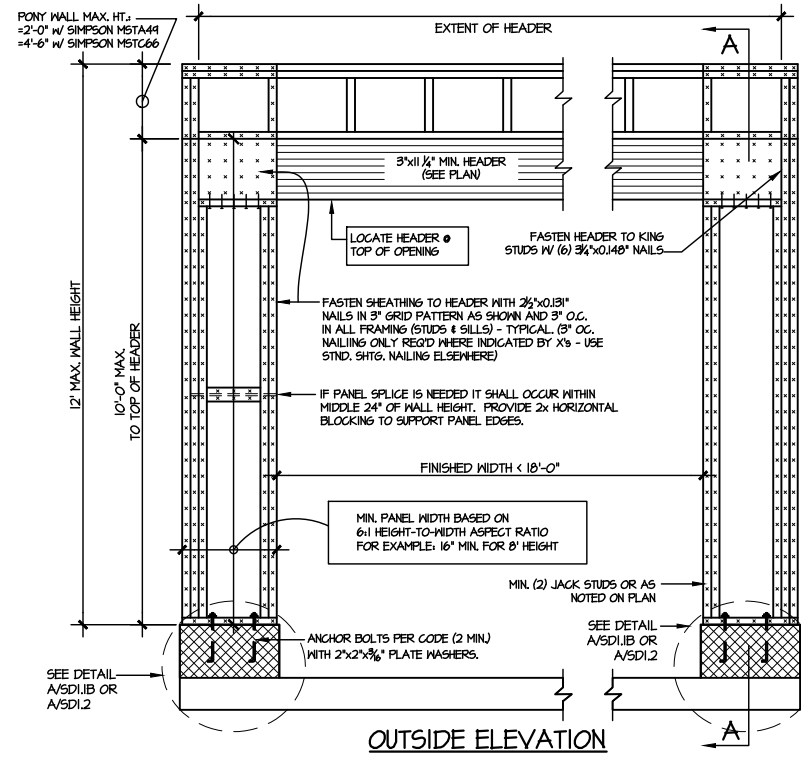
REVISIONS:  
date: initial:

**DRB**  
HOMES

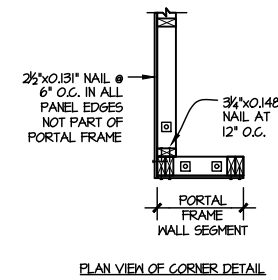
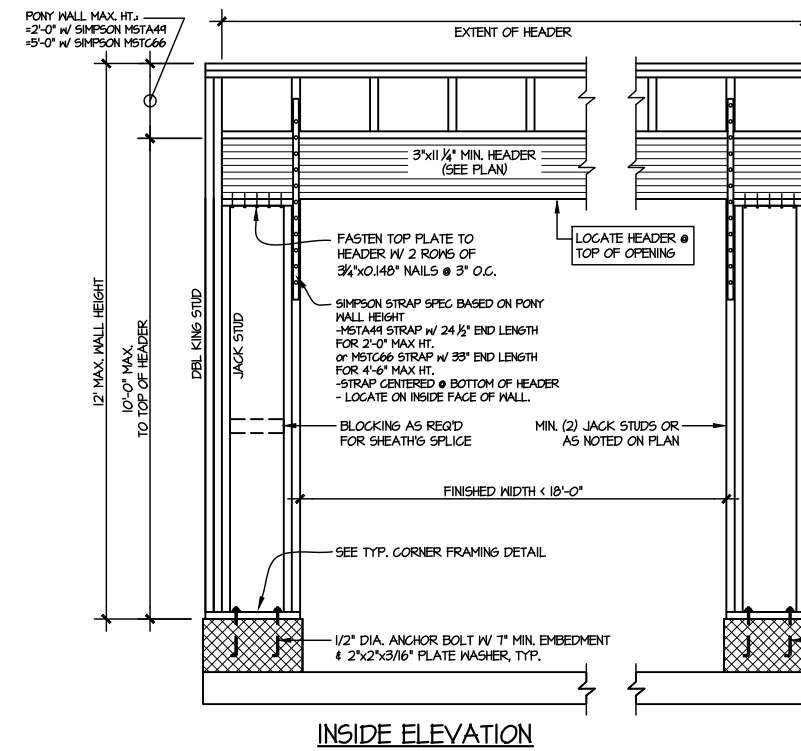
FRAMING DETAILS  
HONEYCUTT HILLS  
LOT 12 - TOWNSEND 5  
RALEIGH, NC

sheet:

