

Residence for Dave and Trish Andersen Lot 6 - Hobby Road Harnett County, North Carolina

ORIGINAL DESIGN BY
MADDEN
HOME DESIGN
1375 Rushing Road
Denham Springs, Louisiana 70726
Phone: 225-791-2912

GENERAL NOTES

- ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE, 2018 EDITION (HEREWITH SHOWN AS N.C.S.R.B.C.).
- DIMENSIONS SHOWN ON DRAWINGS GOVERN OVER SCALE.
- STUD WALL DESIGN SHALL CONFORM TO ALL N.C.S.R.B.C. REQUIREMENTS.
- CONTRACTOR SHALL USE TEMPERED SAFETY GLASS IN ALL LOCATIONS AS REQUIRED BY N.C.S.R.B.C., 2018 EDITION, SECTION R308.4
- ANY HABITABLE ROOM SHALL MEET ALL LIGHT/VENTILATION AND EGRESS AS REQUIRED BY N.C.S.R.B.C., 2018 EDITION, SECTION R-310.2
- ALL WALLS SHOWN ON FLOOR PLANS ARE 2x4 FRAME UNLESS NOTED OTHERWISE.
- ALL ANGLED WALLS SHOWN ON FLOOR PLANS ARE 45° UNLESS NOTED OTHERWISE.
- ALL WINDOWS SHALL HAVE A MINIMUM DPI RATING OF 25. BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT UNITS INSTALLED MEET THESE REQUIREMENTS AS PER N.C.S.R.B.C., 2018 EDITION, TABLE 301.2(6)
- ENERGY EFFICIENCY REQUIREMENTS FOR THE SPECIFIC CLIMATE ZONE WHERE STRUCTURE IS BEING BUILT SHALL BE IN ACCORDANCE WITH CHAPTER 11 OF THE NORTH CAROLINA RESIDENTIAL BUILDING CODE, 2018 EDITION, AS SHOWN IN TABLES N1101.7 (FOR N.C.) AND N1102.1.

INDEX TO DRAWINGS

- COVER SHEET
- FRONT & LEFT SIDE ELEVATIONS
 - RIGHT SIDE ELEVATION & CROSS SECTION
 - REAR ELEVATIONS
 - FIRST FLOOR & PARTIAL SECOND FLOOR PLANS
 - FIRST FLOOR ELECTRICAL PLAN
 - CONSTRUCTION DETAILS
- S-1 FOUNDATION PLAN & CRAWL SPACE FRAMING PLAN
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S-3 SECOND FLOOR CEILING FRAMING PLAN
S-4 ROOF FRAMING PLAN
S-5 STRUCTURAL DETAILS & SPECIFICATIONS

RESIDENTIAL BUILDING CODE SUMMARY

- PLANS ARE DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.
- HOUSE IS DESIGNED FOR 120 MPH, 3 SECOND GUST (93 MPH FASTEST WIND), EXPOSURE B.
- ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER AND SHALL EXTEND 7" MIN. INTO MASONRY OR CONCRETE. BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF ALL PLATE SPLICES AND CORNERS.
- MEAN ROOF HEIGHT: 23'-5"
- COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS:
MEAN ROOF HGT: UP TO 30' 30'-1" TO 35' 35'-1" TO 40' 40'-1" TO 45'

ZONE 1	16.5	-18.0	17.3	-18.9	18.0	-19.6	18.5	-20.2
ZONE 2	16.5	-21.0	17.3	-22.1	18.0	-22.9	18.5	-23.5
ZONE 3	16.5	-21.0	17.3	-22.1	18.0	-22.9	18.5	-23.5
ZONE 4	18.0	-19.5	18.9	-20.5	19.6	-21.3	20.2	-21.8
ZONE 5	18.0	-24.1	18.9	-25.3	19.6	-26.3	20.2	-27.0

- MINIMUM VALUES FOR ENERGY COMPLIANCE: ZONE 3
- MAXIMUM GLAZING U-FACTOR: 0.35
- INSULATING VALUES: CEILING: R-30* / WALLS: R-15 / FLOOR: R-19 / SLABS: R-0. CODE REFERENCE: TABLE N1102.1 (*R-30 ONLY IF UNCOMPRESSED, R-38 REQUIRED IF COMPRESSED)

MATERIALS LEGEND

	EARTH/COMPACT FILL		FINISH WOOD
	CONCRETE		ROUGH WOOD
	BRICK		BLOCKING
	CONCRETE BLOCK/STONE		PLYWOOD
	STEEL		BATT INSULATION
	ALUMINUM		RIGID INSULATION

TOILET ACCESSORIES LEGEND

PROVIDE 2x4 BLOCKING IN THE WALL FOR THE FOLLOWING:

TB	TOWEL BAR
TP	TOILET PAPER HOLDER
TR	TOWEL RING
MC	MEDICINE CABINET
MR	MAGAZINE RACK

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DUE TO VARYING LOCAL AND STATE CODES, HOMES UNIQUE CANNOT BE HELD RESPONSIBLE FOR ANY REQUIREMENTS THAT EXISTING SITE CONDITIONS MAY CREATE.

AREA CALCULATIONS

	HEATED (SQ. FT.)	UNHEATED (SQ. FT.)	UNFINISHED (SQ. FT.)
BASEMENT:	N/A	GARAGE: 616	BASEMENT: N/A
1ST FLOOR:	2318	FRONT PORCH: 291	ATTIC STORAGE: 363
2ND FLOOR:	N/A	SCREEN PORCH: 373	ATTIC: N/A
REC ROOM:	N/A	DECK: N/A	STORAGE: N/A
		STORAGE: N/A	
		BRICK: N/A	
ATTIC:	N/A		OVERALL DIMENSIONS:
TOTAL:	2318	TOTAL: 1286	WIDTH: 72'-10"
			DEPTH: 65'-11"

FOUNDATION VENTING CALCULATIONS

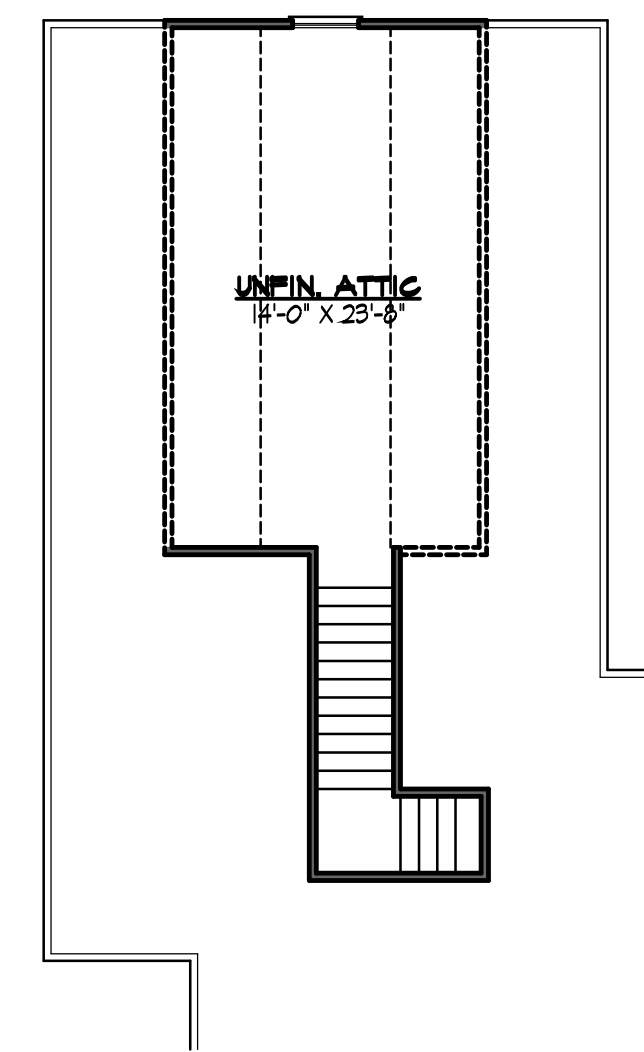
(REFERENCE: N.C.S.R.B.C., 2018 EDITION, SECTION R408)
THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN ONE (1) SQUARE FOOT FOR EACH 150 SQUARE FEET OF CRAWL SPACE GROUND AREA, AND ONE FOUNDATION VENT SHALL BE WITHIN THREE (3) FEET OF EACH CORNER OF THE BUILDING.

EXCEPTION: THE TOTAL AREA OF VENTILATION OPENINGS MAY BE REDUCED TO 1/1500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS TREATED WITH AN APPROVED VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED SO AS TO PROVIDE CROSS-VENTILATION.

