

# Residence for Dave and Trish Andersen Lot 6 - Hobby Road Harnett County, North Carolina

ORIGINAL DESIGN BY  
**MADDEN**  
HOME DESIGN  
1375 Rushing Road  
Denham Springs, Louisiana 70726  
Phone: 225-791-2912

## GENERAL NOTES

- ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE, 2018 EDITION (HEREWITH SHOWN AS N.C.S.R.B.C.).
- DIMENSIONS SHOWN ON DRAWINGS GOVERN OVER SCALE.
- STUD WALL DESIGN SHALL CONFORM TO ALL N.C.S.R.B.C. REQUIREMENTS.
- CONTRACTOR SHALL USE TEMPERED SAFETY GLASS IN ALL LOCATIONS AS REQUIRED BY N.C.S.R.B.C., 2018 EDITION, SECTION R308.4
- ANY HABITABLE ROOM SHALL MEET ALL LIGHT/VENTILATION AND EGRESS AS REQUIRED BY N.C.S.R.B.C., 2018 EDITION, SECTION R-310.2
- ALL WALLS SHOWN ON FLOOR PLANS ARE 2x4 FRAME UNLESS NOTED OTHERWISE.
- ALL ANGLED WALLS SHOWN ON FLOOR PLANS ARE 45° UNLESS NOTED OTHERWISE.
- ALL WINDOWS SHALL HAVE A MINIMUM DPI RATING OF 25. BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT UNITS INSTALLED MEET THESE REQUIREMENTS AS PER N.C.S.R.B.C., 2018 EDITION, TABLE 301.2(6)
- ENERGY EFFICIENCY REQUIREMENTS FOR THE SPECIFIC CLIMATE ZONE WHERE STRUCTURE IS BEING BUILT SHALL BE IN ACCORDANCE WITH CHAPTER 11 OF THE NORTH CAROLINA RESIDENTIAL BUILDING CODE, 2018 EDITION, AS SHOWN IN TABLES N1101.7 (FOR N.C.) AND N1102.1.

## INDEX TO DRAWINGS

- COVER SHEET
- FRONT & LEFT SIDE ELEVATIONS
  - RIGHT SIDE ELEVATION & CROSS SECTION
  - REAR ELEVATIONS
  - FIRST FLOOR & PARTIAL SECOND FLOOR PLANS
  - FIRST FLOOR ELECTRICAL PLAN
  - CONSTRUCTION DETAILS
- S-1 FOUNDATION PLAN & CRAWL SPACE FRAMING PLAN  
S-2 FIRST FLOOR CEILING FRAMING PLAN  
S-3 SECOND FLOOR CEILING FRAMING PLAN  
S-4 ROOF FRAMING PLAN  
S-5 STRUCTURAL DETAILS & SPECIFICATIONS

## RESIDENTIAL BUILDING CODE SUMMARY

- PLANS ARE DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.
- HOUSE IS DESIGNED FOR 120 MPH, 3 SECOND GUST (93 MPH FASTEST WIND), EXPOSURE B.
- ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER AND SHALL EXTEND 7" MIN. INTO MASONRY OR CONCRETE. BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF ALL PLATE SPLICES AND CORNERS.
- MEAN ROOF HEIGHT: 23'-5"
- COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS:  
MEAN ROOF HGT: UP TO 30' 30'-1" TO 35' 35'-1" TO 40' 40'-1" TO 45'  

ZONE 1	16.5	-18.0	17.3	-18.9	18.0	-19.6	18.5	-20.2
ZONE 2	16.5	-21.0	17.3	-22.1	18.0	-22.9	18.5	-23.5
ZONE 3	16.5	-21.0	17.3	-22.1	18.0	-22.9	18.5	-23.5
ZONE 4	18.0	-19.5	18.9	-20.5	19.6	-21.3	20.2	-21.8
ZONE 5	18.0	-24.1	18.9	-25.3	19.6	-26.3	20.2	-27.0
- MINIMUM VALUES FOR ENERGY COMPLIANCE: ZONE 3
- MAXIMUM GLAZING U-FACTOR: 0.35
- INSULATING VALUES: CEILING: R-30\* / WALLS: R-15 / FLOOR: R-19 / SLABS: R-0. CODE REFERENCE: TABLE N1102.1 (\*R-30 ONLY IF UNCOMPRESSED, R-38 REQUIRED IF COMPRESSED)

## MATERIALS LEGEND

	EARTH/COMPACT FILL		FINISH WOOD
	CONCRETE		ROUGH WOOD
	BRICK		BLOCKING
	CONCRETE BLOCK/STONE		PLYWOOD
	STEEL		BATT INSULATION
	ALUMINUM		RIGID INSULATION

## TOILET ACCESSORIES LEGEND

- PROVIDE 2x4 BLOCKING IN THE WALL FOR THE FOLLOWING:
- TB TOWEL BAR
  - TP TOILET PAPER HOLDER
  - TR TOWEL RING
  - MC MEDICINE CABINET
  - MR MAGAZINE RACK

THE PURPOSE OF THESE DRAWINGS IS TO SHOW THE INTENT OF THE DESIGN AND CONSTRUCTION OF THIS HOME. ANY ERRORS AND/OR OMISSIONS FOUND IN THIS SET SHOULD IMMEDIATELY BE REPORTED TO HOMES UNIQUE FOR CLARIFICATION OR CORRECTION. THE CONTRACTOR SHOULD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ONCE A PERMIT HAS BEEN ISSUED FOR CONSTRUCTION, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AS TO THE ACCURACY OF THE PLANS AND TO ANY CHANGES MADE BY THE CONTRACTOR AND/OR THE OWNER.

DUE TO VARYING LOCAL AND STATE CODES, HOMES UNIQUE CANNOT BE HELD RESPONSIBLE FOR ANY REQUIREMENTS THAT EXISTING SITE CONDITIONS MAY CREATE.

## AREA CALCULATIONS

	HEATED (SQ. FT.)	UNHEATED (SQ. FT.)	UNFINISHED (SQ. FT.)
BASEMENT:	N/A	GARAGE: 616	BASEMENT: N/A
1ST FLOOR:	2318	FRONT PORCH: 291	ATTIC STORAGE: 363
2ND FLOOR:	N/A	SCREEN PORCH: 373	ATTIC: N/A
REC ROOM:	N/A	DECK: N/A	STORAGE: N/A
		STORAGE: N/A	
		BRICK: N/A	
ATTIC:	N/A		OVERALL DIMENSIONS:
TOTAL:	2318	TOTAL: 1286	WIDTH: 72'-10"
			DEPTH: 65'-11"

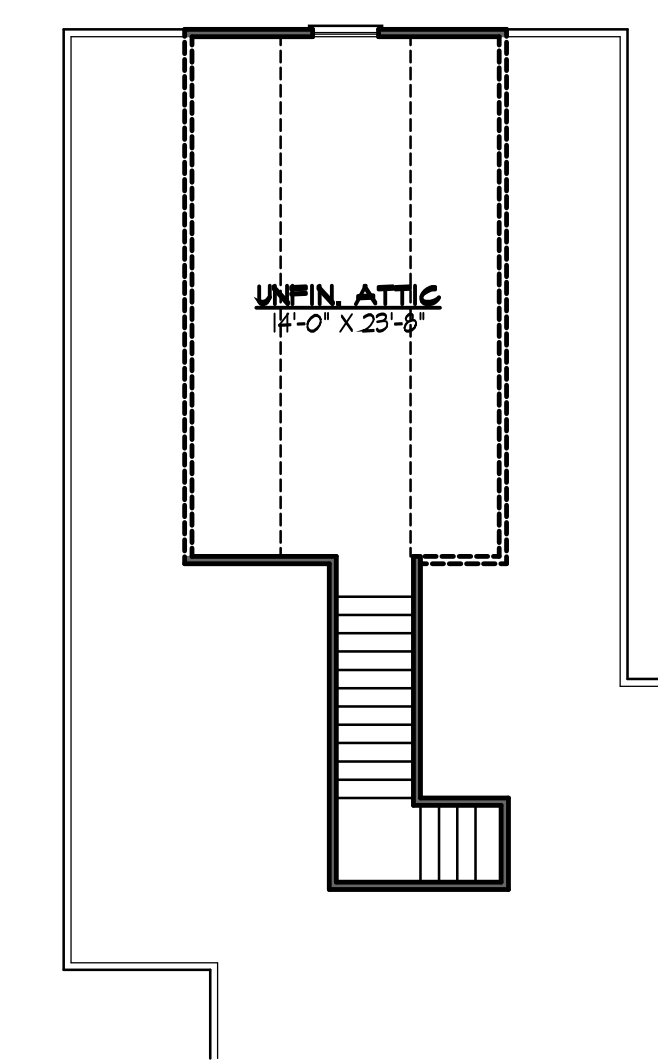
## FOUNDATION VENTING CALCULATIONS

(REFERENCE: N.C.S.R.B.C., 2018 EDITION, SECTION R408)  
THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN ONE (1) SQUARE FOOT FOR EACH 150 SQUARE FEET OF CRAWL SPACE GROUND AREA, AND ONE FOUNDATION VENT SHALL BE WITHIN THREE (3) FEET OF EACH CORNER OF THE BUILDING.  
EXCEPTION: THE TOTAL AREA OF VENTILATION OPENINGS MAY BE REDUCED TO 1/1500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS TREATED WITH AN APPROVED VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED SO AS TO PROVIDE CROSS-VENTILATION.

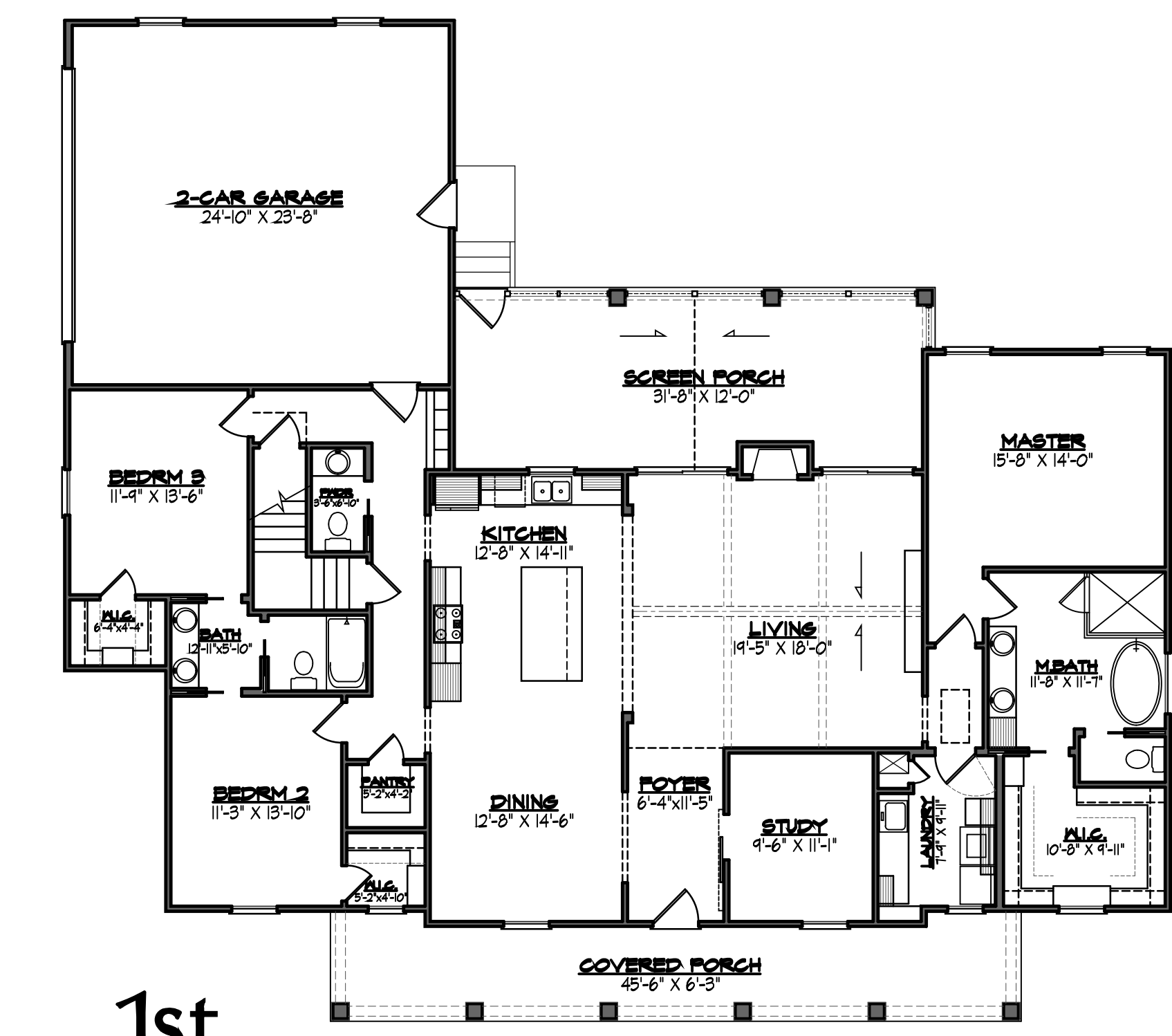
2318 SQUARE FEET OF CRAWL SPACE AREA / 150 =  
15.45 SQUARE FEET OF NET FREE AREA REQUIRED

## ATTIC VENTILATION REQUIREMENTS

NATURAL ROOF VENTILATION CALCULATIONS	MECHANICAL ROOF VENTILATOR CALCULATIONS
3604 SQ. FT. = 24.03 SQ. FT. VENT REQ'D. 150	3604 SQ. FT. = 12.02 SQ. FT. VENT REQ'D. 300
BUILDER TO PROVIDE APPROPRIATE VENTILATING AS REQUIRED PER CODE	BUILDER TO PROVIDE APPROPRIATE VENTILATING AS REQUIRED PER CODE

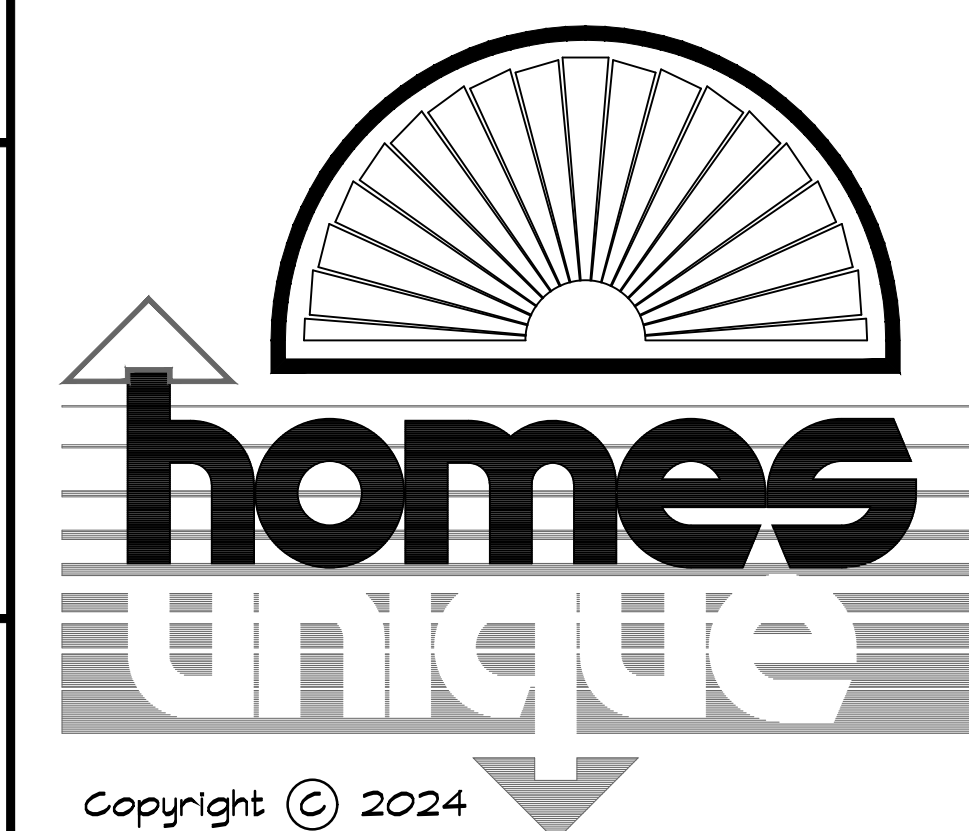


Partial 2nd



1st

24-2318



residential design

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12 JUL 2024

PROJECT NO. 6814

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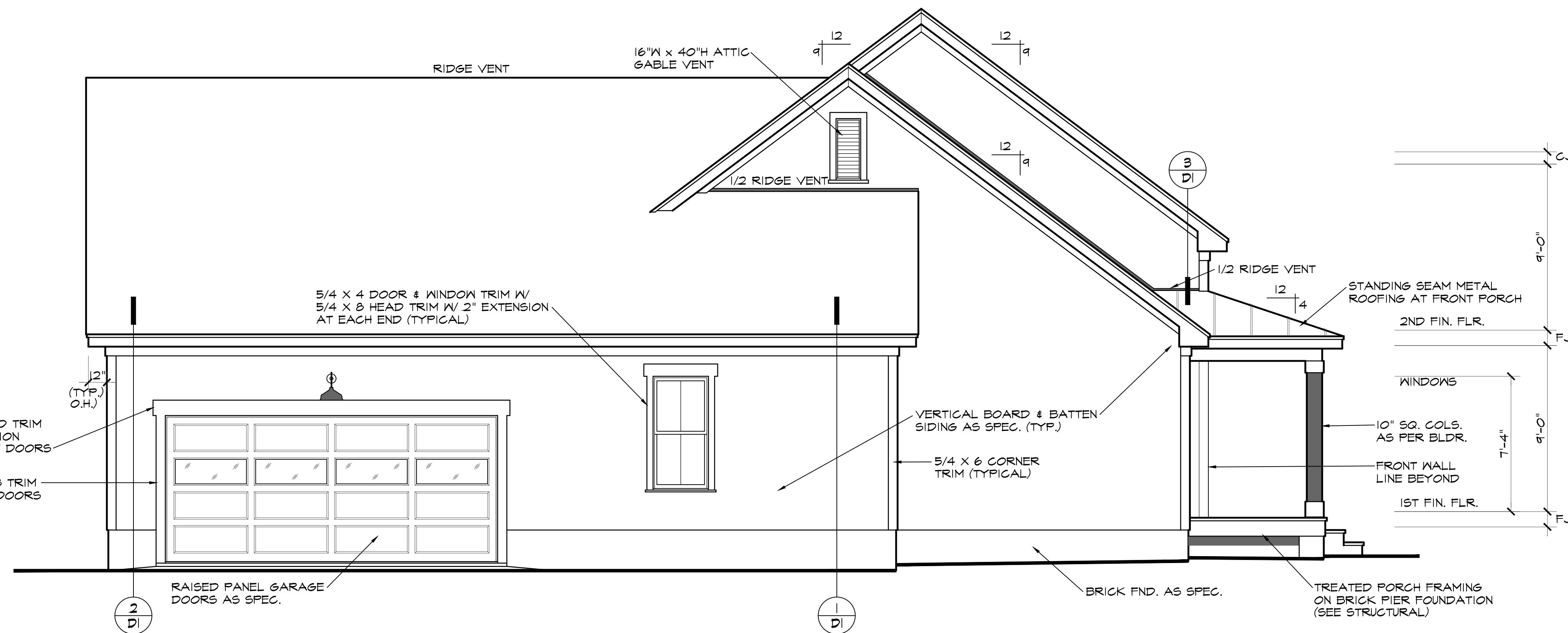
PROJECT NUMBER	6014
PLAN NAME	ANDERSEN-1
PLAN NUMBER	24-2318

