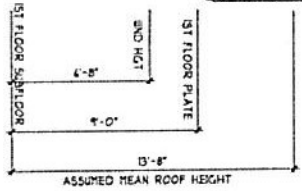
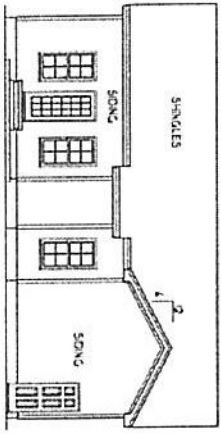


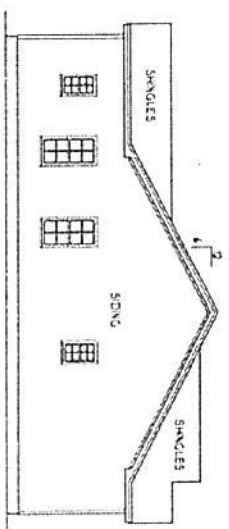
FRONT ELEVATION
SCALE 1/4" = 1'-0"



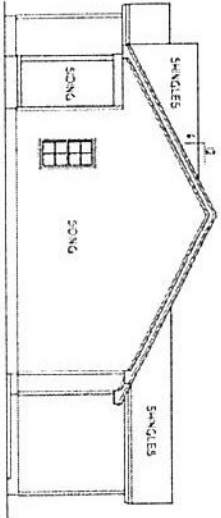
PERMIT COMPLIANCE
ZONE 1 - MAX ALLOWED U-FACTOR .35
R-VALUE - CEILING R18, FLOOR R4
FOR JOHNSTON, SAMPSON, EARNE COUNTY
ZONE 4 - MAX ALLOWED U-FACTOR .35
R-VALUE - CEILING R18, FLOOR R4
FOR GAIK, DEBARY, ORANGE COUNTY



REAR ELEVATION
SCALE 1/4" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"