2318 SQUARE FEET OF CRAWL SPACE AREA / 150 =
15.45 SQUARE FEET OF NET FREE AREA REQUIRED

ATTIC VENTILATION REQUIREMENTS

NATURAL ROOF VENTILATION CALCULATIONS	MECHANICAL ROOF VENTILATOR CALCULATIONS
3604 SQ. FT. = 24.03 SQ. FT. VENT REQ'D. 150	3604 SQ. FT. = 12.02 SQ. FT. VENT REQ'D. 300
BUILDER TO PROVIDE APPROPRIATE VENTILATING AS REQUIRED PER CODE	BUILDER TO PROVIDE APPROPRIATE VENTILATING AS REQUIRED PER CODE



Partial 2nd



1st

24-2318



residential design

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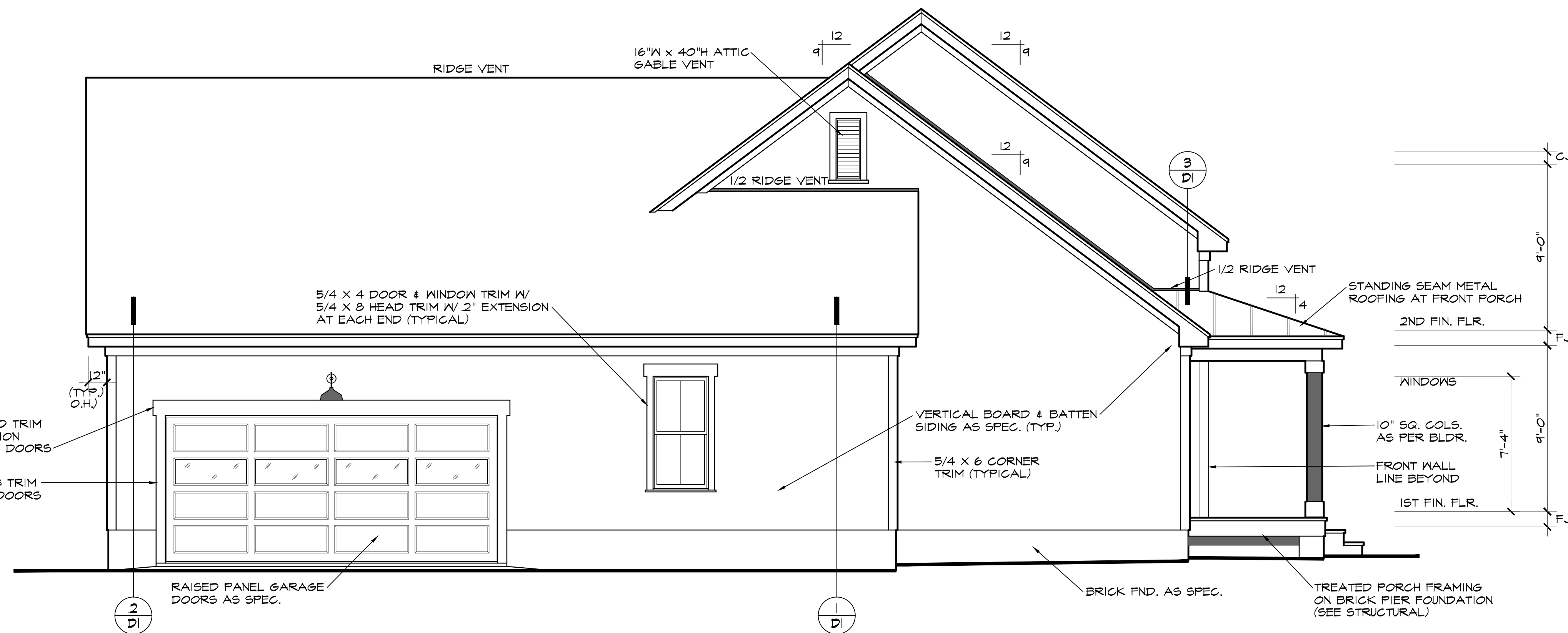
PROJECT NUMBER	6014
PLAN NAME	ANDERSEN-1
PLAN NUMBER	24-2318

RESIDENCE FOR DAVE & TRISH ANDERSEN
 LOT 6 - HOBBY ROAD
 HARNETT COUNTY, NORTH CAROLINA

DRAWN BY	J.T.S.
CHECKED BY	J.A.D.
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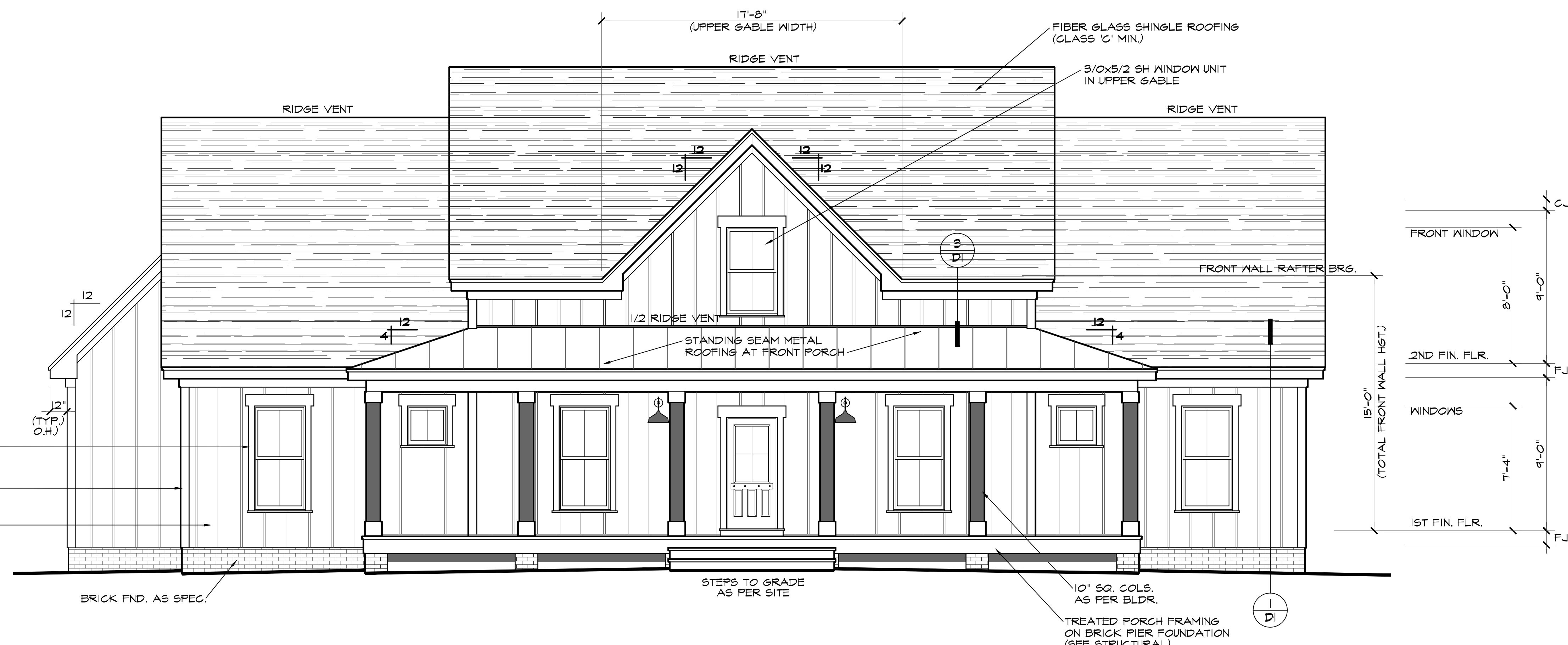
SHEET
1
 OF 5



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE



FRONT ELEVATION

SCALE: 1/4"=1'-0"

NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE

NOTE - PROVIDE RAILS AT PORCH ONLY IF REQUIRED BY CODE

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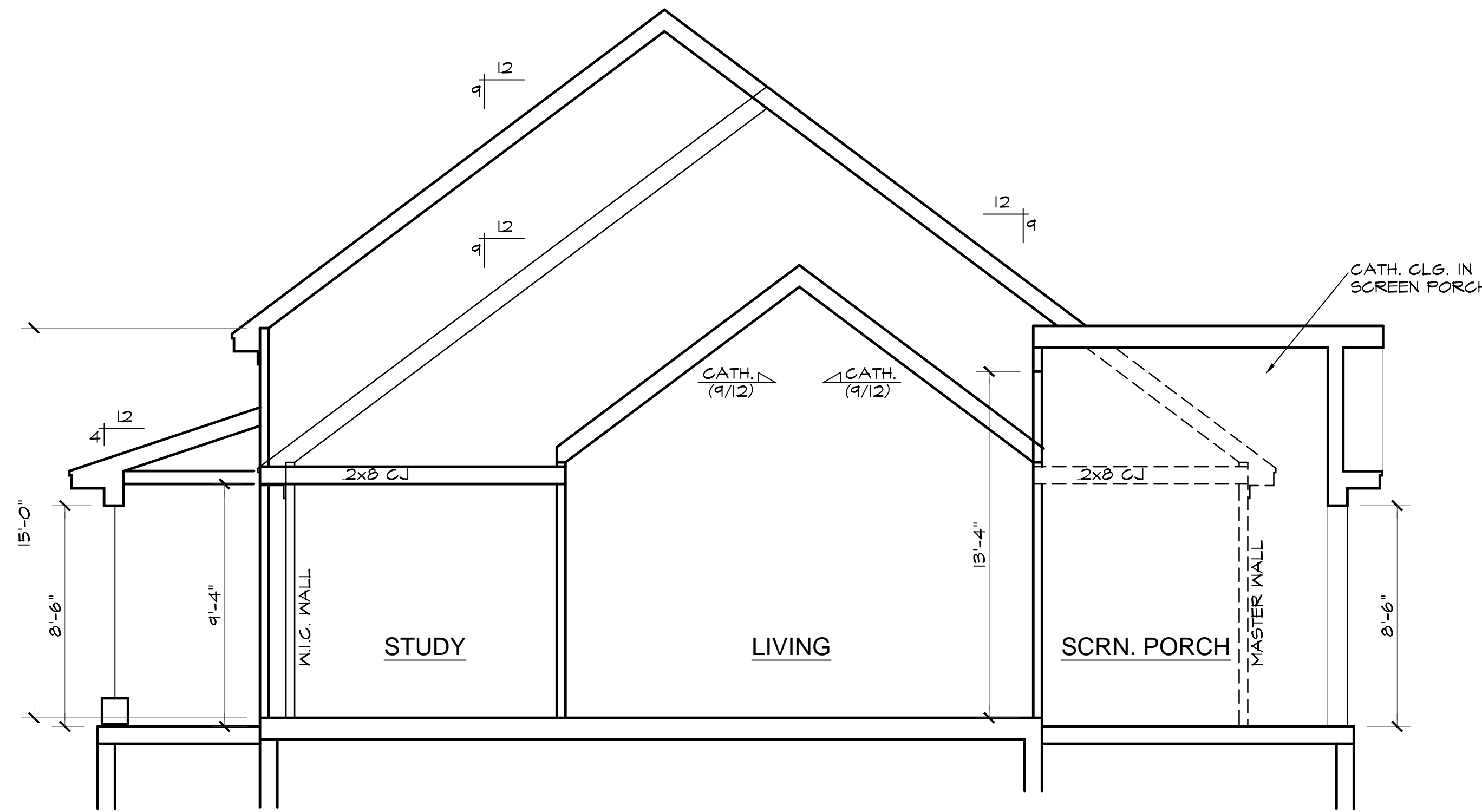
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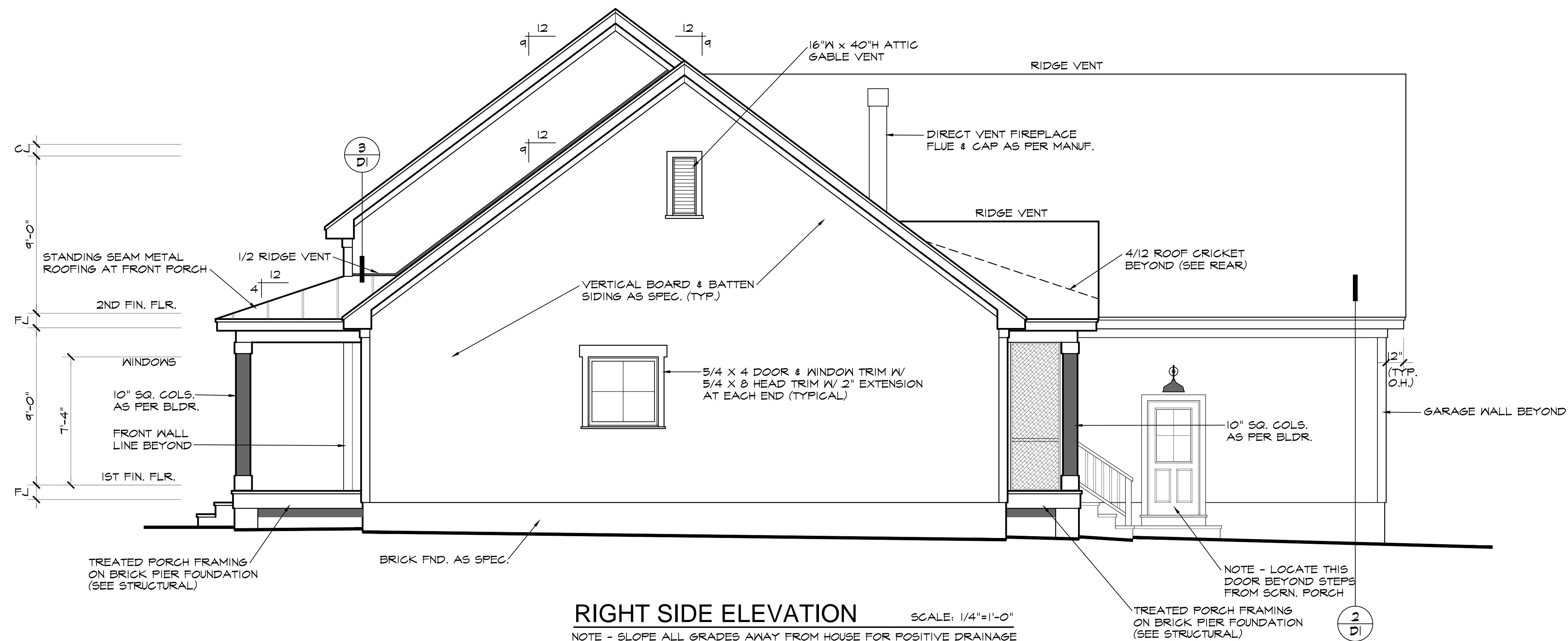
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CROSS SECTION AT LIVING SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION SCALE: 1/4"=1'-0"
 NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE

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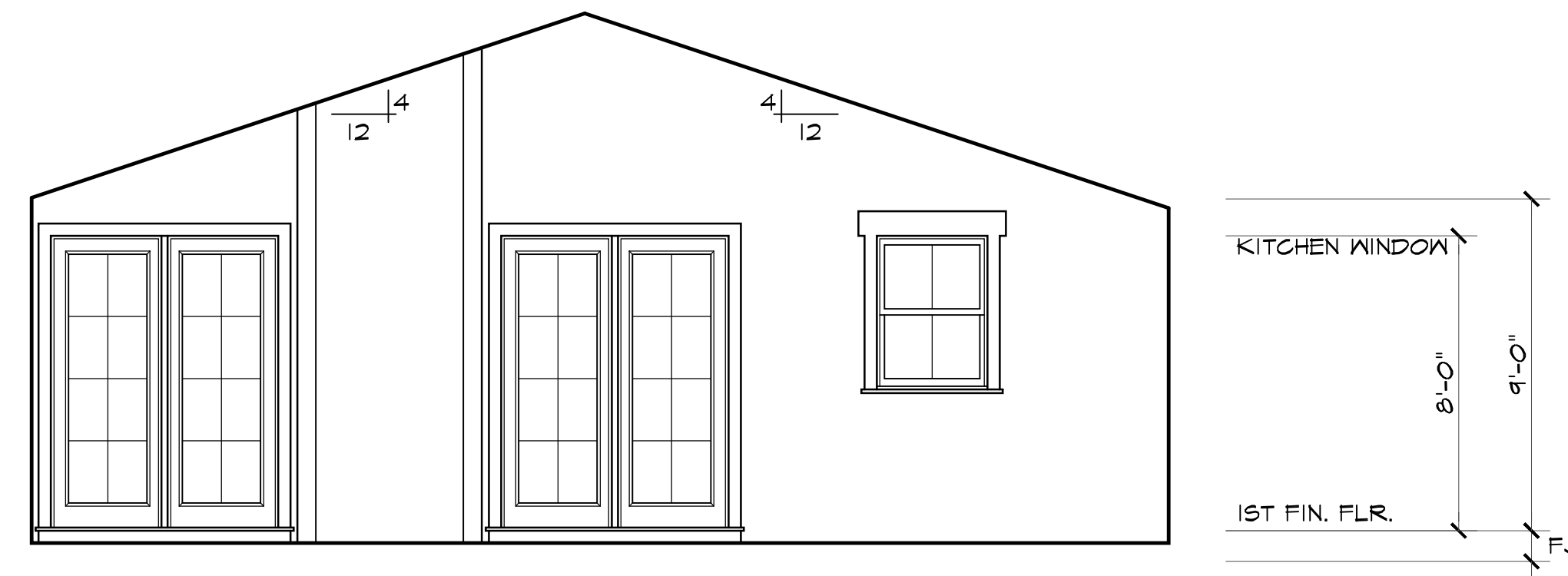
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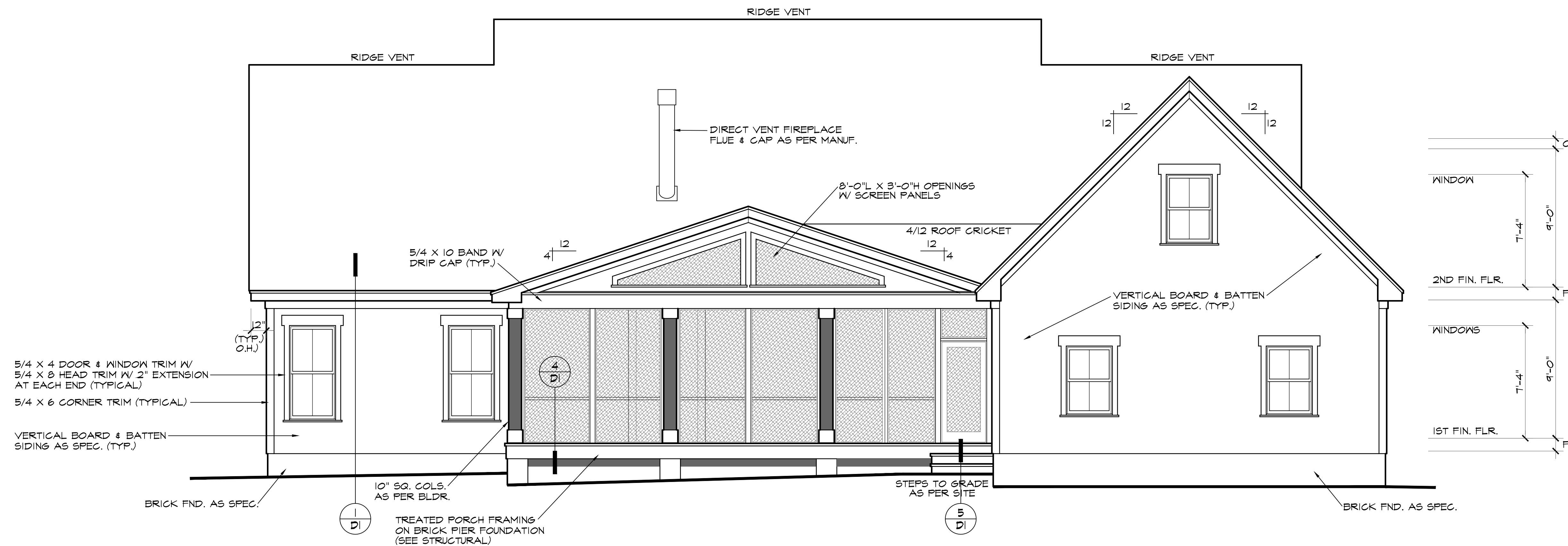
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WALL ELEVATION INSIDE SCREEN PORCH



REAR ELEVATION

SCALE: 1/4"=1'-0"

NOTE - PROVIDE RAILS AT PORCH ONLY IF REQUIRED BY CODE

NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE

RESIDENCE FOR DAVE & TRISH ANDERSEN

LOT 6 - HOBBY ROAD
 HARNETT COUNTY, NORTH CAROLINA

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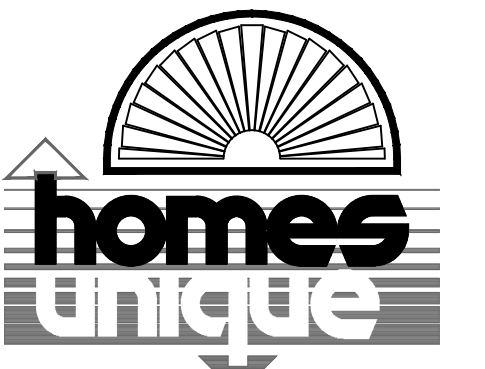
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SHEET