RESIDENCE FOR DAVE & TRISH ANDERSEN  
 LOT 6 - HOBBY ROAD  
 HARNETT COUNTY, NORTH CAROLINA

DRAWN BY	J.T.S.
CHECKED BY	J.A.D.
DATE DRAWN	12 JUL 2024
REVISIONS	

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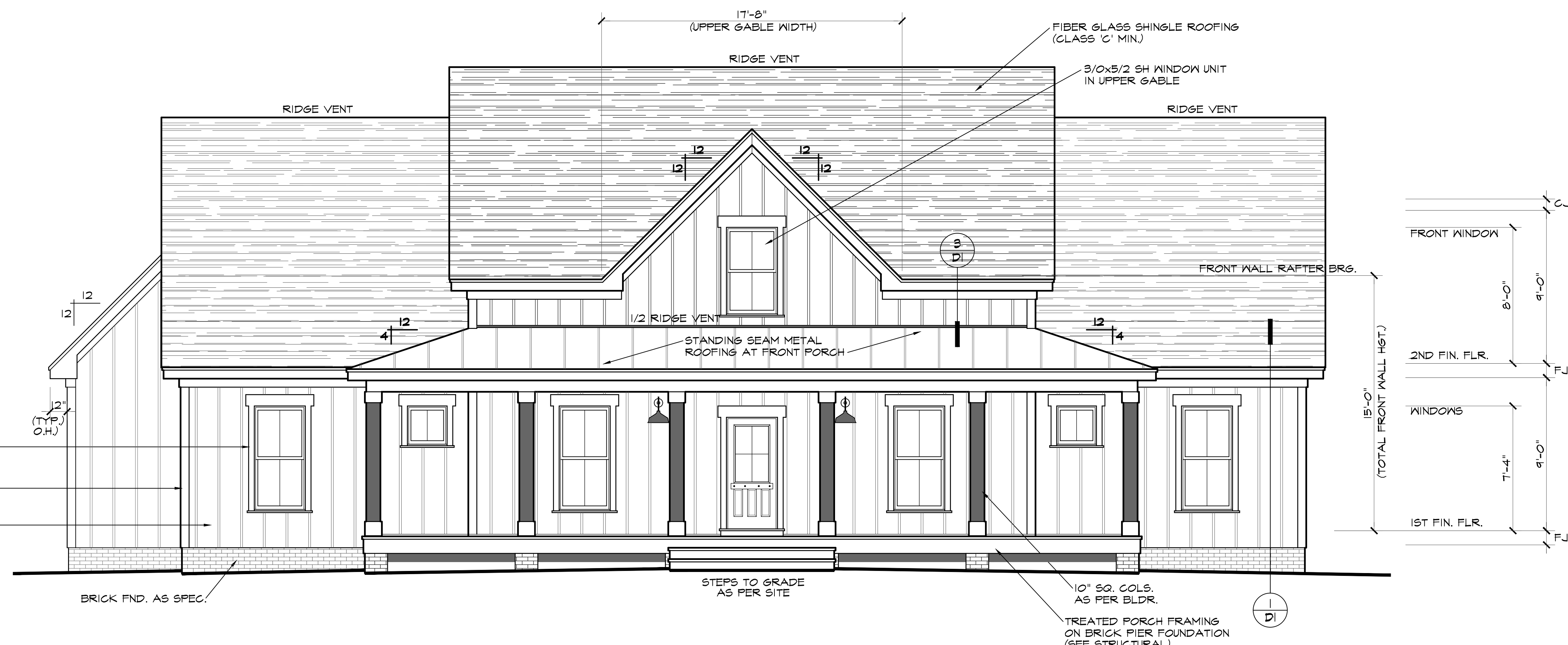
SHEET  
1  
 OF 5



**LEFT SIDE ELEVATION**

SCALE: 1/4"=1'-0"

NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE



**FRONT ELEVATION**

SCALE: 1/4"=1'-0"

NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE

NOTE - PROVIDE RAILS AT PORCH ONLY IF REQUIRED BY CODE

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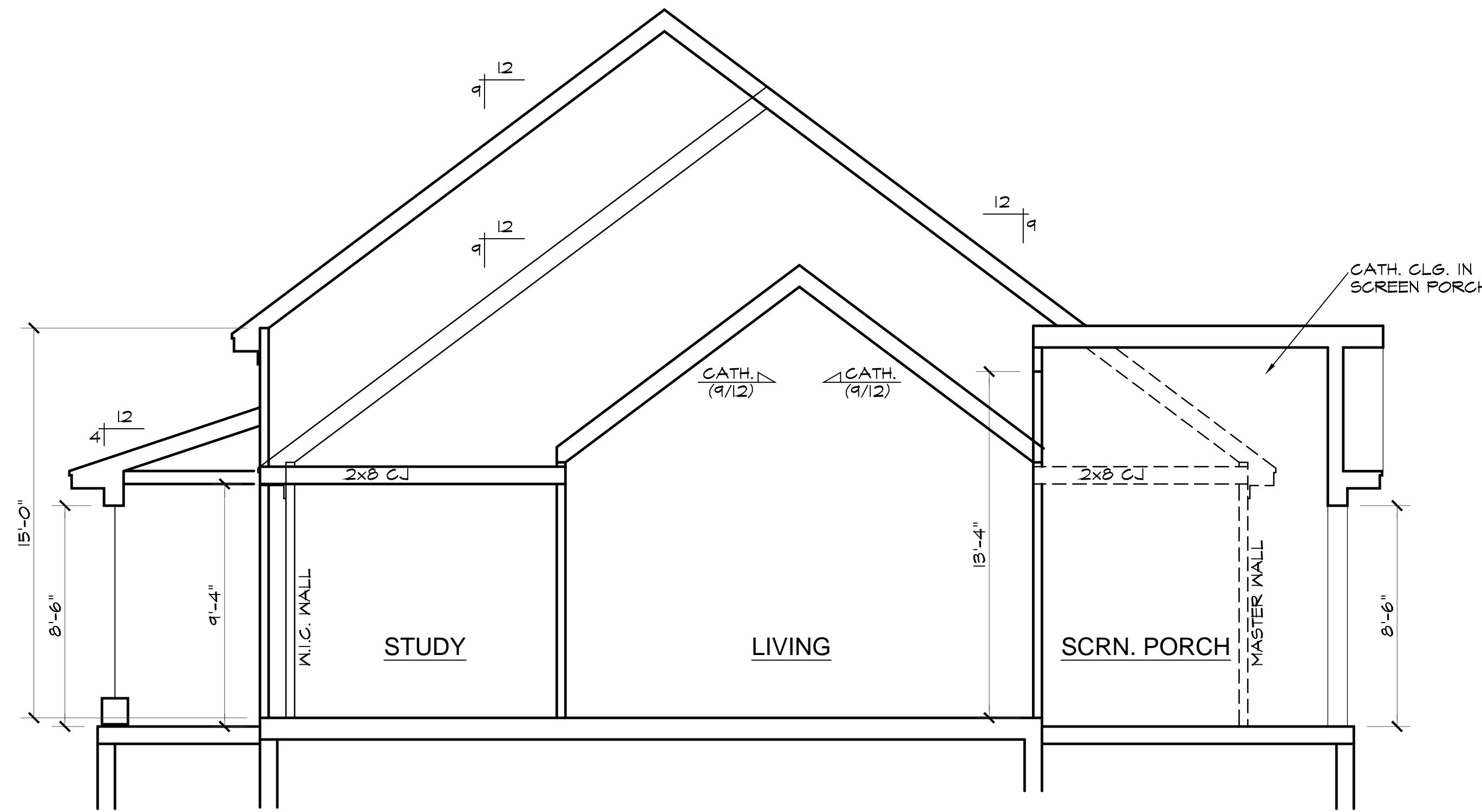
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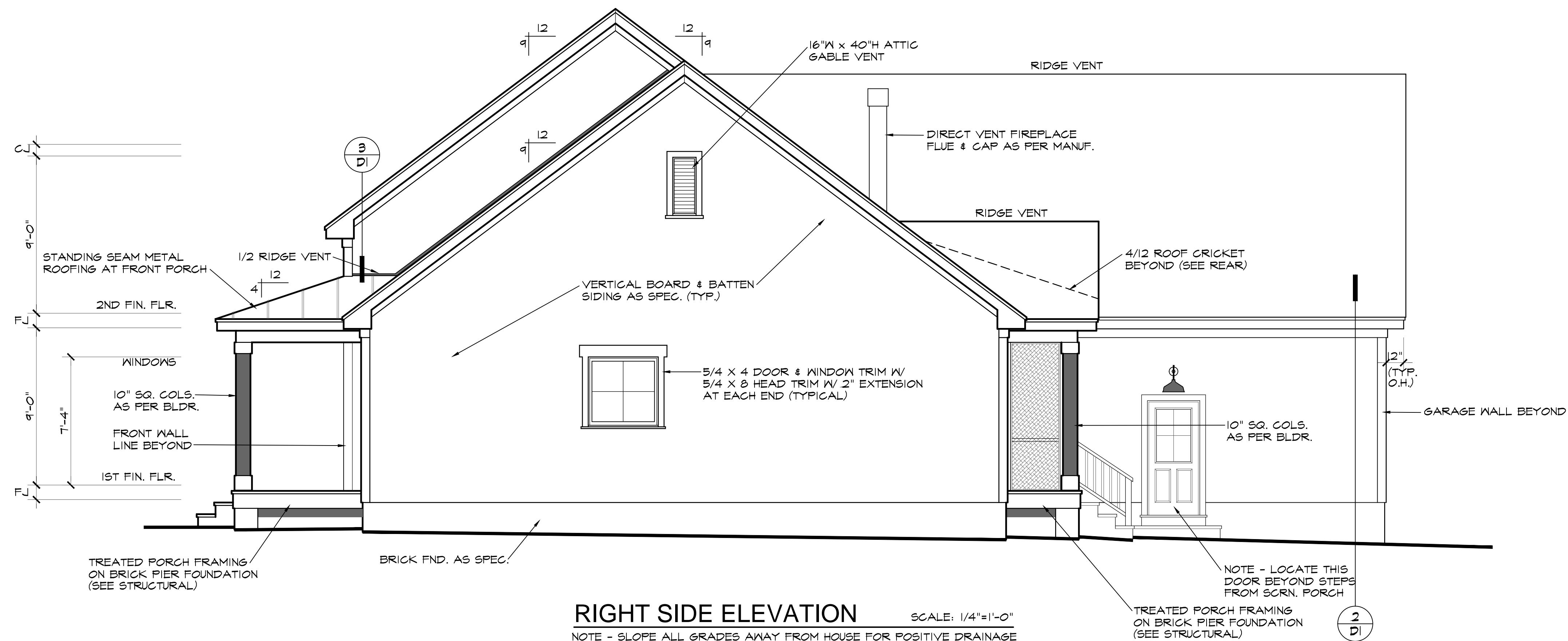
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PROJECT NUMBER	6014
PLAN NAME	ANDERSEN-1
PLAN NUMBER	24-2310



CROSS SECTION AT LIVING SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION SCALE: 1/4"=1'-0"  
 NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE

RESIDENCE FOR DAVE & TRISH ANDERSEN  
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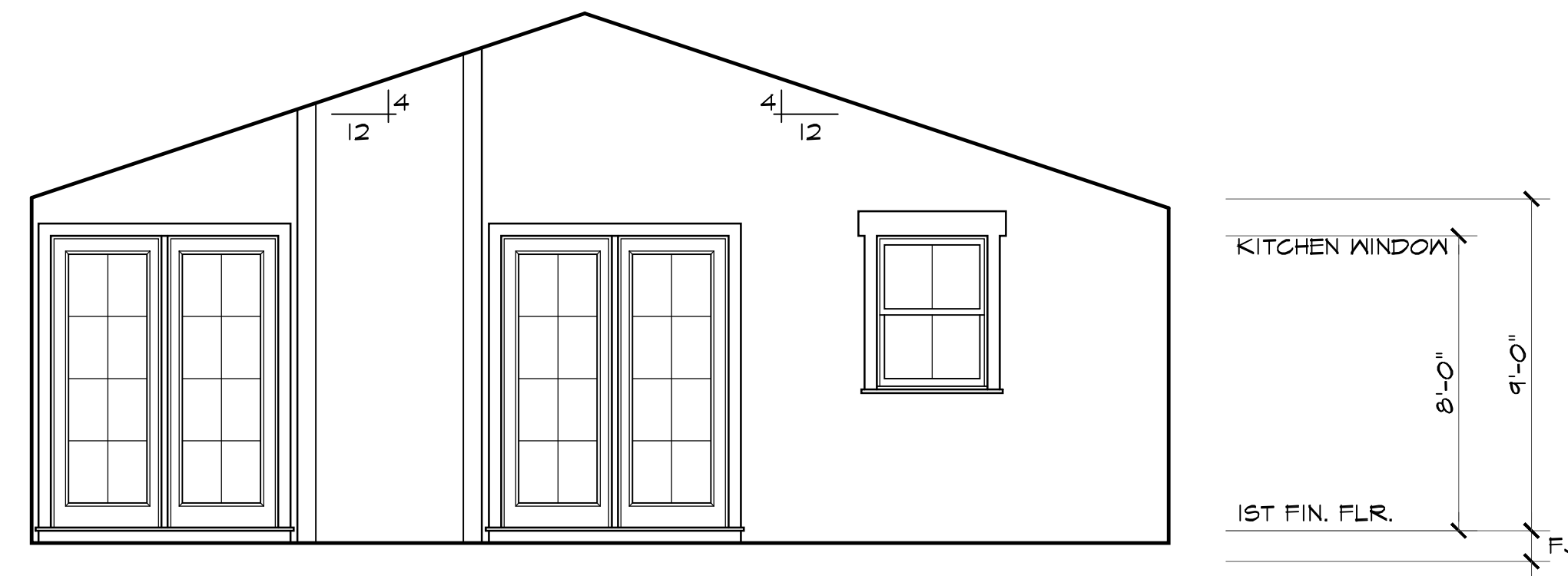
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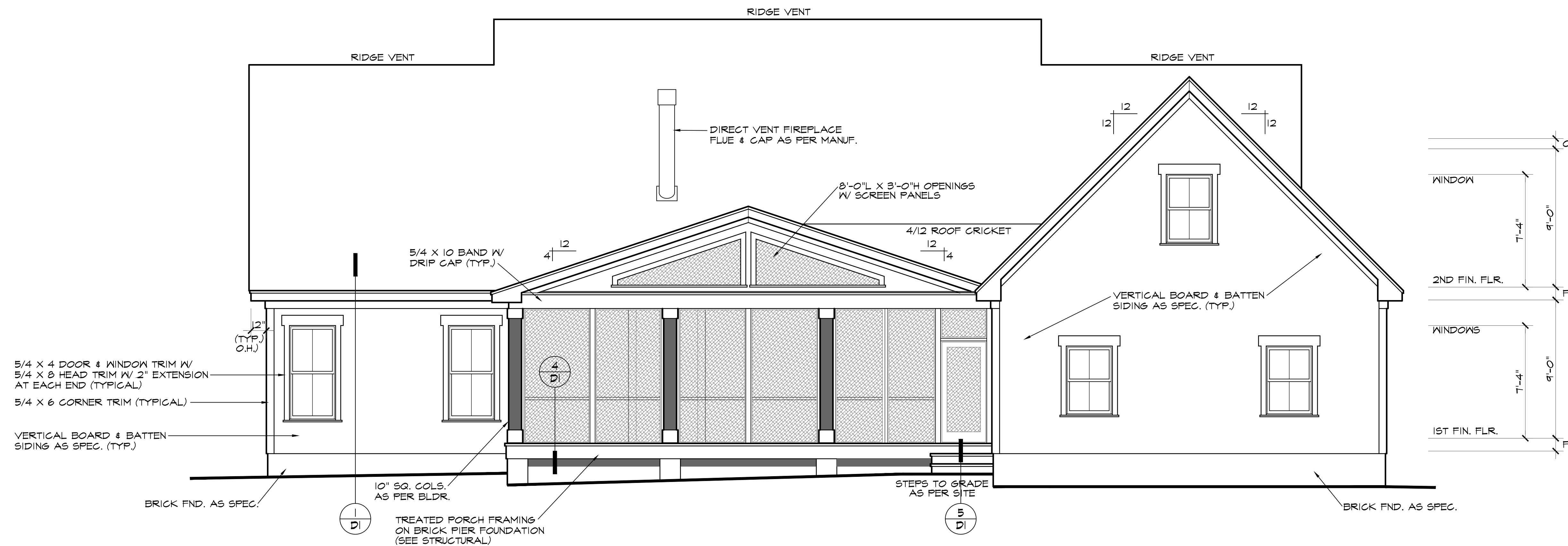
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PROJECT NUMBER	6814
PLAN NAME	ANDERSEN-1
PLAN NUMBER	24-2318



