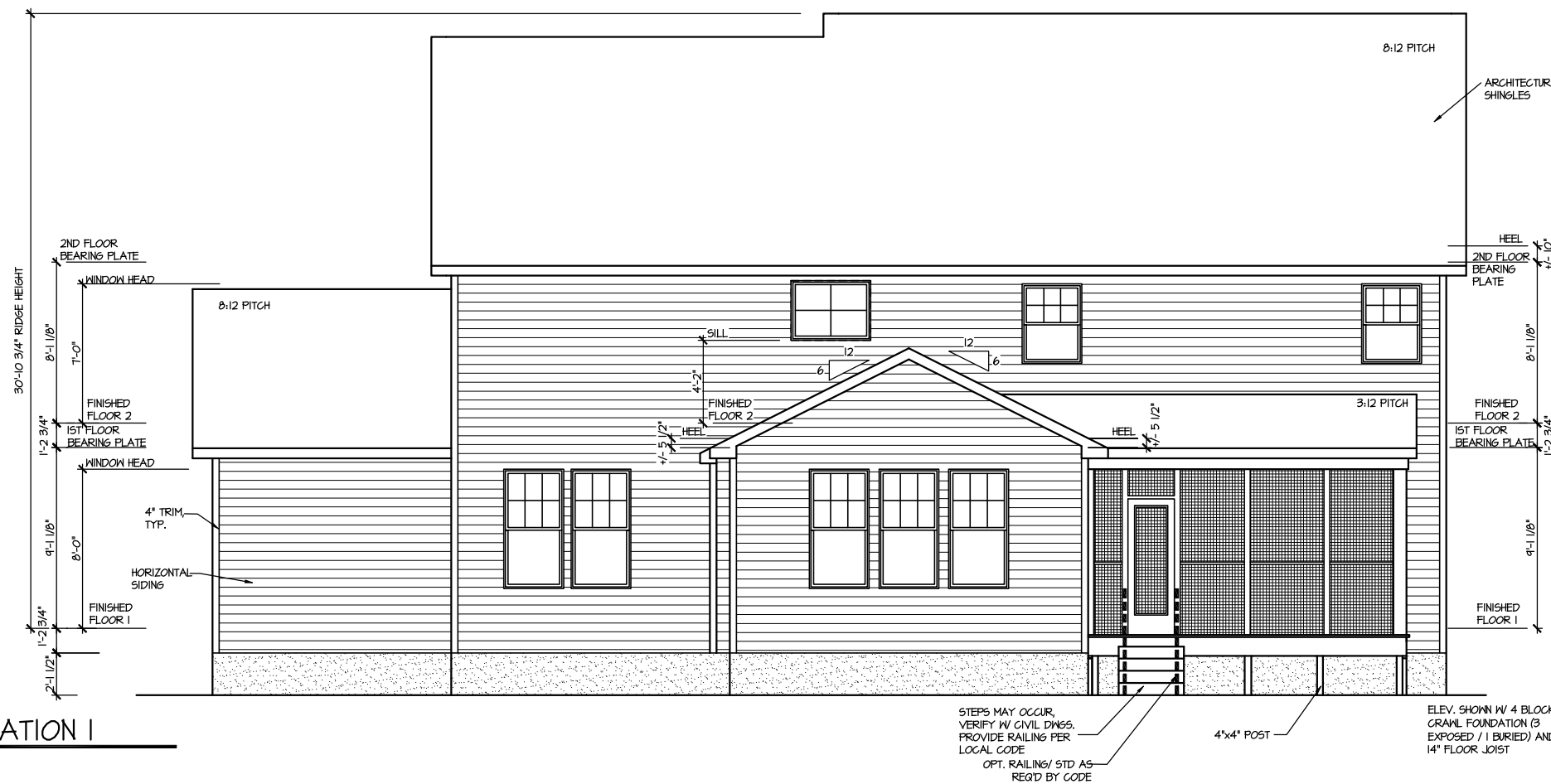


FRONT ELEVATION I

SCALE: 1/8" = 1'-0"



REAR ELEVATION I

SCALE: 1/8" = 1'-0"

FILE: Lot_00.0095.dwg DATE: 7/25/2024 12:27 PM

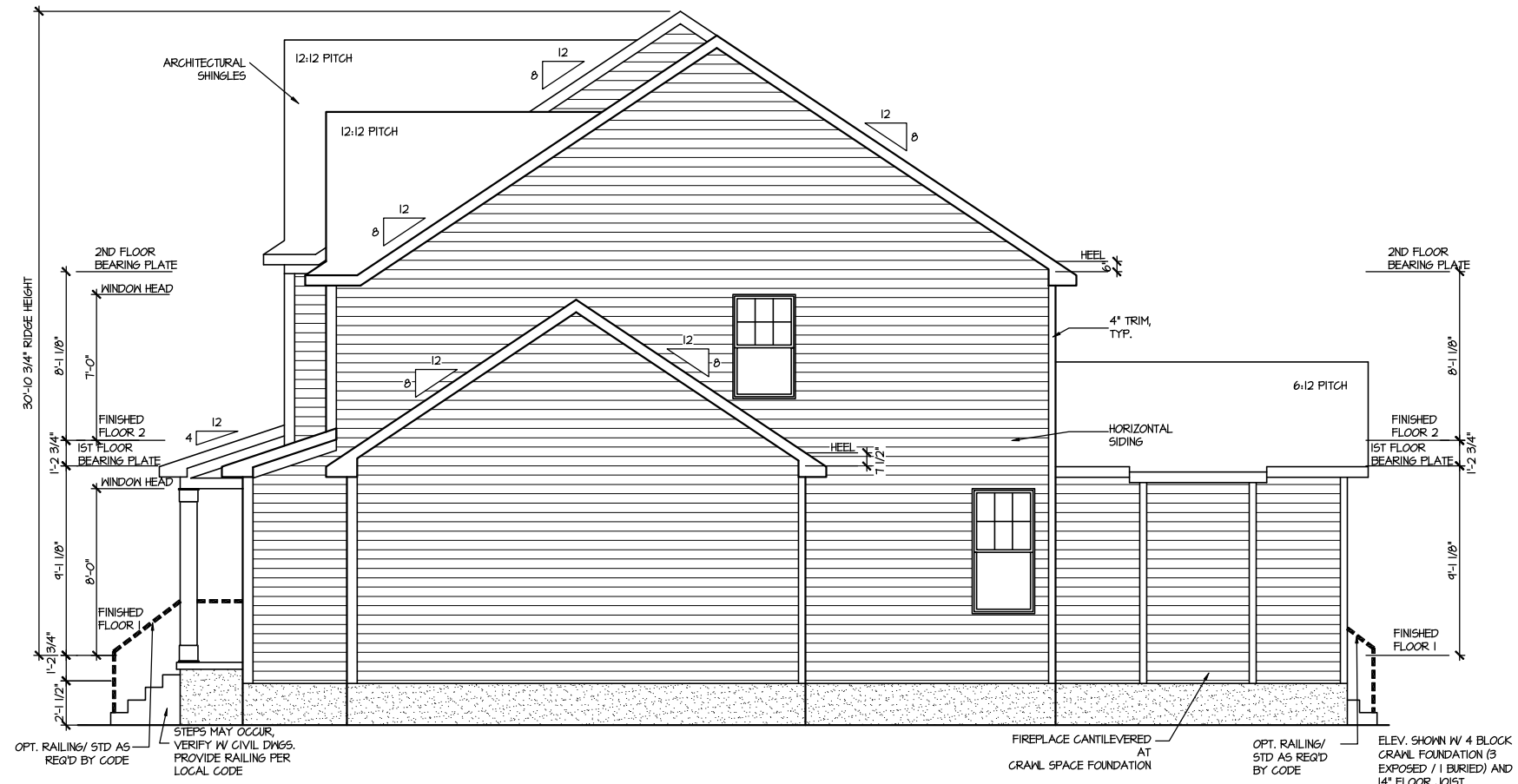
MASTER PLAN INFORMATION	
REVISION	DATE
2-RALE	03-20-2024

DRAWN BY: ITS
 DATE: 07/25/2024
 PLAN NO. 1635

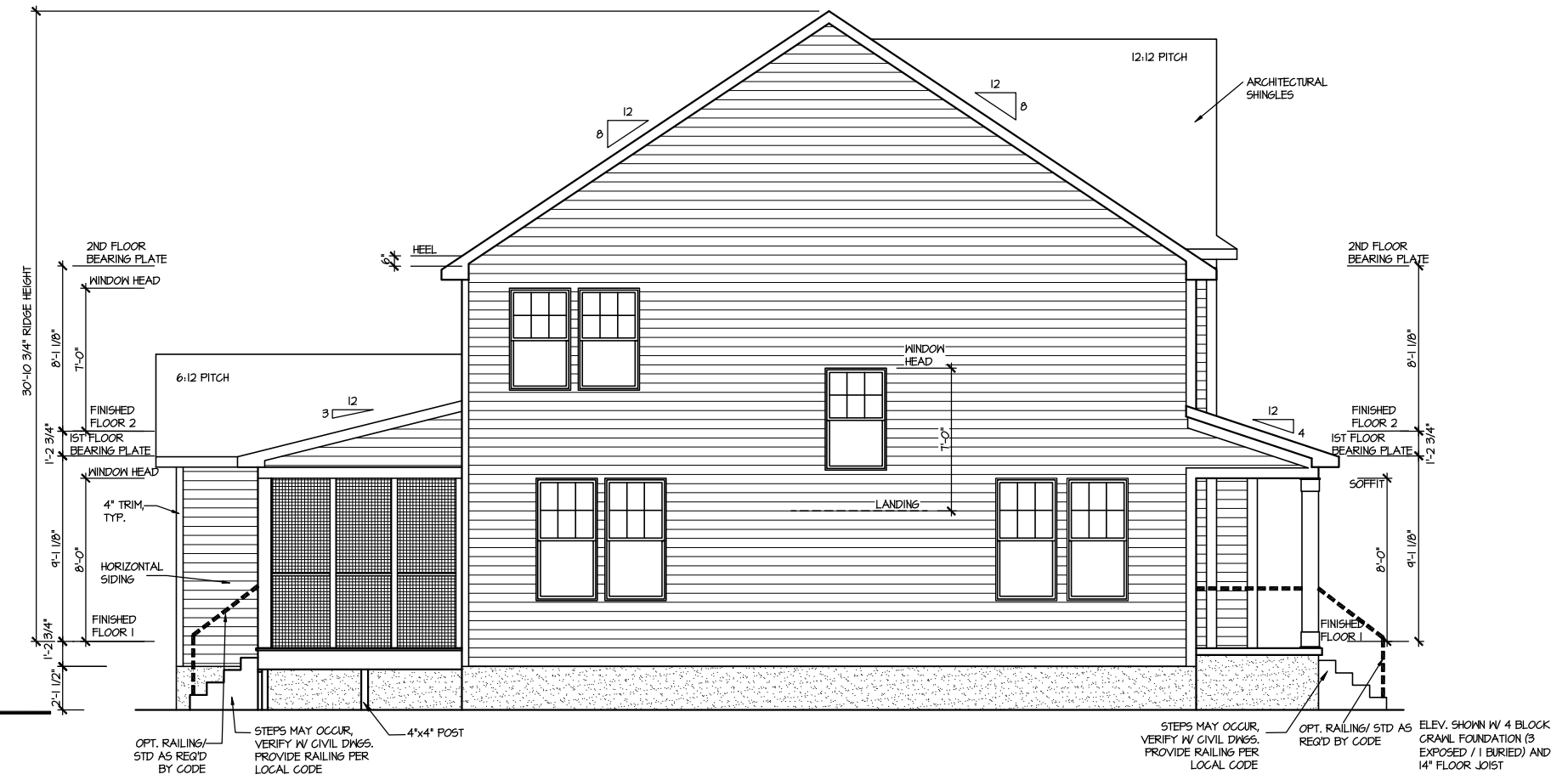


HOUSE NAME: STONEFIELD
 DRAWING TITLE: FRONT & REAR ELEVATIONS

SHEET No. A.1



RIGHT ELEVATION I
SCALE: 1/8" = 1'-0"



LEFT ELEVATION I
SCALE: 1/8" = 1'-0"

FILE: Lot_00.0095.dwg DATE: 7/25/2024 12:27 PM

MASTER PLAN INFORMATION	
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DRAWN BY: ITS
DATE: 07/25/2024
PLAN NO. 1635



HOUSE NAME: STONEFIELD
DRAWING TITLE: RIGHT & LEFT ELEVATIONS

SHEET No. A1.2

ATTIC VENT CALCULATION FOR PLAN "1"

UPPER ROOF VENTILATION CALCULATIONS:
 ROOF AREA 1 = 1784 SQ. FT.
OVERALL REQUIRED VENTILATION:
 1 TO 50 = 11.4 SQ. FT.
 1 TO 300 = 5.45 SQ. FT.
 50% IN TOP THIRD = 2.97 SQ. FT. (1 TO 300)
 NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN / LINEAR FT.
 NET FREE AREA OF RIDGE VENT = 10 SQ. IN / LINEAR FT.
LOWER VENTING (BOTTOM 2/3 ROOF)
 16 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 920.8 SQ. FT.
UPPER VENTING (TOP 1/3 ROOF)
 24 LINEAR FEET OF RIDGE X 10 SQ. IN. = 9 SQ. FT.
 3 SQ. FT. AT 50%
 (1 TO 300 ALLOWED)

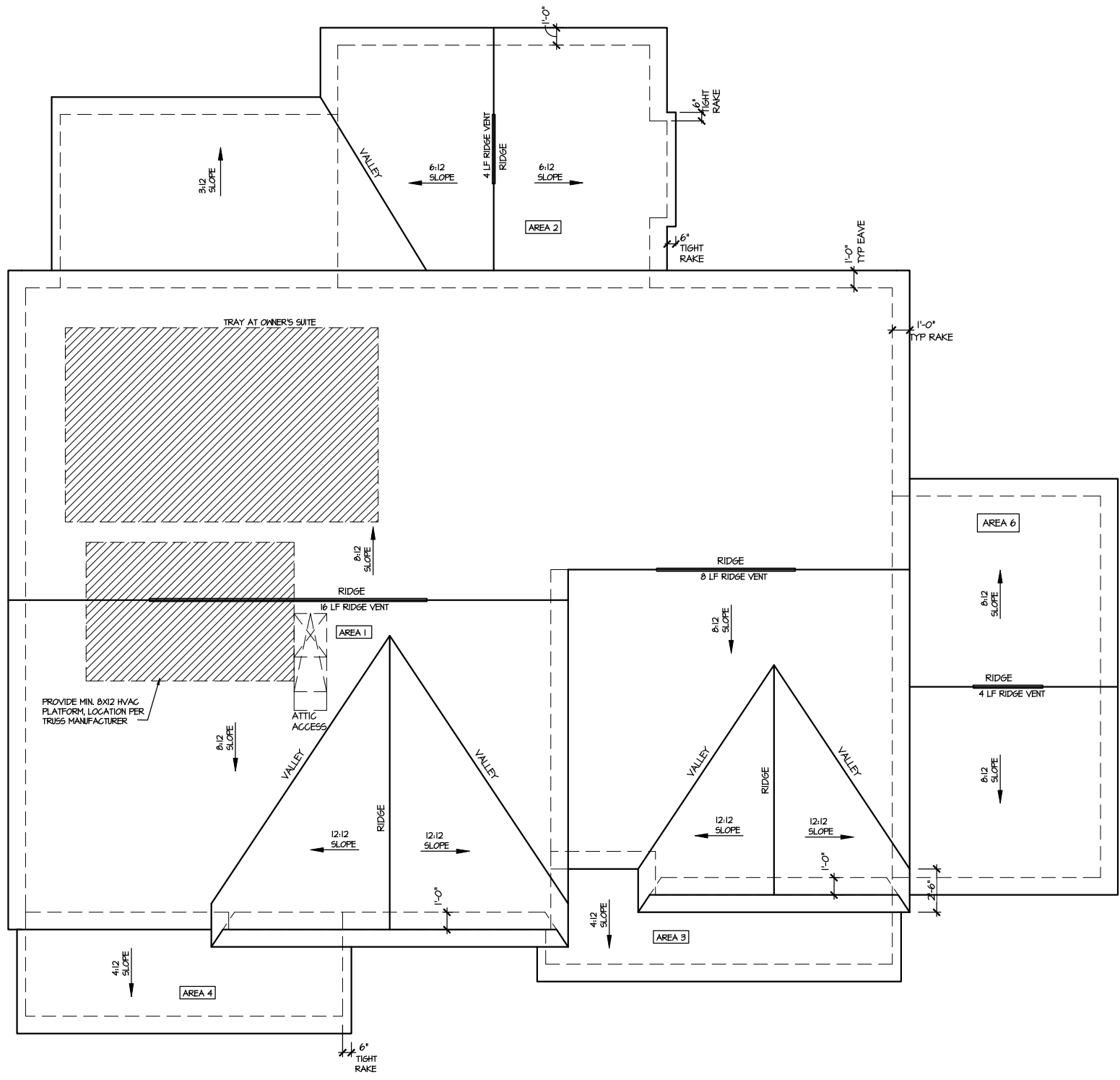
UPPER ROOF VENTILATION CALCULATIONS:
 ROOF AREA 2 = 252 SQ. FT.
OVERALL REQUIRED VENTILATION:
 1 TO 50 = 1.68 SQ. FT.
 1 TO 300 = 0.94 SQ. FT.
 50% IN TOP THIRD = 0.42 SQ. FT. (1 TO 300)
 NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN / LINEAR FT.
 NET FREE AREA OF RIDGE VENT = 10 SQ. IN / LINEAR FT.
LOWER VENTING (BOTTOM 2/3 ROOF)
 11 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 627.5 SQ. FT.
UPPER VENTING (TOP 1/3 ROOF)
 4 LINEAR FEET OF RIDGE X 10 SQ. IN. = 0.5 SQ. FT.
 0.5 SQ. FT. AT 50%
 (1 TO 300 ALLOWED)

UPPER ROOF VENTILATION CALCULATIONS:
 ROOF AREA 3 = 45 SQ. FT.
OVERALL REQUIRED VENTILATION:
 1 TO 50 = 0.63 SQ. FT.
 1 TO 300 = 0.317 SQ. FT.
 50% IN TOP THIRD = 0.159 SQ. FT. (1 TO 300)
 NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN / LINEAR FT.
 NET FREE AREA OF RIDGE VENT = 10 SQ. IN / LINEAR FT.
LOWER VENTING (BOTTOM 2/3 ROOF)
 4 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 0.50 SQ. FT.
UPPER VENTING (TOP 1/3 ROOF)
 2 LINEAR FEET OF RIDGE X 10 SQ. IN. = 0.25 SQ. FT.
 1 SQ. FT. BETWEEN 50%
 (1 TO 300 ALLOWED)

UPPER ROOF VENTILATION CALCULATIONS:
 ROOF AREA 4 = 109 SQ. FT.
OVERALL REQUIRED VENTILATION:
 1 TO 50 = 0.687 SQ. FT.
 1 TO 300 = 0.349 SQ. FT.
 50% IN TOP THIRD = 0.172 SQ. FT. (1 TO 300)
 NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN / LINEAR FT.
 NET FREE AREA OF RIDGE VENT = 10 SQ. IN / LINEAR FT.
LOWER VENTING (BOTTOM 2/3 ROOF)
 5 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 0.16 SQ. FT.
UPPER VENTING (TOP 1/3 ROOF)
 2 LINEAR FEET OF RIDGE X 10 SQ. IN. = 0.25 SQ. FT.
 1 SQ. FT. AT 50%
 (1 TO 300 ALLOWED)

UPPER ROOF VENTILATION CALCULATIONS:
 ROOF AREA 6 = 234 SQ. FT.
OVERALL REQUIRED VENTILATION:
 1 TO 50 = 1.56 SQ. FT.
 1 TO 300 = 0.18 SQ. FT.
 50% IN TOP THIRD = 0.36 SQ. FT. (1 TO 300)
 NET FREE AREA OF VENTED SOFFIT = 5.7 SQ. IN / LINEAR FT.
 NET FREE AREA OF RIDGE VENT = 10 SQ. IN / LINEAR FT.
LOWER VENTING (BOTTOM 2/3 ROOF)
 10 LINEAR FEET OF SOFFIT X 5.7 SQ. IN. = 0.36 SQ. FT.
UPPER VENTING (TOP 1/3 ROOF)
 4 LINEAR FEET OF RIDGE X 10 SQ. IN. = 0.5 SQ. FT.
 1 SQ. FT. AT 50%
 (1 TO 300 ALLOWED)

NOTE: ROOF PLANS SHOWN W/ MIN. REQ'D RIDGE VENT LOCATIONS.
 ACTUAL RIDGE VENT LOCATIONS AND QUANTITY PER BUILDER



ROOF PLAN ELEV. 1
 SCALE: 1/8" = 1'-0"

FILE: Lot_00.0095.dwg DATE: 7/25/2024 12:27 PM

MASTER PLAN INFORMATION	
REVISION	DATE
2-RALE	03-20-2024

DRAWN BY:	ITS
DATE:	07/25/2024
PLAN NO.	1635



HOUSE NAME:
STONEFIELD
 DRAWING TITLE
ROOF PLAN

SHEET No.
A.3

CRAWL SPACE VENT CALCULATIONS: ELEV 1
 CRAWL AREA = 1542 SQ. FT.
OVERALL REQUIRED VENTILATION:
 1 SQ. IN. PER 1 SQ. FT. = 1542 SQ. IN.

NET FREE AREA OF VENT = 72 SQ. IN. PER VENT
 WITHIN AUTOMATIC VENT OAL-1 OR EQUAL

VENTING REQUIREMENT:
 1542 SQ. IN. / 72 SQ. IN. = 21.4 VENTS = 22 VENTS

ONLY VENTS ON THE FRONT ELEVATION ARE SHOWN.
 ALL OTHERS TO BE FIELD LOCATED.
 VENTS SHALL BE INSTALLED PER R322.2.2 - R322.2.2.1

CRAWL SPACE VENT CALCULATIONS: OPT. BED 5/BA 3
 CRAWL AREA = 54 SQ. FT.
OVERALL REQUIRED VENTILATION:
 1 SQ. IN. PER 1 SQ. FT. = 54 SQ. IN.

