

FOUNDATION SURVEY FOR:  
**BVA BUILDERS**

ADDRESS: 1240 W. BLACKMAN ROAD  
DUKE TOWNSHIP  
HARNETT COUNTY, NORTH CAROLINA  
PIN: 1504-29-4528  
DEED BOOK 4241, PAGE 348 (SOURCE OF TITLE)  
PLAT BOOK 2024, PAGE 306  
ZONE: RA-30

NOTES

1. AREA BY COORDINATE CALCULATION.
2. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RIGHT-OF-WAYS OF RECORD PRIOR TO THE DATE OF THIS SURVEY.
3. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
4. DASHED LINES REPRESENT LINES NOT SURVEYED BY THIS OFFICE.
5. NO GRID MONUMENT FOUND WITHIN 2000' OF PROPERTY.

THIS PROPERTY IS NOT LOCATED IN A  
F.E.M.A. 100 YEAR FLOOD HAZARD AREA.  
REFERENCE: F.E.M.A. COMMUNITY PANEL  
NO. 3720150400K  
EFFECTIVE DATE: 1/5/2007

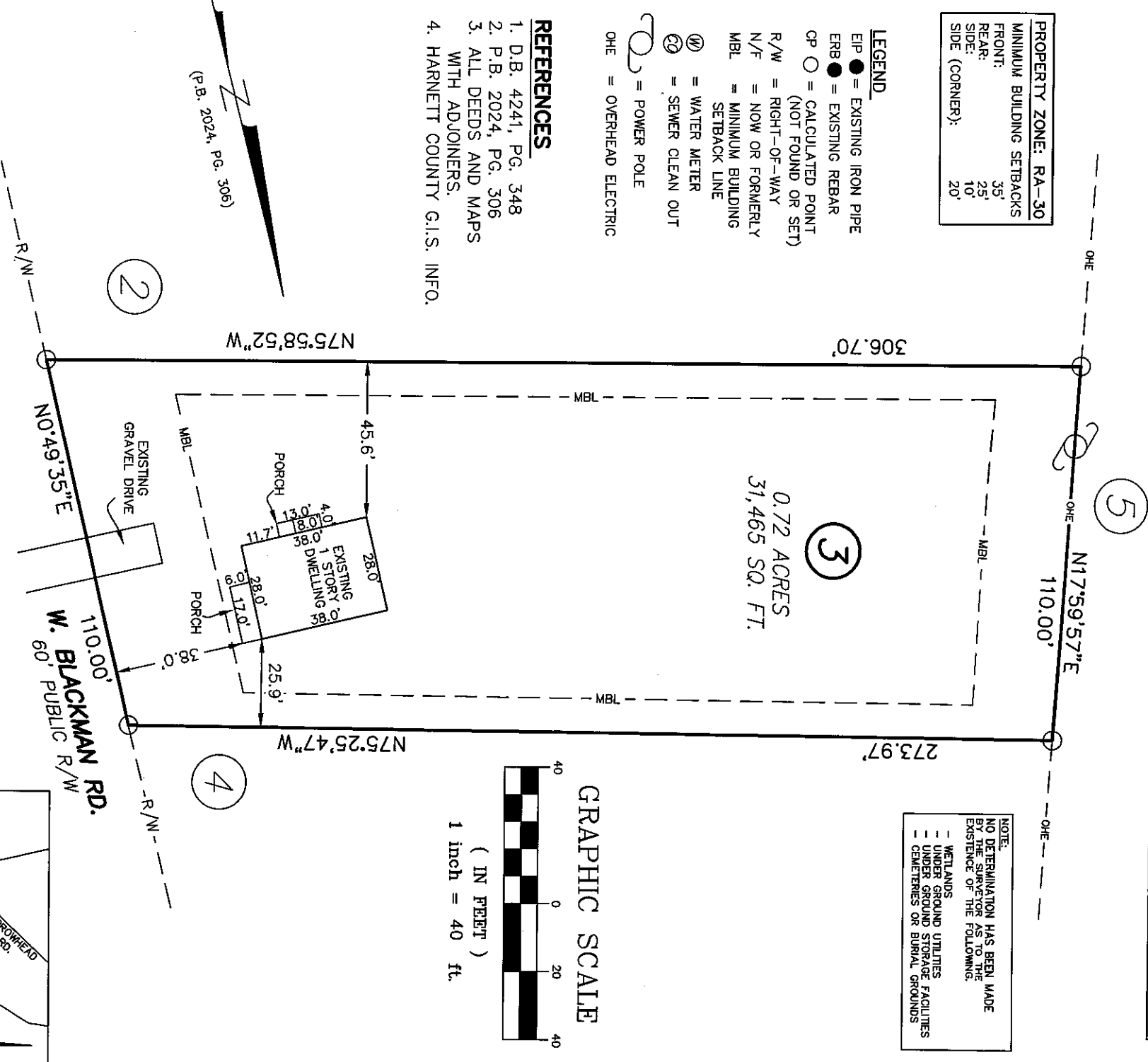
| PROPERTY ZONE: RA-30      |     |
|---------------------------|-----|
| MINIMUM BUILDING SETBACKS |     |
| FRONT:                    | 35' |
| REAR:                     | 25' |
| SIDE:                     | 10' |
| SIDE (CORNER):            | 20' |