**SD2.2**



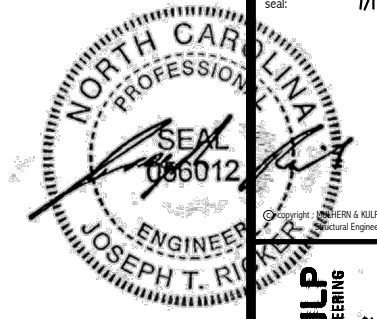
NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 3/4" OSB



ALTERNATIVE TO 1/2" DIA. ANCHOR BOLT:  
1) 1/2" DIA. THREADED ROD EPOXY SET w/ 4 1/2" EMBED. (MIN UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL))

TWO SIDED GARAGE PORTAL FRAME BRACING ELEVATION ON CMU STEM

2 SCALE: N.T.S. SCALE: N.T.S.



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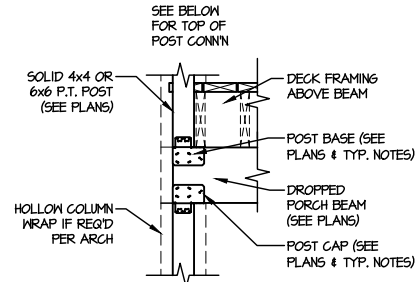
M&K project number:  
**126-23047**  
project mgr: **JTR**  
drawn by: **KFG**  
issue date: **07-12-24**

REVISIONS:  
date: initial:

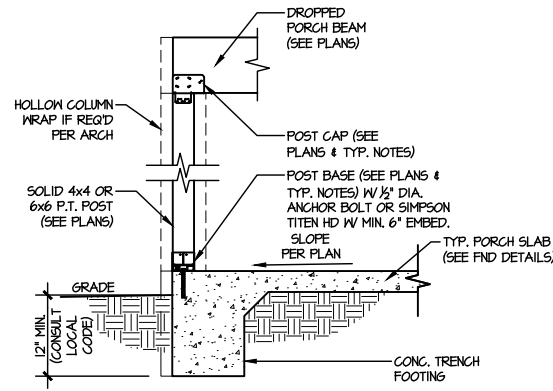


FRAMING DETAILS  
**HONEYCUTT HILLS**  
LOT 12 - TOWNSEND 5  
RALEIGH, NC

sheet:  
**SD3.0**

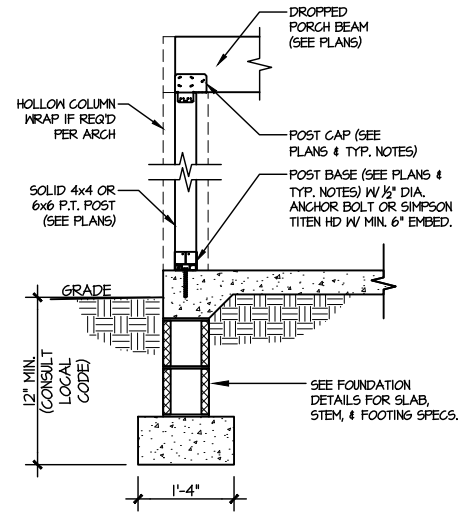


**TYPICAL CONNECTION  
DETAIL @ 2nd FLOOR DECK**



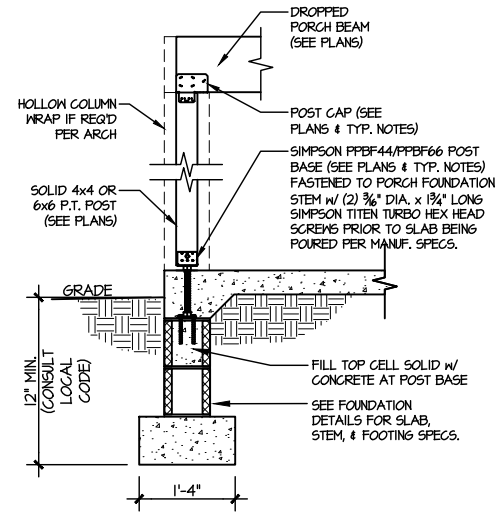
**TYPICAL PORCH  
POST CONNECTION DETAIL**