NET FREE AREA OF VENT = 72 SQ. IN. PER VENT
 WITHIN AUTOMATIC VENT OAL-1 OR EQUAL

VENTING REQUIREMENT:
 54 SQ. IN. / 72 SQ. IN. = .8 VENTS = 1 VENTS

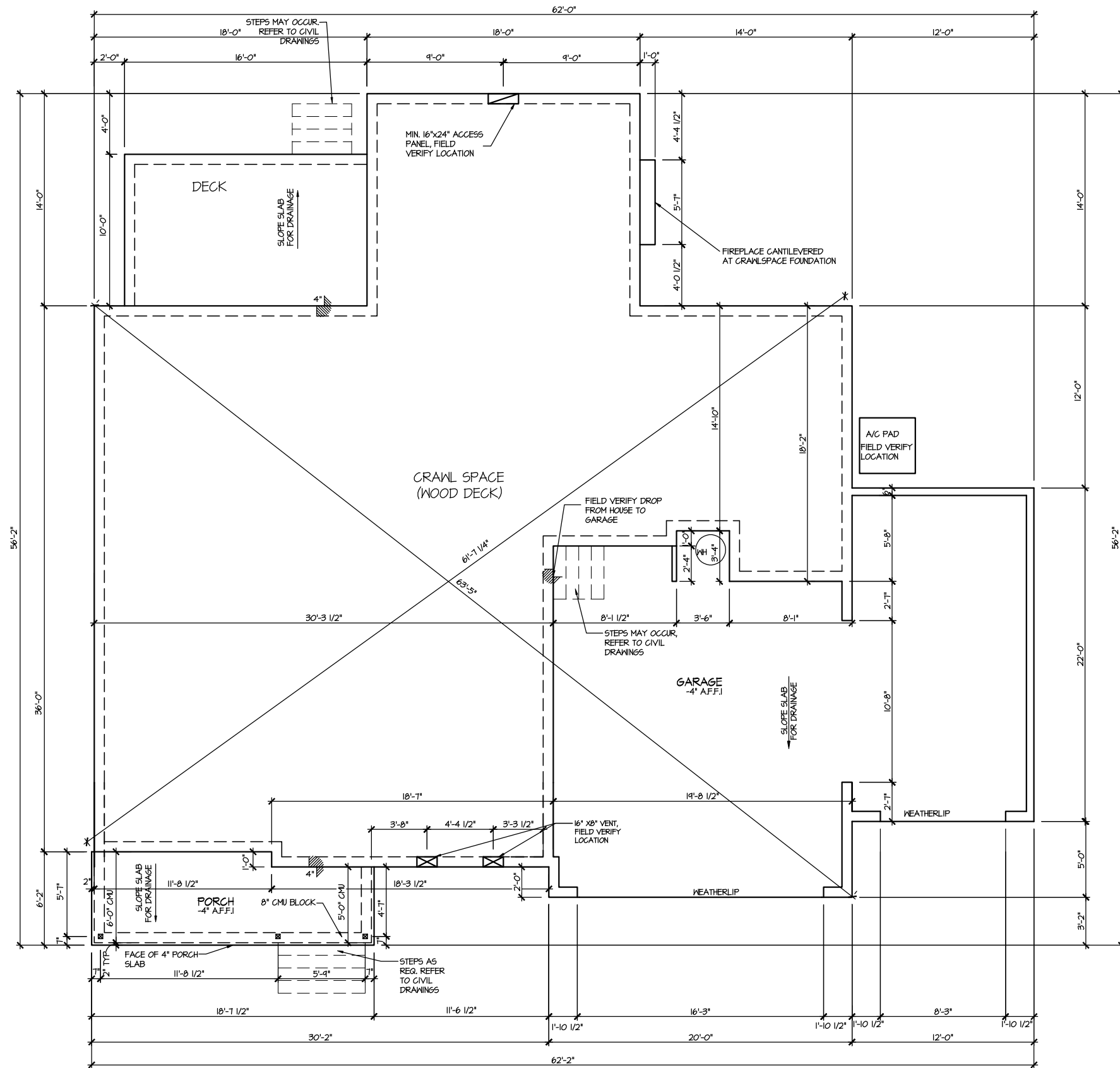
ONLY VENTS ON THE FRONT ELEVATION ARE SHOWN. ALL
 OTHERS TO BE FIELD LOCATED.
 VENTS SHALL BE INSTALLED PER R322.2.2 - R322.2.2.1

CRAWL SPACE VENT CALCULATIONS: OPT. EXT. BRKFST.
 CRAWL AREA = 93 SQ. FT.
OVERALL REQUIRED VENTILATION:
 1 SQ. IN. PER 1 SQ. FT. = 93 SQ. IN.

NET FREE AREA OF VENT = 72 SQ. IN. PER VENT
 WITHIN AUTOMATIC VENT OAL-1 OR EQUAL

VENTING REQUIREMENT:
 93 SQ. IN. / 72 SQ. IN. = 1.3 VENTS = 2 VENTS

ONLY VENTS ON THE FRONT ELEVATION ARE SHOWN.
 ALL OTHERS TO BE FIELD LOCATED.
 VENTS SHALL BE INSTALLED PER R322.2.2 - R322.2.2.1



**ELEVATION 1
 CRAWL SPACE PLAN**

SCALE: 1/8" = 1'-0"

FILE: Lot_00.0095.dwg DATE: 7/25/2024 12:27 PM

MASTER PLAN INFORMATION	
REVISION	DATE
2-RALE	03-20-2024

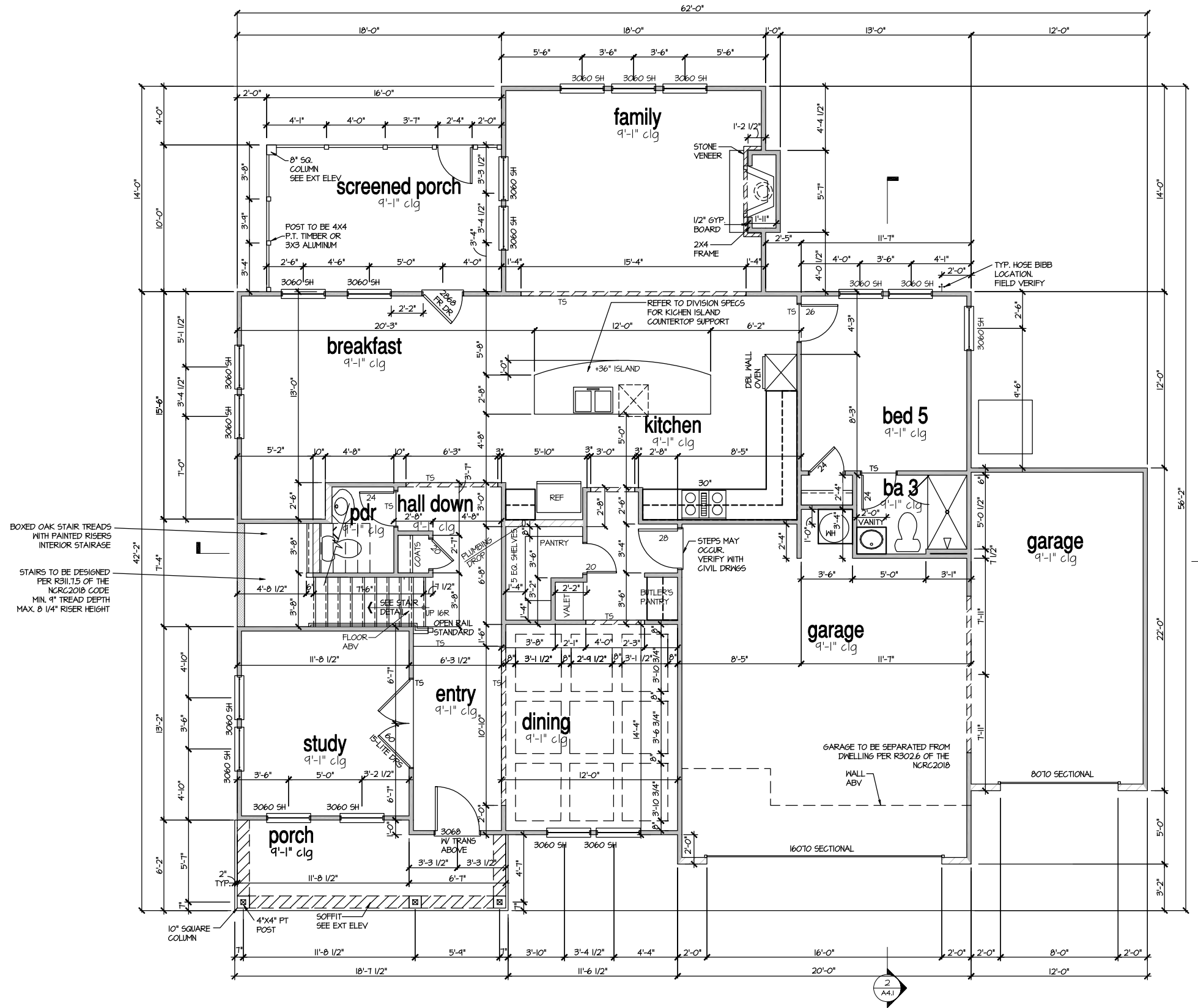
DRAWN BY: ITS
 DATE: 07/25/2024
 PLAN NO. 1635



HOUSE NAME: STONEFIELD
 DRAWING TITLE: CRAWL SPACE PLAN

SHEET No. A2.1

FILE: Lot_00.0095.dwg DATE: 7/25/2024 12:27 PM



BOXED OAK STAIR TREADS
WITH PAINTED RISERS
INTERIOR STAIRCASE

STAIRS TO BE DESIGNED
PER R311.15 OF THE
NCR2018 CODE
MIN. 9" TREAD DEPTH
MAX. 8 1/4" RISER HEIGHT

**ELEVATION I
FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"

MASTER PLAN INFORMATION	
REVISION	DATE
2-RALE	03-20-2024

DRAWN BY:
ITS

DATE:
07/25/2024

PLAN NO.
1635

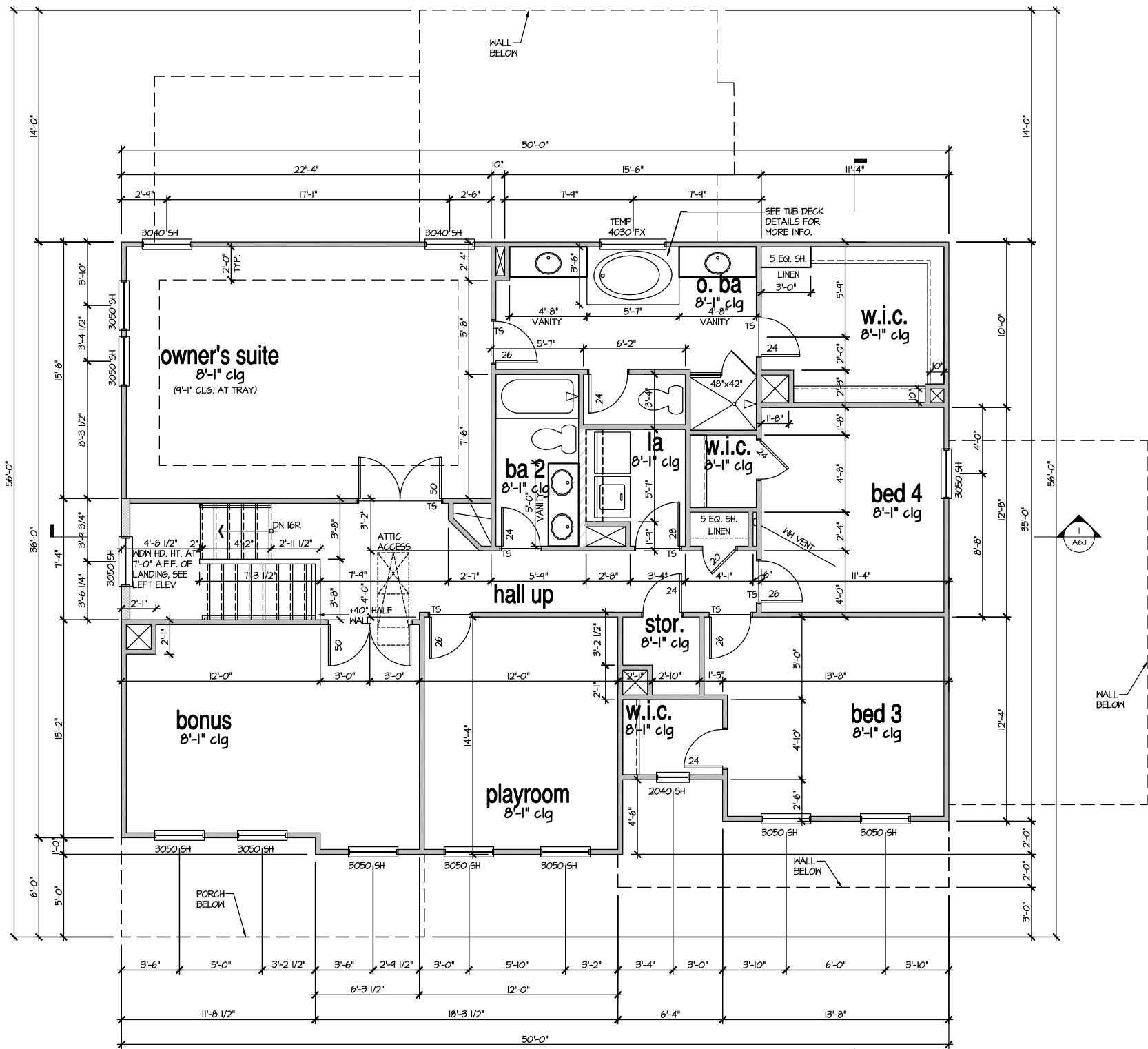


HOUSE NAME:
STONEFIELD

DRAWING TITLE
FIRST FLOOR PLAN

SHEET No.
A3.1

FILE: Lot_00.0095.dwg DATE: 7/25/2024 12:27 PM



ELEVATION 1
 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

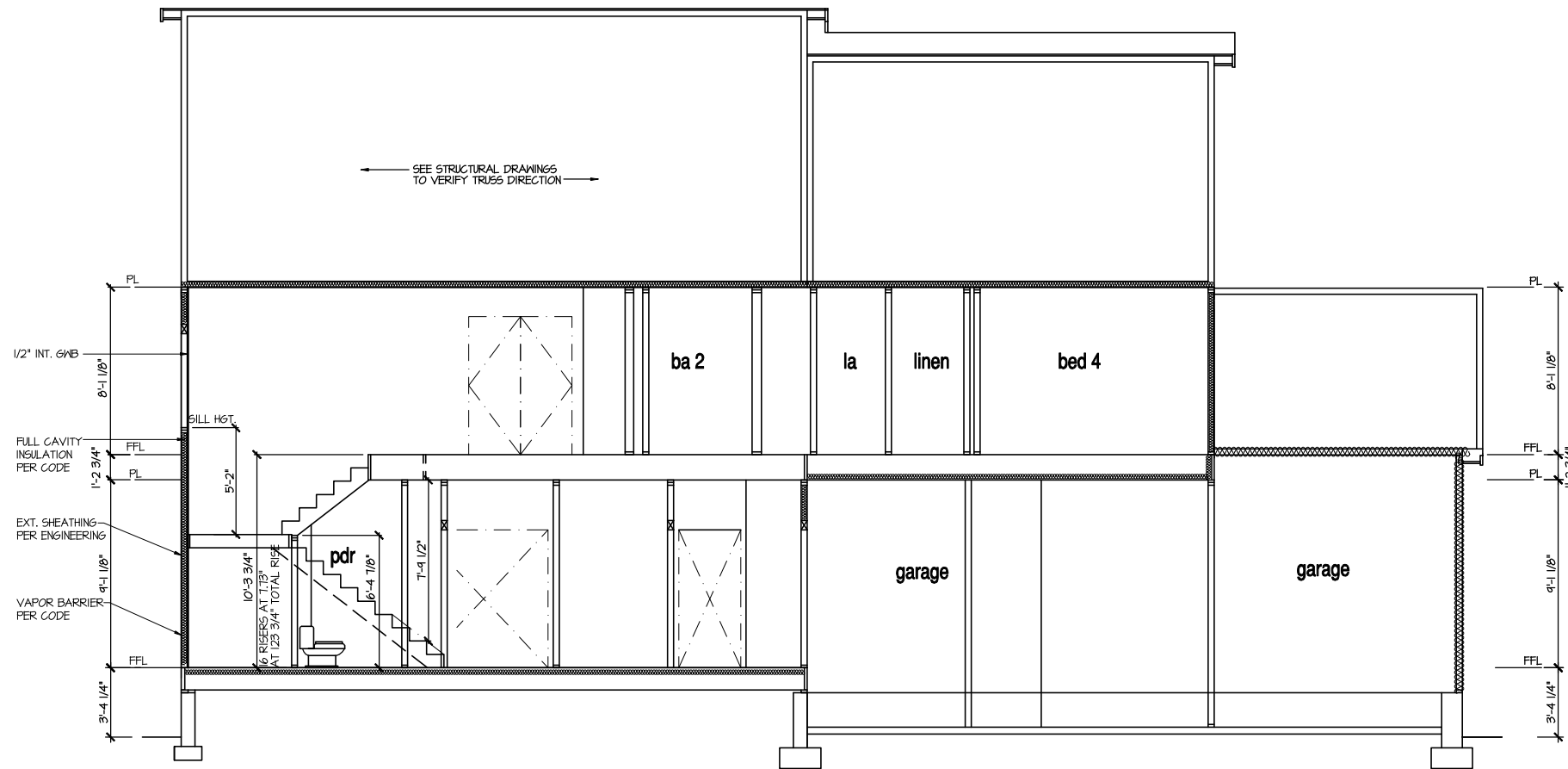
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REVISION	DATE
2-RALE	03-20-2024

DRAWN BY:	ITS
DATE:	07/25/2024
PLAN NO.	1635

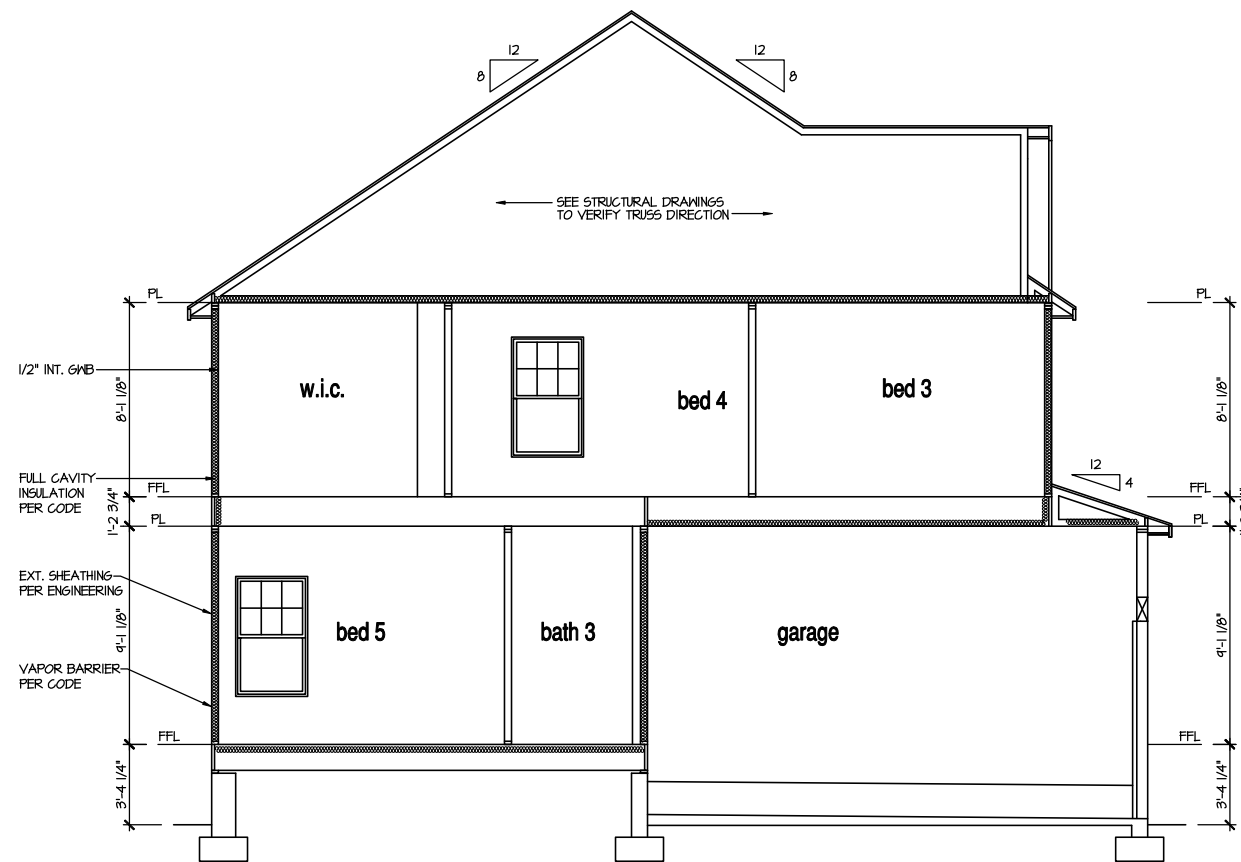


HOUSE NAME:
 STONEFIELD
 DRAWING TITLE
 SECOND FLOOR PLAN

SHEET No.
 A3.2



SECTION I
SCALE: 1/8" = 1'-0"



SECTION 2
SCALE: 1/8" = 1'-0"

9'-1" STAIR NOTE:
(USE 1/4" TJI WITH 3/4" PLYWOOD SUBFLOOR)
15 TREADS AT 10" EACH VERIFY
16 RISERS AT 4" = 123 3/4" TOTAL
RISE VERIFY

- NOTES:**
- BUILDING SECTIONS SHOWN HERE DEPICT VOLUMN SPACES WITHIN THE STRUCTURE. REFER TO STRUCTURAL DRAWINGS, TRUSS DRAWINGS, STRUCTURAL DETAILS AND CALCULATIONS BY OTHER FOR ALL STRUCTURAL INFO.
 - ROOFING: PITCHED SHINGLE ROOF. REFER TO ROOF PLAN FOR TYPICALS.
 - WOOD FLOORS: FLOOR SHEATHING OVER FLOOR JOIST. REFER TO STRUCTURAL AND TRUSS DRAWINGS BY OTHERS.
 - INSULATION:

EXTERIOR WALLS:	R-13 BATTIS MINIMUM. VERIFY
CEILING WITH ATTIC ABOVE:	R-38 BATTIS MINIMUM. VERIFY
FLOOR OVER GARAGE:	R-19 BATTIS MINIMUM. VERIFY
ATTIC KNEEWALL:	R-19 BATTIS MINIMUM. VERIFY
- PER STATE RESIDENTIAL CODE
CONFLIANCE METHOD TO BE
DETERMINED BY BUILDER.