WALL ELEVATION INSIDE SCREEN PORCH



REAR ELEVATION

SCALE: 1/4"=1'-0"

NOTE - PROVIDE RAILS AT PORCH ONLY IF REQUIRED BY CODE

NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE

RESIDENCE FOR DAVE & TRISH ANDERSEN

LOT 6 - HOBBY ROAD  
 HARNETT COUNTY, NORTH CAROLINA

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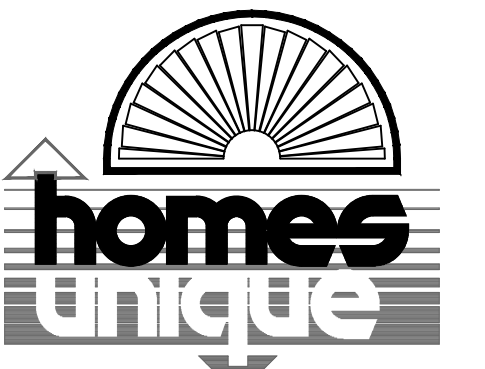
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SHEET

3

OF 5

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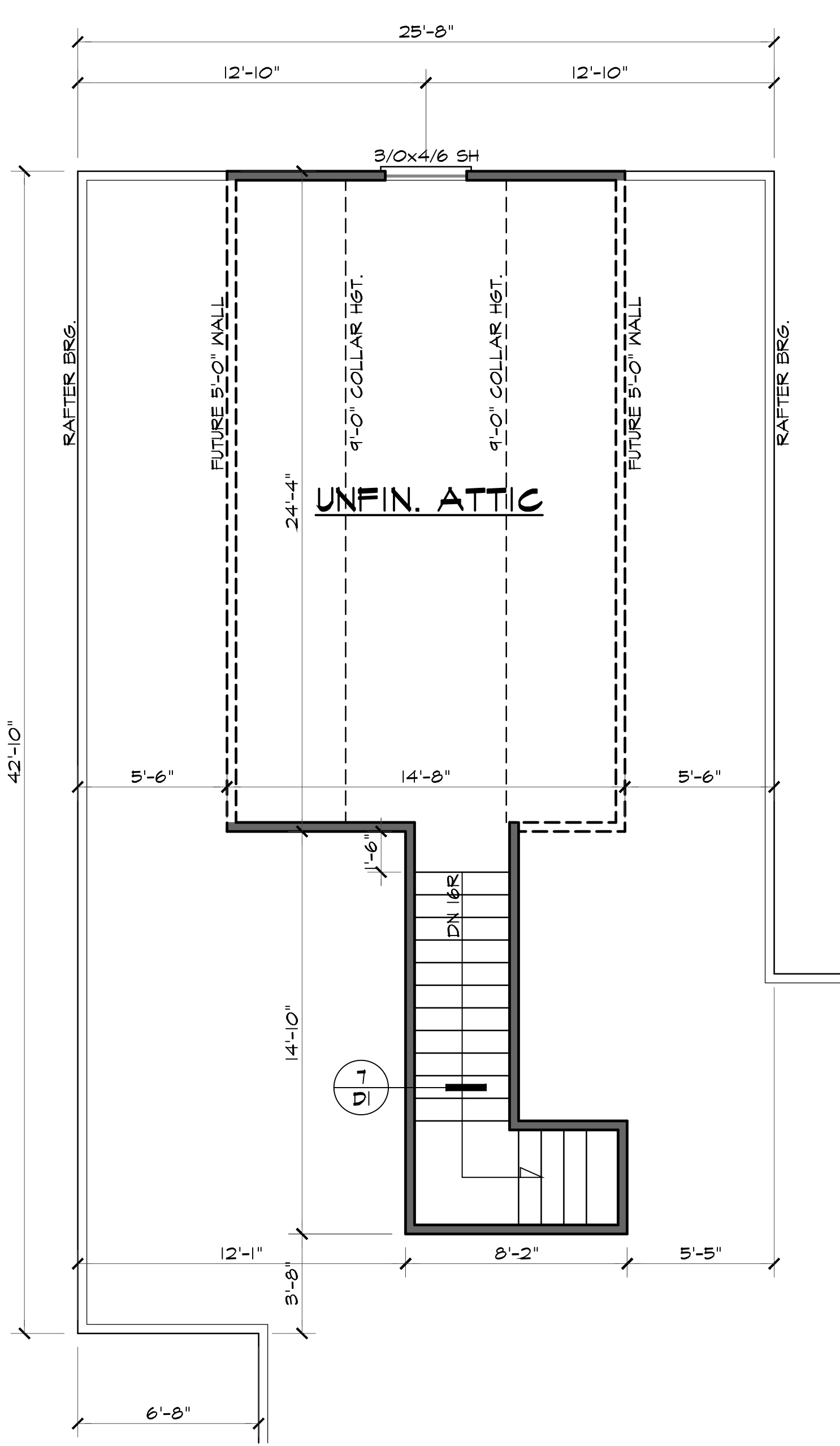
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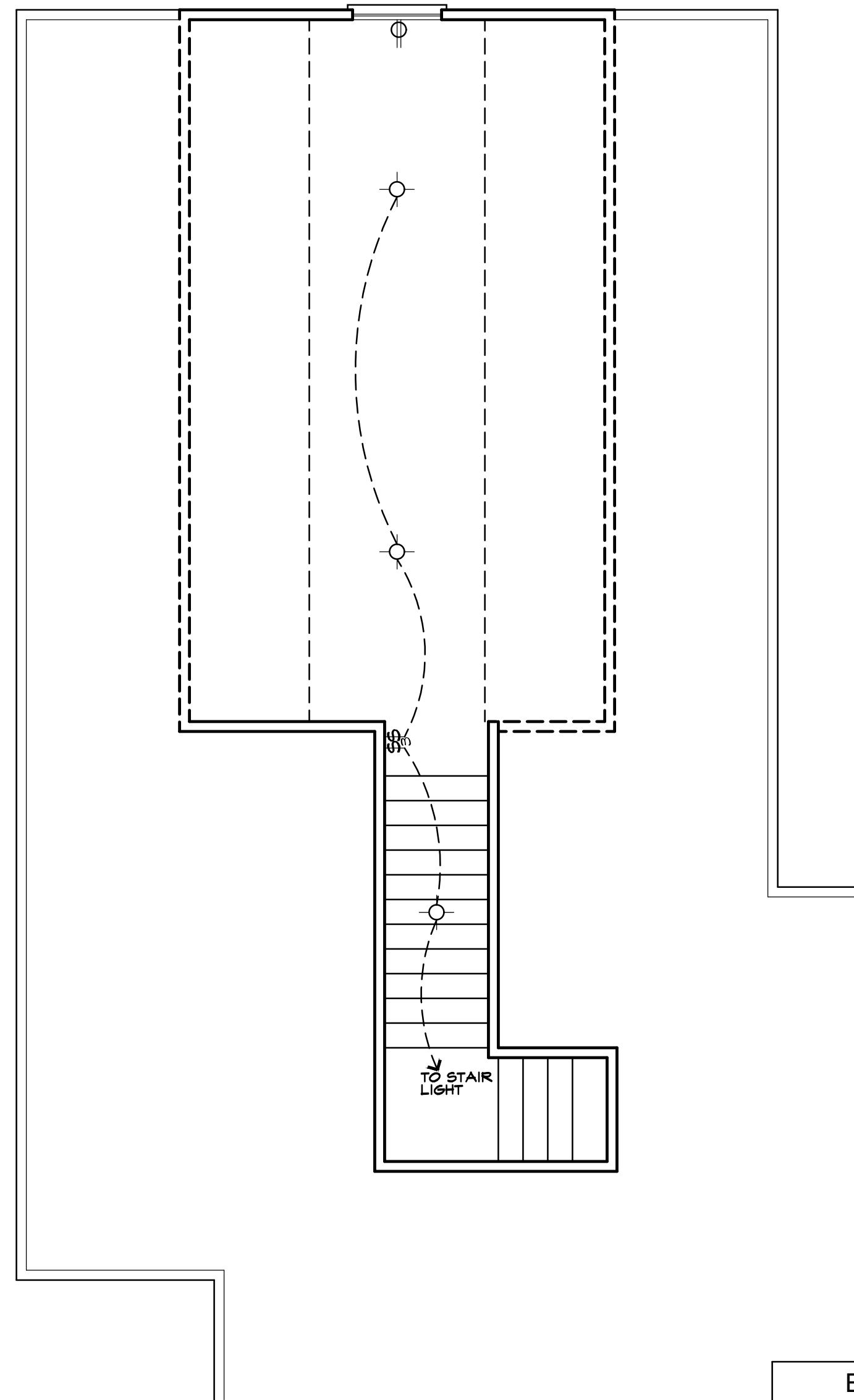


**PARTIAL SECOND FLOOR PLAN** SCALE: 1/4"=1'-0"  
9'-0" CLG. HGT. U.N.O.  
SET WINDOWS @ 7'-4" U.N.O.



**FIRST FLOOR PLAN** SCALE: 1/4"=1'-0"  
9'-0" CLG. HGT. U.N.O.  
SET WINDOWS @ 7'-4" U.N.O.

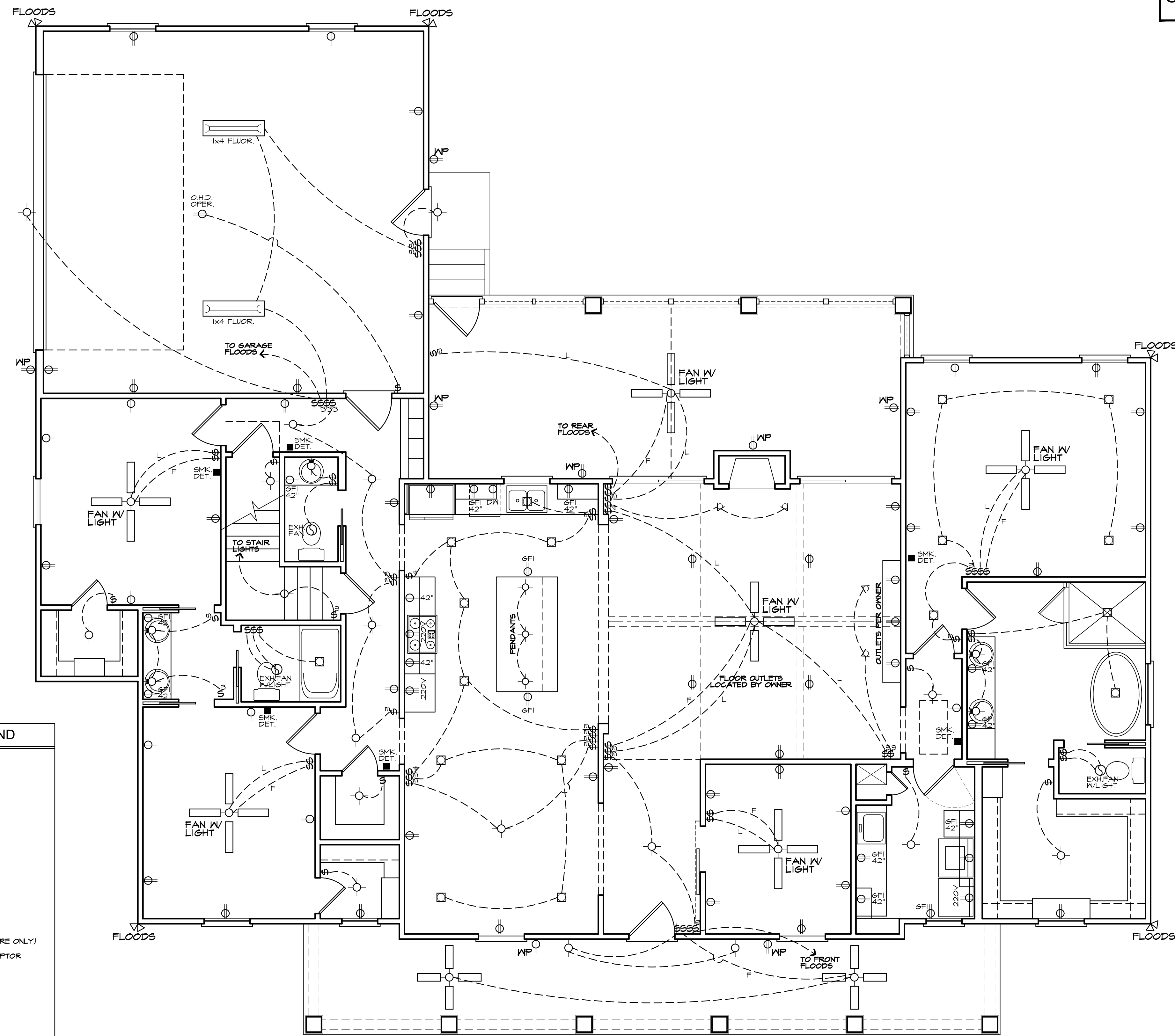
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PARTIAL SECOND FLOOR ELECTRICAL PLAN

ELECTRICAL LEGEND	
○	- LIGHT FIXTURE
⊙	- FAN/LIGHT
⊕	- WATERPROOF OUTLET
□	- RECESSED LIGHTING
⊞	- SINGLE FULL SWITCH
⊞	- 3-WAY SWITCH
⊞	- 4-WAY SWITCH
⊞	- DIMMER SWITCH
■	- SMOKE DETECTOR
⚠	- FLOOD LIGHTS
⚠	- EYEBALL SPOTS
⊕	- DUPLEX RECEPTACLE (110V)
⊕	- 220 VOLT RECEPTACLE
⊕	- SWITCHED RECEPTACLE (TOP WIRE ONLY)
⊕	- GROUND FAULT CIRCUIT INTERRUPTOR
⊕	- CLG FAN/LIGHTS
⊕	- TRACK LIGHTS
⊕	- FLUORESCENT LIGHTING
○	- CABLE OUTLET
▲	- TELEPHONE OUTLET
▲	- COMPUTER DATA OUTLET
⊕	- BURGLAR ALARM
⊕	- INTERCOM

NOTE: ALL ELECTRICAL TO BE VERIFIED BY OWNER/BUILDER BEFORE ROUGH-IN. ALL GFI OUTLETS TO BE AS PER CURRENT CODES.



FIRST FLOOR ELECTRICAL PLAN

NOTE - ELECTRICAL RECEPTACLE AND SWITCH QUANTITIES AND LOCATIONS SHOWN ON PLAN ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL NUMBER AND LOCATIONS SHALL BE FIELD DETERMINED AS PER CLIENT AND BUILDER EXCEPT WHERE CODE REQUIREMENTS APPLY.