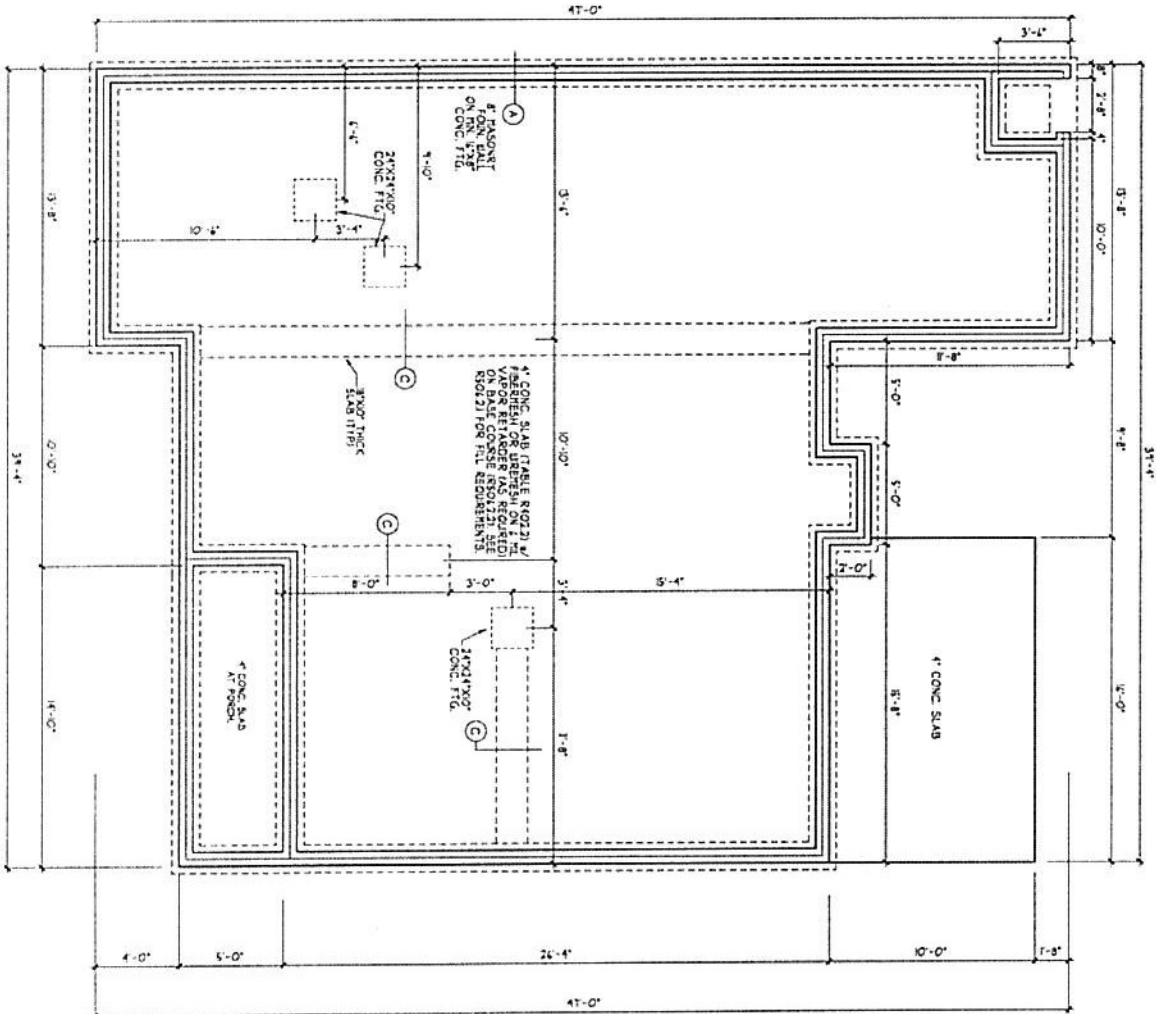


RIGHT ELEVATION
SCALE 1/4" = 1'-0"

ATTIC VENTILATION:
THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED AT LEAST TO PERCENT OF THE ROOM'S VENTILATED VOLUME. THE POSITION OF THE SPACE TO BE VENTILATED AT LEAST 2 FEET ABOVE FLOOR OR CORNER VENTS TO BE PROVIDED BY EAVE OR CORNER VENTS.
144/300 = 484 SQ.FT. NET FREE AREA

	DESIGNED BY:	HEATHER of JOHNATHAN HALL 165 HEATHERSTONE CT BENSON NC 