

LOT INFORMATION:

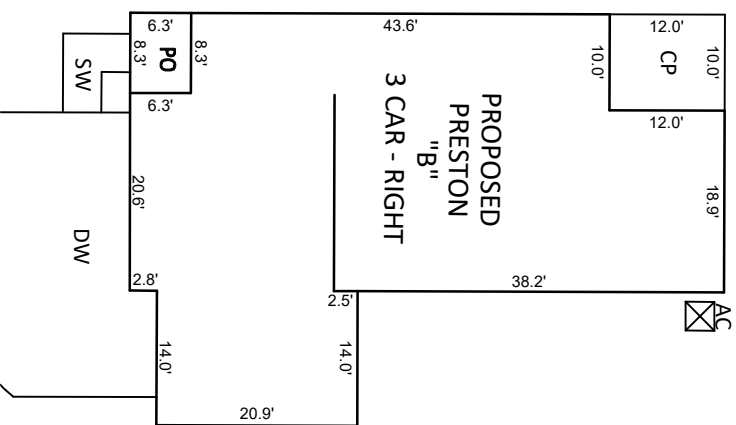
PIN: 0529-97-2796.000
 REFERENCE: DB 4183, PG. 652
 TOTAL LOT AREA = 0.747 AC = 32,538 SF
 HOUSE = 1,910 SF
 PORCH = 53 SF
 SIDEWALK = 45 SF
 DRIVEWAY = 844 SF
 COVERED PORCH = 120 SF
 AC PAD = 9 SF
 PROPOSED IMPERVIOUS = 2,981 SF
 PERCENT IMPERVIOUS = 9.16%
 MAXIMUM IMPERVIOUS = 7,000 SF

N/E
 WELER
 DEVELOPMENTS, LLC
 DB: 4090, PAGE 433

WETLANDS

WETLANDS

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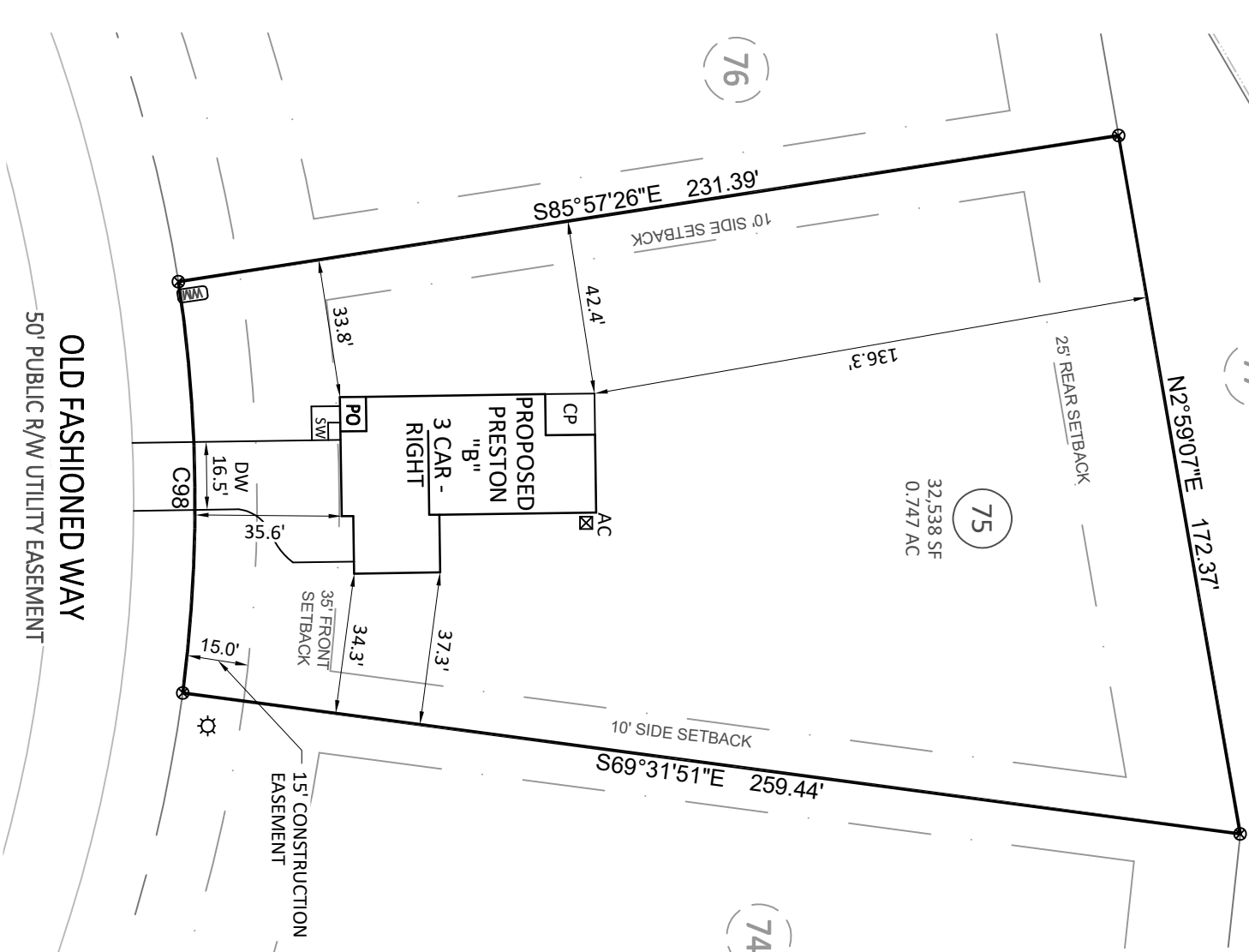