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PROJECT NUMBER	6014
PLAN NAME	ANDERSEN-1
PLAN NUMBER	24-2316

RESIDENCE FOR DAVE & TRISH ANDERSEN  
 LOT 6 - HOBBY ROAD  
 HARNETT COUNTY, NORTH CAROLINA

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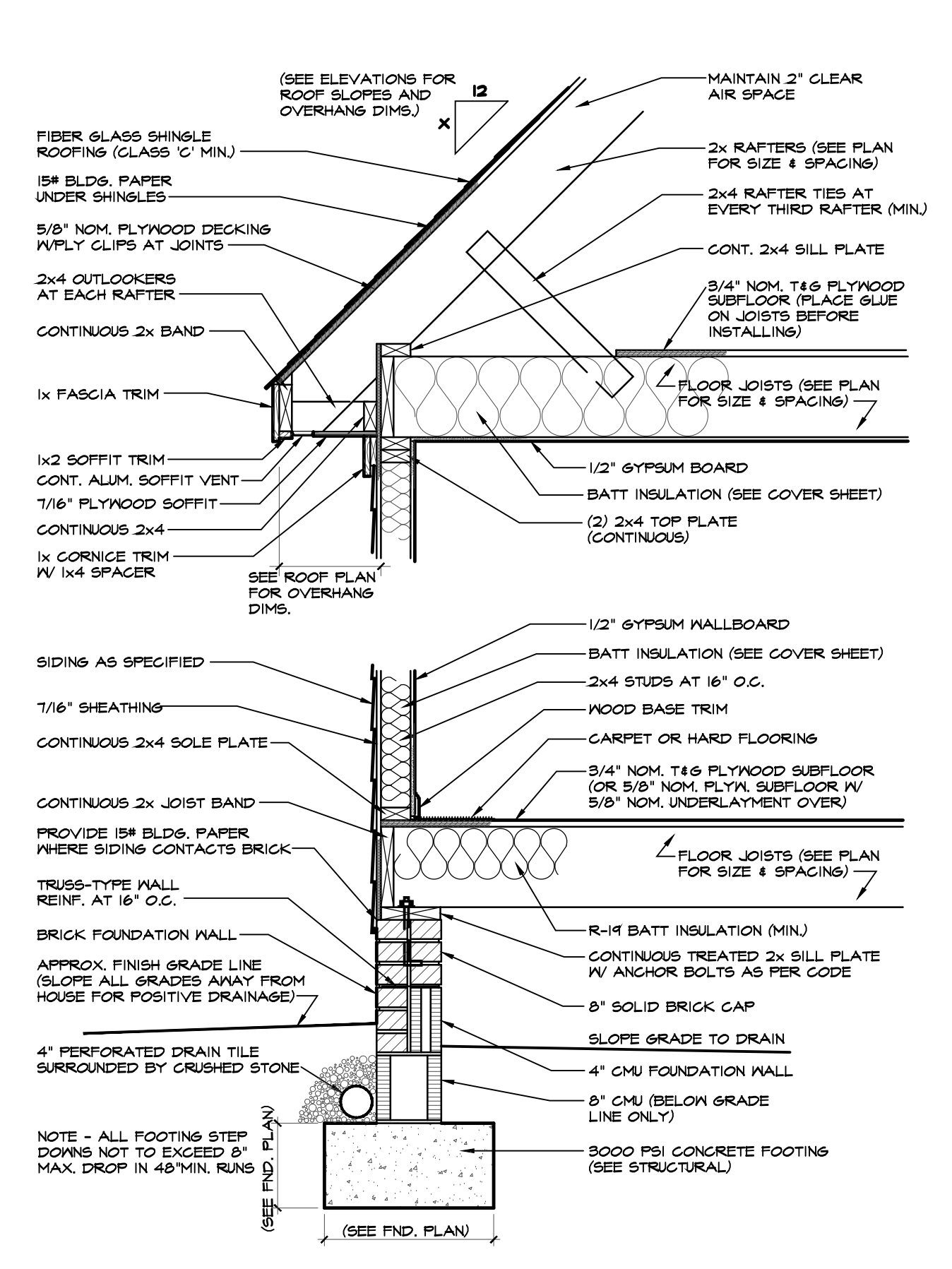
PROJECT NUMBER	6814
PLAN NAME	ANDERSEN-I
PLAN NUMBER	24-2318

**RESIDENCE FOR DAVE & TRISH ANDERSEN**  
 LOT 6 - HOBBY ROAD  
 HARNETT COUNTY, NORTH CAROLINA

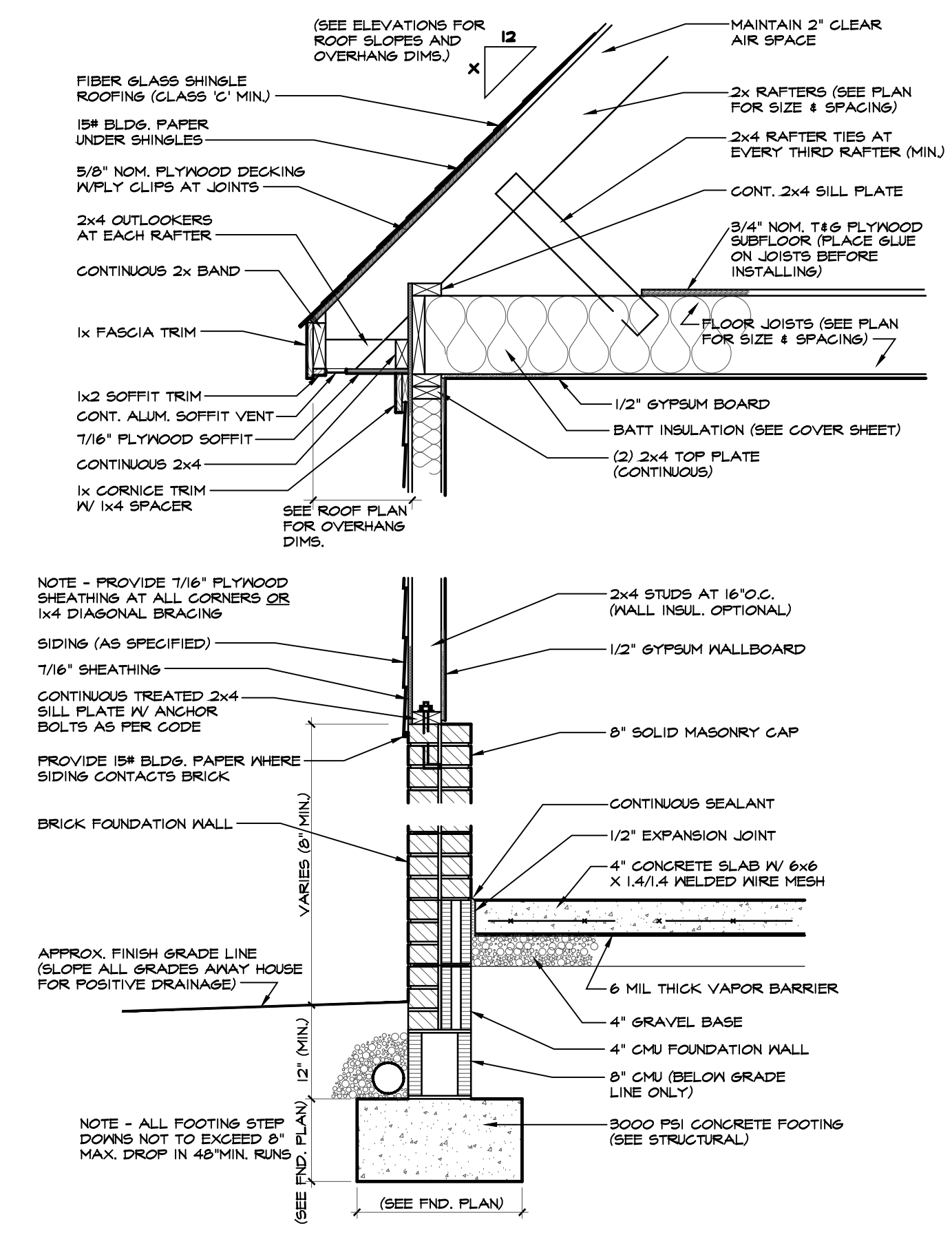
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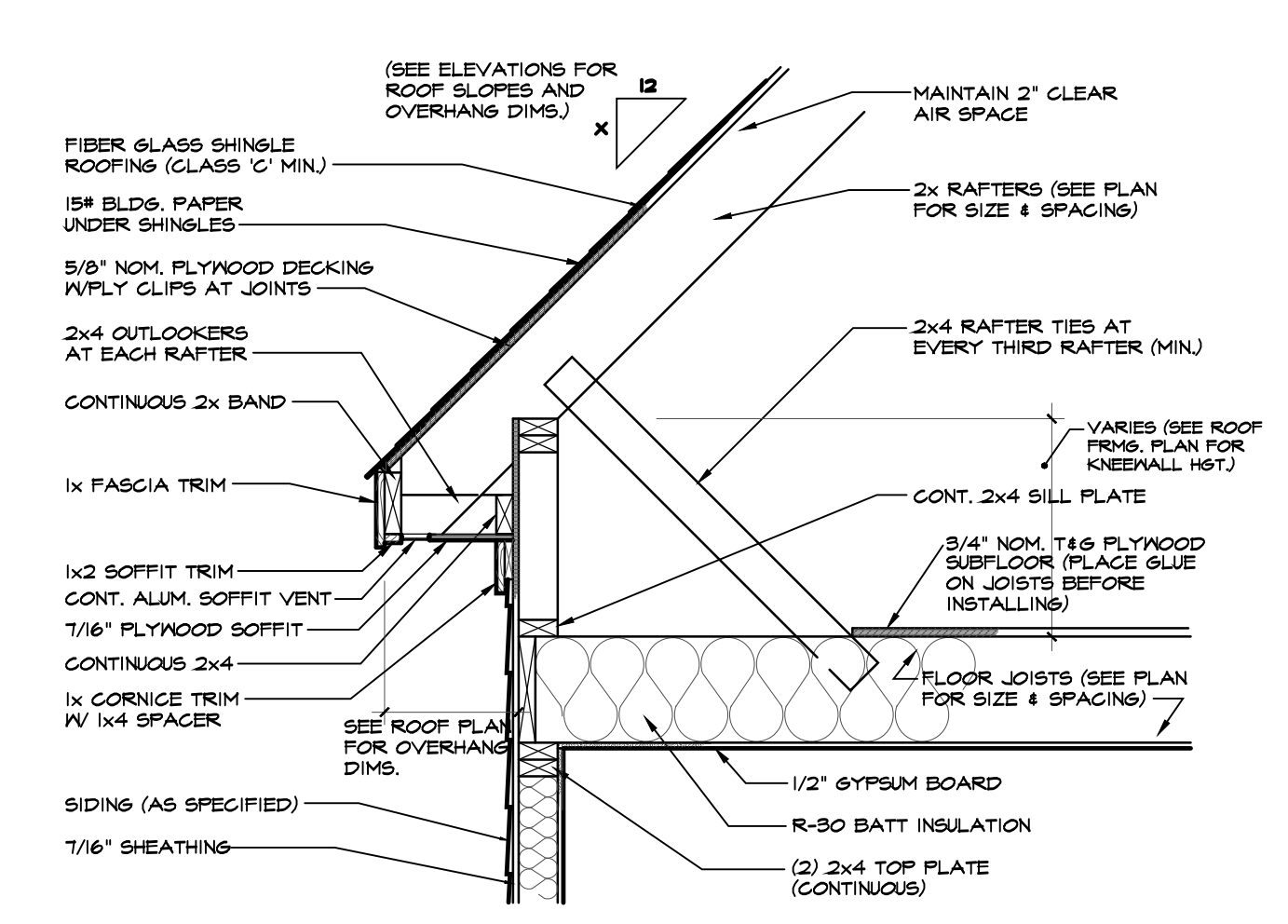
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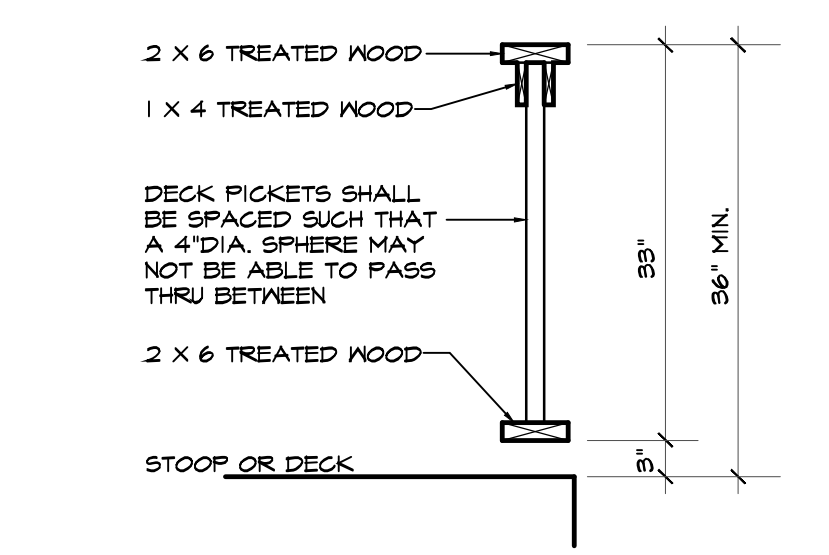
**1 ONE-STORY WALL SECTION W/SIDING**  
 SCALE: 3/4"=1'-0"



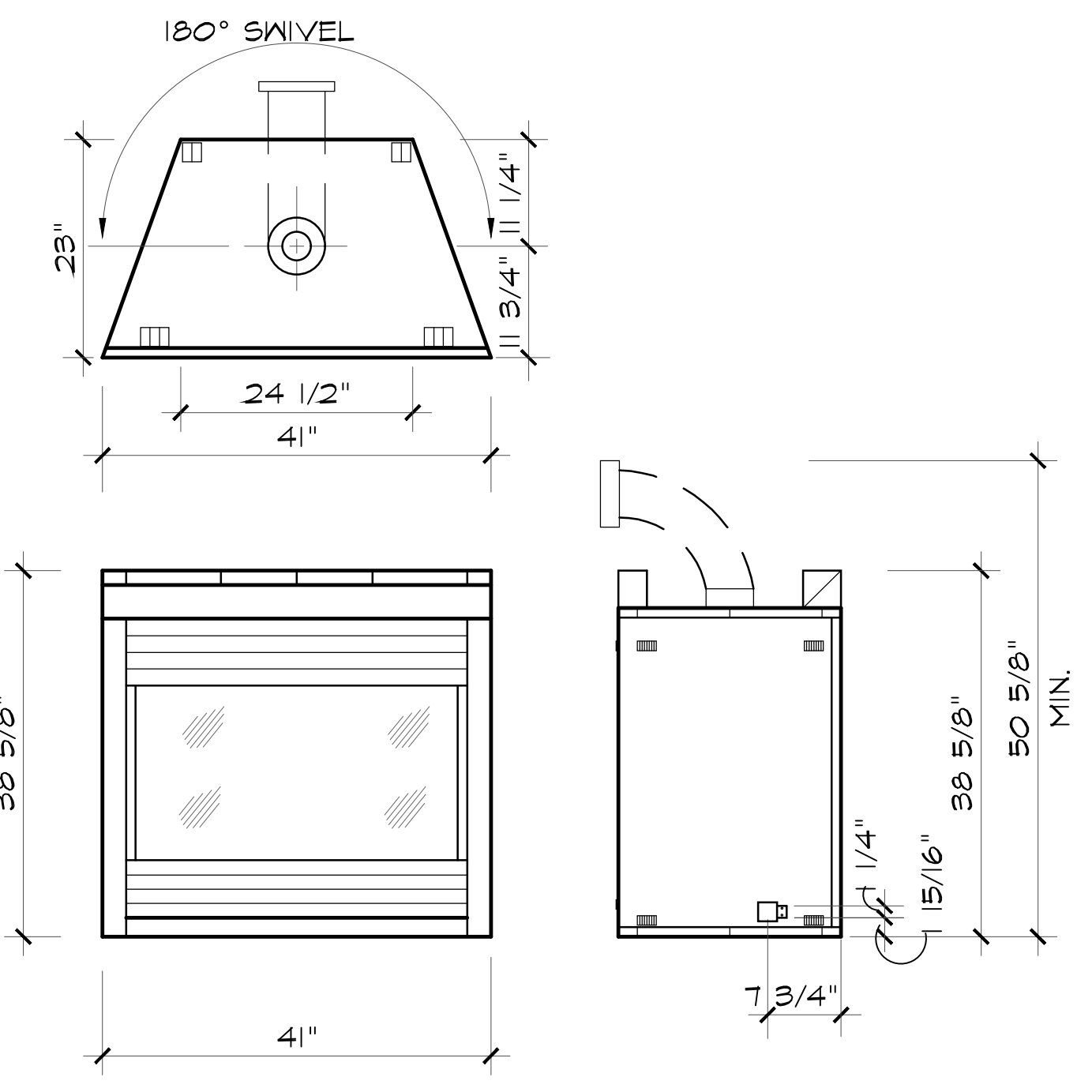
**2 GARAGE WALL SECTION W/SIDING**  
 SCALE: 3/4"=1'-0"



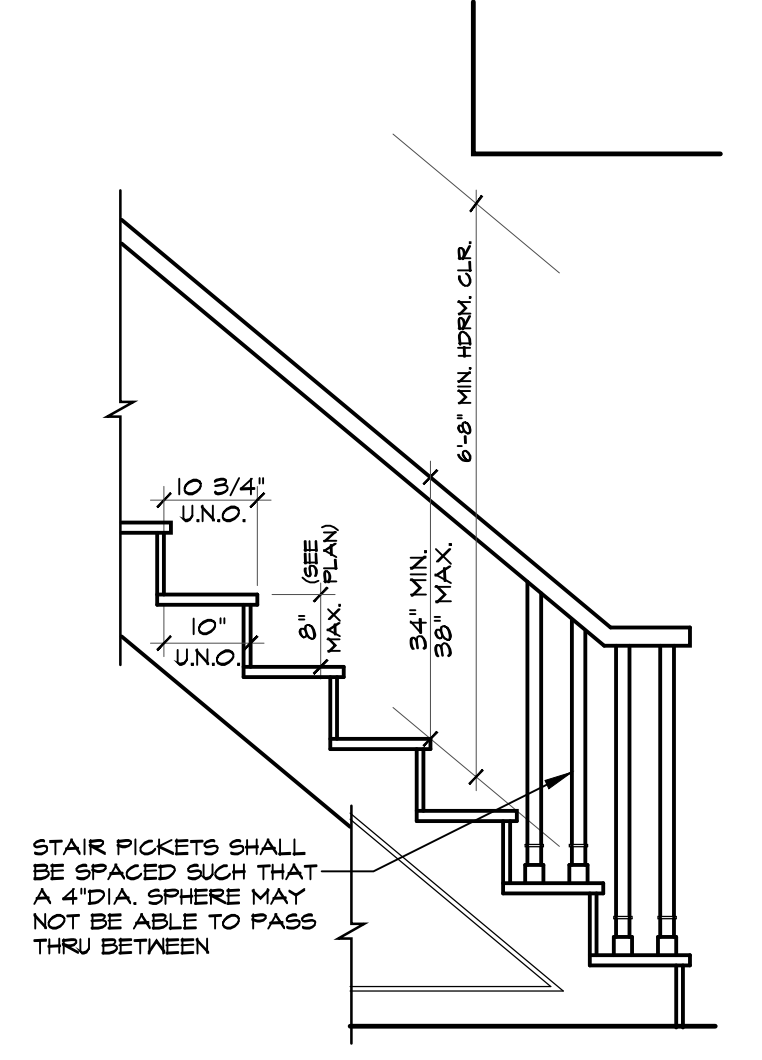
**3 KNEEWALL SECTION W/SIDING**  
 SCALE: 3/4"=1'-0"