SCALE: NONE  
SLAB ON GRADE SHOWN (RAISED SLAB SIM)



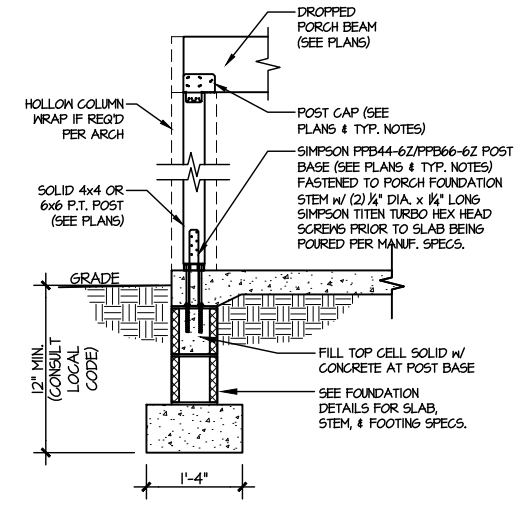
**TYPICAL PORCH POST CONNECTION  
DETAIL INSTALLED AFTER SLAB POUR**

SCALE: NONE  
CRAWLSPACE FOUNDATION



**TYPICAL PORCH POST CONNECTION  
DETAIL INSTALLED PRIOR TO SLAB POUR**