FILE: Lot_00.0095.dwg DATE: 7/25/2024 12:27 PM

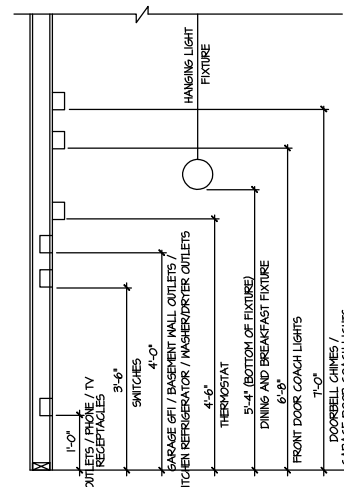
MASTER PLAN INFORMATION	
DATE	03-20-2024
REVISION	2-RALE

DRAWN BY:	ITS
DATE:	07/25/2024
PLAN NO.	1635

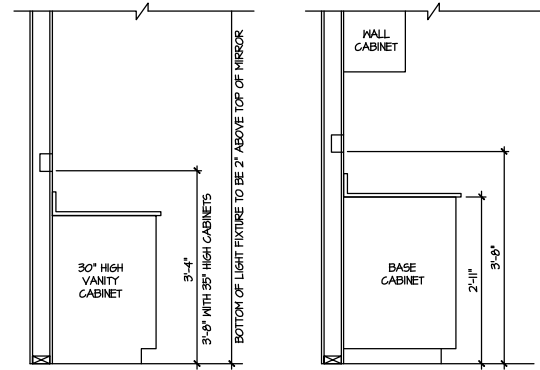


HOUSE NAME:
STONEFIELD
DRAWING TITLE
BUILDING SECTION

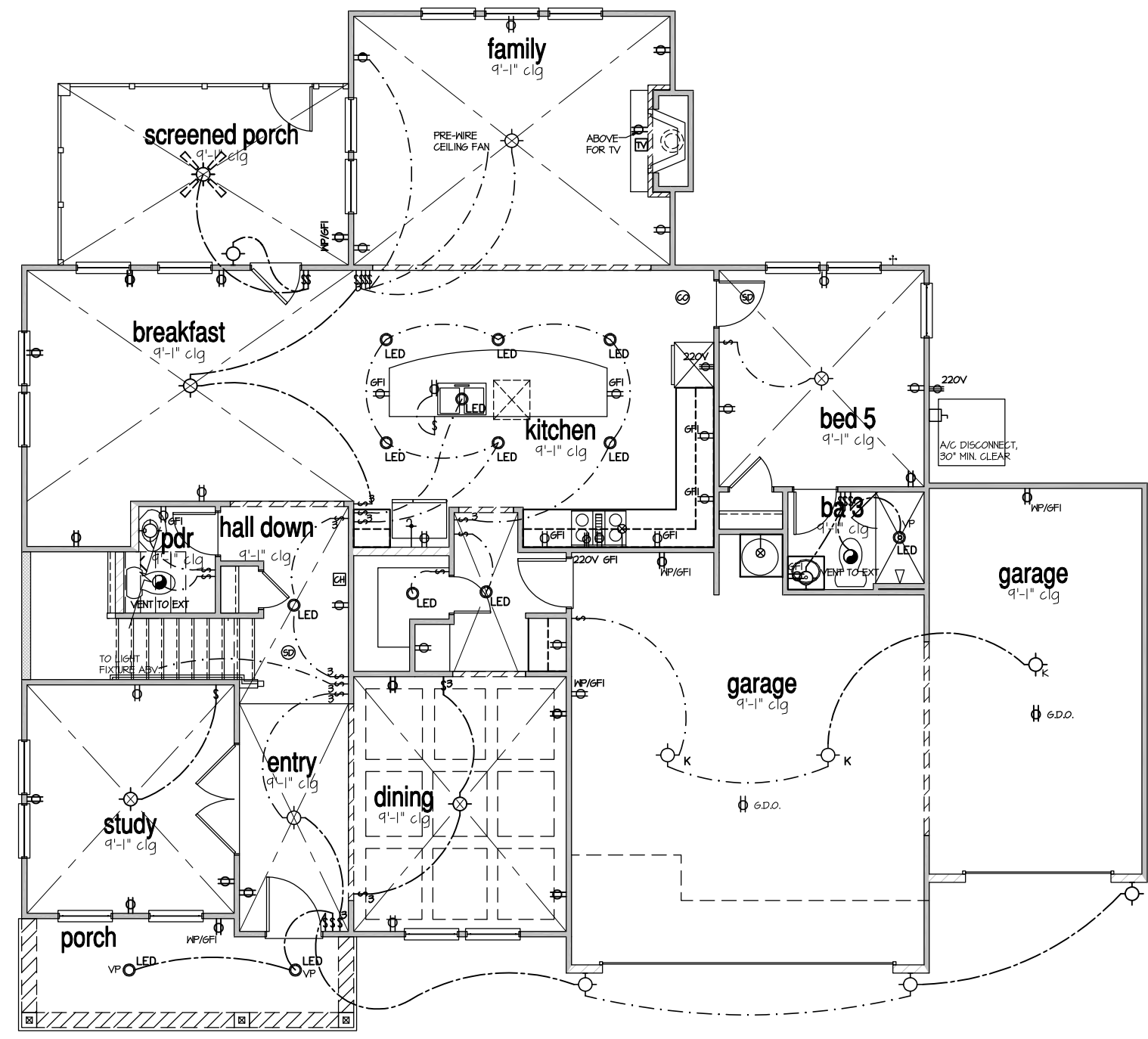
SHEET No.
A4.1



STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS
SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS



- NOTES:**
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 - PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 - ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
 - HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
 - ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
 - PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURERS' WRITTEN INSTRUCTIONS.
 - CLOSET LIGHTS TO BE FLOURESCENT FIXTURES FOR NC & INCANDESCENT CLG. MOUNTED FIXTURES FOR ALL OTHER AREAS.

LEGEND:

⊕	AFGI DUPLEX OUTLET	☉	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE	⊠	CHIMES	⊗	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
⊕	WEATHERPROOF GFI AFGI DUPLEX OUTLET	☉	KEYLESS LIGHT	⊠	PUSHBUTTON SWITCH	⊗	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕	GROUND-FAULT CIRCUIT-INTERRUPTER AFGI DUPLEX OUTLET	☉	HALL MOUNTED INCANDESCENT LIGHT FIXTURE	⊠	110V SMOKE DETECTOR W/ BATTERY BACKUP	⊗	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
⊕	HALF-SWITCHED AFGI DUPLEX OUTLET	☉	RECESSED LIGHT FIXTURE	⊠	CO2 DETECTOR	⊗	6AS SUPPLY WITH VALVE
⊕	220V 220 VOLT AFGI OUTLET	☉	LED SURFACE MOUNTED	⊠	THERMOSTAT	⊗	HOSE BIBB
⊕	REINFORCED JUNCTION BOX	☉	EXHAUST FAN (VENT TO EXTERIOR)	⊠	TELEPHONE	⊗	1/4" WATER STUB OUT
⊕	HALL SWITCH	☉	EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)	⊠	TELEVISION	⊗	
⊕	THREE-WAY SWITCH	☉	TECH HUB SYSTEM	⊠	ELECTRIC METER	⊗	
⊕	FOUR-WAY SWITCH	☉		⊠	ELECTRIC PANEL	⊗	
⊕	LED STRIP FIXTURE	☉		⊠	DISCONNECT SWITCH	⊗	

ELECTRICAL PLAN
FIRST FLOOR - ELEV. 1
SCALE: 1/8" = 1'-0"

FILE: Lot_00.0095.dwg DATE: 7/25/2024 12:27 PM

MASTER PLAN INFORMATION

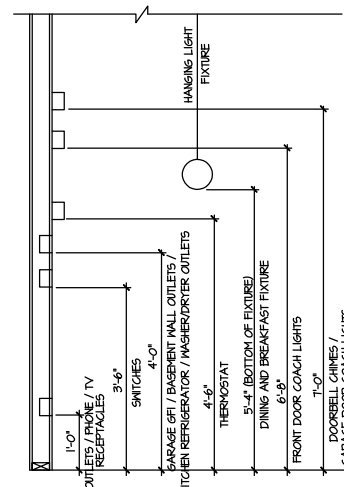
REVISION	DATE
2-RALE	03-20-2024

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DATE: 07/25/2024
PLAN NO. 1635

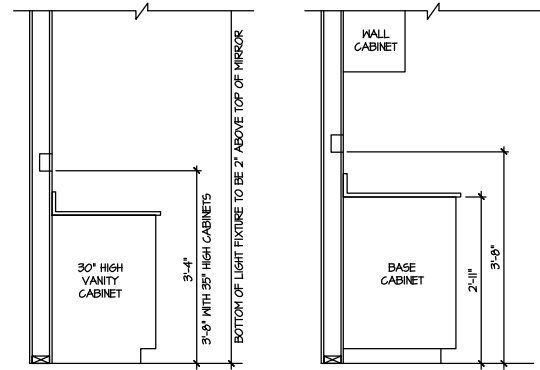


HOUSE NAME: STONEFIELD
DRAWING TITLE: FIRST FLOOR ELECTRICAL

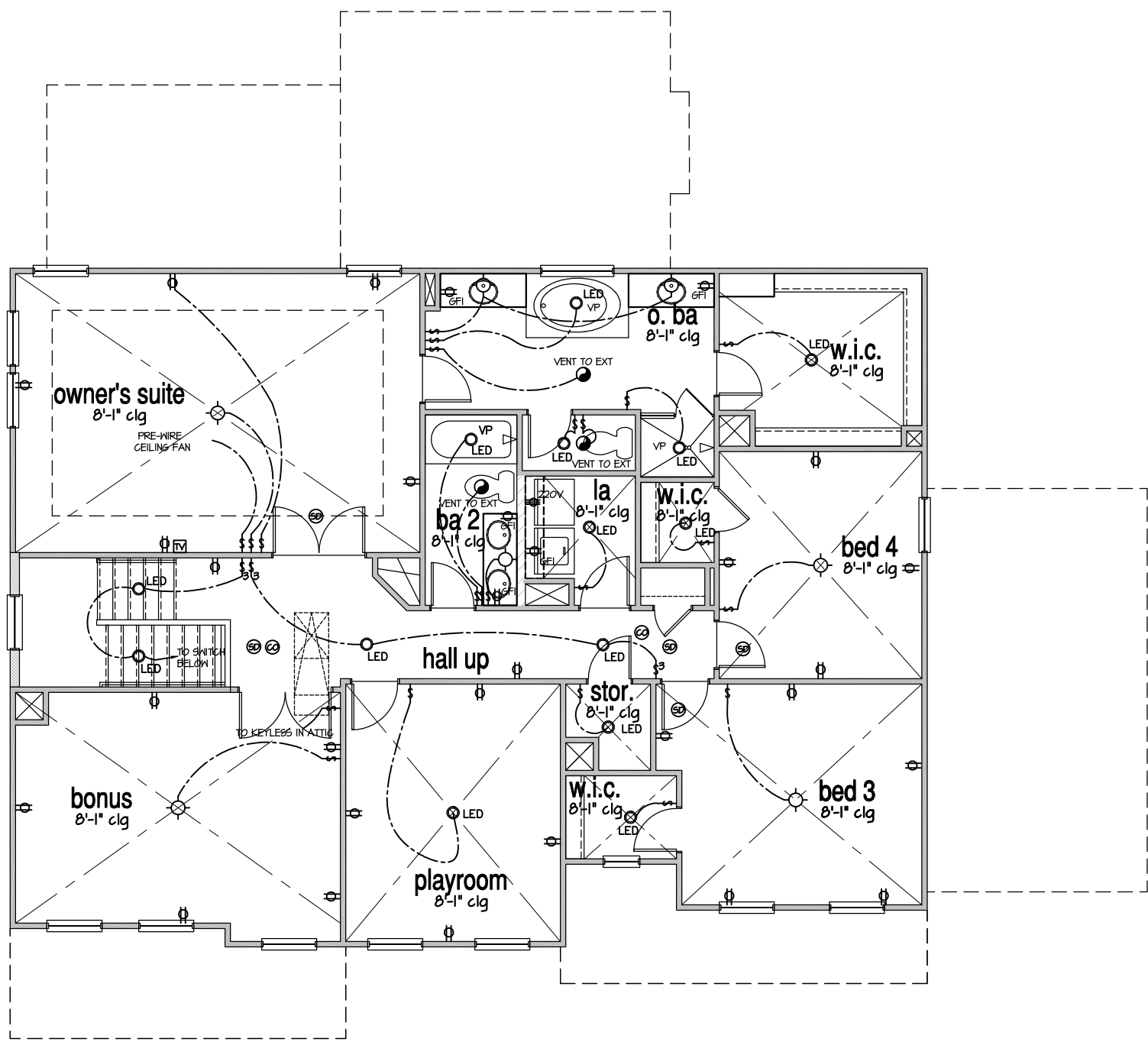
SHEET No. 11



STANDARD ELECTRICAL BOX HEIGHTS



SWITCH AND RECEPTACLE BOXES OVER BATH CABINETS
SWITCH AND RECEPTACLE BOXES OVER KITCHEN CABINETS



NOTES:

- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AND CO2 DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRICAL CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- PROVIDE POWER, LIGHT AND SWITCH AS REQUIRED FOR ATTIC FURNACE PER CODE AND MANUFACTURERS WRITTEN INSTRUCTIONS.
- CLOSET LIGHTS TO BE FLOURESCENT FIXTURES FOR NC & INCANDESCENT CLG. MOUNTED FIXTURES FOR ALL OTHER AREAS.

LEGEND:	
	AFGI DUPLEX OUTLET
	WEATHERPROOF GFI AFGI DUPLEX OUTLET
	GROUND-FAULT CIRCUIT-INTERRUPTER AFGI DUPLEX OUTLET
	HALF-SWITCHED AFGI DUPLEX OUTLET
	220V 220 VOLT AFGI OUTLET
	REINFORCED JUNCTION BOX
	WALL SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	LED STRIP FIXTURE
	CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
	KEYLESS LIGHT
	HALL MOUNTED INCANDESCENT LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	LED SURFACE MOUNTED
	EXHAUST FAN (VENT TO EXTERIOR)
	EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)
	TECH HUB SYSTEM
	CHIMES
	PUSHBUTTON SWITCH
	110V SMOKE DETECTOR w/ BATTERY BACKUP
	CO2 DETECTOR
	THERMOSTAT
	TELEPHONE
	TELEVISION
	ELECTRIC METER
	ELECTRIC PANEL
	DISCONNECT SWITCH
	CEILING FAN (PROVIDE ADEQUATE SUPPORT)
	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
	GAS SUPPLY WITH VALVE
	HOSE BIBB
	1/4" WATER STUB OUT

ELECTRICAL PLAN
SECOND FLOOR - ELEV. 1
SCALE: 1/8" = 1'-0"

FILE: Lot_00.0095.dwg DATE: 7/25/2024 12:27 PM

MASTER PLAN INFORMATION	
REVISION	DATE
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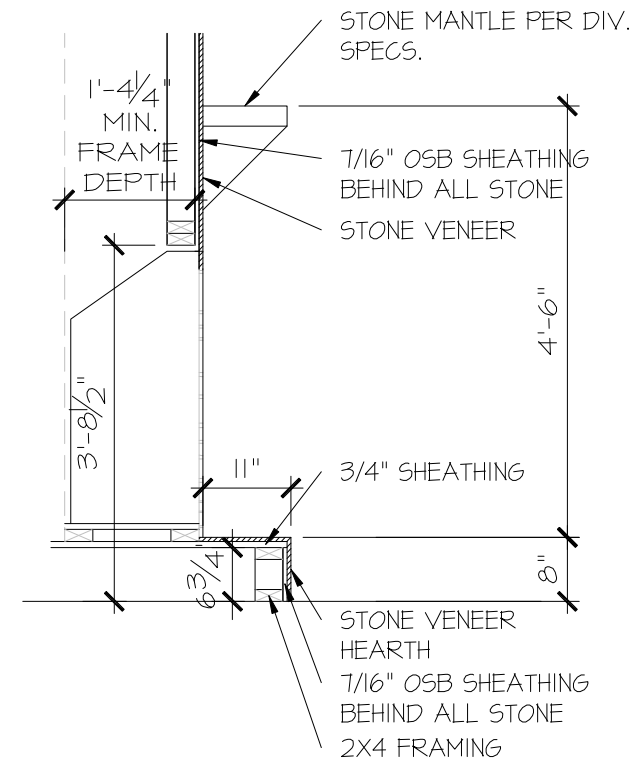
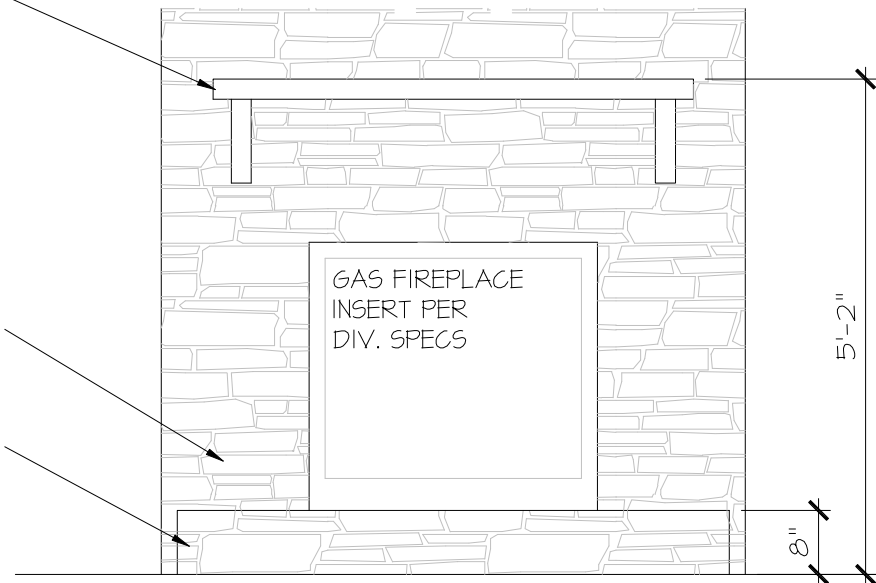
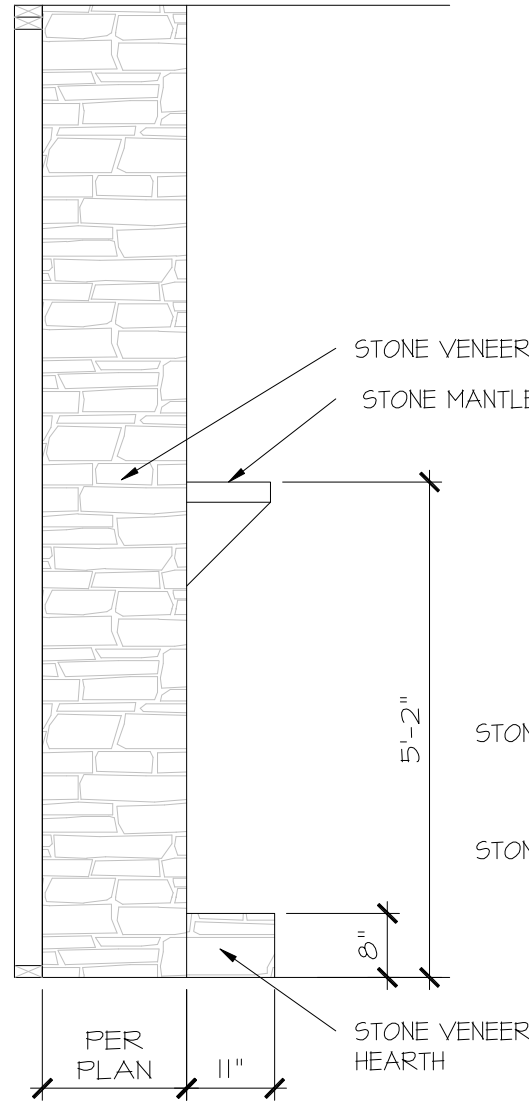
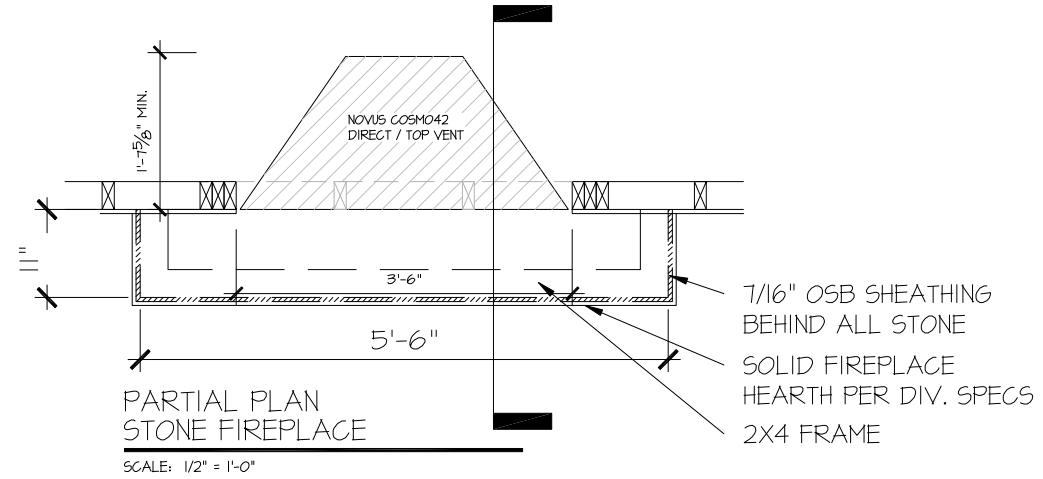
DRAWN BY: ITS
DATE: 07/25/2024
PLAN NO. 1635



HOUSE NAME: STONEFIELD
DRAWING TITLE: SECOND FLOOR ELECTRICAL

SHEET No. 1.2

ALL DIMENSIONS
ARE TO FRAMING



FILE: RALE FIREPLACE DETAILS 11-8-23.dwg DATE: 5/27/2022 10:35 AM

CONSULTANT LOGO

SEAL

DRAWN BY:
L. BEAVERS
DATE: 11-8-23
PLAN NO.
N/A
11 X 17 SCALE
24 X 36 SCALE

DRB
HOMES

HOUSE NAME:
RALE FIREPLACE DETAILS
DRAWING TITLE
RALE FIREPLACE DETAIL
STONE INTERIOR

SHEET No.