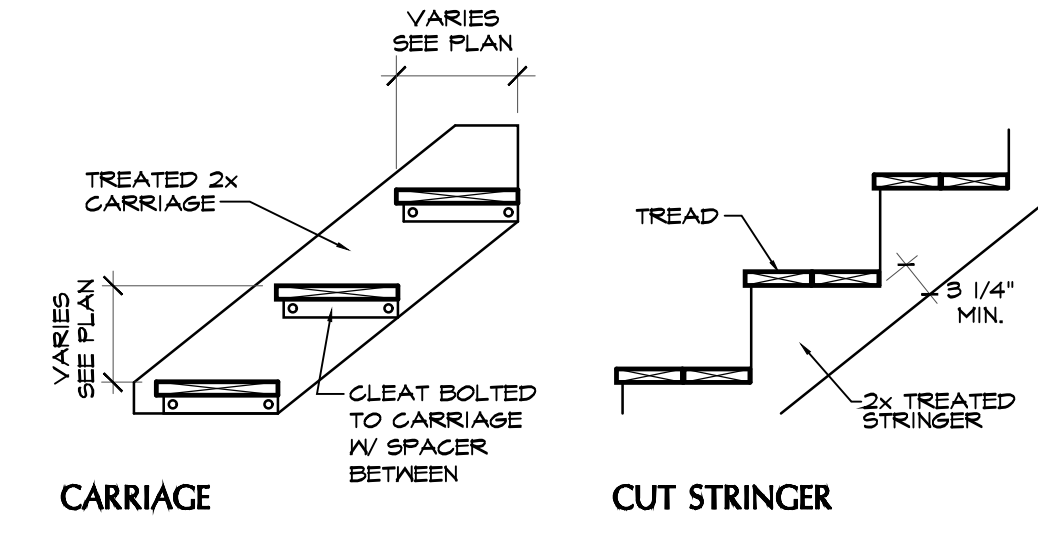
**4 TYPICAL DECK HANDRAIL DETAIL**  
 SCALE: 3/4"=1'-0"



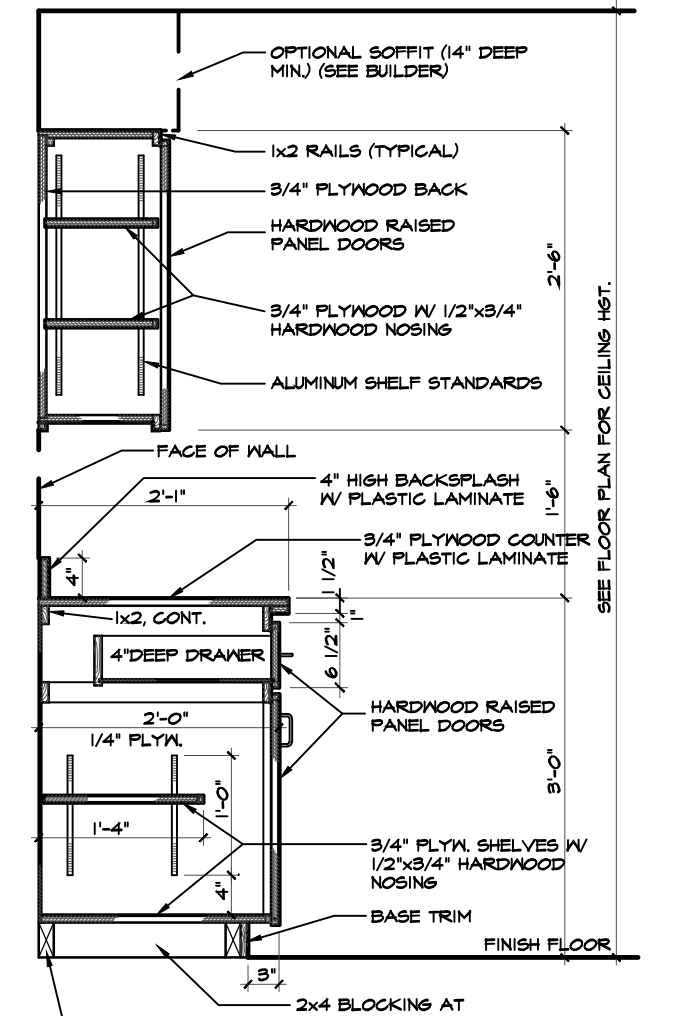
**6 DIRECT VENT FIREPLACE DETAIL**  
 SCALE: NONE



**7 TYPICAL STAIR DETAIL**  
 SCALE: NONE



**5 TYPICAL DECK STAIR DETAIL**  
 SCALE: 3/4"=1'-0"

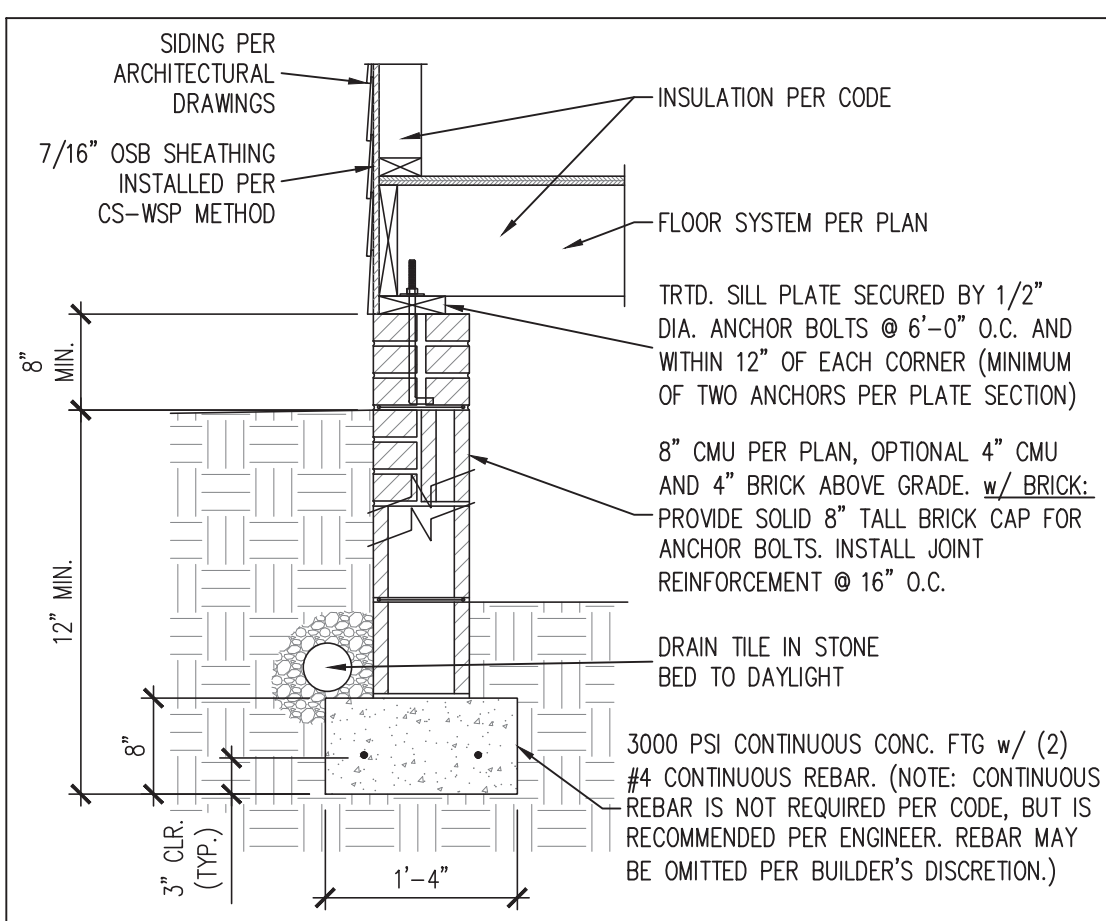


**8 CABINET DETAIL**  
 SCALE: NONE

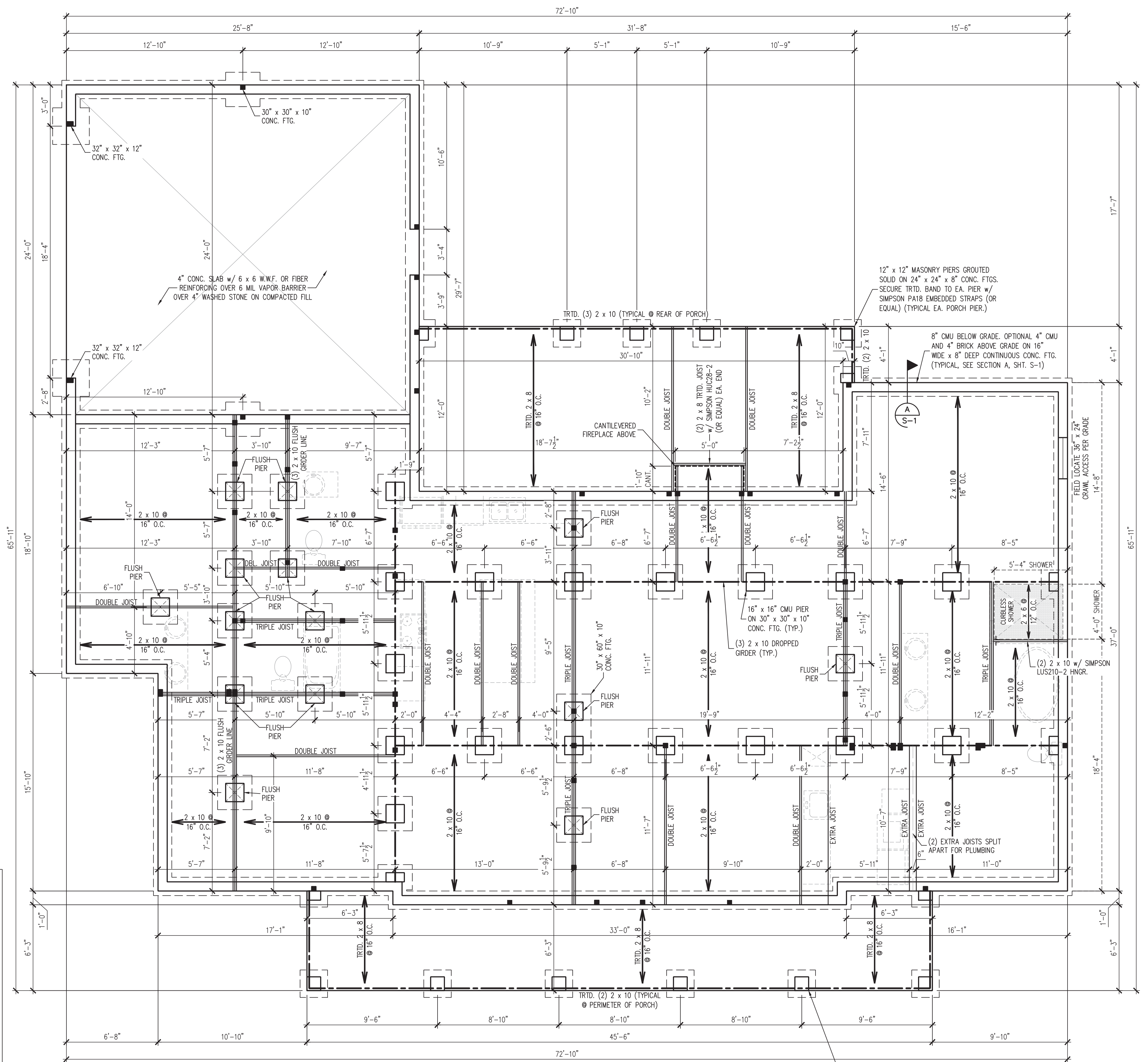
GENERAL STRUCTURAL NOTES

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM. ENGINEER'S SEAL DOES NOT APPLY TO I-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NRC), 2018 EDITION AND ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK.
- DESIGN LOADS (R301)

	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (LL)
ROOMS OTHER THAN SLEEPING ROOMS	40	10	L/360
SLEEPING ROOMS	30	10	L/360
ATTIC WITH LIMITED STORAGE	20	10	L/240
ATTIC WITHOUT STORAGE	10	10	L/360
STAIRS	40	10	L/360
DECKS	40	10	L/360
HANDRAILS	200 LB OR 50 PLF	10	L/360
PASSENGER VEHICLE GARAGES	50	10	L/360
GROUND SNOW LOAD	20		
WIND LOAD	PER SECTION R301.2. (MEAN ROOF HEIGHT <35 FEET, EXPOSURE B)		
- THE STRUCTURE IS DESIGNED FOR 120 MPH ULTIMATE DESIGN WIND SPEEDS.
- WALL CLADDING DESIGNED FOR +15.5 PSF AND -20 PSF (+/- INDICATE POSITIVE / NEGATIVE PRESSURE (TYP)).
- ROOF CLADDING DESIGNED FOR +14.2 PSF AND -18 PSF FOR ROOF PITCHES 7/12 TO 12/12 AND +10 PSF AND -36 PSF FOR ROOF PITCHED 2.25/12 TO 7/12.
- THE POSITIVE AND NEGATIVE DESIGN PRESSURE FOR DOORS AND WINDOWS FOR A MEAN ROOF HEIGHT OF 35 FEET OR LESS IS 25 PSF.
- FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT ENGINEER IF ALLOWABLE BEARING CAPACITY CAN NOT BE ACHIEVED.
- FOUNDATION ANCHORAGE TO COMPLY WITH SECTION R403.1.6 OF THE 2018 NRC.
- FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING FOUNDATION SHALL HAVE ALL VEGETATION, TOP SOIL, AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO 95% TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL. A 4" THICK BASE COURSE CONSISTING OF CLEAN GRADED SAND OR GRAVEL SHALL BE PLACED. A BASE COURSE IS NOT REQUIRED WHERE A CONCRETE SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP 1, ACCORDING TO THE UNITED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405.1 OF THE NRC, 2018 EDITION.
- CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NRC, 2018 EDITION. CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI. CONCRETE REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. WELDED WIRE FABRIC SHALL BE ASTM A185. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS.
- MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/TMS 402. MORTAR SHALL CONFORM TO ASTM C270.
- THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. PIERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR S MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
- THE CENTER OF EACH PIER SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH ORDER SHALL BEAR IN THE MIDDLE THIRD OF EA. PIER.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE 2018 NRC, OR IN ACCORDANCE WITH ACI 318, ACI 332, NCMAT TR68-A OR ACE 530/ASCE 5/TMS 402. MASONRY FOUNDATION WALLS SHALL BE REINFORCED PER TABLE R404.1.1(1), R404.1.1(2), R404.1.1(3), OR R404.1.1(4) OF THE 2018 NRC. CONCRETE FOUNDATION WALLS SHALL BE REINFORCED PER TABLE R404.1.1(5) OF THE NRC, 2018 EDITION. STEP FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16" O.C. WHERE GRADE PERMITS (UNO).
- ALL FRAMING LUMBER SHALL BE SPF #2 AND ALL TREATED LUMBER SHALL BE SYP #2 (UNO).
- LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MIN. PROPERTIES: Fb = 2600 PSI, Fv = 285 PSI, E = 1900000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
- ALL LOAD BEARING HEADERS SHALL CONFORM TO TABLES R602.7(1) AND R602.7(2) OF THE 2018 NRC UNLESS NOTED OTHERWISE ON THE PLANS. ALL HEADERS SHALL BE SUPPORTED WITH (1) JACK STUD AND (1) KING STUD EACH END (UNO). SECURE THE FIRST KING STUD EACH SIDE OF THE HEADER TO THE HEADER WITH (4) 16d END-NAILS. INSTALL KING STUDS PER SECTION R602.7.5 OF THE 2018 NRC (UNO).

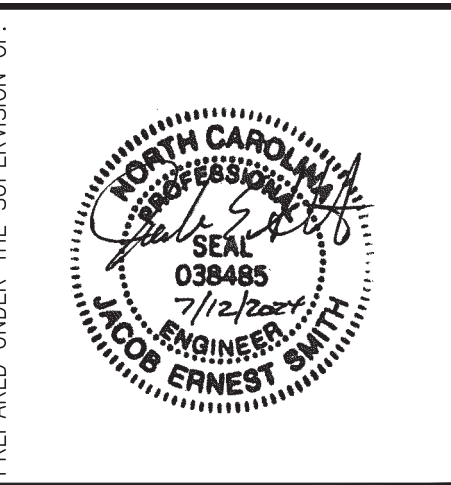


SECTION A  
SCALE: 3/4" = 1'-0"  
TYPICAL CRAWL SPACE FOUNDATION



**CRAWL SPACE VENTILATION CALCULATION**  
 2319 SQ. FT. OF CRAWL SPACE DIVIDED BY 150 EQUALS 15.46 SQ. FT. OF NET FREE AREA REQUIRED. SEE SECTION R408.1.6 OF THE 2018 NRC (2015 IRC).  
 FREE VENT AREA MAY BE REDUCED TO 1/1500 IF AN APPROVED VAPOR BARRIER IS INSTALLED OVER 100% OF THE CRAWL FLOOR AND VENTS ARE INSTALLED TO PERMIT CROSS-VENTILATION OF CRAWL SPACE.  
 SEE SECTION R408.1.1 OF THE 2018 NRC.