27504 (919) 207-1403	SQUARE FOOTAGE:	FIRST FLOOR = 1372 FRONT PORCH = 74	HEATED FOOTAGE:	#1372	THE BLAINE DENTON ROAD, HOOLESEX BVA BUILDERS
	04/15/22 1 STORY 021322						





ANCHOR BOLTS
 ANCHOR BOLTS TO BE PLACED WITH 2" OF CLEAR SPACE AROUND EVERY SPICE AND AT 1'-0" O.C. WITH 1" MIN. N. CONC.

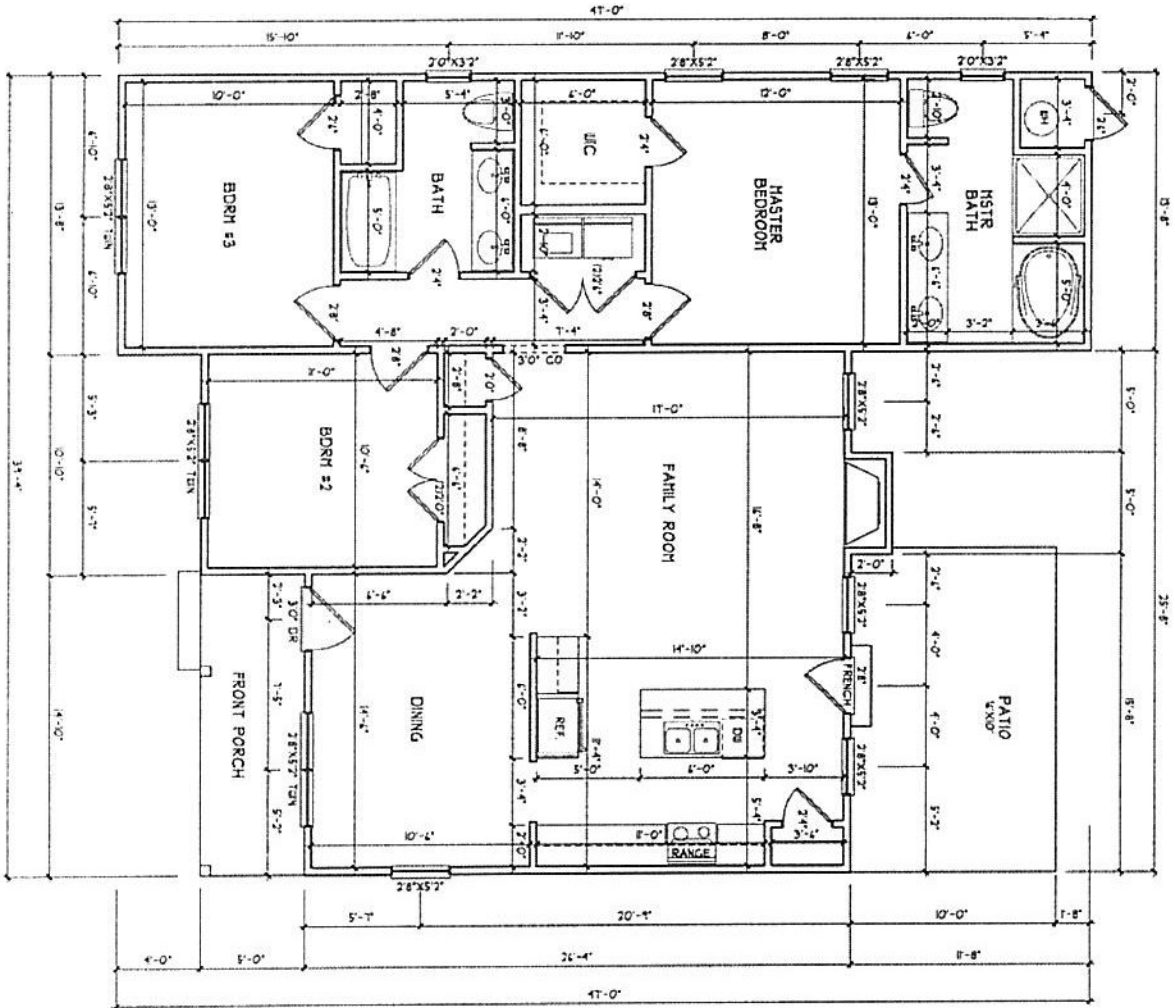
DAMP PROOFING
 FOR EXTERIOR DAMP PROOFING, REFER TO SECTION 405.1 FOR N 208 EDITION NC RES. CODES