3

OF 5

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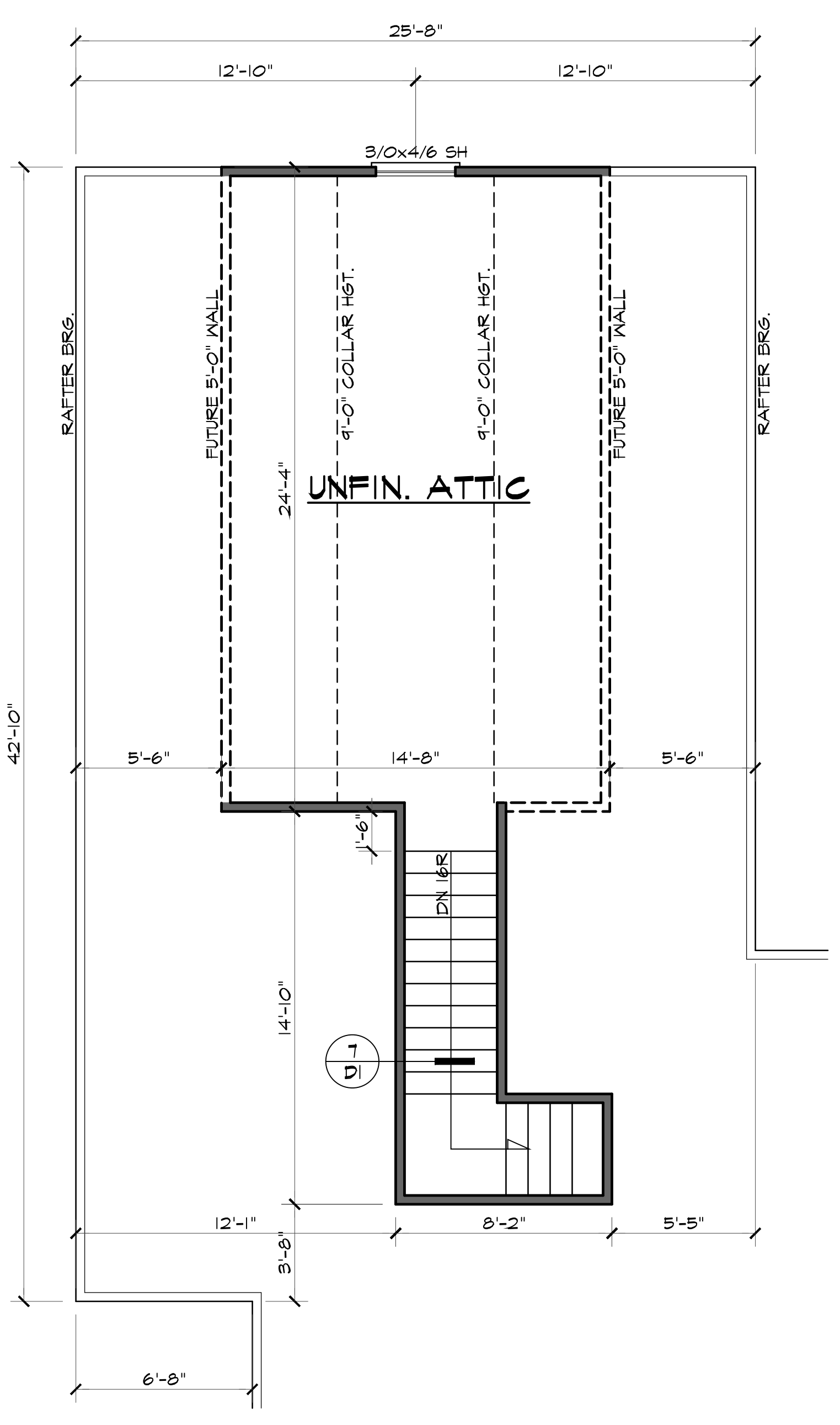
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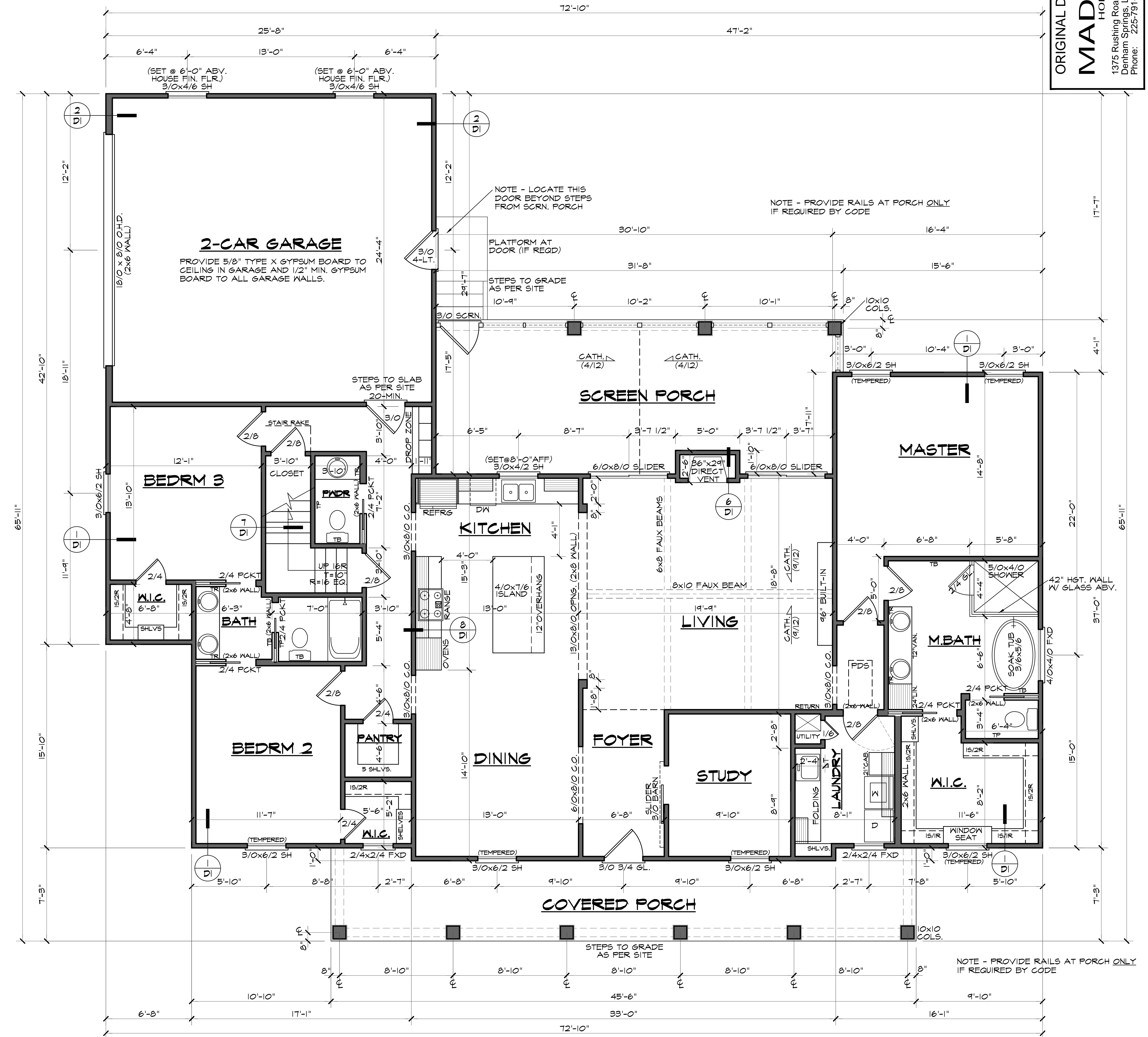
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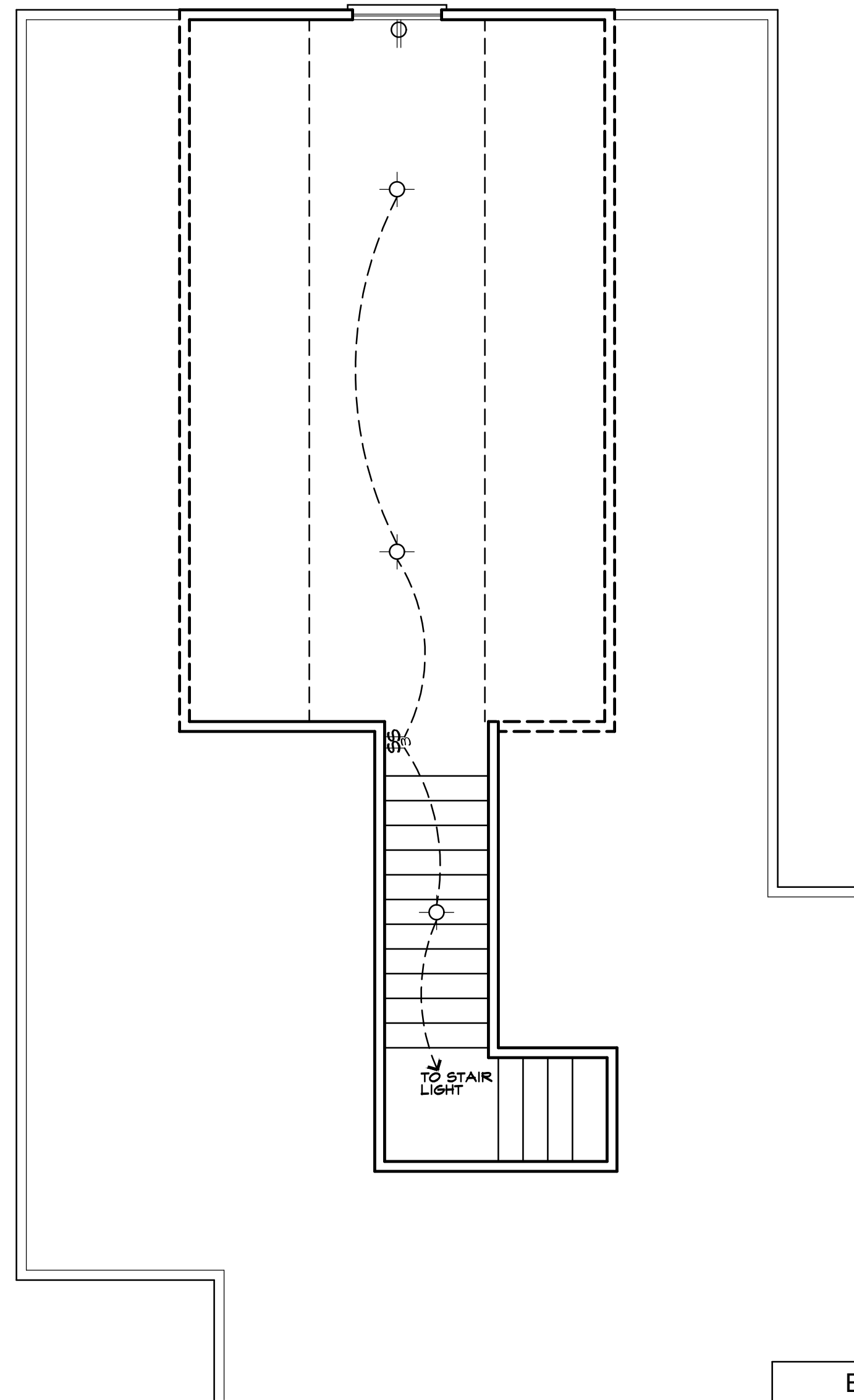


PARTIAL SECOND FLOOR PLAN SCALE: 1/4"=1'-0"
 9'-0" CLG. HGT. U.N.O.
 SET WINDOWS @ 7'-4" U.N.O.



FIRST FLOOR PLAN SCALE: 1/4"=1'-0"
 9'-0" CLG. HGT. U.N.O.
 SET WINDOWS @ 7'-4" U.N.O.