LEGEND

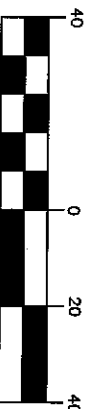
- EIP ● = EXISTING IRON PIPE  
ERB ● = EXISTING REBAR  
CP ○ = CALCULATED POINT  
(NOT FOUND OR SET)  
R/W = RIGHT-OF-WAY  
N/F = NOW OR FORMERLY  
MBL = MINIMUM BUILDING  
SETBACK LINE  
Ⓜ = WATER METER  
Ⓢ = SEWER CLEAN OUT  
Ⓟ = POWER POLE  
OHE = OVERHEAD ELECTRIC

REFERENCES

1. D.B. 4241, PG. 348
2. P.B. 2024, PG. 306
3. ALL DEEDS AND MAPS  
WITH ADJOINERS.
4. HARNETT COUNTY G.I.S. INFO.



GRAPHIC SCALE

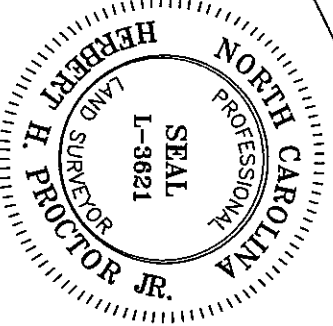


( IN FEET )  
1 inch = 40 ft.

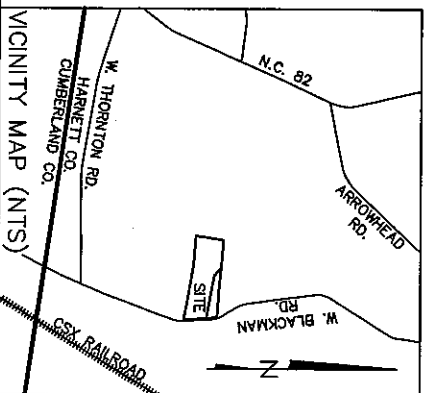
NOTE:  
NO DETERMINATION HAS BEEN MADE  
BY THE SURVEYOR AS TO THE  
EXISTENCE OF THE FOLLOWING:  
- WETLANDS  
- UNDER GROUND UTILITIES  
- UNDER GROUND STORAGE FACILITIES  
- CEMETERIES OR BURIAL GROUNDS

I, Herbert H. Proctor, Jr., Professional Surveyor certify that this survey complies with the North Carolina Standards of Practice for Surveying Section 1851; that this is a class A survey, meeting the criteria of precision greater than 1:10,000, that conventional field procedure with D.B. 4241, Page 348 was utilized; that all units are U.S. Survey Feet unless otherwise stated; that all distances are horizontal ground distances unless otherwise stated. Any easements, gaps, overlaps or encroachments are shown on this survey; that areas were computed by coordinate method. This survey is not to be recorded without written permission from the surveyor. This map remains the property of the surveyor and is to be used only for the conveyance of this lot by the person (s) shown on this map.

Witness my original signature, registration number and seal this  
15th day of August 2025 A.D.  
Surveyor: Herbert H. Proctor Jr. License # L-3621



NICHOLAS  
LT  
VICINITY MAP (NTS)



**STEWART-PROCTOR**  
ENGINEERING and SURVEYING  
319 CHAPANOKE ROAD, SUITE 106  
RALEIGH, NC 27603 (LICENSE # P-0148)  
TEL. 919 779-1855 FAX 919 779-1661

DATE 08/15/2025 DRAWING W. BLACKMAN RD.  
SCALE 1"=40' (HARNETT)