10.2

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

Table with 3 columns: DESCRIPTION OF BLDG. ELEMENT, 3"x0.131" NAILS, 3"x0.120" NAILS. Rows include JOIST TO SOLE PLATE, SOLE PLATE TO JOIST/BLK'G., STUD TO SOLE PLATE, etc.

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS.

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN.

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.
WOOD FRAME ENGINEERING IS BASED ON NDS, 'NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION' - LATEST EDITION.
DESIGN LOADS: ROOF DEAD = 7 PSF T.C., 10 PSF B.C. LIVE = 16 PSF LOAD DURATION FACTOR = 1.25

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION.
REFER TO FASTENING SCHEDULE TABLE R602.3(1) FOR ALL CONNECTIONS, TYP. U.N.O.
EXT. & INT. BRG WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SFF OR 5/8" STUD GRADE LUMBER OR BETTER, U.N.O.

FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA.
AT 1-JOIST FLOORS, PROVIDE 1/8" MIN. OSB RIM BOARD.
METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.

ROOF FRAMING

- BAY WINDOWS & SHED ROOFS (UP TO 6' SPAN) CAN BE 2x4 OR 2x6 RAFTERS & CEILING JOISTS @ 16/24" O.C.
FASTEN EACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H25T CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS.
ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BC51 I-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."

VENEER LINTEL SCHEDULE

Table with 3 columns: SPAN (MAX), HEIGHT OF VENEER ABOVE LINTEL, STEEL ANGLE SIZE. Rows include 3'-0", 6'-0", 8'-0", 9'-6", 10'-0".

ALL LITTELS SHALL SUPPORT 2 3/4" - 3 1/2" VENEER W/ 40 PSF MAXIMUM HEIGHT.
< 16" SHALL HAVE 4" MIN. BEARING
< 16" SHALL NOT BE FASTENED BACK TO HEADER.

SD2.I REFERS TO SD2.IA FOR LVL/PSL/LSL BEAMS OR SD2.IB FOR FLITCH BEAMS OR SD2.IC FOR STEEL BEAMS

LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: 120 MPH WIND IN 2018 NCSBC:RC (120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10, AS PERMITTED BY R301.1.3 OF THE 2018 NCSBC:RC, OR THE SIMPLIFIED PRESCRIPTIVE PROCEDURE IN ACCORDANCE WITH THE 2015 IRC IF THE PARAMETERS OF SECTION R602.12 COMPLY.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 1/32" PLYWOOD: FASTEN SHEATHING W/ 2 3/8" X 0.113" NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD.
HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL PANEL EDGES IS NOT REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.

BLOCKED PANEL EDGES

- AT DESIGNATED AREAS - FASTEN SHEATHING W/ 2 3/8" X 0.113" NAILS @ 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN THE PANEL FIELD.
AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W/ 8d NAILS @ 3" O.C.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W/ 8d NAILS @ 3" O.C. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.

INDICATES EXTENT OF INT. OSB SHEARWALL OR 3" O.C. OSB SHEARWALL.
INDICATES HOLD-DOWN BELOW

GENERAL STRUCTURAL NOTES

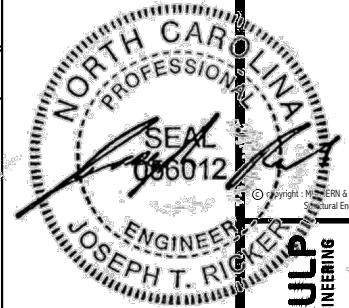
FOUNDATION

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE.
FOOTING DESIGN - 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED.
FASTEN 2x4/6 SILL PLATES TO FIND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING: 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C., 7" MIN. EMBEDMENT (CONC), 15" MIN. EMBEDMENT (CMU)
SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONC)
SIMPSON MAB23 ANCHOR STRAPS @ 2'-8" O.C. (CMU)

HOLD-DOWN SCHEDULE

Table with 2 columns: SYMBOL, SPECIFICATION. Rows include HD-1 SIMPSON HTT4 HOLD-DOWN, HD-2 SIMPSON MSTC66 STRAP TIE, HD-3 SIMPSON STHD14/14RJ HOLD-DOWN.

ALTERNATIVE TO S6TB24 ANCHOR BOLT SPECIFICATION: UTILIZE SIMPSON "SET" EPOXY SYSTEM TO FASTEN 3/8" DIA. THREADED ROD INTO CONCRETE FOUNDATION.



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M&K project number: 126-23061

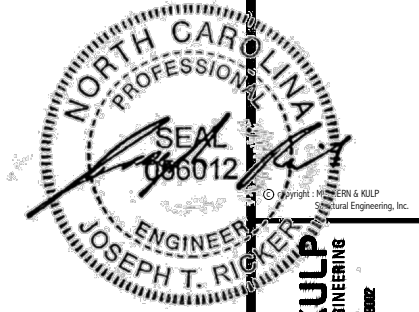
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drawn by: GTK
issue date: 07-26-24

REVISIONS:
date: initial:



STRUCTURAL NOTES
BLAKE POND
LOT 95 - STONEFIELD 1
RALEIGH, NC

sheet: S0.0



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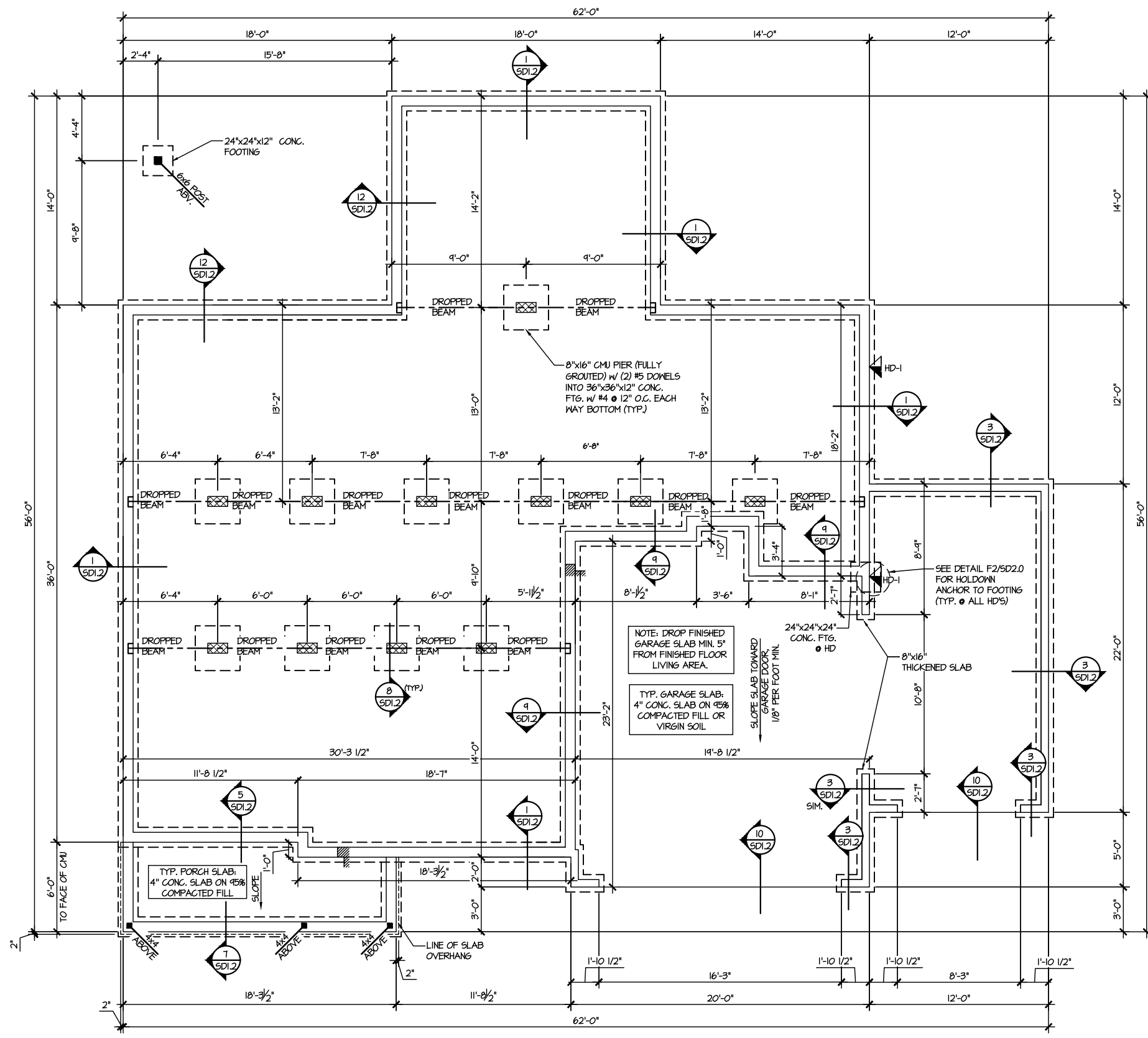
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126-23061
project mgr: JTR
drawn by: GTK
issue date: 07-26-24

REVISIONS:
date: initial:

DRB
HOMES

FOUNDATION PLANS
BLAKE POND
LOT 95 - STONEFIELD 1
RALEIGH, NC

sheet:
S1.0

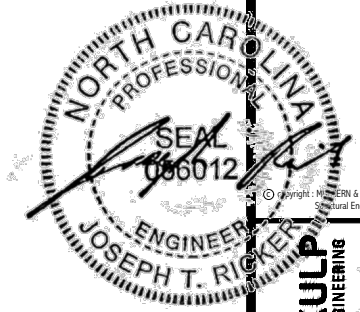


LEGEND

- ▬ INTERIOR BEARING WALL
- ▬ BEARING WALL ABOVE
- ▬ BEAM / HEADER
- ▬ INDICATES SHEAR WALL & EXTENT
- ▬ EXTENT OF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▶ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO 50.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES

1 CRAWL SPACE FOUNDATION PLAN
SCALE: 1/8"=1'-0"



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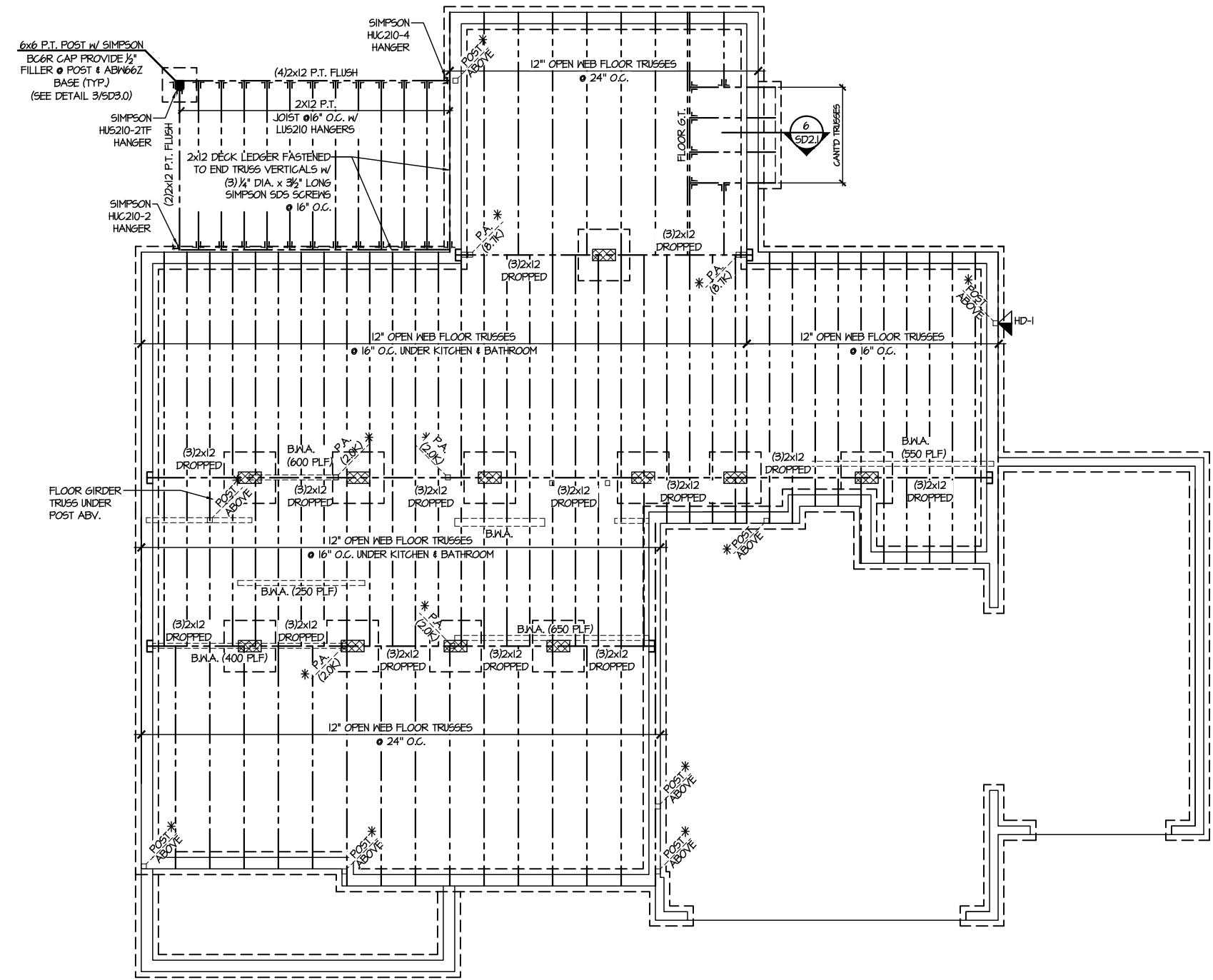
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project mgr: JTR
drawn by: GTK
issue date: 07-26-24

REVISIONS:
date: initial:

DRB
HOMES

FLOOR FRAMING PLANS
BLAKE POND
LOT 95 - STONEFIELD I
RALEIGH, NC

sheet:
S2.0

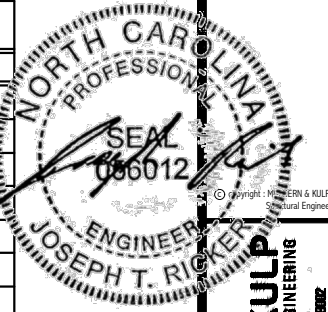


SD2.I REFERS TO SD2.IA FOR LVL/PSL/LSL BEAMS OR SD2.IB FOR FLITCH BEAMS OR SD2.IC FOR STEEL BEAMS

LEGEND	
	INTERIOR BEARING WALL
	BEARING WALL ABOVE
	BEAM / HEADER
	INDICATES SHEAR WALL & EXTENT
	EXTENT OF OVERFRAMING
	HL METAL HANGER
	* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
	▶ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO 50.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

1 1ST FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"



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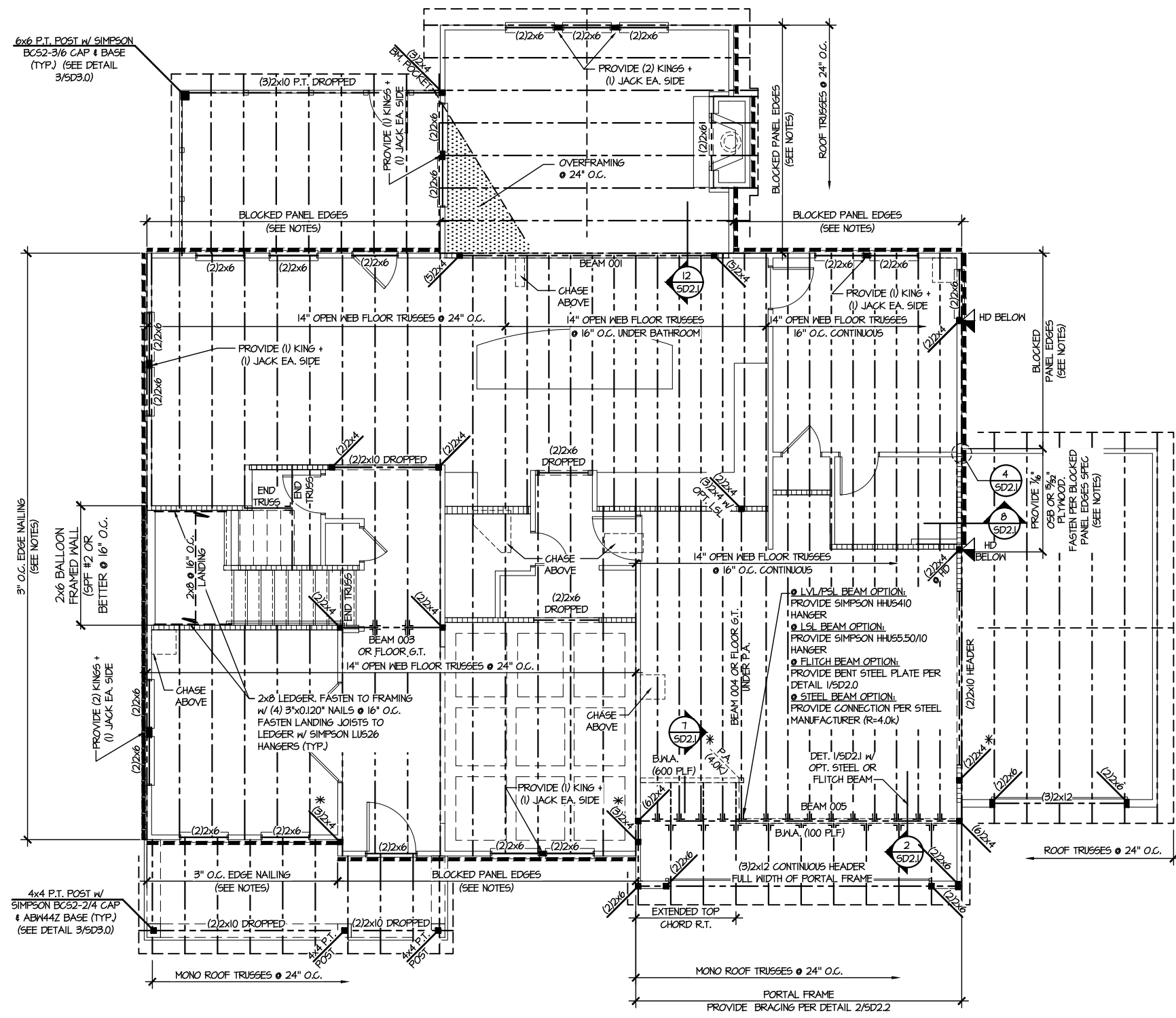


FLOOR FRAMING PLANS
BLAKE POND
LOT 95 - STONEFIELD I
RALEIGH, NC

sheet:
S3.0

ENGINEERED BEAM MATERIAL SCHEDULE					
BEAM NUMBER	LVL OPTION	PSL OPTION	LSL OPTION	FLITCH OPTION	STEEL OPTION
001	(2)3/4"x16" - D	3/2"x16" - D	N/A	(2)2x12 + (1) 3/8"x14" STEEL FLITCH PLATES - D	W2x14 - D
002	(2)3/4"x17 1/2" - D	3/2"x17 1/2" - D	(3)3/4"x17 1/2" - D	(2)2x12 + (1) 1/4"x14" STEEL FLITCH PLATES - D	W2x14 - D
003	(2)3/4"x14" - F	3/2"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/4"x14" STEEL FLITCH PLATES - F	W2x14 - F
004	(2)3/4"x14" - F	3/2"x14" - F	(3)3/4"x14" - F	(2)2x12 + (1) 3/8"x14" STEEL FLITCH PLATES - F	W2x14 - F
005	(3)3/4"x10" - FT	5/4"x10" - FT	N/A	(3)2x12 + (2) 3/8"x14" STEEL FLITCH PLATES - F	W2x26 - F
006	(3)3/4"x10" - FT	5/4"x10" - FT	N/A	(3)2x12 + (2) 3/8"x14" STEEL FLITCH PLATES - F	W2x26 - F
007	(2)3/4"x14" - F	3/2"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/4"x14" STEEL FLITCH PLATES - F	W2x14 - F
008	(2)3/4"x14" - F	3/2"x14" - F	(2)3/4"x14" - F	(2)2x12 + (1) 1/4"x14" STEEL FLITCH PLATES - F	W2x14 - F
009	(2)3/4"x9 1/4" - D	3/2"x9 1/4" - D	(2)3/4"x9 1/4" - D	(2)2x10 + (1) 1/4"x9 1/4" STEEL FLITCH PLATES - D	W10x12 - D
010	(2)3/4"x16" - H	3/2"x16" - H	(3)3/4"x16" - H	(3)2x12 + (2) 3/8"x14" STEEL FLITCH PLATES - H	N/A
011	(2)3/4"x17 1/2" - D	3/2"x17 1/2" - D	(3)3/4"x17 1/2" - D	(2)2x12 + (1) 1/4"x14" STEEL FLITCH PLATES - D	W2x14 - D
012	(3)3/4"x16" - D	5/4"x16" - D	(4)3/4"x16" - D	(3)2x12 + (2) 3/8"x14" STEEL FLITCH PLATES - D	W2x14 - D
013	(2)3/4"x17 1/2" - D	3/2"x17 1/2" - D	(3)3/4"x17 1/2" - D	(2)2x12 + (1) 1/4"x14" STEEL FLITCH PLATES - D	W2x14 - D
014	(2)3/4"x16" - D	3/2"x16" - D	(3)3/4"x16" - D	(3)2x12 + (2) 3/8"x14" STEEL FLITCH PLATES - D	W2x14 - D
054**	(3)3/4"x17 1/2" - D	N/A	(3)3/4"x17 1/2" - D	(3)2x12 + (2) 3/8"x14" STEEL FLITCH PLATES - D	W2x14 - D
016	(2)3/4"x17 1/2" - F	3/2"x17 1/2" - F	(3)3/4"x17 1/2" - F	(2)2x12 + (1) 1/4"x14" STEEL FLITCH PLATES - F	W2x14 - F

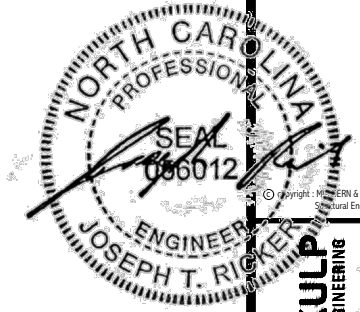
• BEAM NOTATION:
 - "F" INDICATES FLUSH BEAM
 - "FT" INDICATES FLUSH TOP BEAM
 - "FB" INDICATES FLUSH BOTTOM BEAM
 - "D" INDICATES DROPPED BEAM
 - "H" INDICATES DROPPED OPENING HEADER
 • REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
 • REFER TO DETAIL E/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
 • FOR FLUSH TOP BEAMS PROVIDE 2X STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.
 • FOR FLUSH BOTTOM BEAMS PROVIDE 2X STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.
 *** - SEE PLAN FOR EXTENT OF 3-PLY BEAM