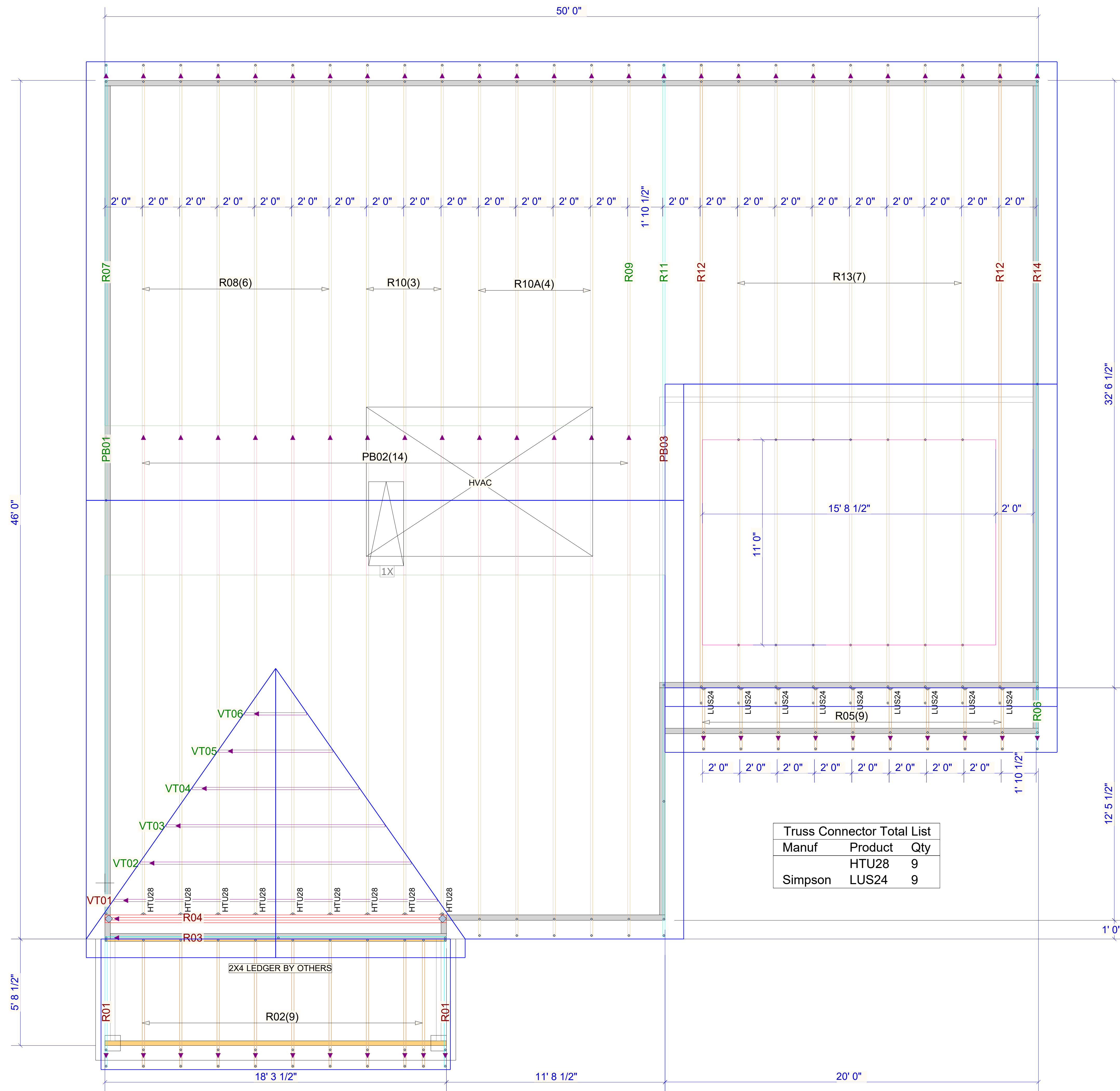
SCALE: NONE  
CRAWLSPACE FOUNDATION



**TYPICAL PORCH POST CONNECTION  
DETAIL INSTALLED PRIOR TO SLAB POUR**

SCALE: NONE  
CRAWLSPACE FOUNDATION





▲ = LEFT END OF TRUSS

REVISIONS:

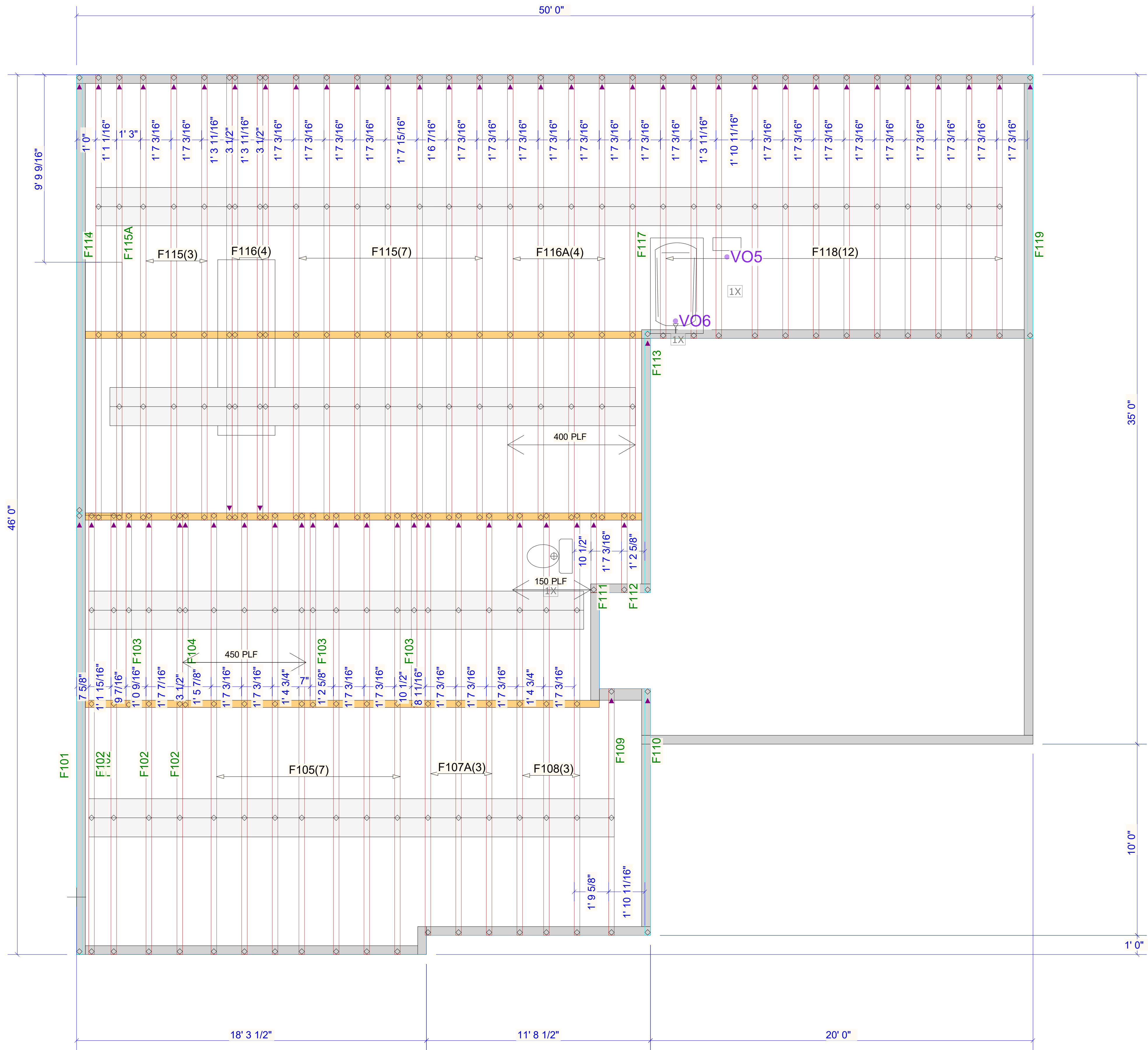
FOR PERMIT

Client: DRB GROUP-RALEIGH  
 Job: LOT 0.0012 HONEYCUTT HILL  
 Plan Information:  
**TOWNSEND-5**  
 NOT TO SCALE  
 Drawn By: CGT  
 Date: 07/03/24  
 Job #: 24-6140-R01  
 Sales Rep: KYLE GIBSON  
 Phone: 864-304-3282



Moncks Corner/Easley, SC (800) 475-3999  
 Sparta, NC (336) 372-2226

**WARNING!** Long span trusses, 60' or greater in length, require extreme care and experience for proper and safe handling and installation. For general handling and installation guidance, see the "Guide to Good Practice for Handling, Installing, Restraining & Bracing of Metal Plate Connected Wood Trusses ("BCSI"), JOINTLY PRODUCED BY SBCA and TPI. For project specific guidance, consult with a registered design professional. ATLANTIC assumes no responsibility for the handling, installation or bracing of trusses.