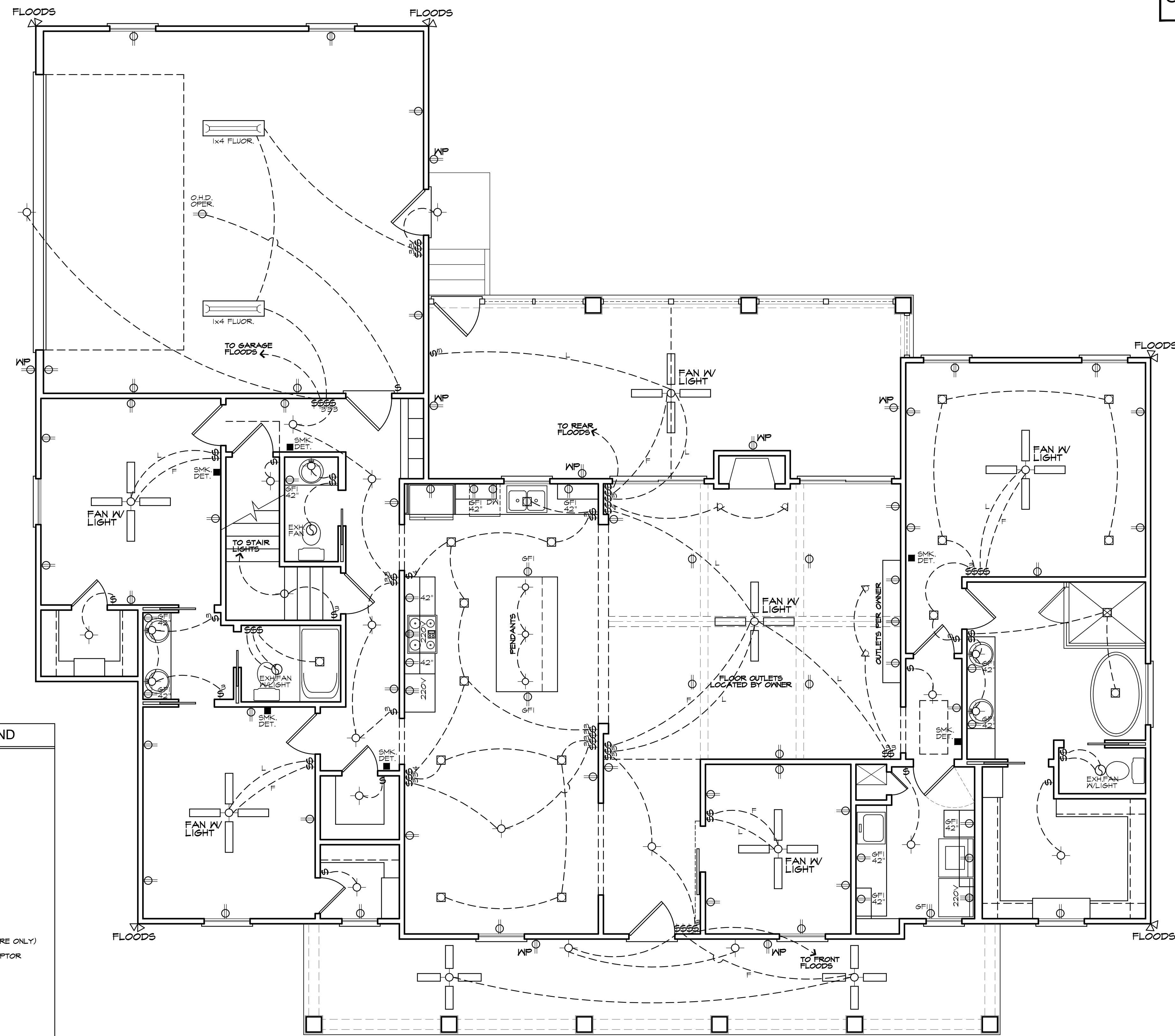
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PARTIAL SECOND FLOOR ELECTRICAL PLAN

ELECTRICAL LEGEND	
○	- LIGHT FIXTURE
⊙	- FAN/LIGHT
⊕	- WATERPROOF OUTLET
□	- RECESSED LIGHTING
⊞	- SINGLE FULL SWITCH
⊞	- 3-WAY SWITCH
⊞	- 4-WAY SWITCH
⊞	- DIMMER SWITCH
■	- SMOKE DETECTOR
⚠	- FLOOD LIGHTS
⚠	- EYEBALL SPOTS
⊞	- DUPLEX RECEPTACLE (110V)
⊞	- 220 VOLT RECEPTACLE
⊞	- SWITCHED RECEPTACLE (TOP WIRE ONLY)
⊞	- GROUND FAULT CIRCUIT INTERRUPTOR
⊞	- CLG FAN/LIGHTS
⊞	- TRACK LIGHTS
⊞	- FLUORESCENT LIGHTING
○	- CABLE OUTLET
▲	- TELEPHONE OUTLET
▲	- COMPUTER DATA OUTLET
⊞	- BURGLAR ALARM
□	- INTERCOM

NOTE: ALL ELECTRICAL TO BE VERIFIED BY OWNER/BUILDER BEFORE ROUGH-IN. ALL GFI OUTLETS TO BE AS PER CURRENT CODES.



FIRST FLOOR ELECTRICAL PLAN

NOTE - ELECTRICAL RECEPTACLE AND SWITCH QUANTITIES AND LOCATIONS SHOWN ON PLAN ARE FOR ILLUSTRATION PURPOSES ONLY. ACTUAL NUMBER AND LOCATIONS SHALL BE FIELD DETERMINED AS PER CLIENT AND BUILDER EXCEPT WHERE CODE REQUIREMENTS APPLY.

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PROJECT NUMBER	6014
PLAN NAME	ANDERSEN-1
PLAN NUMBER	24-2316

RESIDENCE FOR DAVE & TRISH ANDERSEN
 LOT 6 - HOBBY ROAD
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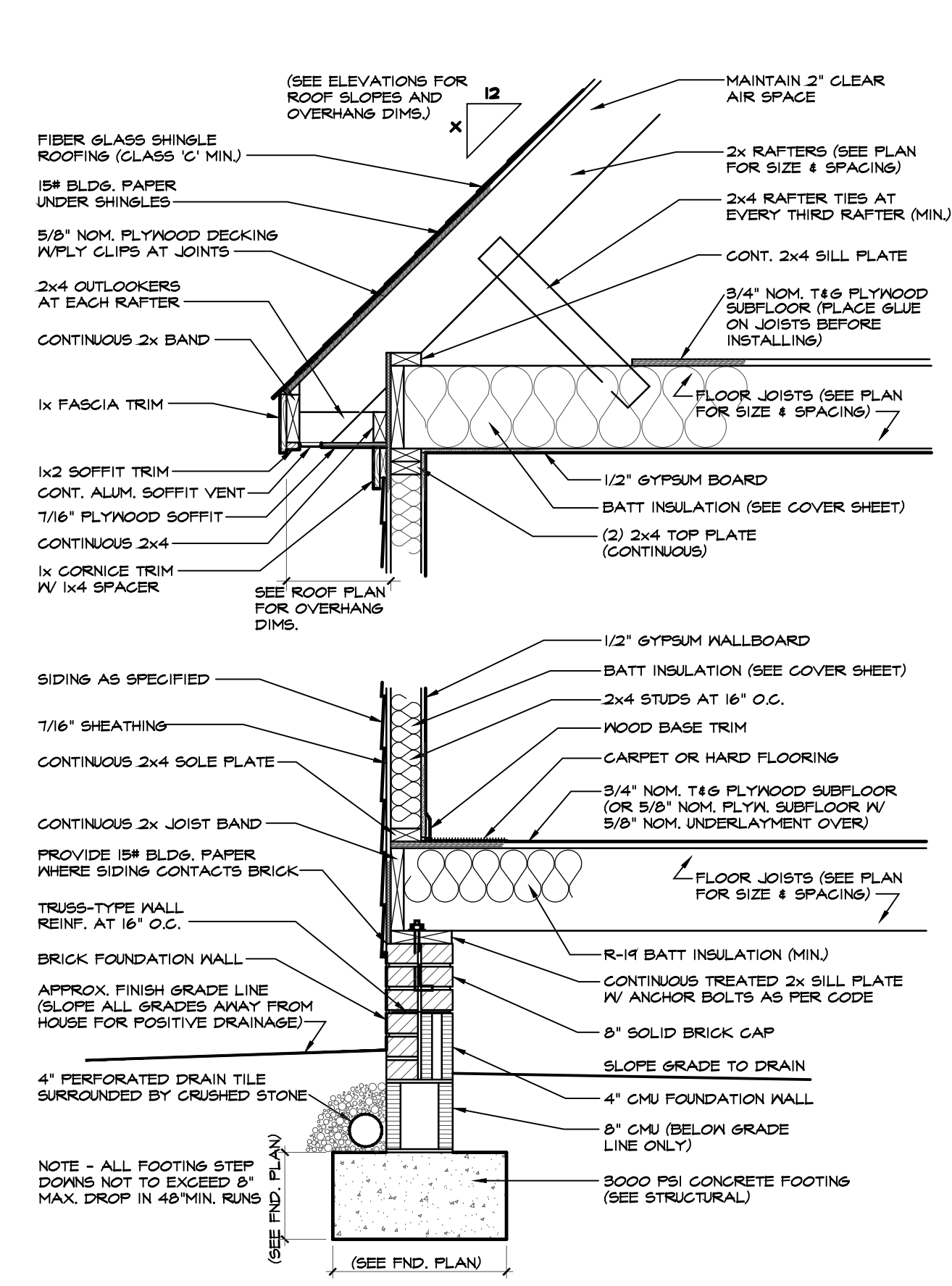
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PROJECT NUMBER	6814
PLAN NAME	ANDERSEN-1
PLAN NUMBER	24-2318