- CRAWL SPACE STRUCTURAL NOTES**
- ALL FRAMING LUMBER TO BE #2 SPF (UNO). ALL TREATED LUMBER TO BE #2 SYP (UNO).
  - INSTALL AN EXTRA OR DOUBLE JOIST UNDER WALLS PARALLEL TO THE FLOOR JOISTS WHERE NOTED ON THE PLANS.
  - INSTALL 1/2" ANCHOR BOLTS 6'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. (MIN (2) ANCHORS PER PLATE SECTION.) ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO MASONRY OR CONCRETE. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
  - INSTALL JOINT REINFORCEMENT @ 16" O.C. TO SECURE MULTIPLE WYTHE FOUNDATION WALLS TOGETHER.
  - REFER TO NOTES AND DETAIL PAGES FOR ADDITIONAL INFORMATION.



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**ANDERSEN RESIDENCE**  
**LOT 6 HOBBY ROAD**  
**HARNETT COUNTY, NC**  
**TRUST CONSTRUCTION**

REVISIONS:

NO.	DESCRIPTION

DRAWN BY: HOMES UNIQUE

ENGINEERED BY: J. SMITH

SCALE: 1/4" = 1'-0" (UNO)

DATE: 7-12-2024

SHEET: 1 OF 5

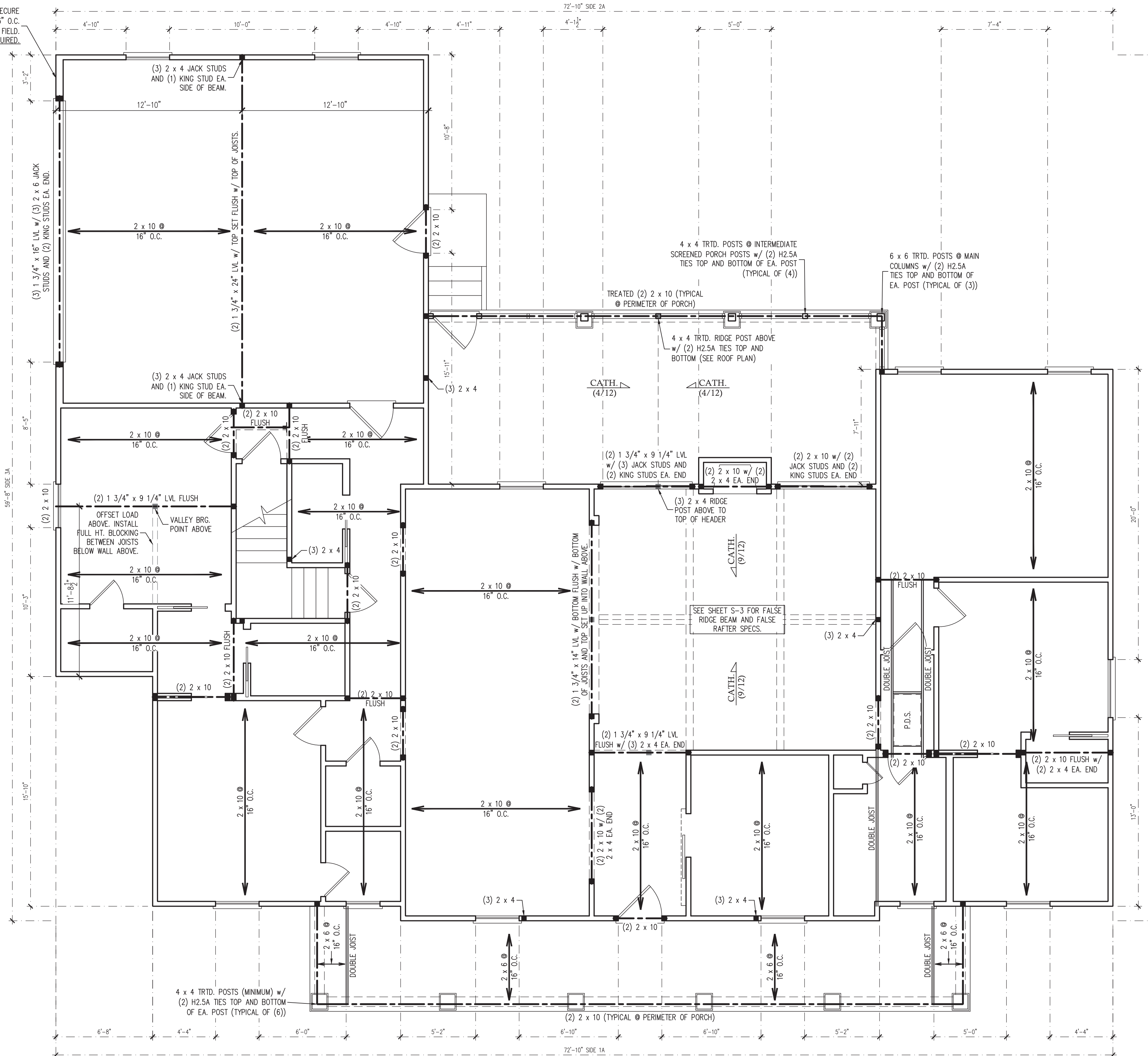
**S-1**  
**CRAWL SPACE**  
**FOUNDATION PLAN**

**LEGEND**

■	STUD COLUMN ON FLOOR ABOVE THAT REQUIRE SOLID BLOCKING TO ORDER OR FOUNDATION
○	PLUMBING OR APPLIANCES ON THE FLOOR ABOVE TO HELP ELIMINATE FRAMING CONFLICTS WITH UTILITIES. (FOR REFERENCE ONLY, SEE ARCHITECTURAL DRAWINGS)
---	NEW BEAM OR GIRDER AS NOTED
(UNO)	UNLESS NOTED OTHERWISE



BLOCK SHEATHING JOINTS AND SECURE 7/16" OSB w/ 8d NAILS @ 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD. PORTAL FRAMING IS NOT REQUIRED.



**BRACED WALL DESIGN NOTES:**

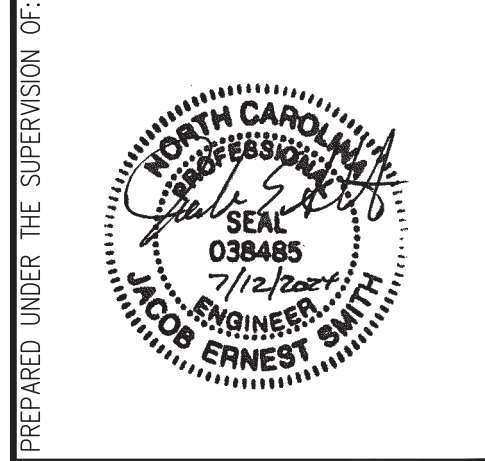
- BRACED WALL DESIGN PER SECTION R602.10 OF THE NRC 2018 EDITION.
- CS-WSP REFERS TO THE "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" WALL BRACING METHOD. 7/16" OSB SHEATHING SHALL BE INSTALLED ON ALL SHEATHABLE SURFACES OF ALL EXTERIOR WALLS ATTACHED w/ 6d COMMON NAILS OR 8d (2 1/2" LONG x 0.113" DIA.) NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD (UNO).
- SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

**BRACED WALL DESIGN SUMMARY:**

SIDE 1A	SIDE 3A
METHOD: CS-WSP	METHOD: CS-WSP/ENG. DESIGN
REQUIRED LENGTH: 8.76'	REQUIRED LENGTH: 10.4'
PROVIDED LENGTH: 49.3'	PROVIDED LENGTH: 64.25'
SIDE 2A	SIDE 4A
METHOD: CS-WSP	METHOD: CS-WSP
REQUIRED LENGTH: 8.76'	REQUIRED LENGTH: 10.4'
PROVIDED LENGTH: 49.3'	PROVIDED LENGTH: 40.9'

**FIRST FLOOR CEILING FRAMING STRUCTURAL NOTES:**

- ALL FRAMING LUMBER TO BE SPF #2 (UNO). ALL TREATED LUMBER TO BE SYP #2 (UNO).
- ALL LOAD BEARING HEADERS TO BE (2) 2 x 10 (UNO).
- WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO).
- INSTALL AN EXTRA OR DOUBLE JOIST UNDER WALLS PARALLEL TO THE JOISTS WHERE NOTED ON THE PLANS.
- REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.



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**ANDERSEN RESIDENCE  
 LOT 6 HOBBY ROAD  
 HARNETT COUNTY, NC  
 TRUST CONSTRUCTION**

REVISIONS:

NO.	DESCRIPTION

DRAWN BY: HOMES UNIQUE

ENGINEERED BY: J. SMITH

SCALE: 1/4" = 1'-0" (UNO)

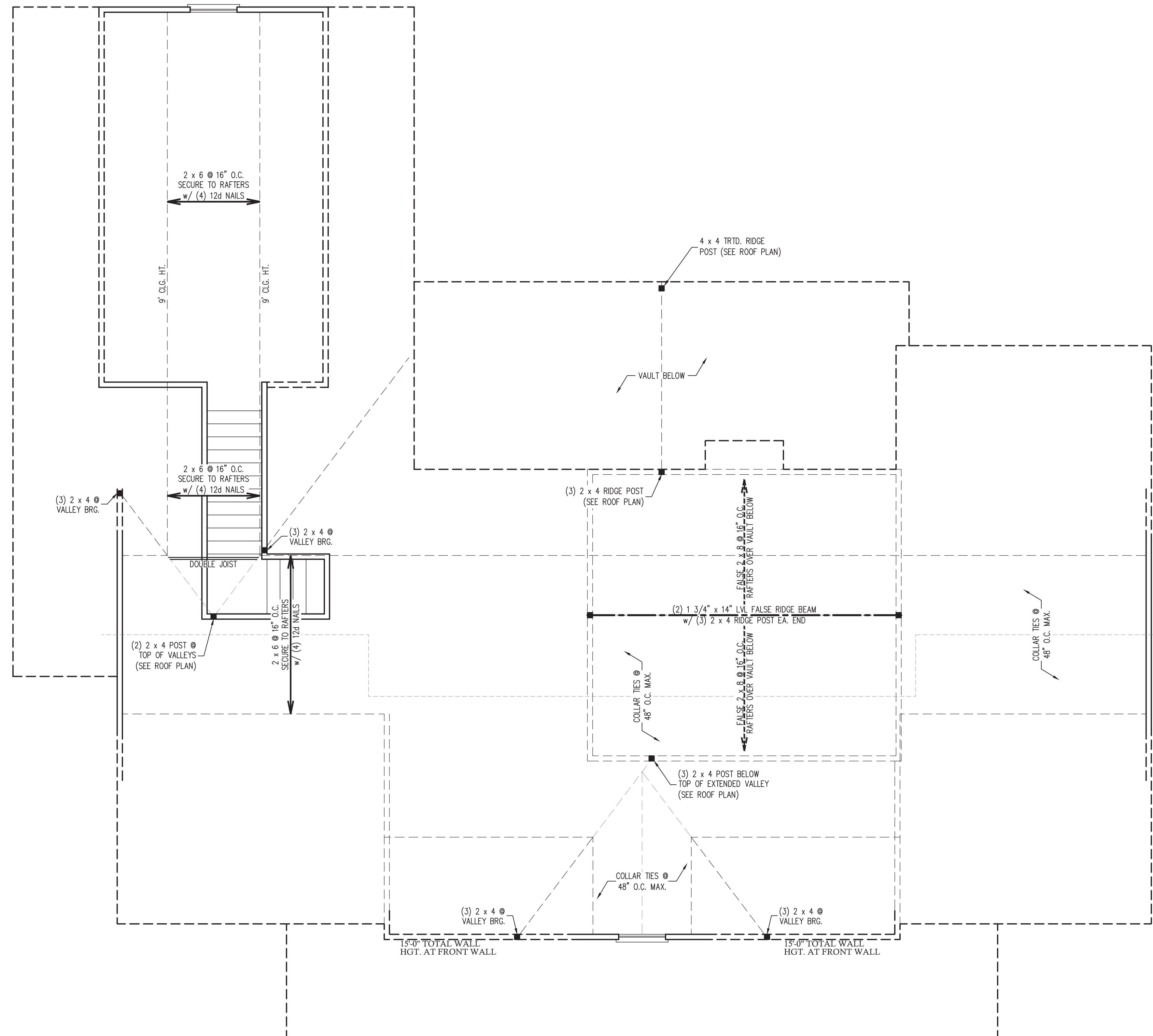
DATE: 7-12-2024

SHEET: 2 OF 5

**LEGEND**

■	STUD COLUMN AT POINT LOADS THAT REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION.
■	AT DROPPED HEADERS: (1) JACK STUD AND (1) KING STUD (UNO).
■	AT FLUSH BEAMS AND (UNO): (2) STUDS (UNO)
■	OFFSET POINT LOAD FROM FLOOR ABOVE. MUST BE SUPPORTED BY BEAM, JOIST, OR BLOCKING AS NOTED ON THE PLANS.
---	BEAM OR HEADER AS NOTED
X-X	BRACED WALL DIMENSIONS (FOR REFERENCE ONLY)
(UNO)	UNLESS NOTED OTHERWISE

**S-2  
 FIRST FLOOR  
 CEILING FRAMING  
 PLAN**



- BRACED WALL DESIGN NOTES:**
- BRACED WALL DESIGN PER SECTION R602.10 OF THE NRC 2018 EDITION.
  - PER TABLE R602.10.3 OF THE 2018 NRC, THE 2ND FLOOR IS CONTAINED WHOLLY WITHIN THE ROOF SYSTEM AND WALL BRACING ANALYSIS IS NOT REQUIRED ON THE 2ND FLOOR. IN ADDITION, THE 2ND FLOOR NEED NOT BE CONSIDERED A STORY IN THE FIRST FLOOR WALL BRACING ANALYSIS.
  - CS-WSP REFERS TO THE "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" WALL BRACING METHOD. 7/16" OSB SHEATHING SHALL BE INSTALLED ON ALL SHEATHABLE SURFACES OF ALL EXTERIOR WALLS ATTACHED w/ 6d COMMON NAILS OR 8d (2 1/2" LONG x 0.113" DIA.) NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD (UNO).
  - SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

- SECOND FLOOR CEILING FRAMING STRUCTURAL NOTES:**
- ALL FRAMING LUMBER TO BE SPF #2 (UNO). ALL TREATED LUMBER TO BE SYP #2 (UNO).
  - ALL LOAD BEARING HEADERS TO BE (2) 2 x 10 (UNO).
  - WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO).
  - INSTALL 2 x 4 COLLAR TIES @ 48" O.C. MAX. IN ALL ATTIC SPACES.
  - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.



PREPARED UNDER THE SUPERVISION OF:

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 N.C. CERTIFICATE NUMBER: P-2212



**ANDERSEN RESIDENCE  
 LOT 6 HOBBY ROAD  
 HARNETT COUNTY, NC  
 TRUST CONSTRUCTION**

REVISIONS:


DRAWN BY: HOMES UNIQUE

ENGINEERED BY: J. SMITH

SCALE: 1/4" = 1'-0" (UNO)

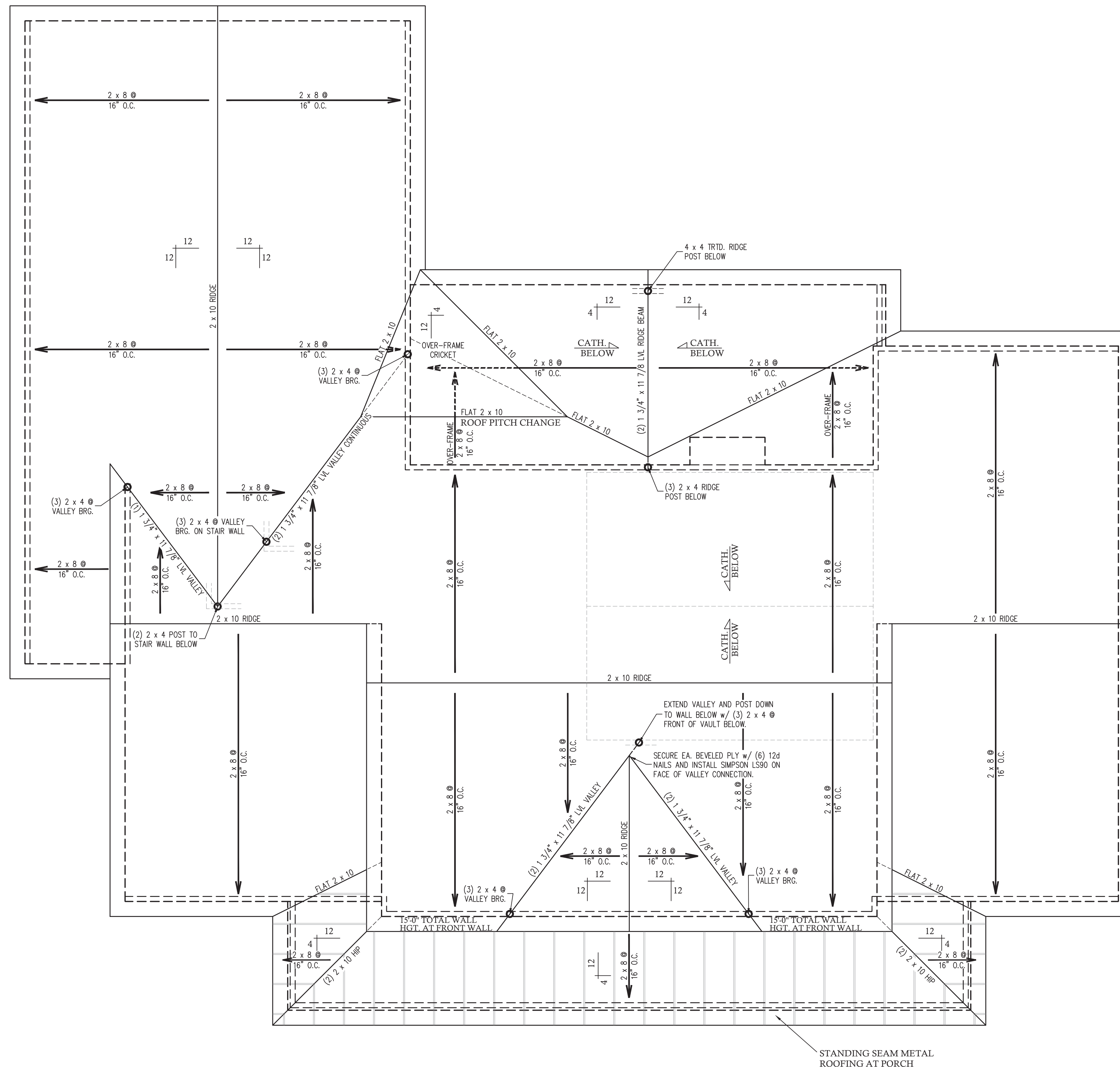
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SHEET: 3 OF: 5