INSET SCALE: 1"=20'

CURVE	RADIUS	LENGTH	CHORD	DIRECTION	CHORD
C98	350.00'	100.34'	N12°15'21"E		100.00'

BUILDING SETBACKS
 FRONT - 35' FROM R/W
 REAR - 25'
 SIDE - 10'
 SIDE CORNER - 20'

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK
7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM. ALL LINES SHOWN, IF ANY, ARE SCALED FROM THE RECORDED PLAT.
8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
9. ZONING: RA-30
10. BUILDER/DEVELOPER: DAVIDSON HOMES
 1903 NORTH HARRISON AVENUE
 CARY, NC 27513



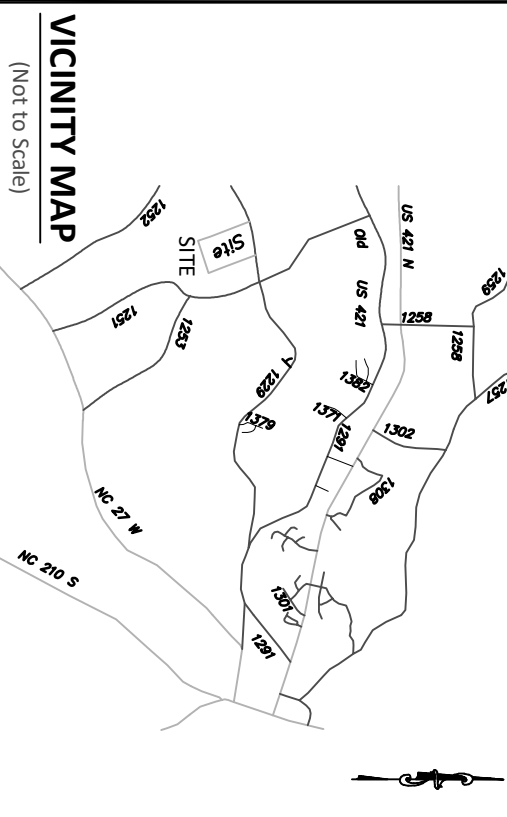
OLD FASHIONED WAY
 50' PUBLIC R/W UTILITY EASEMENT



SCALE:
 1" = 40 ft.



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 NOBELS Firm No. C-2378



VICINITY MAP

(Not to Scale)

- LEGEND**
- PO = COVERED FRONT PORCH
 - SP = SCREENED PORCH/PATIO
 - CP = COVERED DECK/PATIO
 - WD = WOOD DECK
 - SW = SIDEWALK
 - DW = CONC DRIVEWAY
 - P = CONC PATIO
 - ⊗ = COMPUTED POINT
 - X = MAG NAIL FOUND
 - = IRON PIPE FOUND (IPF)
 - ⊙ = IRON PIPE SET (IPS)
 - = DRILL HOLE FOUND
 - ⊕ = WATER METER
 - ⊖ = CLEAN OUT
 - AC = AIR CONDITIONER
 - ⊗ = SEWER MANHOLE
 - ⊙ = CABLE BOX
 - ⊖ = TELEPHONE PEDESTAL
 - CB = CATCH BASIN
 - IC = IRRIGATION CONTROLLER
 - ⊙ = LIGHT POLE
 - ⊕ = UTILITY POLE
 - ⊖ = FIRE HYDRANT
 - DI = DRAIN INLET
 - ⊕ = WATER VALVE
 - ⊖ = STREET SIGN
 - YI = YARD INLET
 - G = GAS METER
 - E = ELECTRIC METER
- This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

BUILDER TO VERIFY HOUSE LOCATION
 DIMENSIONS AND REVIEW TOTAL
 IMPERVIOUS NOTED ON THIS PLOT PLAN

PRELIMINARY PLOT PLAN
 FOR
DAVIDSON HOMES

WELLERS KNOLL - LOT 75
 321 OLD FASHIONED WAY, LILLINGTON, NC
 UPPER LITTLE RIVER TOWNSHIP, HARNETT COUNTY

DATE: 7/12/24 DRAWN BY: SLA CHECKED BY: SPC

REFERENCE: BM 2023 PG. 59-62 BCS# 230051 SCALE: 1" = 40'

PRELIMINARY