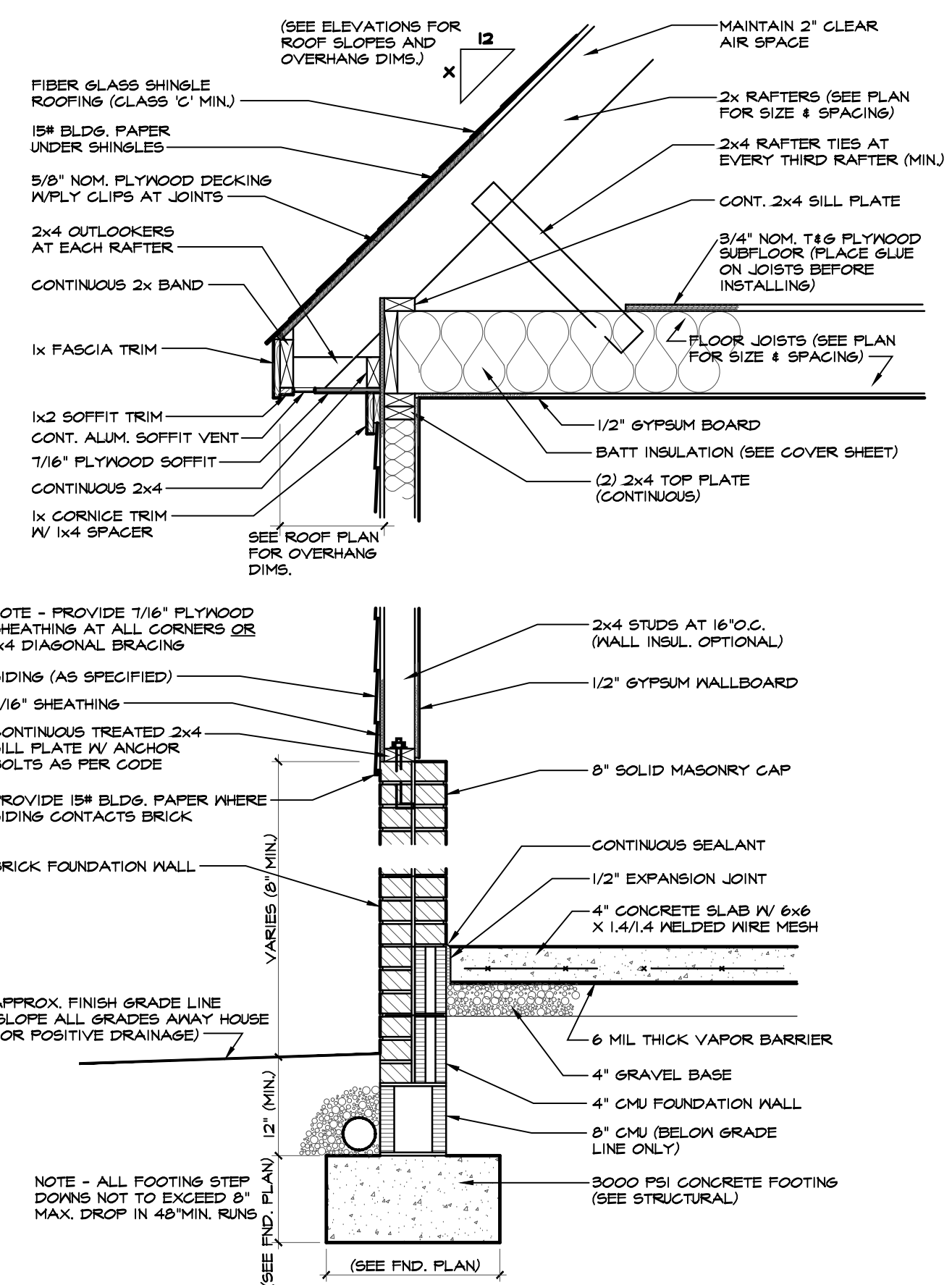
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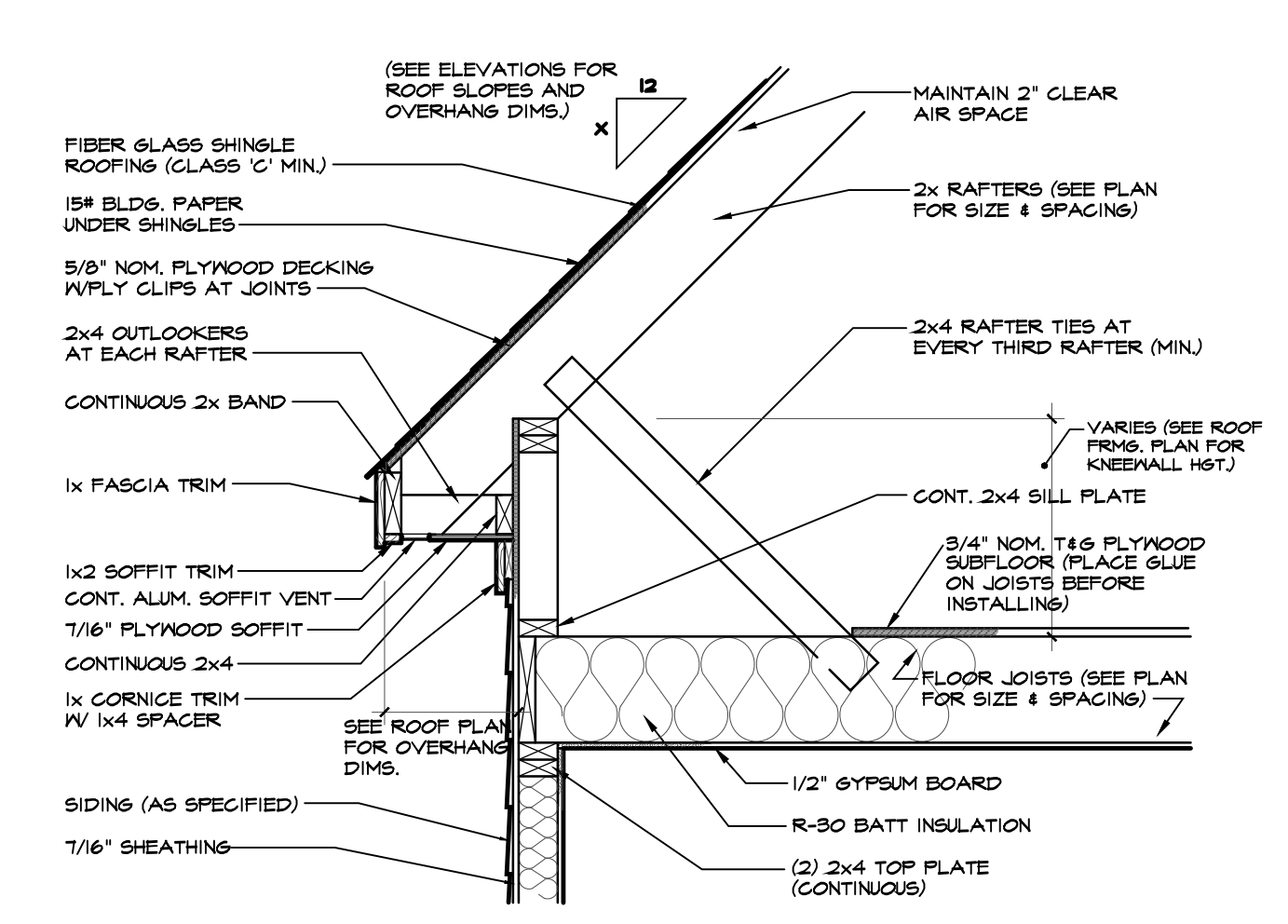
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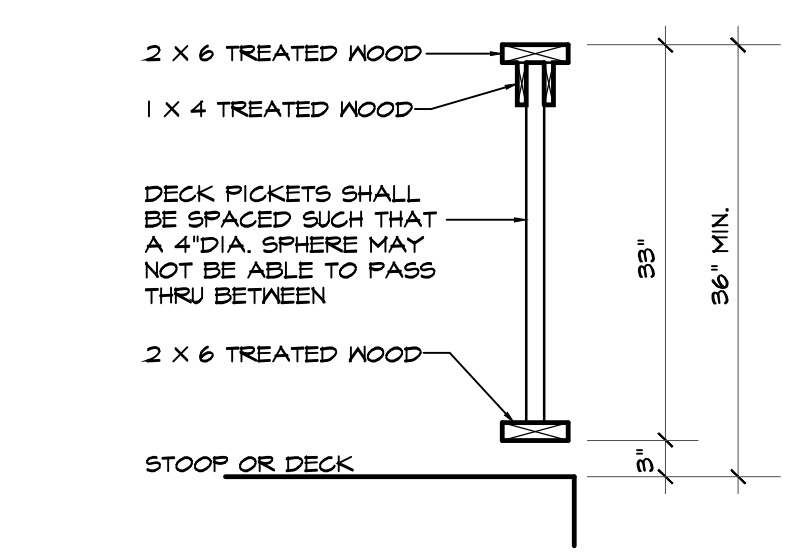
1 ONE-STORY WALL SECTION W/SIDING
 SCALE: 3/4"=1'-0"