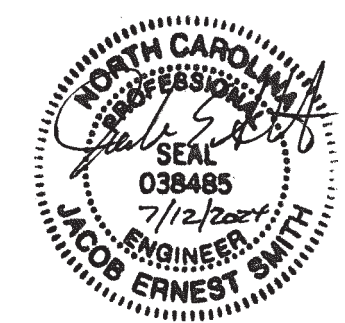
**S-3**  
**SECOND FLOOR  
 CEILING FRAMING  
 PLAN**

**LEGEND**

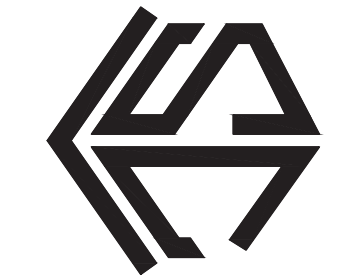
■	STUD COLUMN AT POINT LOADS THAT REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION.
■	AT DROPPED HEADERS: (1) JACK STUD AND (1) KING STUD (UNO).
■	AT FLUSH BEAMS AND (UNO): (2) STUDS (UNO)
---	BEAM OR HEADER AS NOTED
(UNO)	UNLESS NOTED OTHERWISE



- ROOF FRAMING STRUCTURAL NOTES:
1. ALL FRAMING LUMBER TO BE #2 SPF (UNO).
  2. SHEATH ROOF w/ 7/16" OSB SHEATHING SECURED w/ 8d NAILS @ 6" O.C. ALONG EDGES AND 12" O.C. IN THE FIELD.
  3. CIRCLES DENOTE POSTS FOR ROOF SUPPORT AS NOTED.
  4. STICK FRAME OVER-FRAMED ROOF SECTIONS w/ 2 x 8 RIDGES, 2 x 6 RAFTERS @ 16" O.C. AND FLAT 2 x 10 VALLEYS.
  5. HIP SPICES ARE TO BE SPACED 8'-0" O.C. MINIMUM. FASTEN MEMBERS WITH (3) ROWS OF 12d NAILS @ 16" O.C. HURRICANE TIES @ 32" O.C. MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING IF REQUIRED. SECURE RAFTERS TO FLAT VALLEYS WITH A MIN. OF (6) 12d TOE NAILS.
  6. FASTEN FLAT VALLEYS TO RAFTERS WITH SIMPSON H2.5A HURRICANE TIES @ 32" O.C. MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING IF REQUIRED. SECURE RAFTERS TO FLAT VALLEYS WITH A MIN. OF (6) 12d TOE NAILS.
  7. INSTALL (1) SIMPSON H2.5A HURRICANE TIE (OR EQUAL) @ EA. RAFTER BEARING.
  8. INSTALL (2) SIMPSON H2.5A HURRICANE TIES (OR EQUAL) @ TRUE VALLEY BEARING POINTS AND AT RIDGE BEAM (OVER EXTERIOR VAULTS) BEARING POINTS.
  9. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.



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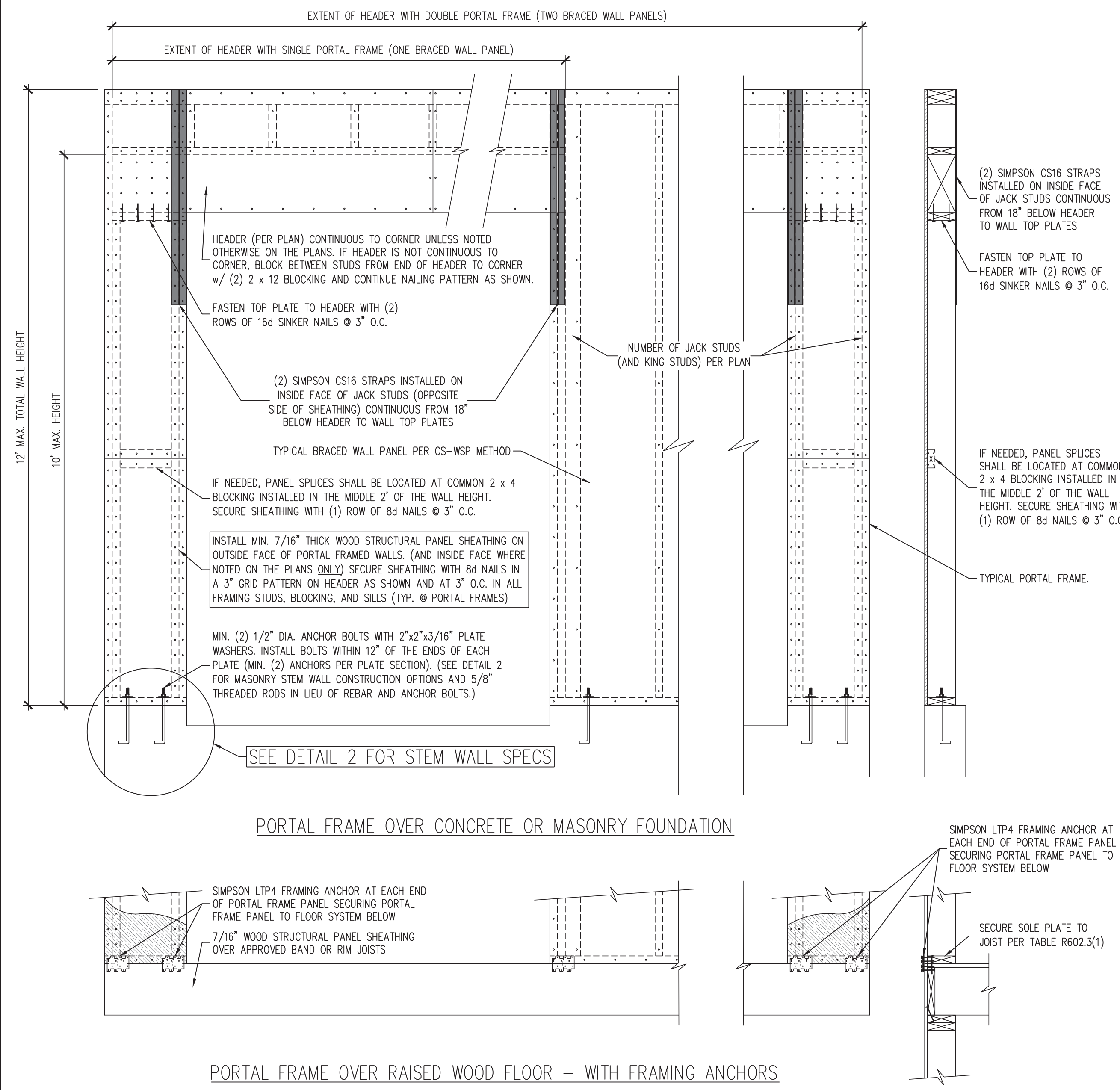
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**LOT 6 HOBBY ROAD**  
**HARNETT COUNTY, NC**  
**TRUST CONSTRUCTION**

REVISIONS:

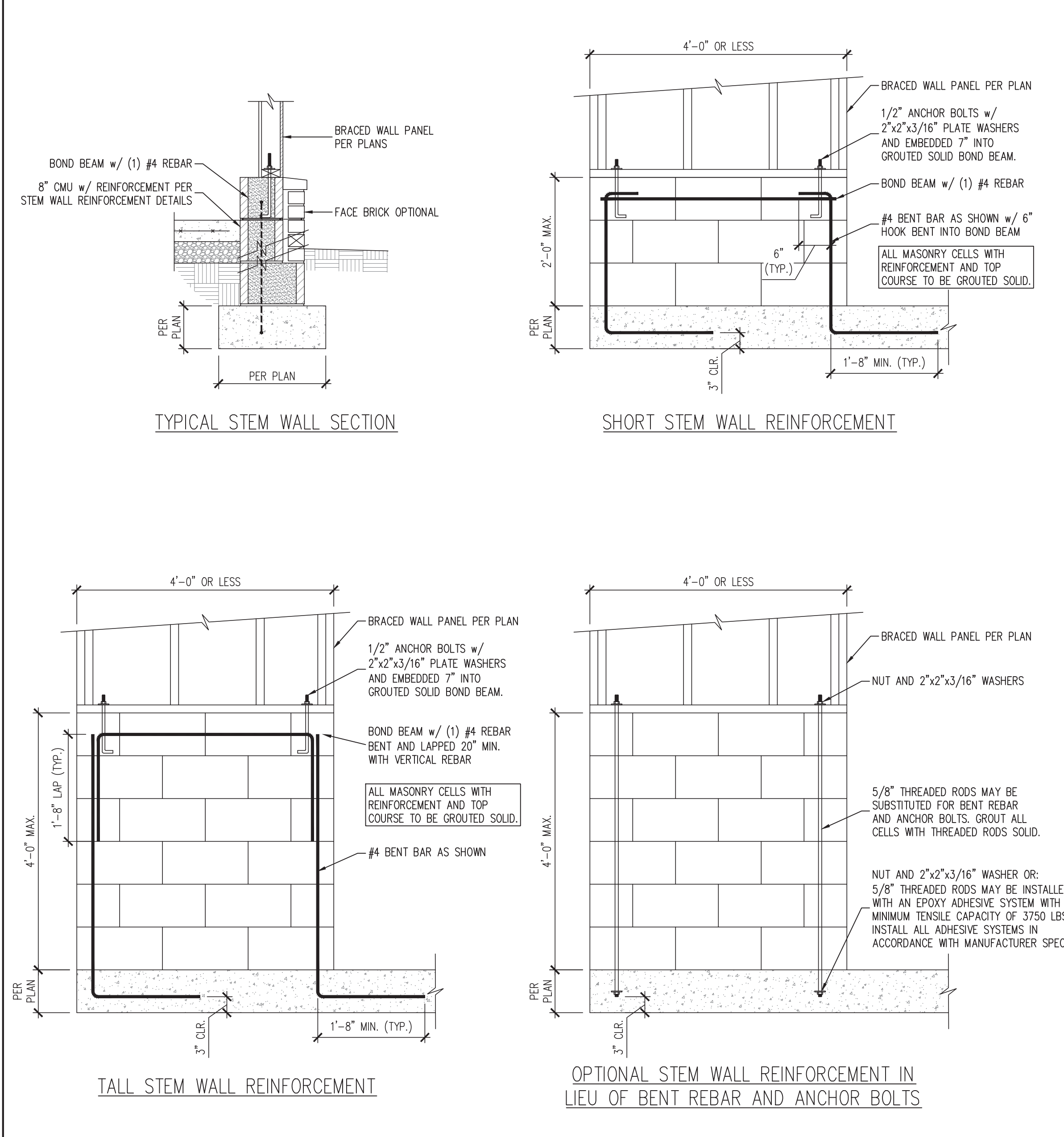

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 ENGINEERED BY: J. SMITH  
 SCALE: 1/4" = 1'-0" (UNO)  
 DATE: 7-12-2024  
 SHEET: 4 OF: 5

**ROOF FRAMING PLAN**  
 NOTE 1 - ALL ROOF PITCHES TO BE 9/12 UNLESS NOTED OTHERWISE  
 NOTE 2 - ALL ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

**S-4**  
**ROOF FRAMING PLAN**

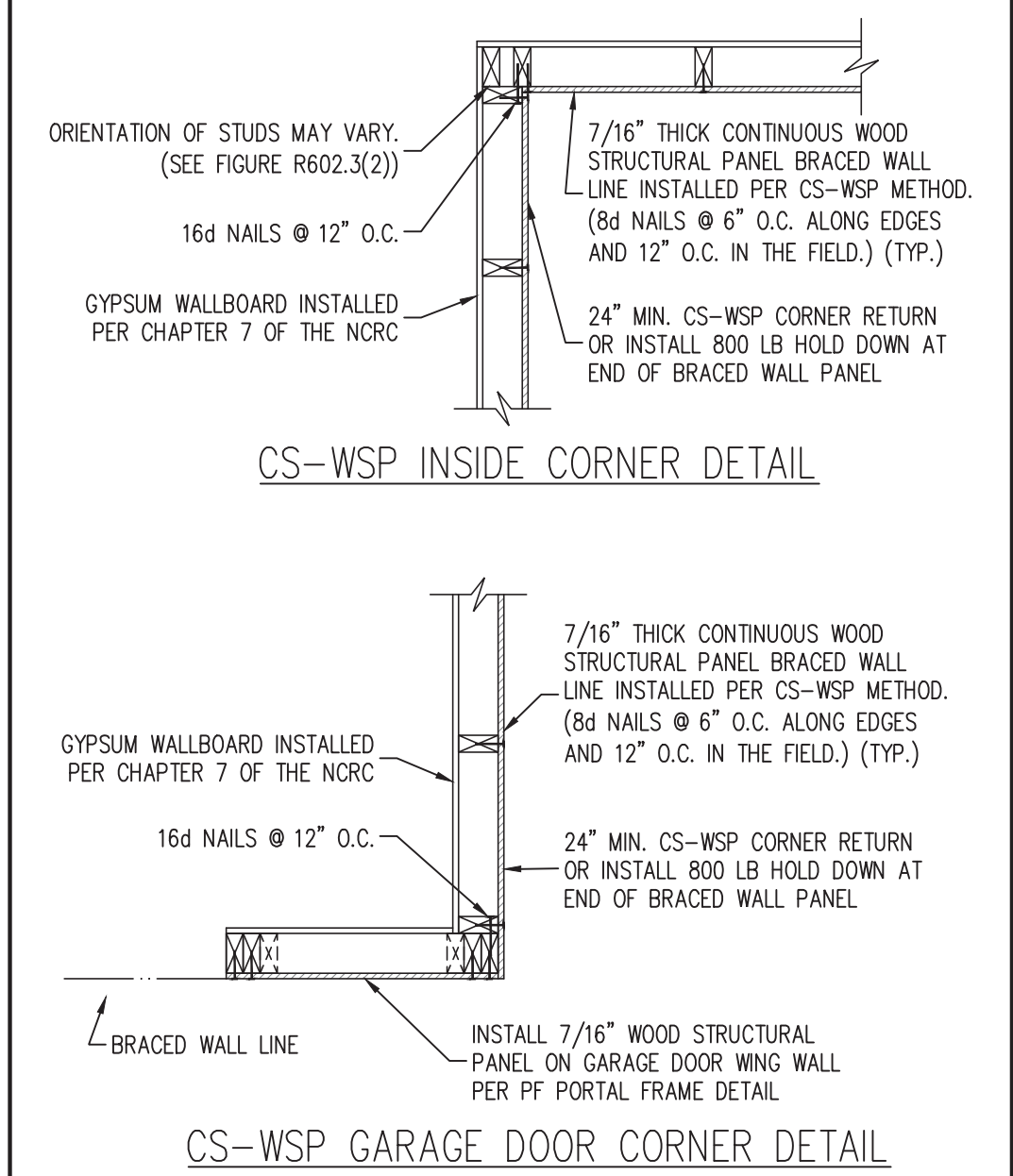
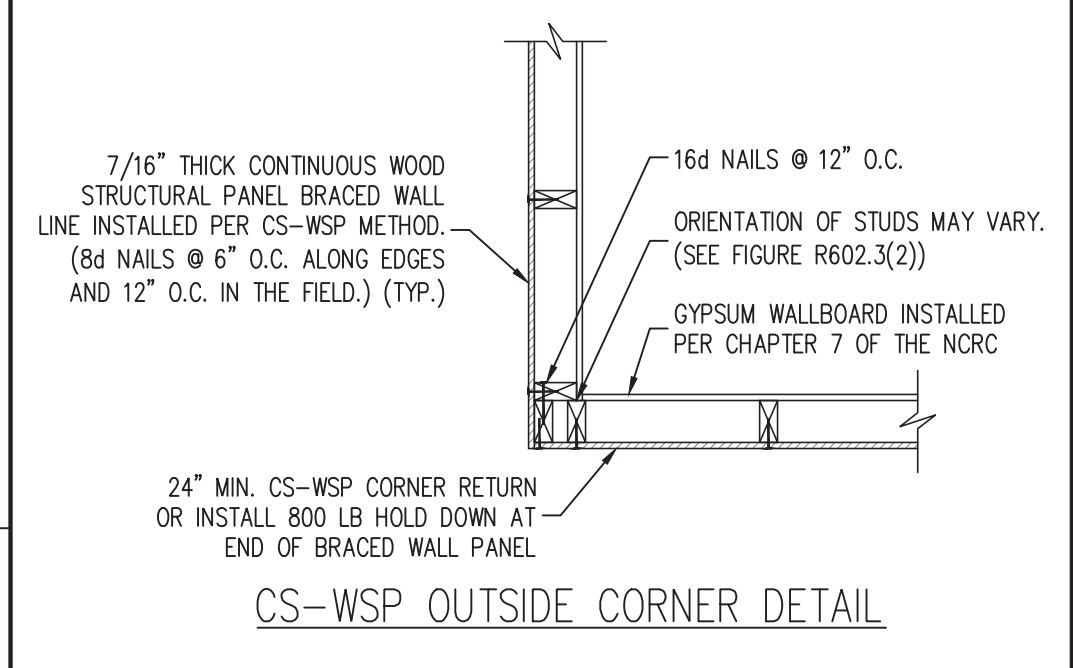