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▲ = LEFT END OF TRUSS

FOR PERMIT

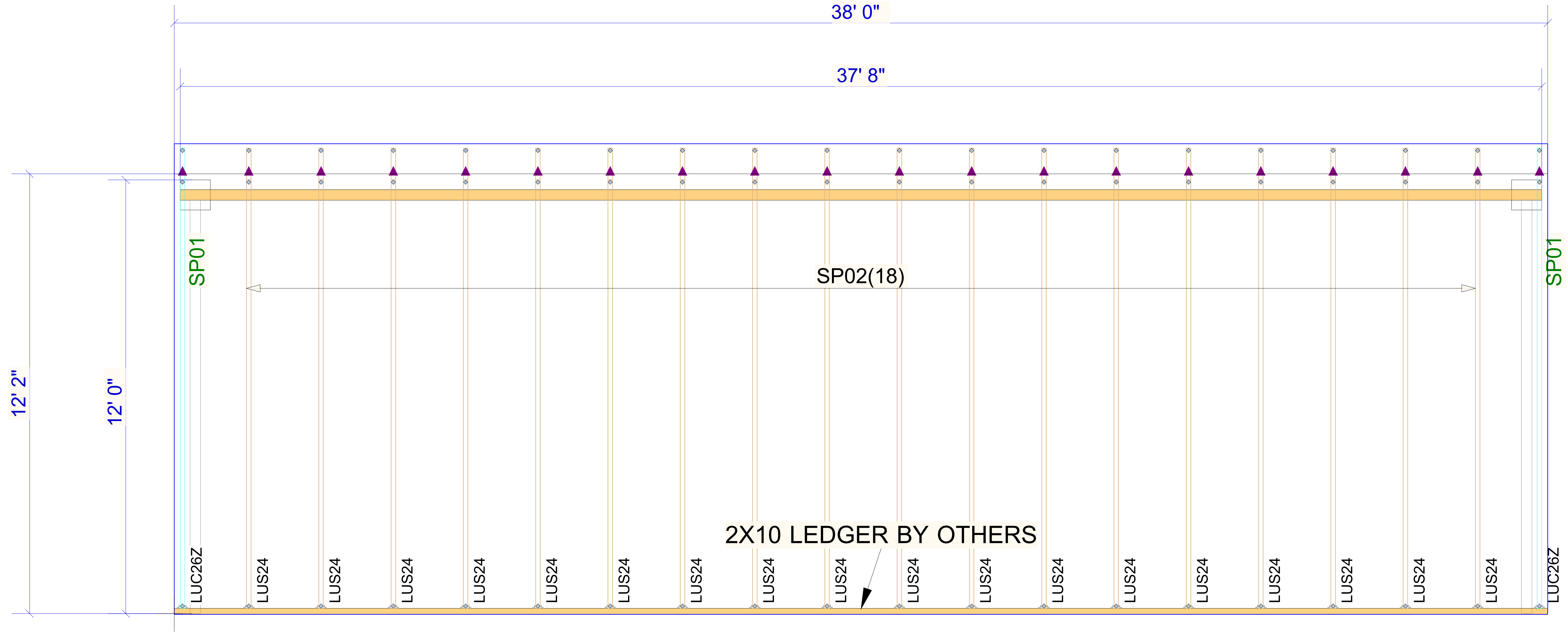


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 Sparta, NC (336) 372-2226

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Client:	DRB GROUP-RALEIGH
Job:	LOT 0.0012 HONEYCUTT HILL
Plan Information:	TOWNSEND-5
NOT TO SCALE	Date: 07/03/24
Drawn By: CGT	Job #: 24-6140-F01
	Sales Rep: KYLE GIBSON
	Phone: 864-304-3282

FLOOR



2X10 LEDGER BY OTHERS

Truss Connector Total List		
Manuf	Product	Qty
Simpson	LUC26Z	2
Simpson	LUS24	18

▲ = LEFT END OF TRUSS

REVISIONS:



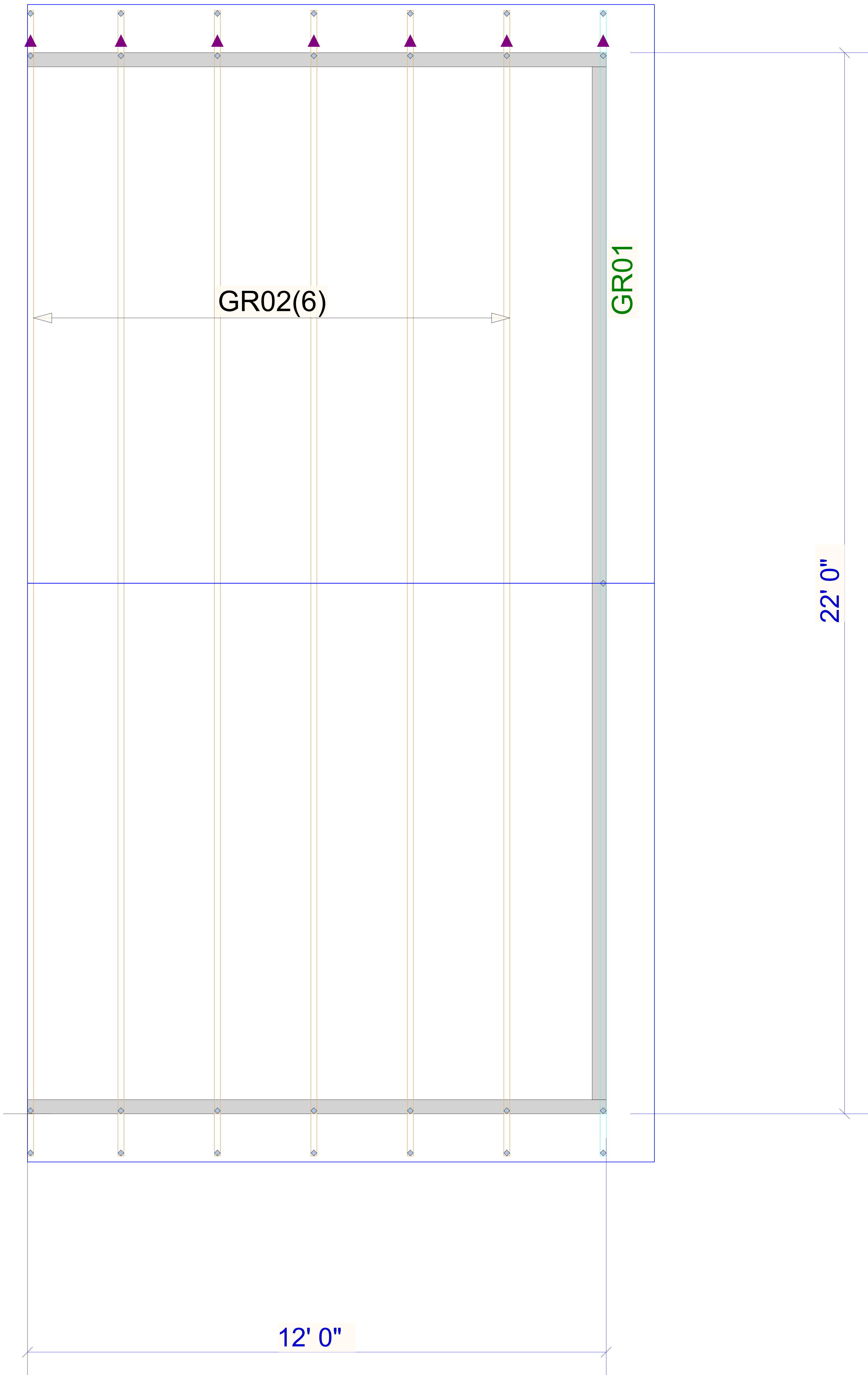
Moncks Corner/Easley, SC (800) 475-3999  
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FOR PERMIT

Client:	DRB GROUP-RALEIGH
Job:	LOT 0.0012 HONEYCUTT HILL
Plan Information:	TOWNSEND-5
NOT TO SCALE	Date: 07/03/24
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	24-6140-R01 Phone:

**WARNING!** Long span trusses, 60' or greater in length, require extreme care and experience for proper and safe handling and installation. For general handling and installation guidance, see the "Guide to Good Practice for Handling, Installing, Restraining & Bracing of Metal Plate Connected Wood Trusses ("BCSI"), JOINTLY PRODUCED BY SBCA and TPI. For project specific guidance, consult with a registered design professional. ATLANTIC assumes no responsibility for the handling, installation or bracing of trusses.

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▲ = LEFT END OF TRUSS

**FOR PERMIT**



Moncks Corner/Easley, SC (800) 475-3999  
Sparta, NC (336) 372-2226

REVISIONS:

Client: DRB GROUP-RALEIGH  
Job: LOT 0.0012 HONEYCUTT HILL  
Plan Information:  
TOWNSEND-5

NOT TO SCALE

Date: 07/03/24

Drawn By:  
CGT

Job #: 24-6140-R01  
Sales Rep: KYLE GIBSON  
Phone:

ROOF