SD2.1 REFERS TO SD2.1A FOR LVL/PSL/LSL BEAMS OR SD2.1B FOR FLITCH BEAMS OR SD2.1C FOR STEEL BEAMS

LEGEND	
	INTERIOR BEARING WALL
	BEARING WALL ABOVE
	BEAM / HEADER
	INDICATES SHEAR WALL & EXTENT
	EXTENT OF OVERFRAMING
	Metal Hanger
	INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
	INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO 50.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES



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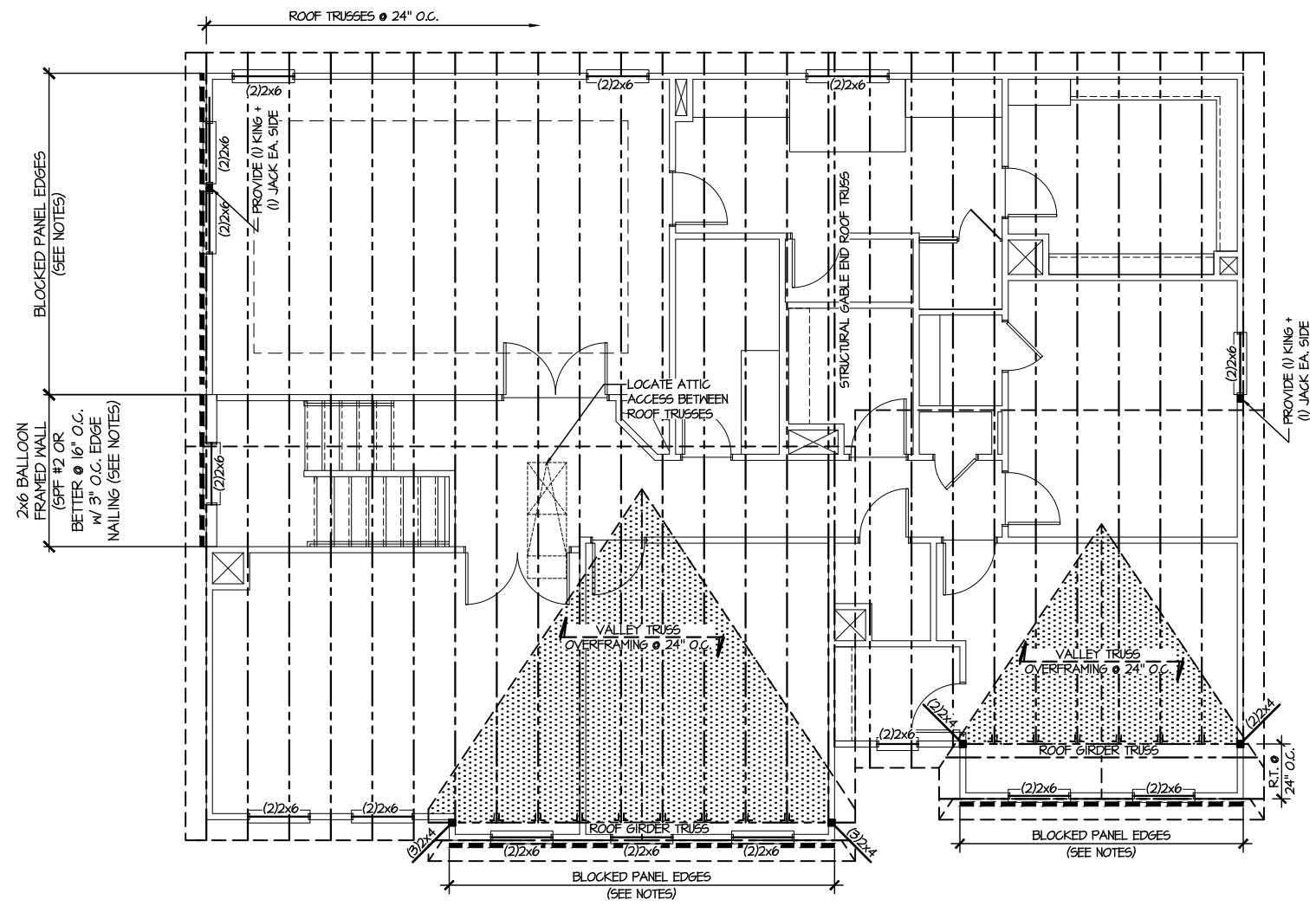
M&K project number:
126-23061
project mgr: JTR
drawn by: GTK
issue date: 07-26-24

REVISIONS:
date: initial:



ROOF FRAMING PLANS
BLAKE POND
LOT 95 - STONEFIELD 1
RALEIGH, NC

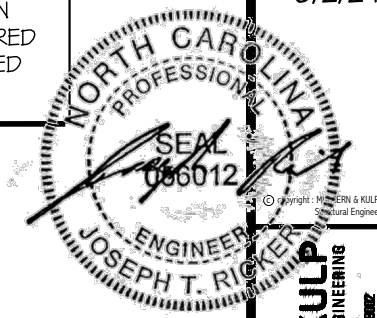
sheet:
S4.0



1 ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

LEGEND	
	INTERIOR BEARING WALL
	BEARING WALL ABOVE
	BEAM / HEADER
	INDICATES SHEAR WALL & EXTENT
	EXTENT OF OVERFRAMING
	HL METAL HANGER
	* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
	▶ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO 50.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES



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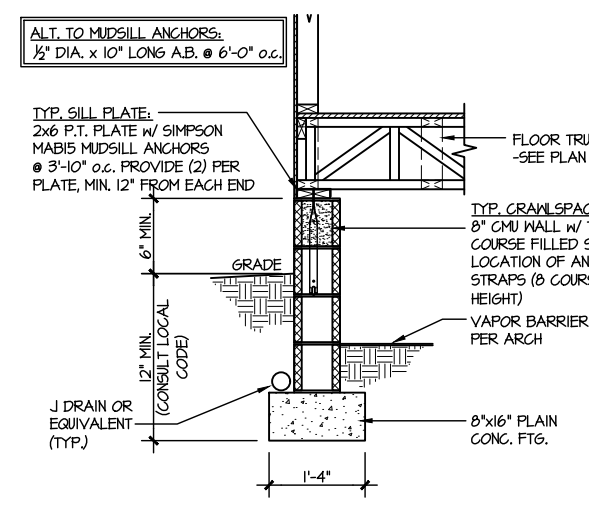
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project mgr: JTR
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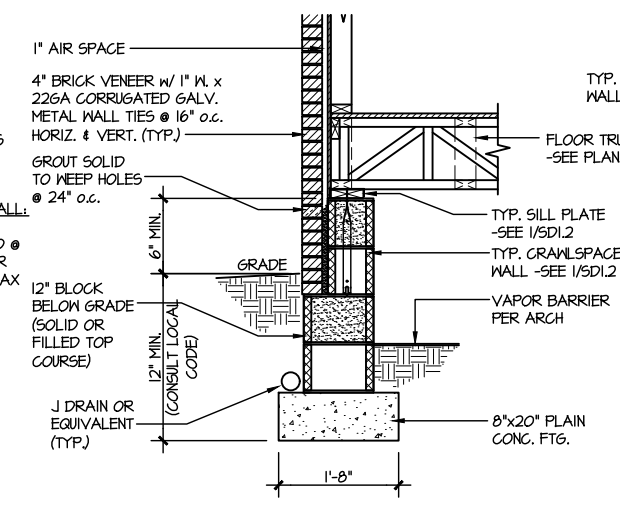
FOUNDATION DETAILS
BLAKE POND
LOT 95 - STONEFIELD 1
RALEIGH, NC

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

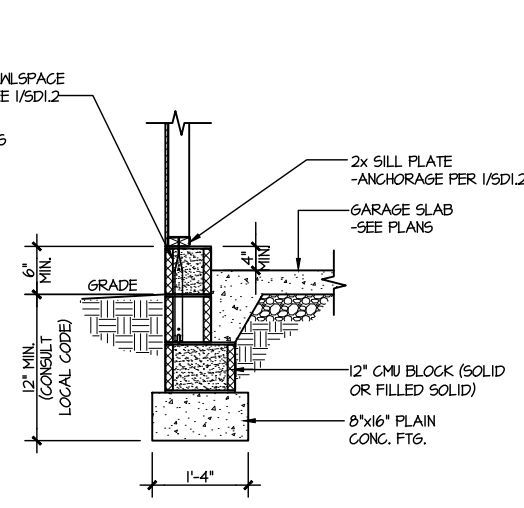
NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.



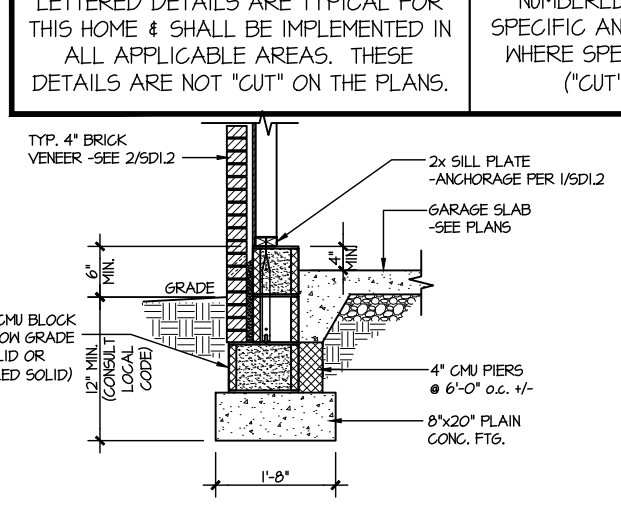
1 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/8"=1'-0"



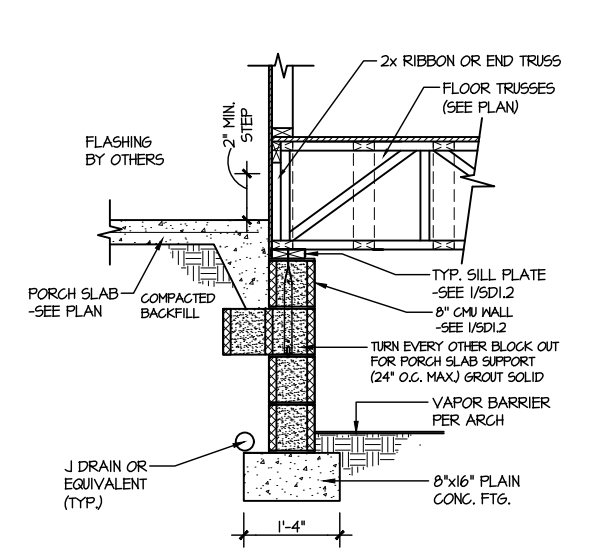
2 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/8"=1'-0" W/ BRICK VENEER



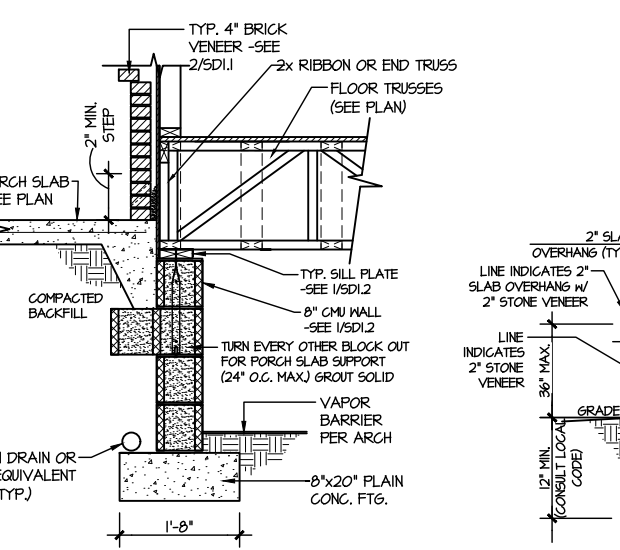
3 TYPICAL GARAGE FOUNDATION
SCALE: 3/8"=1'-0"



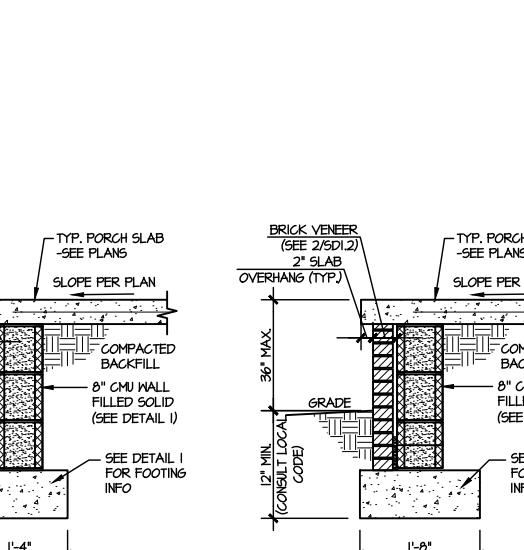
4 TYPICAL GARAGE FOUNDATION
SCALE: 3/8"=1'-0" W/ BRICK VENEER



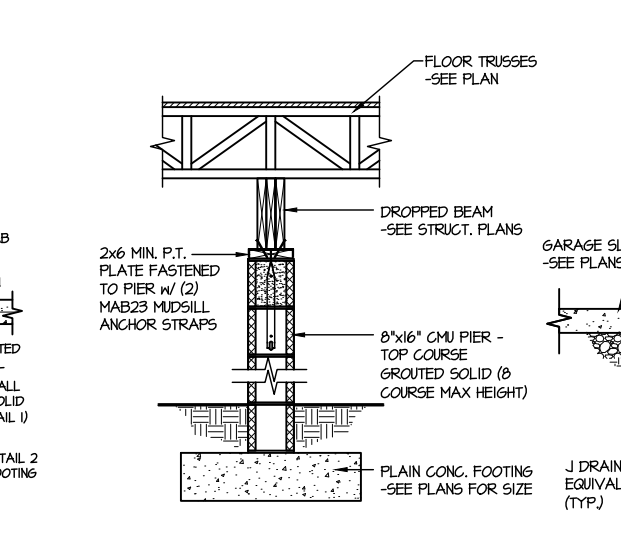
5 TYPICAL CRAWLSPACE FOUNDATION @ PORCH/PATIO SLAB
SCALE: 3/8"=1'-0"
(REFER TO DETAIL 12 FOR WOOD PORCH OPTION)



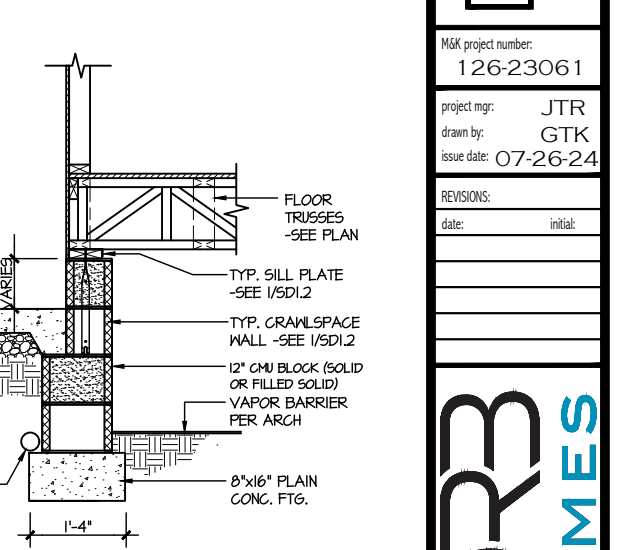
6 TYPICAL CRAWLSPACE FOUNDATION @ PORCH/PATIO SLAB
SCALE: 3/8"=1'-0" W/ BRICK VENEER



7A TYP. FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0"



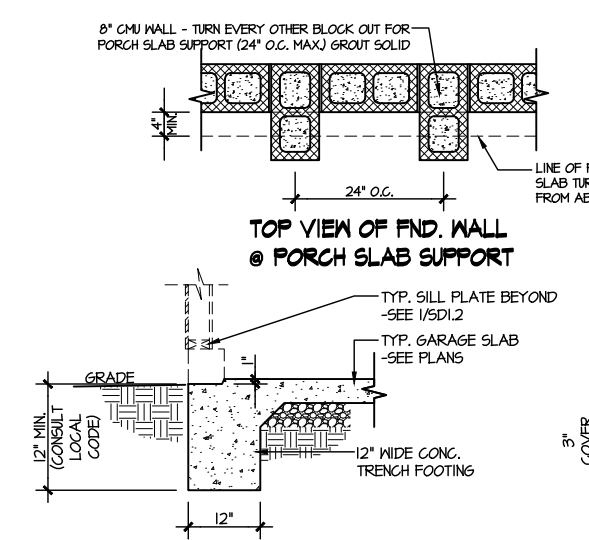
7B TYP. FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0" W/ BRICK VENEER



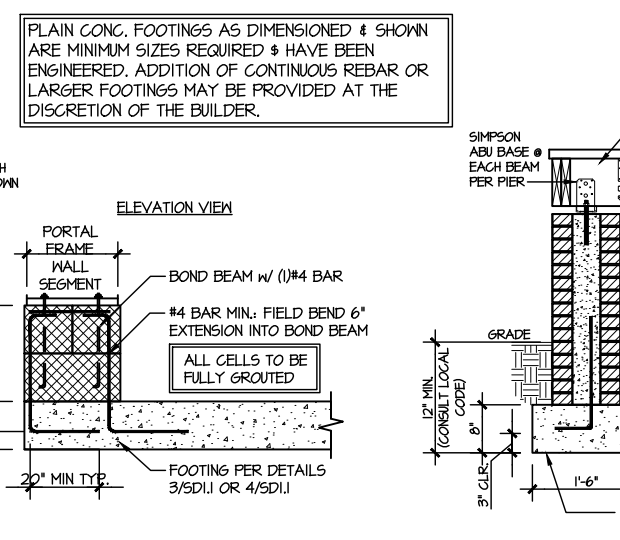
8 TYPICAL CRAWLSPACE FND. @ INTERIOR PIER
SCALE: 3/8"=1'-0"



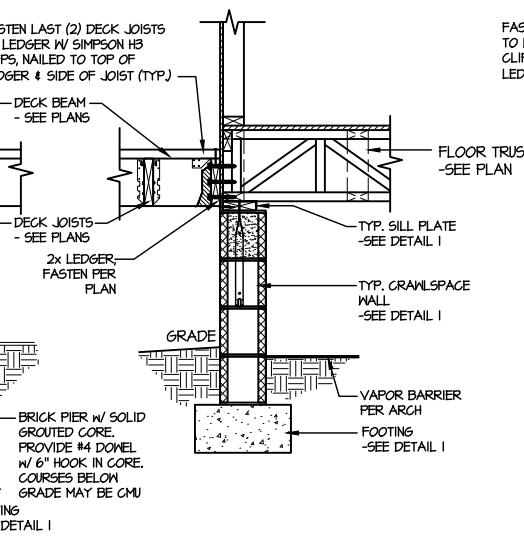
9 TYPICAL CRAWLSPACE FOUNDATION @ GARAGE
SCALE: 3/8"=1'-0"



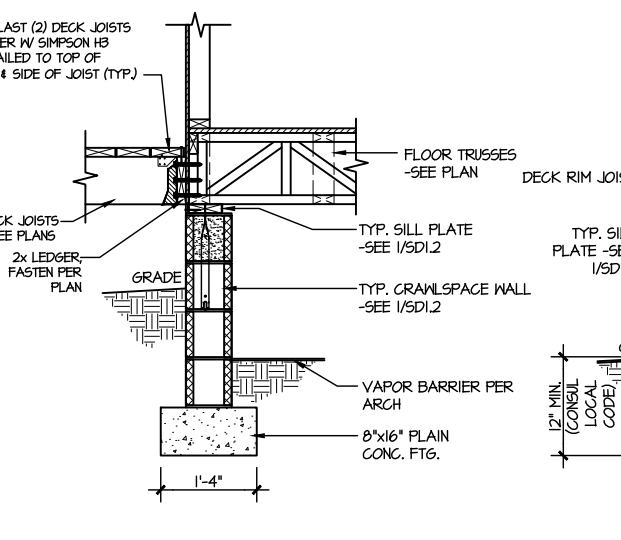
10 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING
SCALE: 3/8"=1'-0"



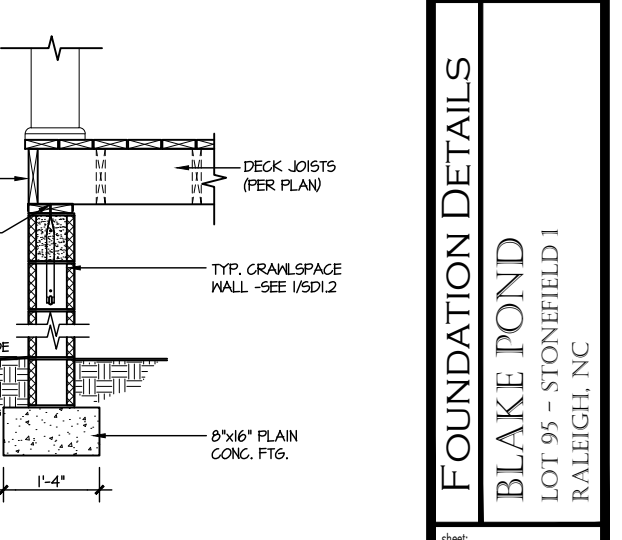
A GARAGE PORTAL FRAME STEM WALL REINFORCEMENT
SCALE: 3/8"=1'-0"



11 TYPICAL CRAWLSPACE FOUNDATION @ WOOD PORCH/DECK W/ PIERS
SCALE: 3/8"=1'-0"



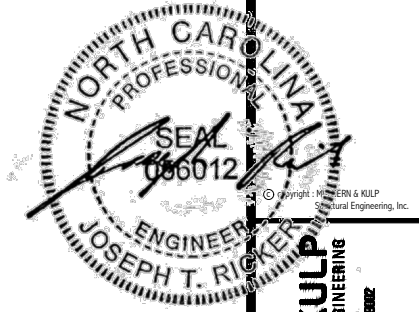
12 TYPICAL CRAWLSPACE FOUNDATION @ WOOD PORCH/DECK
SCALE: 3/8"=1'-0"



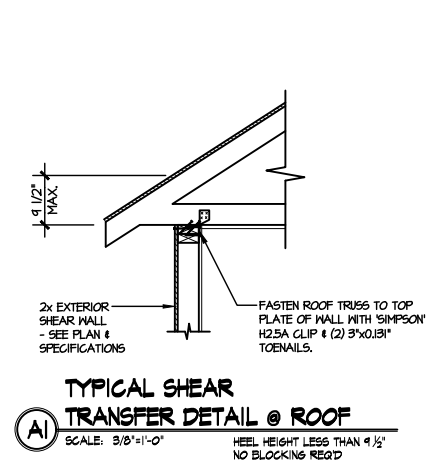
13 TYPICAL CRAWLSPACE FOUNDATION @ WOOD PORCH/DECK PERIMETER
SCALE: 3/8"=1'-0"

PLAIN CONC. FOOTINGS AS DIMENSIONED & SHOWN ARE MINIMUM SIZES REQUIRED & HAVE BEEN ENGINEERED. ADDITION OF CONTINUOUS REBAR OR LARGER FOOTINGS MAY BE PROVIDED AT THE DISCRETION OF THE BUILDER.