1 PF PORTAL FRAME DETAIL  
SCALE: 3/4" = 1'-0" (REFERENCE FIGURE R602.10.1)

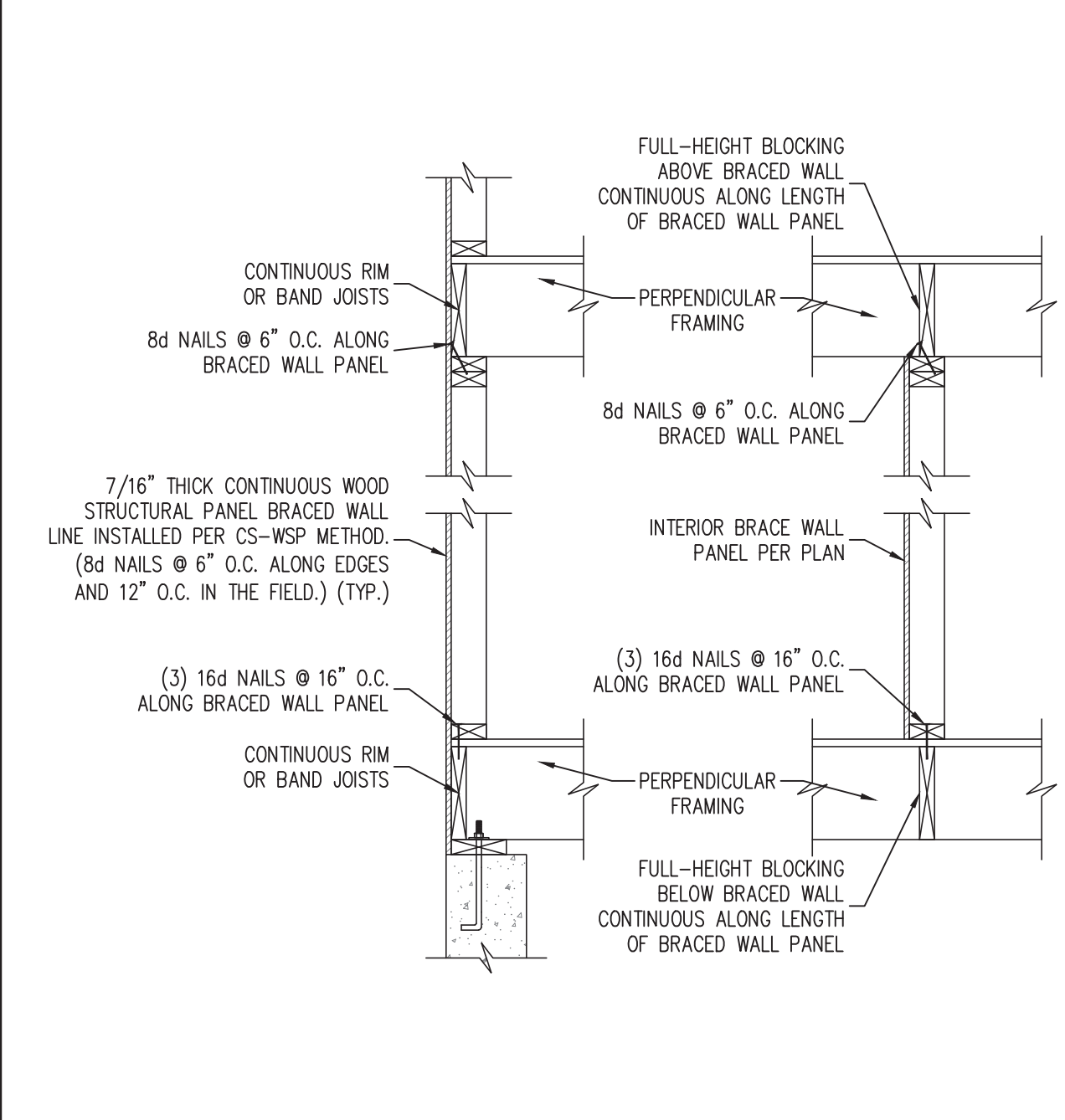


2 MASONRY STEM WALL DETAILS FOR WALLS 48" LONG OR LESS  
SCALE: 3/4" = 1'-0" (REFERENCE FIGURE R602.10.4.3)

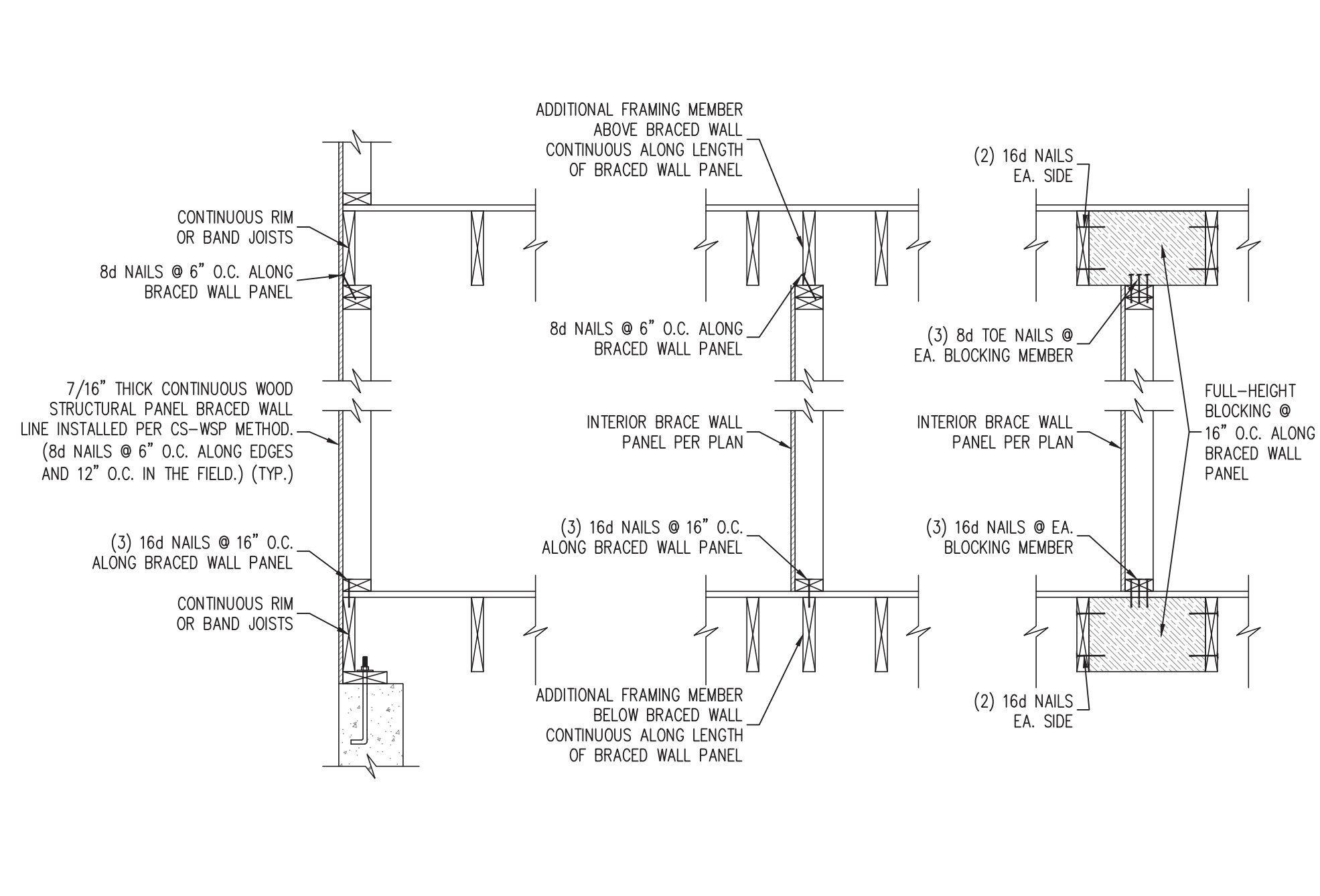
- GENERAL WALL BRACING NOTES:
- WALL BRACING DESIGNED IN ACCORDANCE WITH CHAPTER 6 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE (NRC). TABLES AND FIGURES REFERENCED ARE FROM THE 2018 NRC. REFER TO THE 2018 NRC FOR ADDITIONAL INFORMATION AS NEEDED.
  - SEE STRUCTURAL SHEETS FOR THE BRACED WALL DESIGN SUMMARY WHICH SPECIFIES THE TOTAL AMOUNT OF BRACING REQUIRED AND PROVIDED ALONG EACH BRACED WALL LINE ON EACH FLOOR (WHERE REQUIRED), THE LENGTH AND LOCATION OF BRACED WALLS, HOLD DOWN(S) TYPE AND LOCATIONS, AND ANY SPECIAL NOTES OR REQUIREMENTS DETERMINED BY ENGINEERED DESIGN ARE INCLUDED ON EACH STRUCTURAL FLOOR PLAN (WHERE REQUIRED).
  - ALL EXTERIOR WALLS ARE TO BE SHEATHED ON THE EXTERIOR FACE WITH 7/16" OSB WOOD STRUCTURAL PANELS IN ACCORDANCE WITH THE CS-WSP METHOD AS SPECIFIED IN SECTION R602.10.3 OF THE 2018 NRC UNLESS NOTED OTHERWISE (UNO).
  - CS-WSP REFERS TO THE "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" WALL BRACING METHOD. 7/16" OSB SHEATHING SHALL BE INSTALLED ON ALL SHEATHABLE SURFACES OF ALL EXTERIOR WALLS ATTACHED w/ 6d COMMON NAILS OR 8d (2 1/2" LONG x 0.113" DIAMETER) NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD (UNO).
  - THE INTERIOR SIDE OF ALL EXTERIOR WALLS AND BOTH SIDES OF INTERIOR WALLS SHALL BE SHEATHED WITH 1/2" GYPSUM WALL BOARD. WHEN NOT USING BRACING METHOD "GB", GYPSUM WALL BOARD SHALL BE FASTENED PER TABLE R702.3.5. BRACING METHOD "GB" WALL BOARD SHALL BE FASTENED PER TABLE R602.10.1.
  - "GB" REFERS TO THE "GYPSUM BOARD" WALL BRACING METHOD. WHERE NOTED ON THE PLANS, 1/2" (MIN.) GYPSUM WALL BOARD SHALL BE INSTALLED ON BOTH SIDES OF THE BRACED WALL FASTENED WITH 1 1/4" #6 SCREWS OR 1 5/8" 5d COOLER NAILS SPACED 7" O.C. ALONG PANEL EDGES AND 7" O.C. ALONG INTERMEDIATE SUPPORTS (UNO). THE REQUIRED BRACED WALL LENGTHS FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE ARE INTERPOLATED PER TABLE R602.10.3. METHOD CS-WSP CONTRIBUTES ITS ACTUAL LENGTH. METHOD GB CONTRIBUTES .5 ITS ACTUAL LENGTH, AND METHOD PF CONTRIBUTES 1.5 TIMES ITS ACTUAL LENGTH.



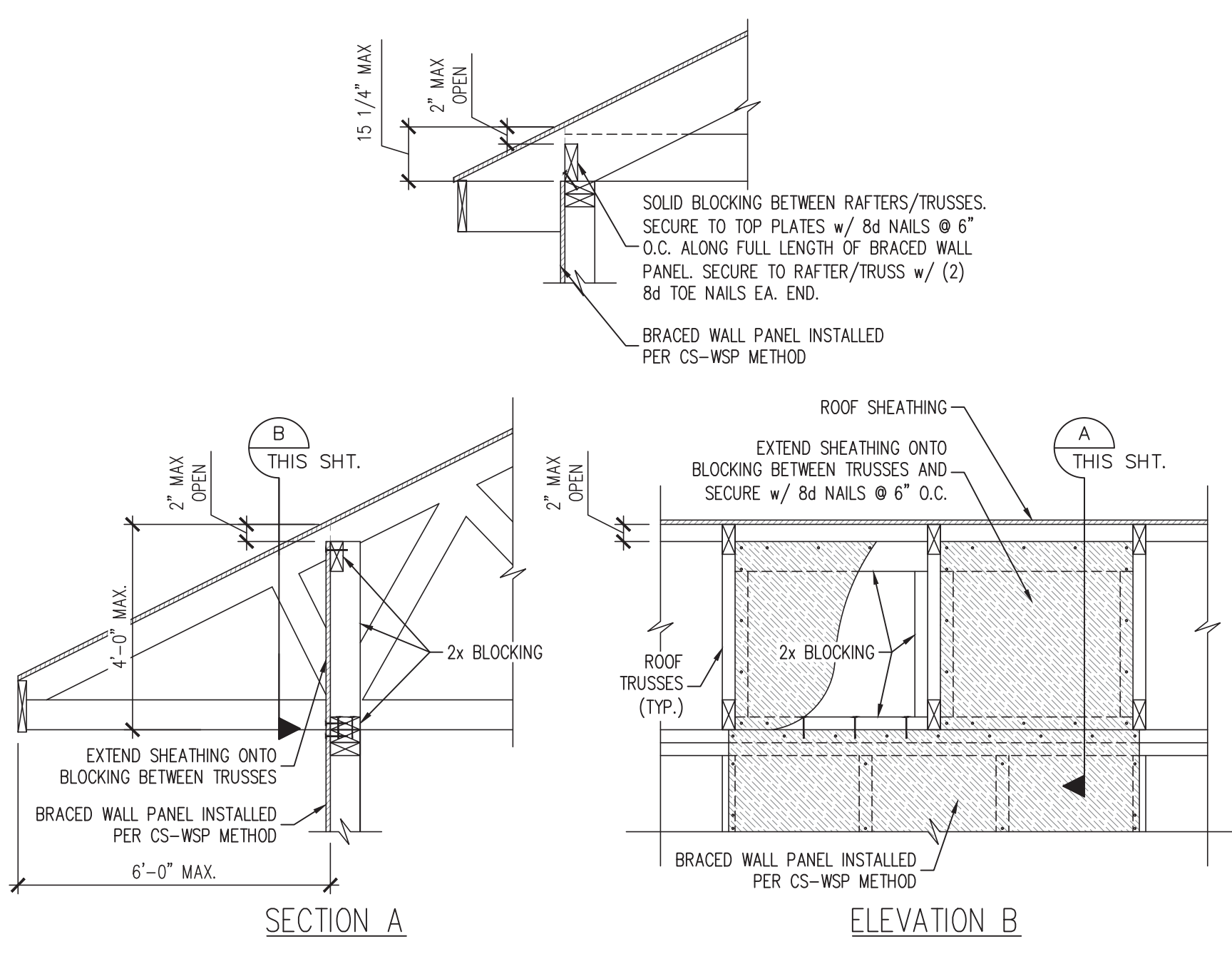
4 CS-WSP INSIDE CORNER DETAIL  
SCALE: 3/4" = 1'-0" (REFERENCE FIGURES R602.10.3(4) AND (5))



3 BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING  
SCALE: NTS (REFERENCE FIGURE R602.10.4.4(1))

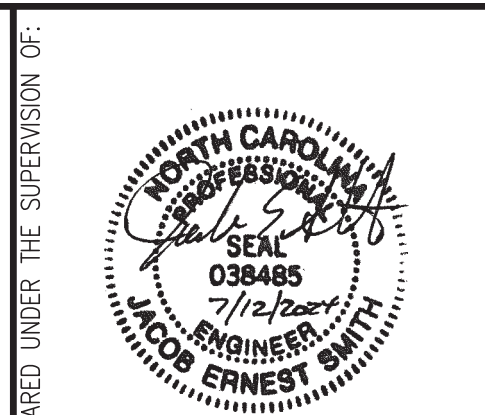


4 BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING  
SCALE: NTS (REFERENCE FIGURE R602.10.4.4(2))

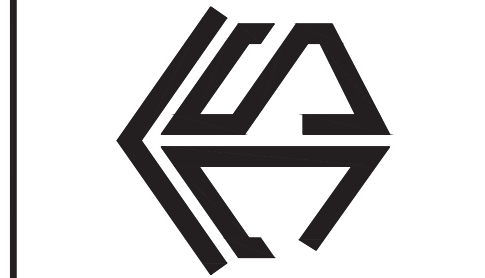


5 BRACED WALL PANEL CONNECTION TO PERPENDICULAR RAFTERS OR TRUSSES  
SCALE: NTS (REFERENCE FIGURES R602.10.4.5(1) AND (3))

6 TYPICAL EXTERIOR CORNER FRAMING DETAILS  
SCALE: 3/4" = 1'-0" (REFERENCE FIGURES R602.10.3(4) AND (5))



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ANDERSEN RESIDENCE  
LOT 6 HOBBY ROAD  
HARNETT COUNTY, NC  
TRUST CONSTRUCTION

REVISIONS:


DRAWN BY: HOMES UNIQUE  
ENGINEERED BY: J. SMITH  
SCALE: 1/4" = 1'-0" (UNO)  
DATE: 7-12-2024  
SHEET: 5 OF 5

S-5  
WALL BRACING  
DETAILS AND NOTES