NOTE: 100% FOUNDATION EARTH RETENTION, INCURABLE AND DANGEROUS DISCONTINUES. REFER TO FOUNDATION EARTH RETENTION, INCURABLE AND DANGEROUS DISCONTINUES.




STEM WALL SLAB FOUNDATION PLAN
 SCALE 1/4" = 1'-0"

	DESIGNED BY:	HEATHER W. HALL 165 HEATHERSTONE CT BENSON NC 27504 (919) 207-1403	SQUARE FOOTAGE:	FRST FLOOR = 1372 FRONT PORCH = 74	HEATED FOOTAGE:	#1372	THE BLAINE DENTON ROAD, MOORESEX BVA BUILDERS
	DATE:	04/15/22	NO. OF STORIES:	1 STORY	PROJECT NO.:	021322	

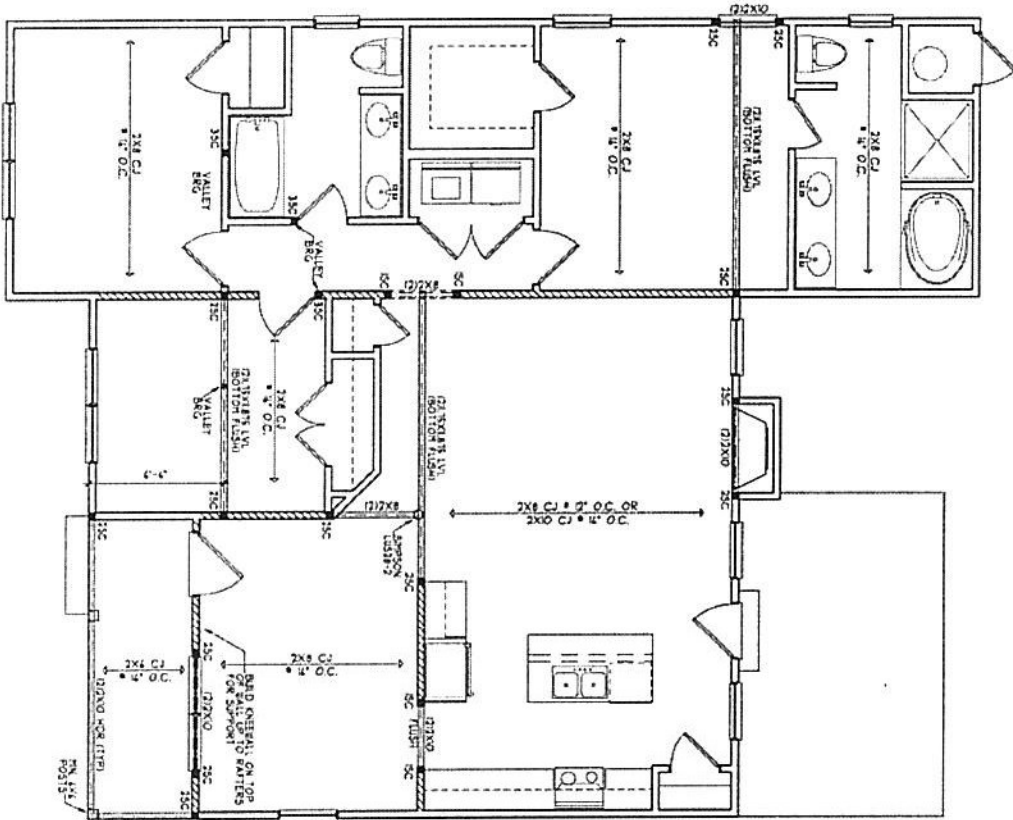


FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

 H SQUARED HOME DESIGN, INC.	DESIGNED BY: HEATHER or JONATHAN HALL 165 HEATHERSTONE CT DENSON NC 27504 (919) 207-1403	SQUARE FOOTAGE: FIRST FLOOR = 1372 FRONT PORCH = 74	HEATED FOOTAGE: #1372	THE BLAINE DENTON ROAD, HOOLESBEE BVA BUILDERS
	ANY DEVIATION OF THIS PLAN SHALL BE AT THE CLIENT'S RISK. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABOR. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SUPPLIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABOR. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SUPPLIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SERVICES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.	DATE: 04/13/22 SHEET: 1 OF 1 PROJECT: 021322		





HEADER/BEAR 1 COLUMN NOTES

L ALL EXISTOR AND LOAD BEARING HEADERS SHALL BE 12" MIN. SHALL BE 12" MIN. SPACING STUD. UNLESS NOTED OTHERWISE.

ALL BEARING STUDS AT REAR AND FRONT OF 1ST FLOOR SHALL BE 4" X 8" MIN. UNLESS NOTED OTHERWISE.

ALL BEARING STUDS AT REAR AND FRONT OF 1ST FLOOR SHALL BE 4" X 8" MIN. UNLESS NOTED OTHERWISE.

ALL BEARING STUDS AT REAR AND FRONT OF 1ST FLOOR SHALL BE 4" X 8" MIN. UNLESS NOTED OTHERWISE.

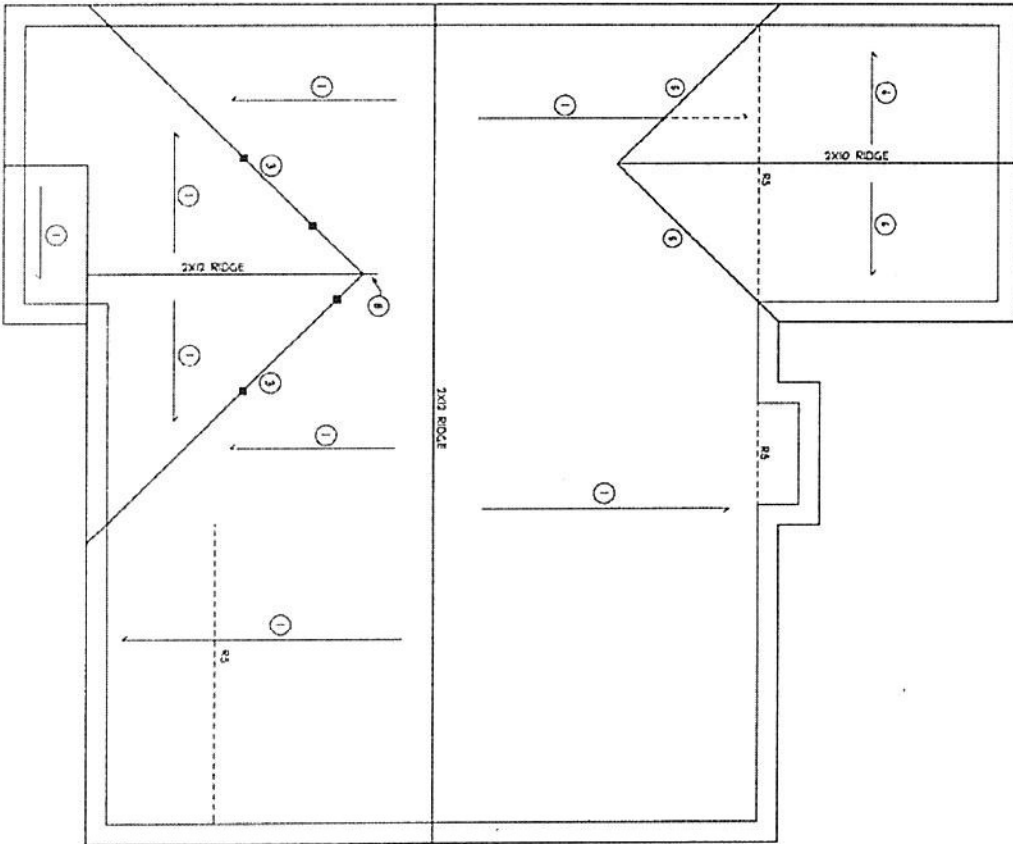
ALL BEARING STUDS AT REAR AND FRONT OF 1ST FLOOR SHALL BE 4" X 8" MIN. UNLESS NOTED OTHERWISE.