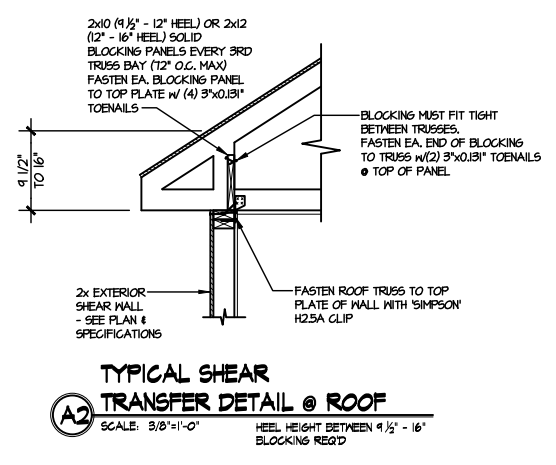
FILE: RLH - Blake Pond - Lot 95 - Structural DATE: 8/2/2024 1:09 PM



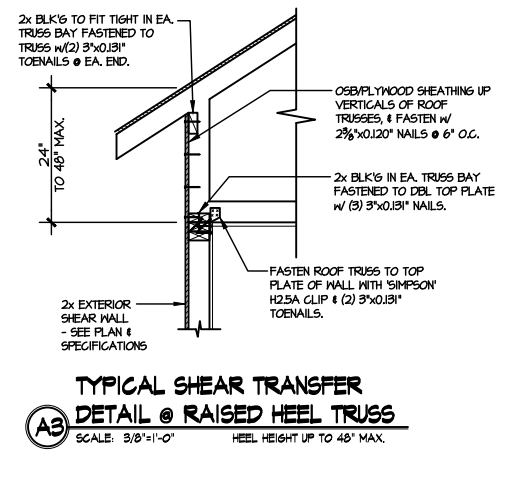
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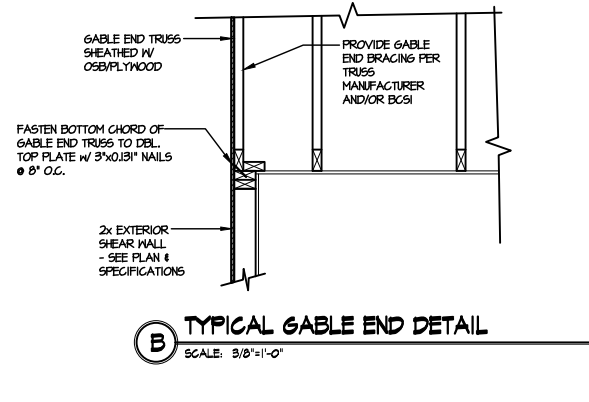
A1 TYPICAL SHEAR TRANSFER DETAIL @ ROOF
SCALE: 3/8"=1'-0"
HEEL HEIGHT LESS THAN 9 1/2"
NO BLOCKING REQ'D



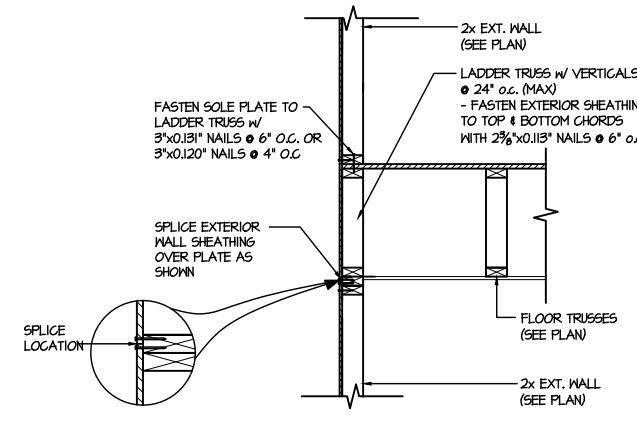
A2 TYPICAL SHEAR TRANSFER DETAIL @ ROOF
SCALE: 3/8"=1'-0"
HEEL HEIGHT BETWEEN 9 1/2" - 16"
BLOCKING REQ'D



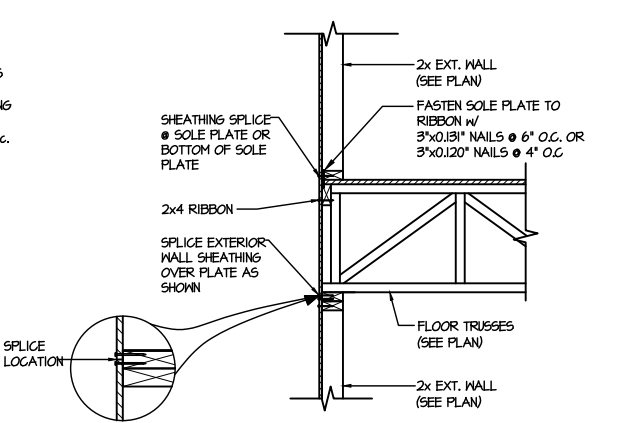
A3 TYPICAL SHEAR TRANSFER DETAIL @ RAISED HEEL TRUSS
SCALE: 3/8"=1'-0"
HEEL HEIGHT UP TO 48" MAX.



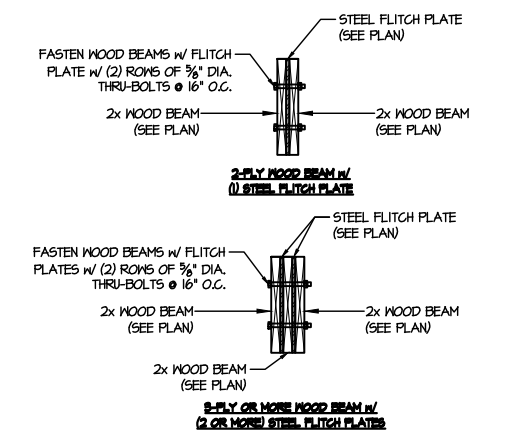
B TYPICAL GABLE END DETAIL
SCALE: 3/8"=1'-0"



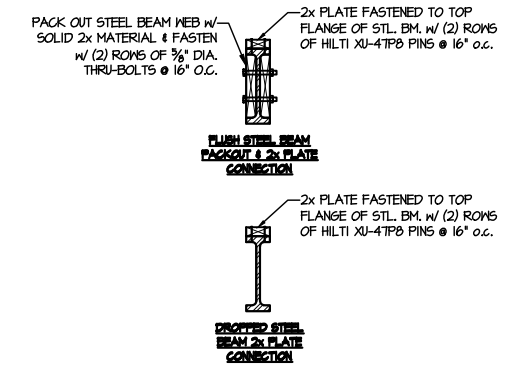
C1 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/8"=1'-0"
PARALLEL FRAMING



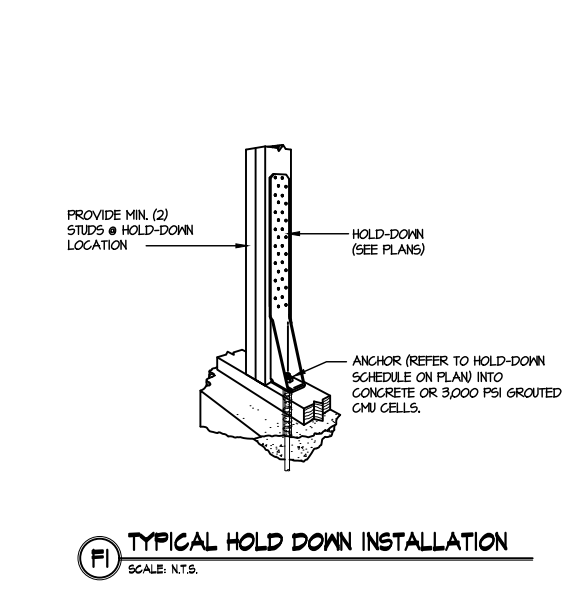
C2 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/8"=1'-0"
PERPENDICULAR FRAMING



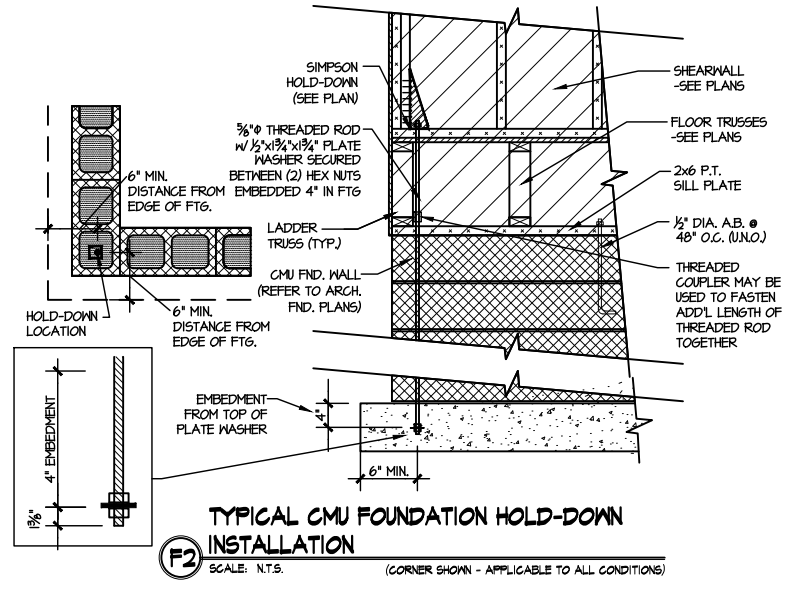
D TYPICAL FLITCH BEAM CONNECTION DETAIL
SCALE: 3/4"=1'-0"



E TYPICAL STEEL BEAM CONNECTION DETAIL
SCALE: 3/4"=1'-0"



F1 TYPICAL HOLD DOWN INSTALLATION
SCALE: N.T.S.



F2 TYPICAL CMU FOUNDATION HOLD-DOWN INSTALLATION
SCALE: N.T.S. (CORNER SHOWN - APPLICABLE TO ALL CONDITIONS)

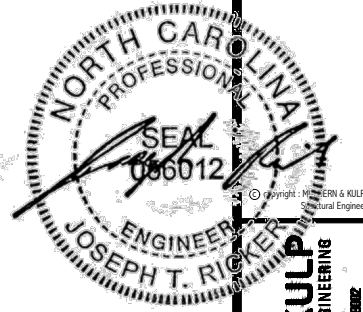
LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

DRB HOMES

FRAMING DETAILS
BLAKE POND
LOT 95 - STONEFIELD I
RALEIGH, NC

SD2.0



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NC LICENSE #C-3825



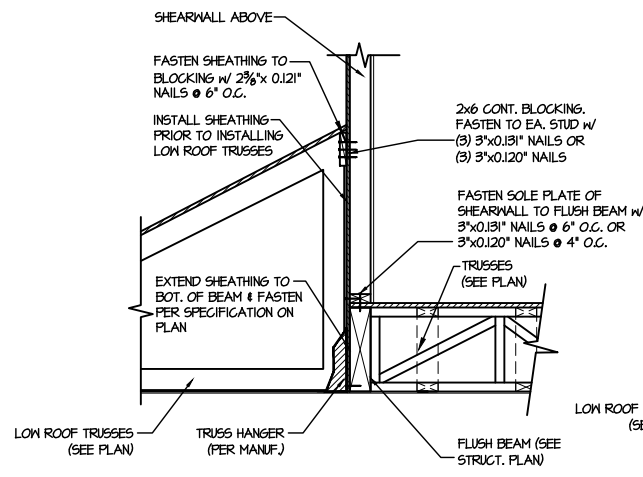
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project mgr: JTR
drawn by: GTK
issue date: 07-26-24

REVISIONS:
date: initial:

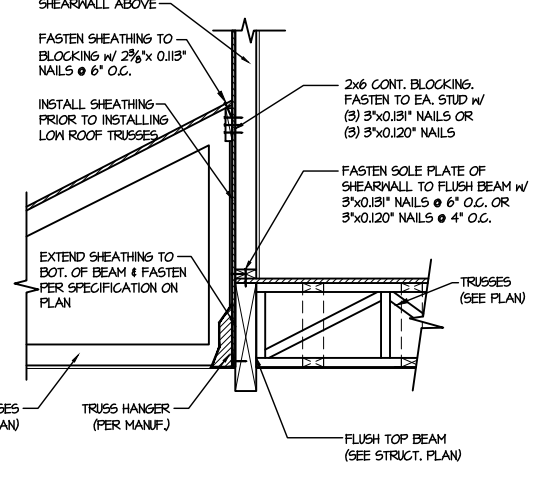
DRB HOMES

FRAMING DETAILS
BLAKE POND
LOT 95 - STONEFIELD 1
RALEIGH, NC

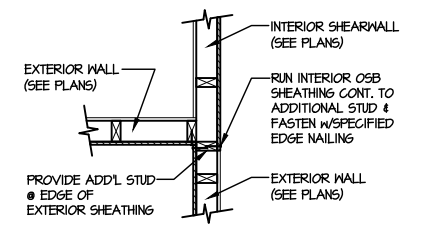
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SD2.1A



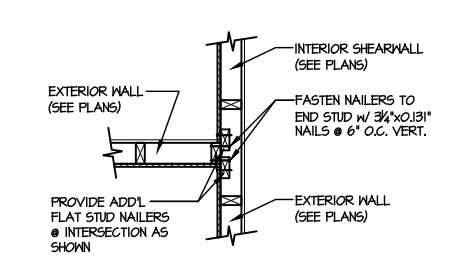
1 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



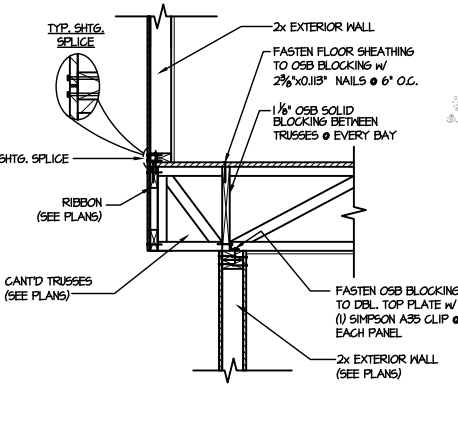
2 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



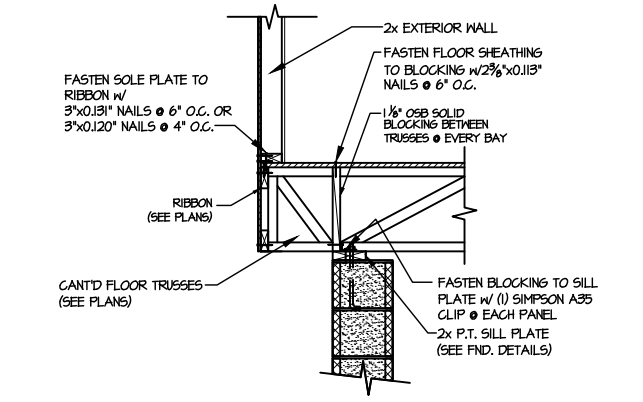
3 SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHTS. OPPOSITE PAGES



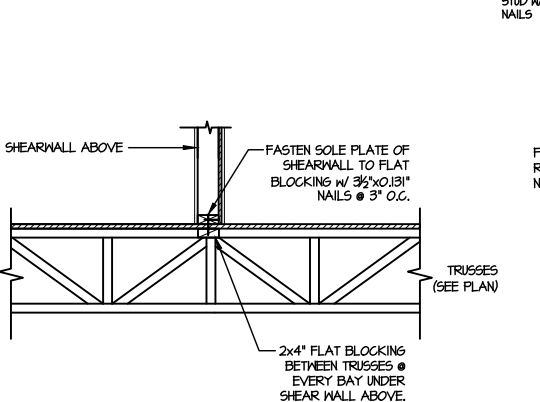
4 SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHTS. ON SAME FACE



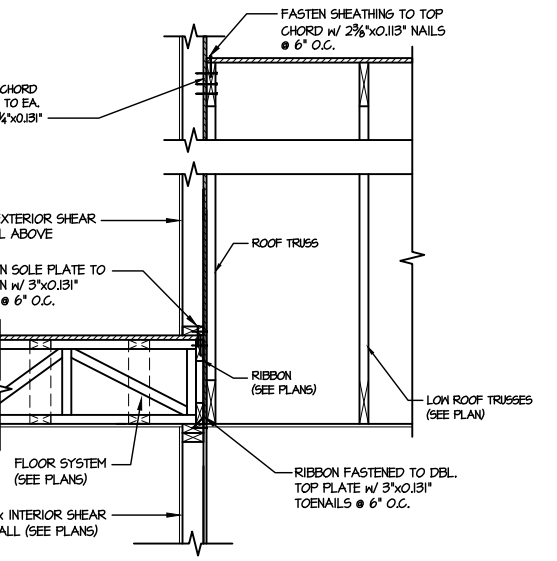
5 SHEAR TRANSFER DETAIL BETWEEN FLOORS @ CANT'D EXT. WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



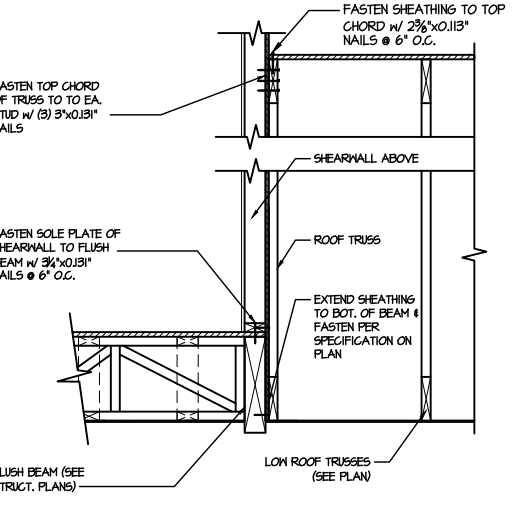
6 SHEAR TRANSFER DETAIL @ CANT'D EXTERIOR WALL
SCALE: 3/4"=1'-0"



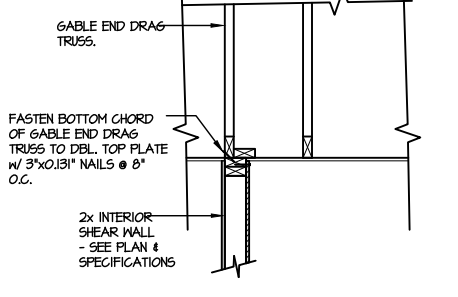
7 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



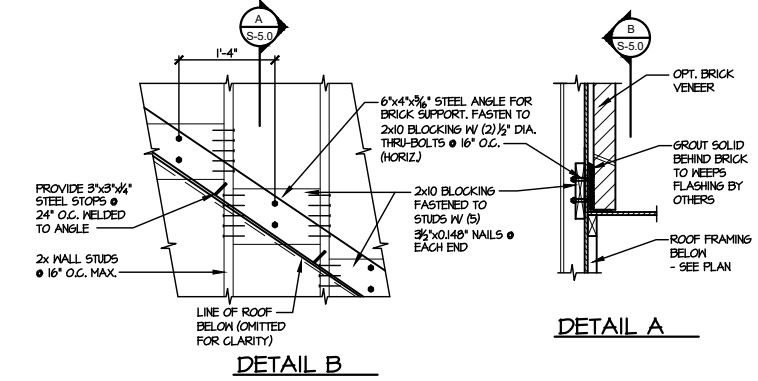
8 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



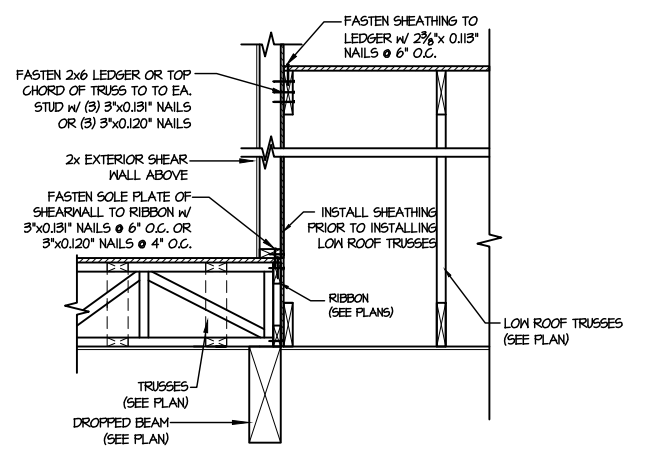
9 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



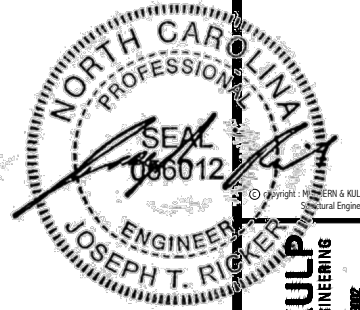
10 INTERIOR GABLE END DETAIL
SCALE: 3/4"=1'-0"



11 DETAIL SUPPORT OF BRICK VENEER
SCALE: 3/4"=1'-0"



12 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



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M&K project number:
126-23061
project mgr: JTR
drawn by: GTK
issue date: 07-26-24