SEE 2ND FLOOR PLAN FOR
 ALL DIMENSIONS AND NOTES
 UNLESS OTHERWISE NOTED

FIRST FLOOR STRUCTURAL
 SCALE 1/4" = 1'-0"

<p>H SQUARED HOME DESIGN, INC.</p>	DESIGNED BY: HEATHER G. HALL 195 HEATHERSTONE CT DENOON NC 27504 (919) 207-1403	SQUARE FOOTAGE: FIRST FLOOR = 1372 FRONT PORCH = 74	HEATED FOOTAGE: #1372	THE BLAINE DENTON ROAD, MOORESBY BVA BUILDERS
	THIS PLAN IS TO BE BUILT BY THE BUILDER OR HOMEOWNER. ALL DIMENSIONS AND NOTES SHALL BE IN ACCORDANCE WITH THE 2003 INTERNATIONAL RESIDENTIAL CODE BOOK. APPROVED BY: H. SQUARED.	DATE: 04/15/22 SHEET: 1 OF 1 PROJECT: 021322		



- ROOF FRAMING NOTES:**
- 1. 2x10 RIDGE 12" ON CENTER
 - 2. 2x12 RIDGE 12" ON CENTER
 - 3. 2x10 OR UNDER 1/4" HP (2) 2x10 UPS MAY BE SPACED WITH A MAX 2'-0" OVERLAP AT CENTER. DO NOT SPICE VALLEYS.
 - 4. UNDER 1/4" VALLEY
 - 5. FALSE FRAME VALLEY ON 2x10 FLAT PLATE
 - 6. 2x10 RAFTERS 16" O.C. @ 2x10 RIDGE END.
 - 7. 2x10 RAFTERS 16" O.C. @ 2x12 RIDGE END.
 - 8. EXTEND RIDGE 2'-0" BEYOND INTERSECTION
 - 9. 12" - SINGLE RAFTER
 - 10. 12" - DOUBLE RAFTER
 - 11. 12" - TRIPLE RAFTER
 - 12. 12" - ROOF SUPPORT
 - 13. 4" x 4" STUD OR 4x4 POST FOR ROOF SUPPORT LOCATED IN VALLEY
 - 14. ATTACH VERTICAL RAFTERS WITH HURRICANE CLIPS, SMOOTH NAILS OR EQUIVALENT
 - 15. ADJUST RAFTER TIES AND COLLAR TIES PER SECTION 800.2.1 OF THE 2008 NC RESIDENTIAL CODE

ROOF PLAN
SCALE 1/4" = 1'-0"

<p>DATE: 01/15/22</p> <p>BY: STORE</p> <p>FILE: 021322</p>	<p>THIS PLAN IS TO BE USED ONLY FOR THE BUILDING OF THE ABOVE DESCRIBED BUILDING. ANY OTHER USES ARE NOT APPROVED BY H SQUARED.</p>	<p>ALL DESIGN OF THE PROJECTS PREPARED BY H SQUARED IS IN ACCORDANCE WITH THE 2008 NC RESIDENTIAL CODE.</p>	<p>DESIGNED BY: HEATHER of JOHNATHAN HALL 185 HEATHERSTONE CT BENSON NC 27504 (919) 207-1403</p>	<p>SQUARE FOOTAGE: FIRST FLOOR = 1372 FRONT PORCH = 74</p>	<p>HEATED FOOTAGE: #1372</p>	<p>THE BLAINE DENTON ROAD, MOORESEX BVA BUILDERS</p>
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