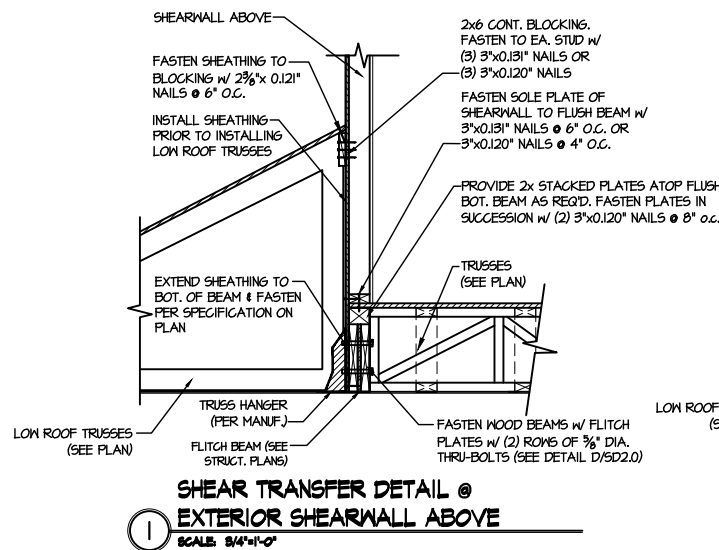
REVISIONS:
date: initial:

DRB
HOMES

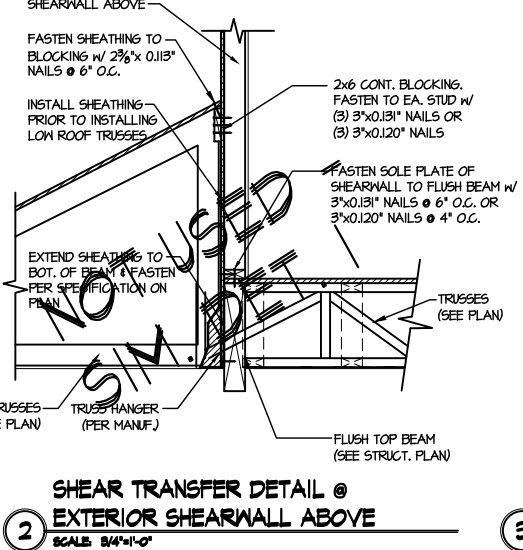
FRAMING DETAILS
BLAKE POND
LOT 95 - STONEFIELD I
RALEIGH, NC

sheet:

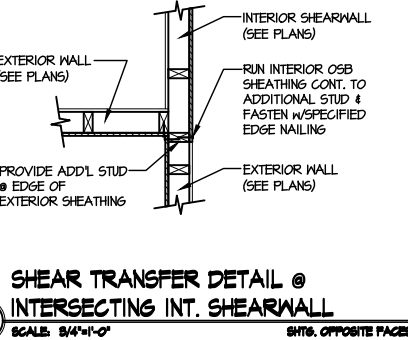
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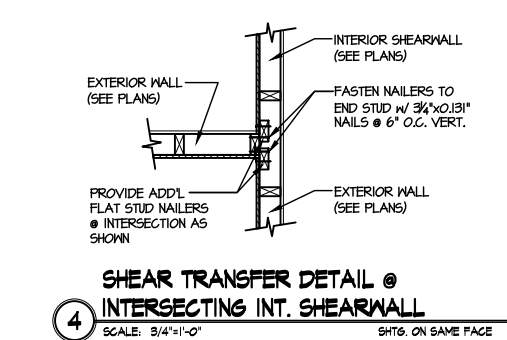
1 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



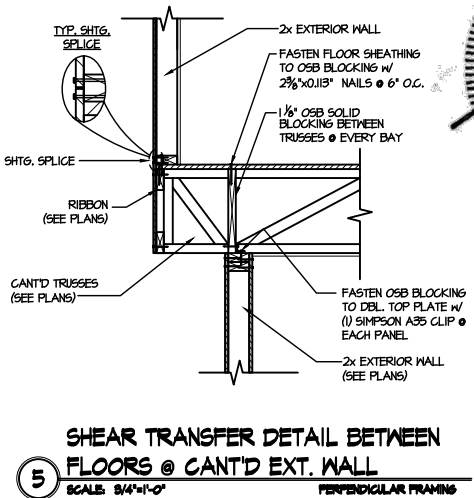
2 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



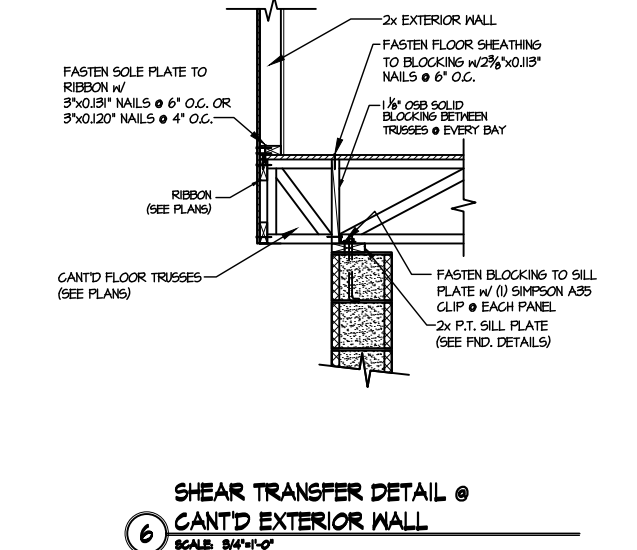
3 SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHTS. OPPOSITE FACES



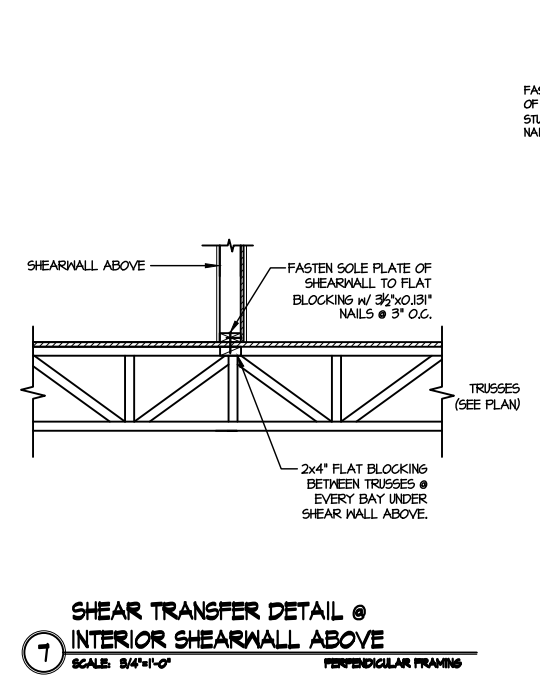
4 SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHTS. ON SAME FACE



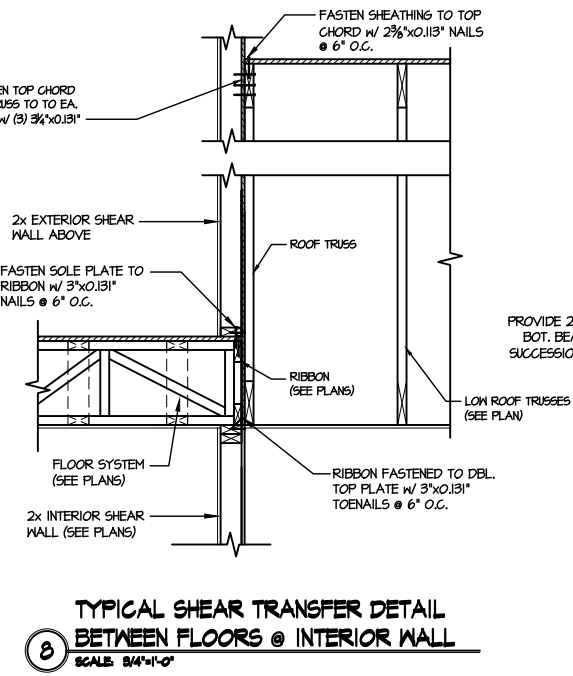
5 SHEAR TRANSFER DETAIL BETWEEN FLOORS @ CANT'D EXT. WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



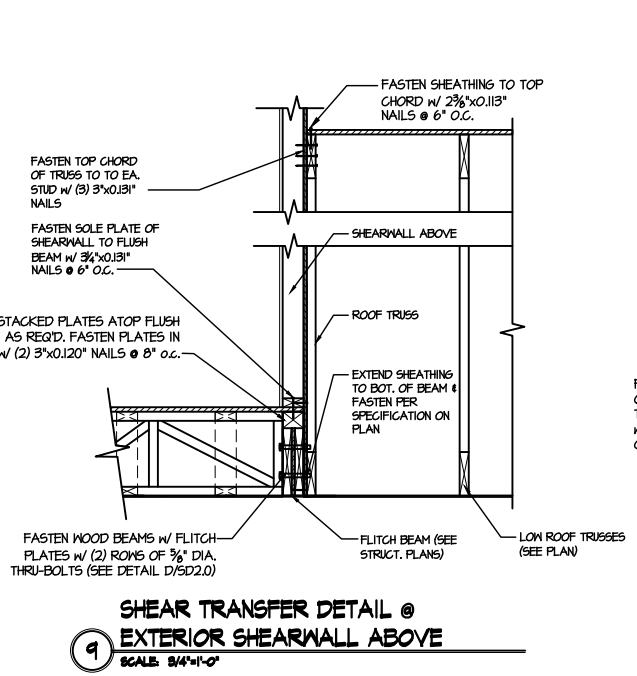
6 SHEAR TRANSFER DETAIL @ CANT'D EXTERIOR WALL
SCALE: 3/4"=1'-0"



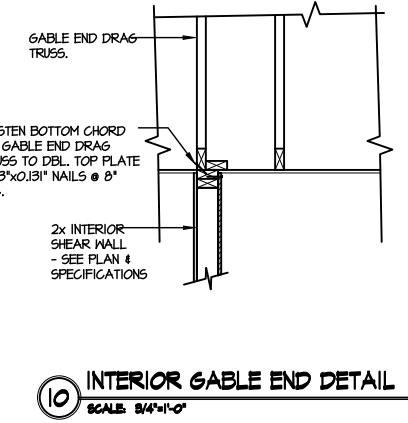
7 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



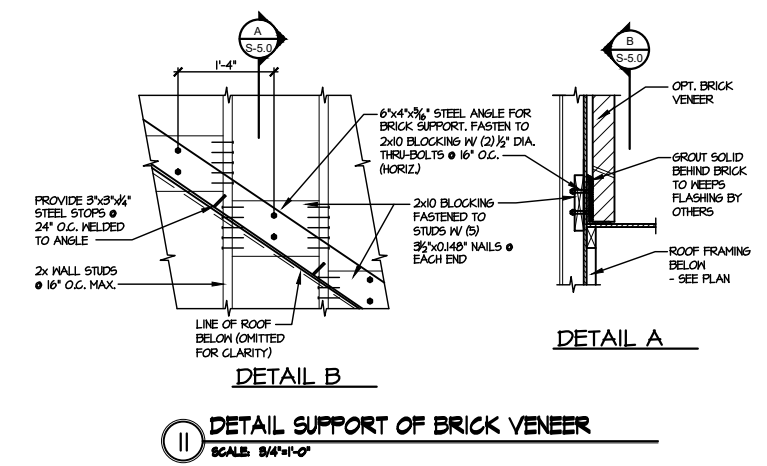
8 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



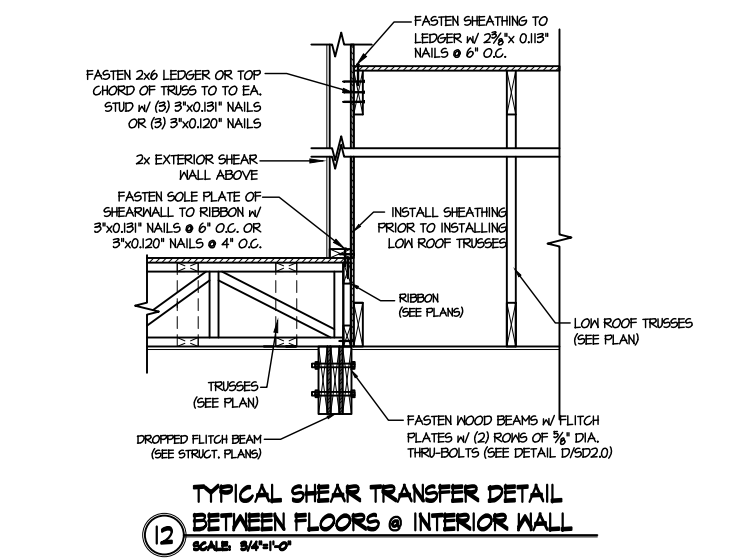
9 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
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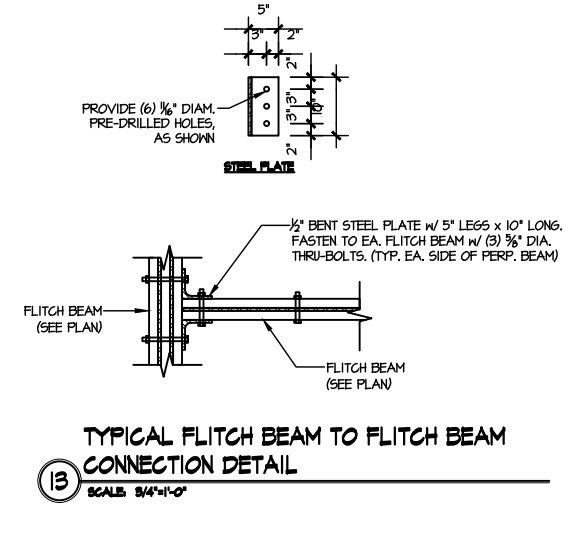
10 INTERIOR GABLE END DETAIL
SCALE: 3/4"=1'-0"



11 DETAIL SUPPORT OF BRICK VENEER
SCALE: 3/4"=1'-0"

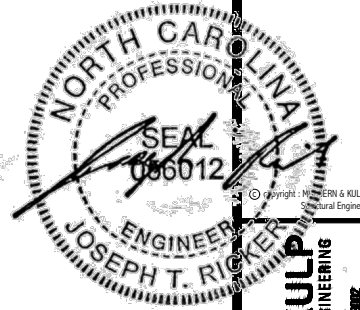


12 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



13 TYPICAL FLITCH BEAM TO FLITCH BEAM CONNECTION
SCALE: 3/4"=1'-0"

FILE: RLH - Blake Pond - Lot 95 - Structurals DATE: 8/2/2024 1:10 PM



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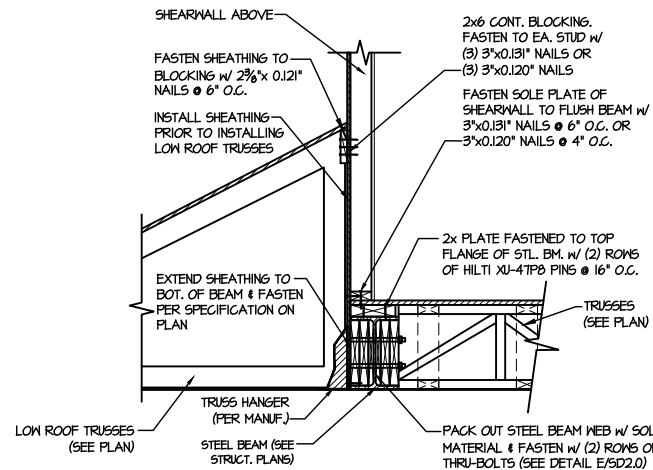
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project mgr: JTR
drawn by: GTK
issue date: 07-26-24

REVISIONS:
date: initial:

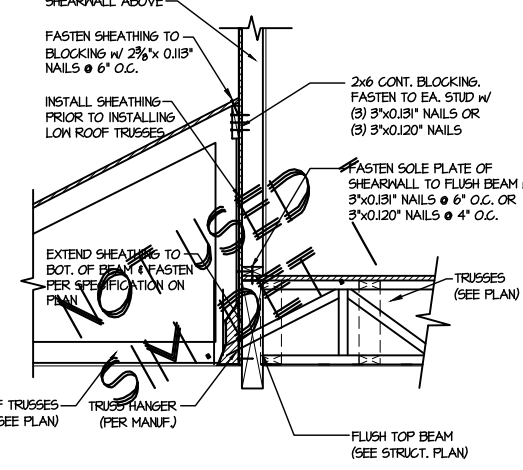
DRB HOMES

FRAMING DETAILS
BLAKE POND
LOT 95 - STONEFIELD 1
RALEIGH, NC

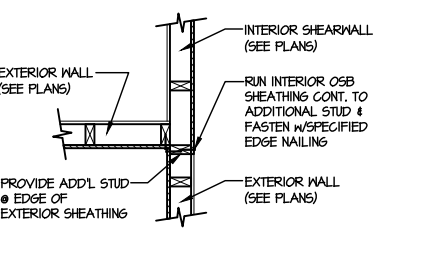
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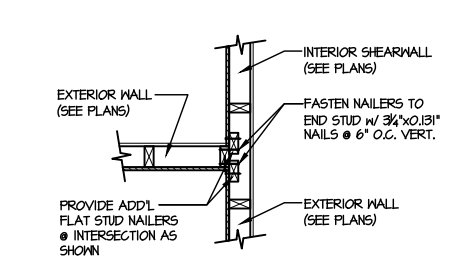
1 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



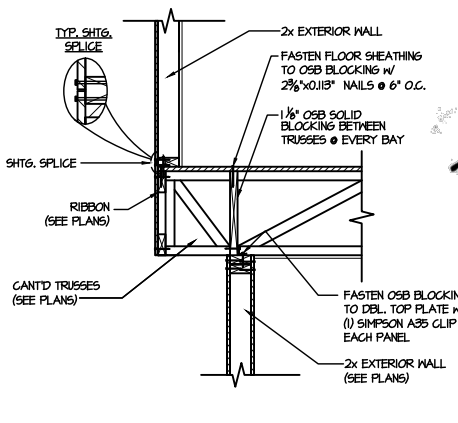
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SCALE: 3/4"=1'-0"



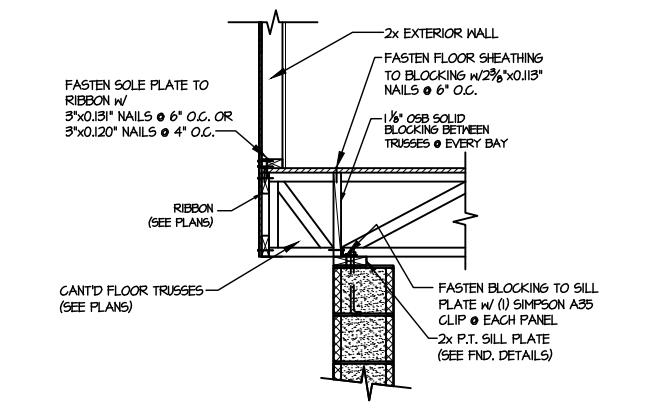
3 SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SITE, OPPOSITE FACES



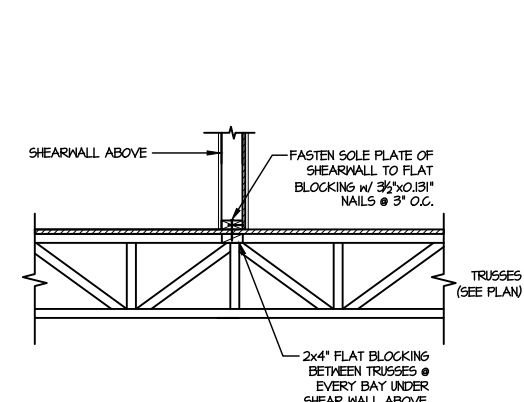
4 SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SITE, ON SAME FACE



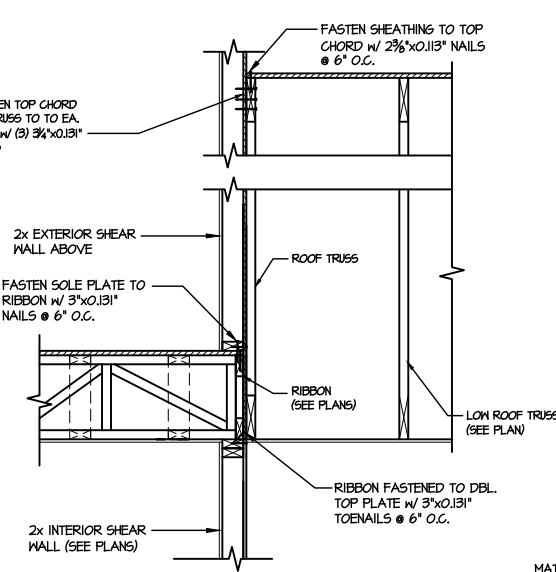
5 SHEAR TRANSFER DETAIL BETWEEN FLOORS @ CANT'D EXT. WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



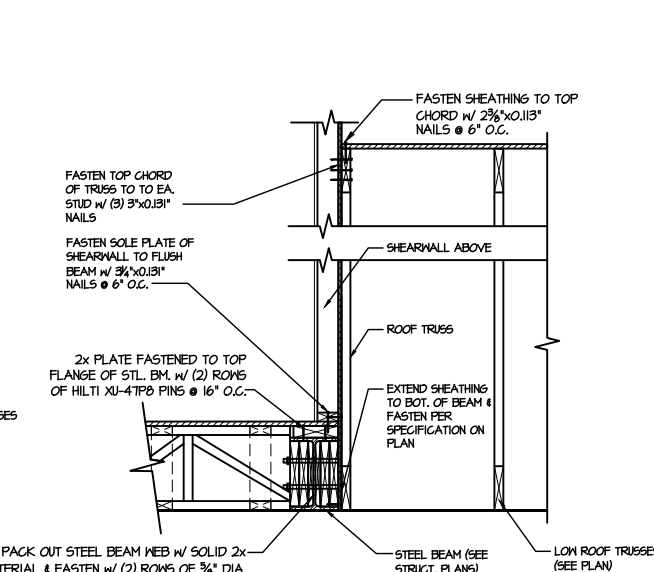
6 SHEAR TRANSFER DETAIL @ CANT'D EXTERIOR WALL
SCALE: 3/4"=1'-0"



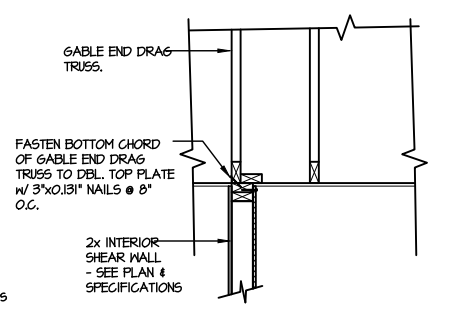
7 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



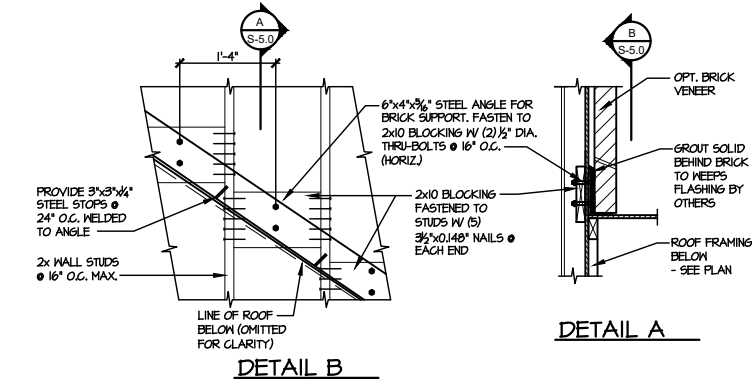
8 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



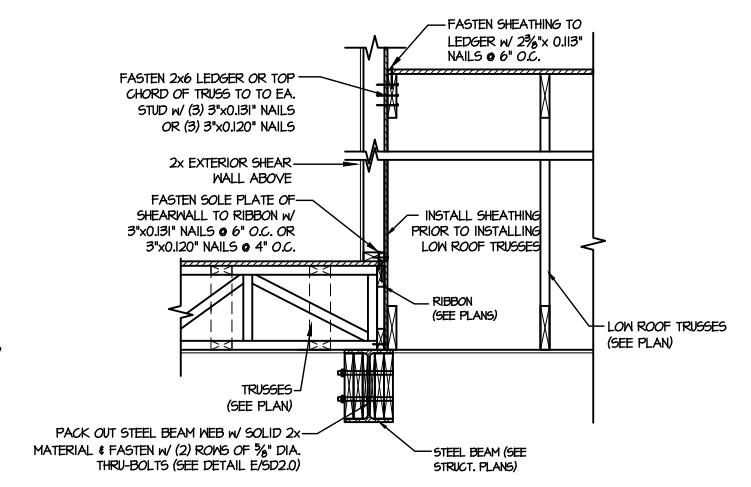
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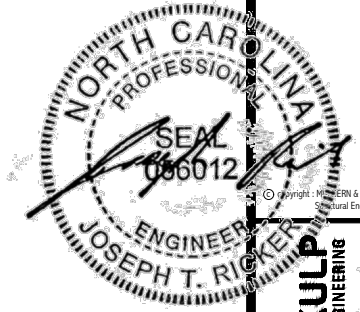
10 INTERIOR GABLE END DETAIL
SCALE: 3/4"=1'-0"



11 DETAIL SUPPORT OF BRICK VENEER
SCALE: 3/4"=1'-0"



12 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



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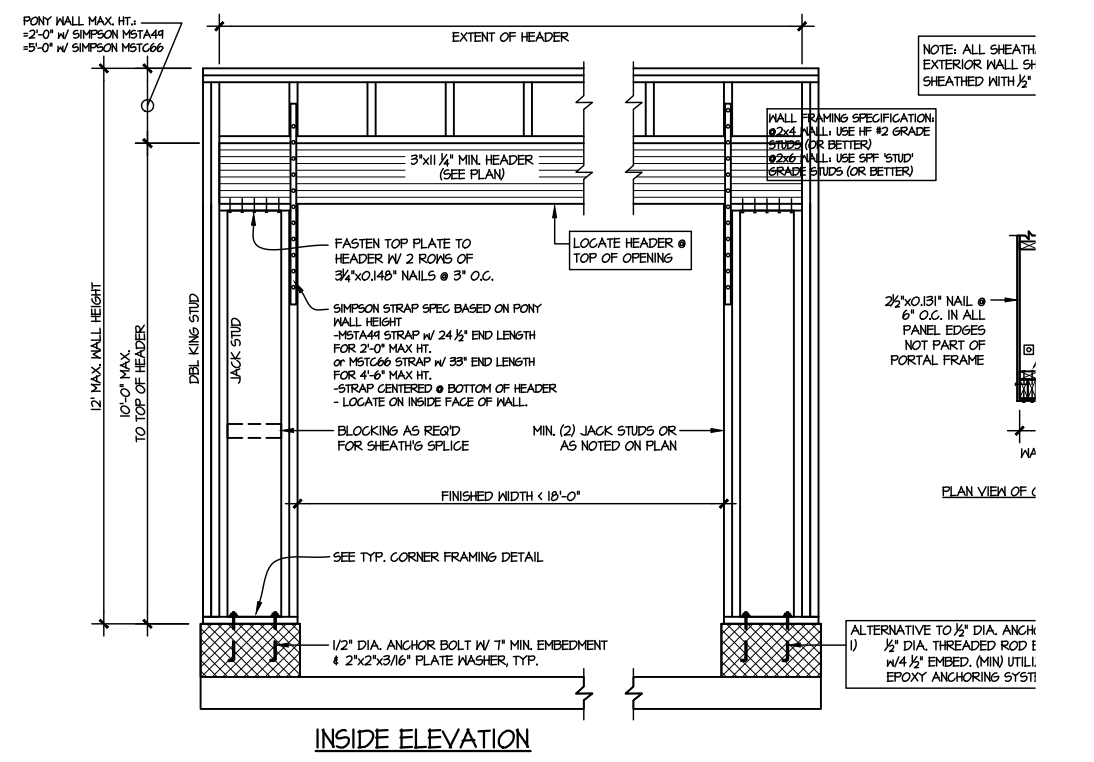
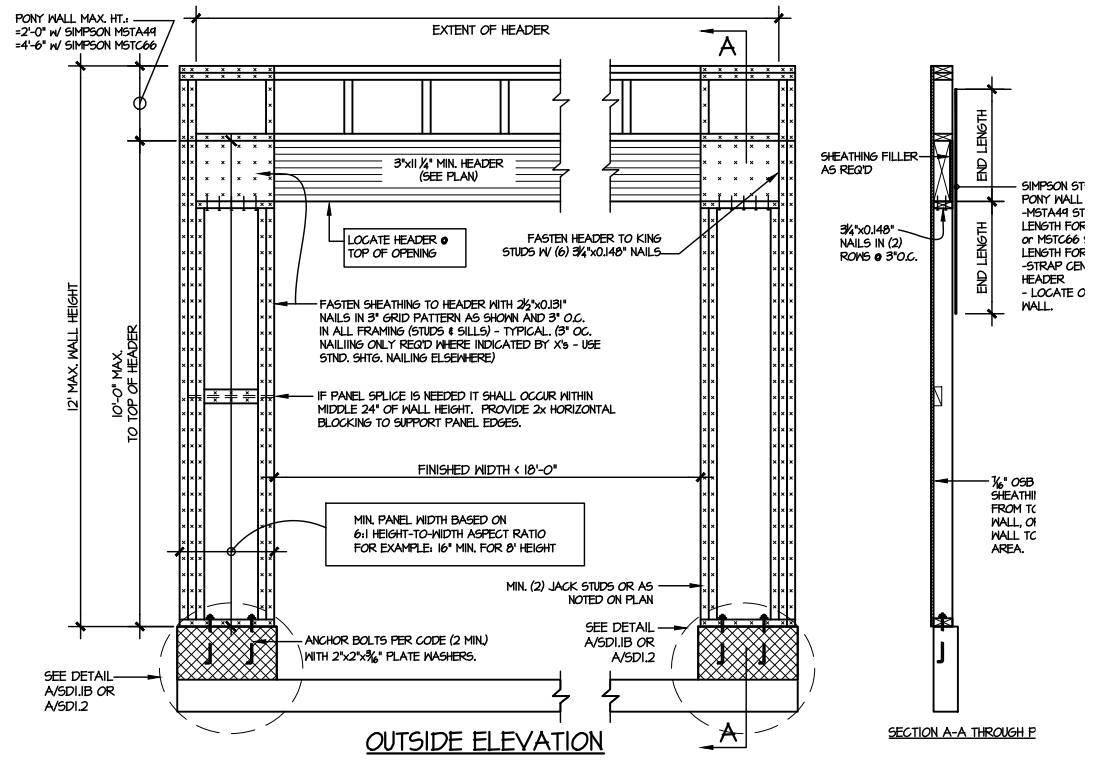
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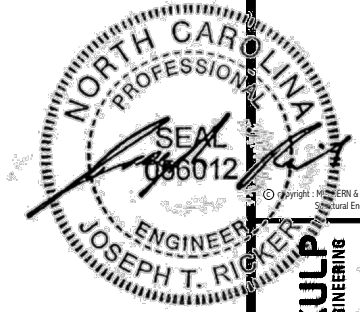
DRB
HOMES

FRAMING DETAILS
BLAKE POND
LOT 95 - STONEFIELD I
RALEIGH, NC

sheet:
SD2.2



TWO SIDED GARAGE PORTAL FRAME BRACING ELEVATION ON CMU STEM
SCALE: N.T.S.



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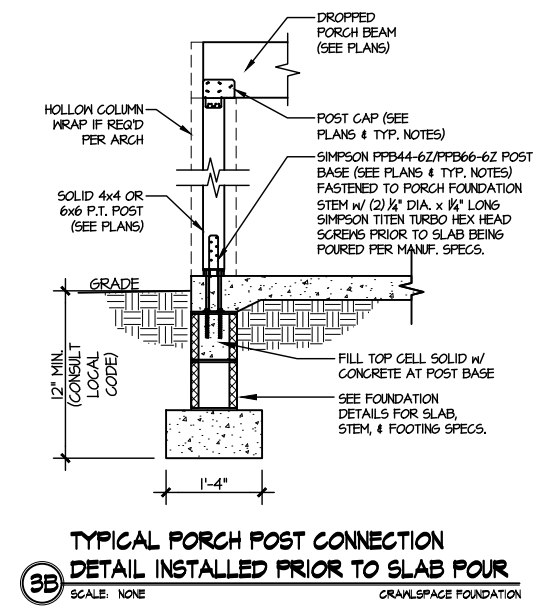
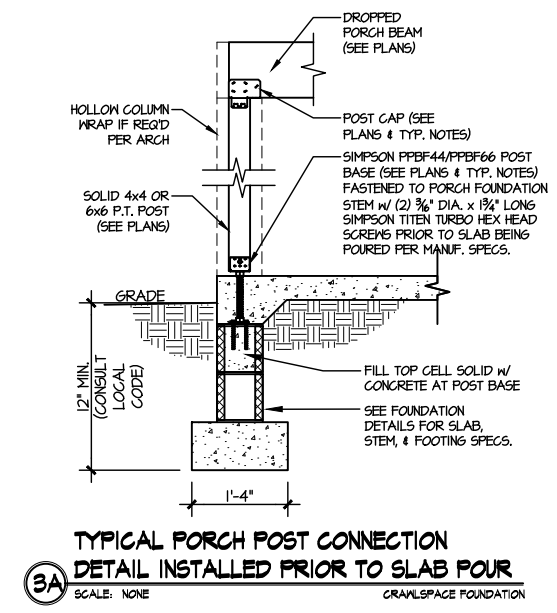
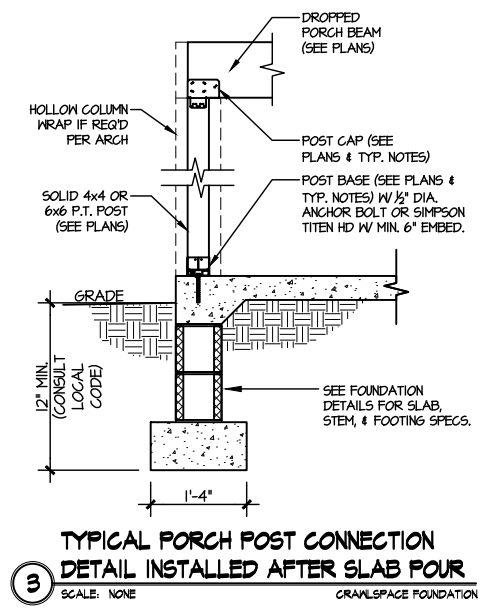
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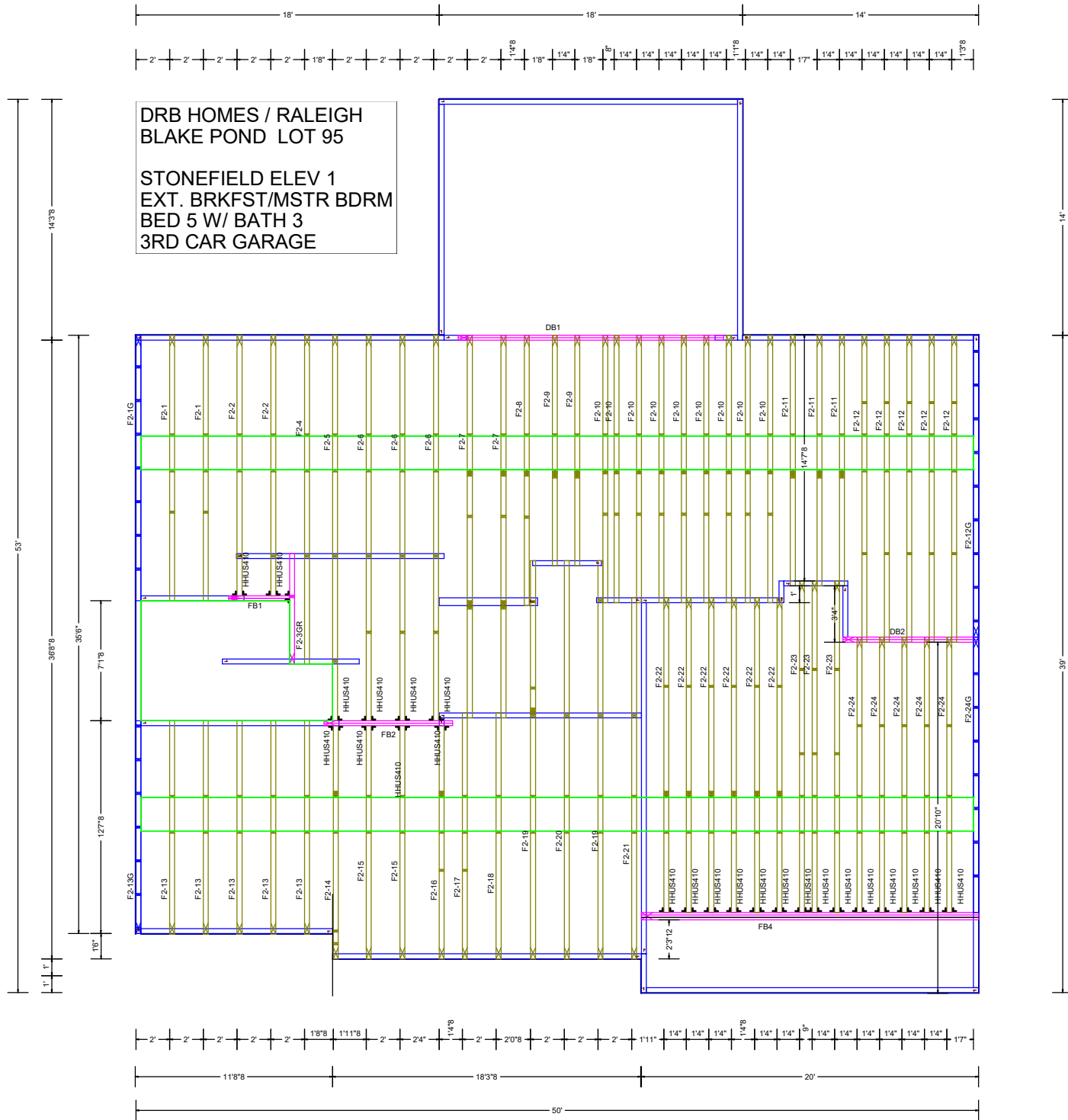
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date: initial:



FRAMING DETAILS
BLAKE POND
LOT 95 - STONEFIELD 1
RALEIGH, NC

sheet:
SD3.0





DRB HOMES / RALEIGH
BLAKE POND LOT 95

STONEFIELD ELEV 1
EXT. BRKFST/MSTR BDRM
BED 5 W/ BATH 3
3RD CAR GARAGE

Description: Blake Pond
Customer Name: DRB - Raleigh

JOB NO:
J2408-094

PAGE NO:
1 OF 1



STRUCTURAL BUILDING SOLUTIONS

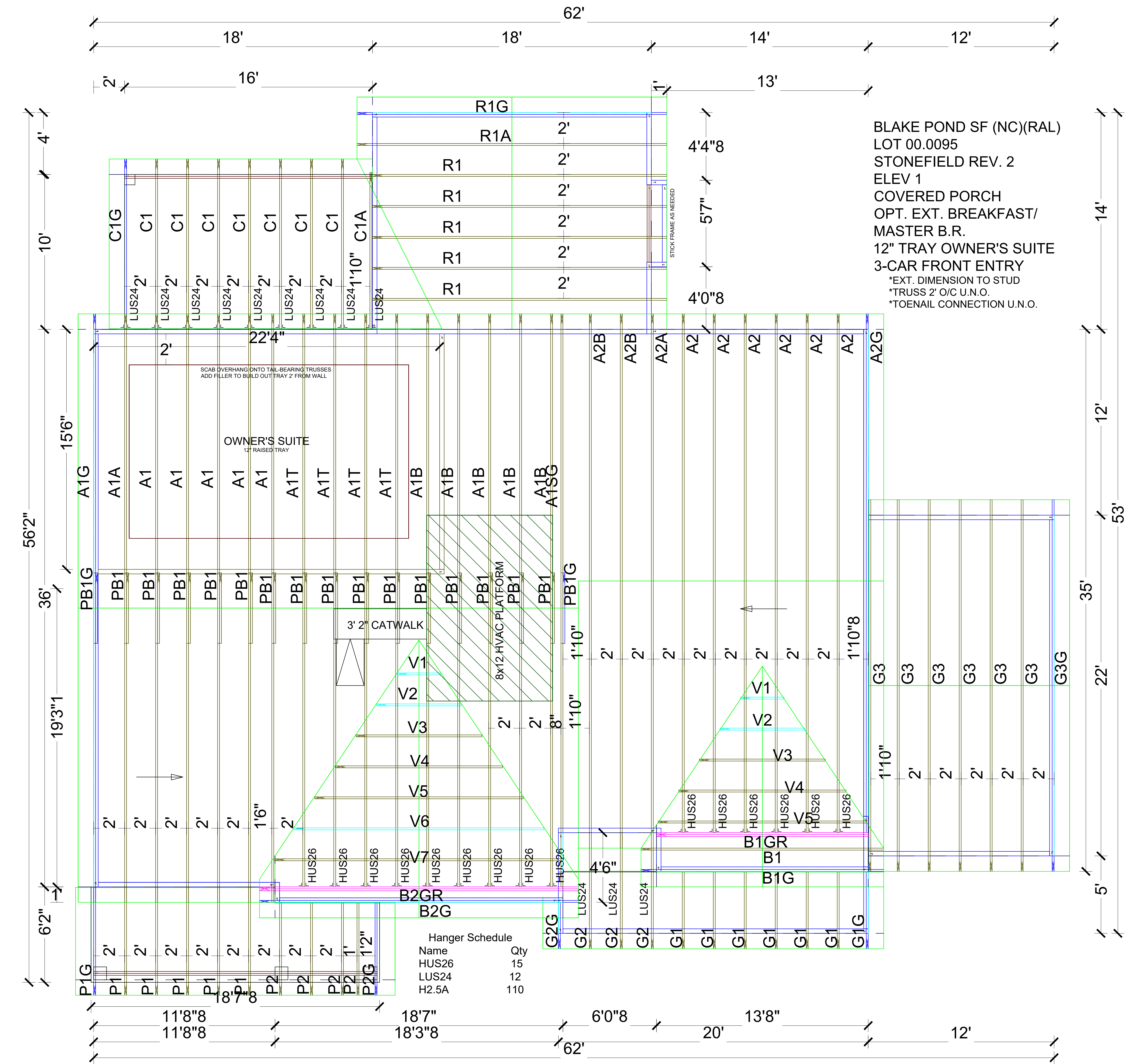
Customer:	DRB RALEIGH
Job Name:	BLAKE POND
Lot #:	95
Model Name:	STONEFIELD
Job Path:	W:\JOBS\2024\QUOTES\Q2407-065



NOTE:
IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER OR ARCHITECT TO PROVIDE AN APPROPRIATE CONNECTION FOR TRUSSES TO SUPPORTING STRUCTURE PER REACTIONS SHOWN ON TRUSS ENGINEERING. SPECIAL CONSIDERATIONS FOR MECHANICAL EQUIPMENT AND/OR PLUMBING (AND THEIR CONNECTIONS) IN TRUSS SPACE MUST BE DIAGRAMMED BY BUILDER OR APPROVED TRUSS LAYOUT PRIOR TO FABRICATION.
THIS COMPANY IS A TRUSS MANUFACTURER WHOSE RESPONSIBILITIES ARE LIMITED TO THOSE DESCRIBED IN VITCA 1-199 "DESIGN RESPONSIBILITIES". ACCORDINGLY, IT DISCLAIMS ANY RESPONSIBILITIES AND/OR LIABILITY FOR THE CONSTRUCTION DESIGN, DRAWINGS, DOCUMENTS INCLUDING THE INSTALLATION AND BRACING OF TRUSSES MANUFACTURED BY THIS COMPANY.

WARNING:
CONVENTIONAL FRAMING, ERECTION AND/OR PERMANENT BRACING IS NOT THE RESPONSIBILITY OF THE TRUSS DESIGNER, PLATE MANUFACTURER, OR THE TRUSS MANUFACTURER. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING THE ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TOPPLING AND DOMING DURING ERECTION, AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE "BRACING WOOD TRUSSES COMMENTARY AND RECOMMENDATIONS" (BCS 1) FOR FURTHER INFORMATION.
TRUSSES SHALL BE INSTALLED IN A STRAIGHT AND PLUMB POSITION WHERE NO SHEATHING IS APPLIED DIRECTLY TO TOP AND/OR BOTTOM CHORDS. THEY SHALL BE BRACED AS SPECIFIED ON THE ENGINEERED DESIGN. TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE OR PERSONAL INJURY.

Job #:
Q2407-065
Designer:
BECKETT TAYLER
Sales Rep:
ROBBIE ZAROBINSKI



BLAKE POND SF (NC)(RAL)
LOT 00.0095
STONEFIELD REV. 2
ELEV 1
COVERED PORCH
OPT. EXT. BREAKFAST/
MASTER B.R.
12" TRAY OWNER'S SUITE
3-CAR FRONT ENTRY
*EXT. DIMENSION TO STUD
*TRUSS 2" O/C U.N.O.
*TOENAIL CONNECTION U.N.O.