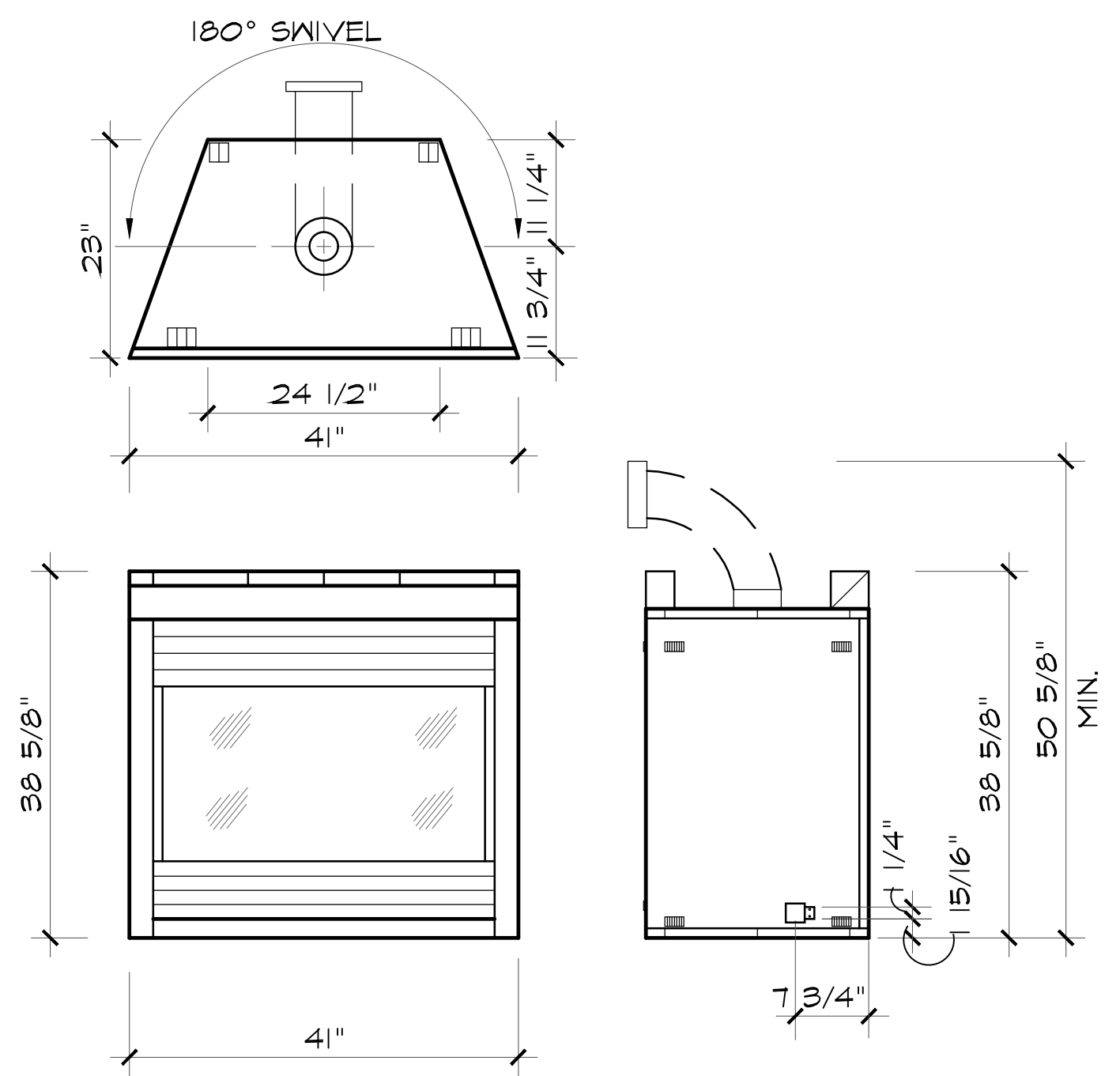
2 GARAGE WALL SECTION W/SIDING
 SCALE: 3/4"=1'-0"



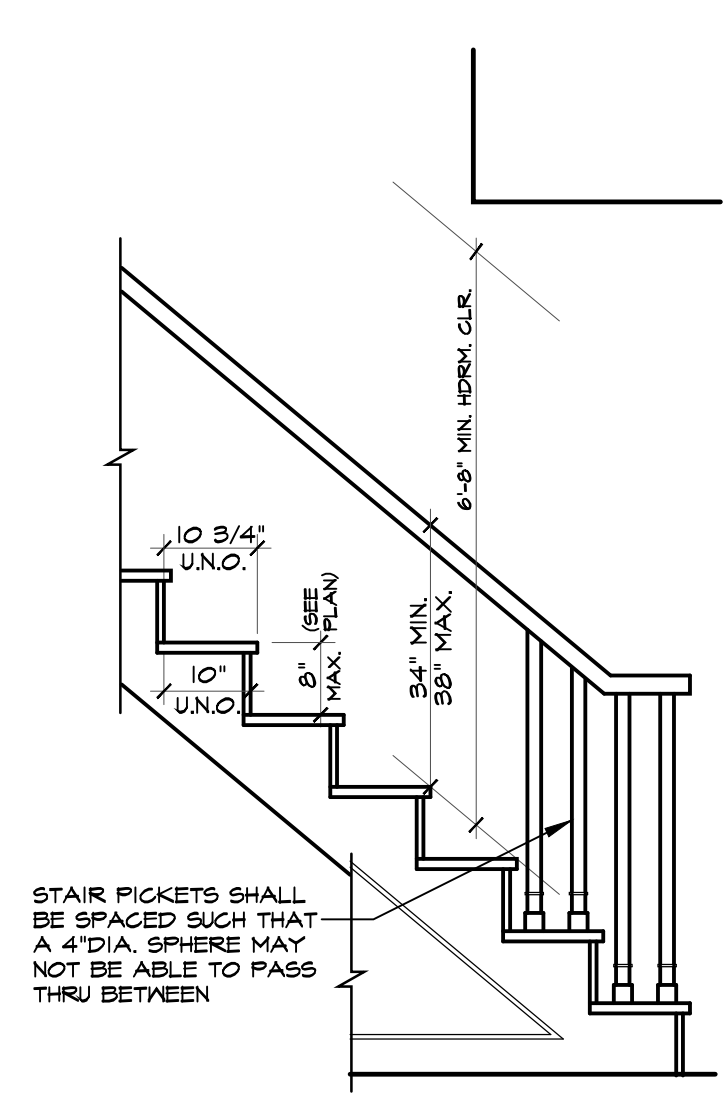
3 KNEEWALL SECTION W/SIDING
 SCALE: 3/4"=1'-0"



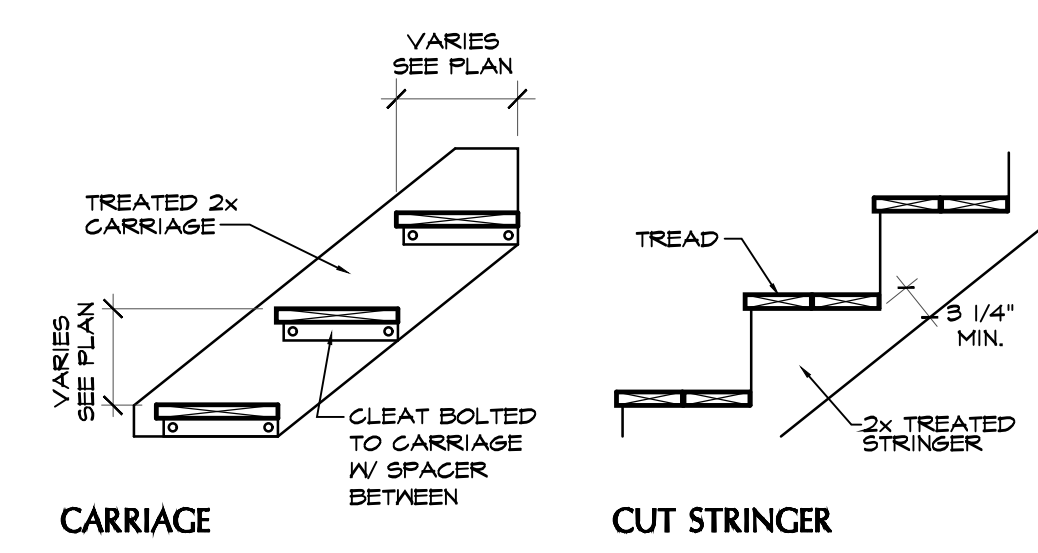
4 TYPICAL DECK HANDRAIL DETAIL
 SCALE: 3/4"=1'-0"



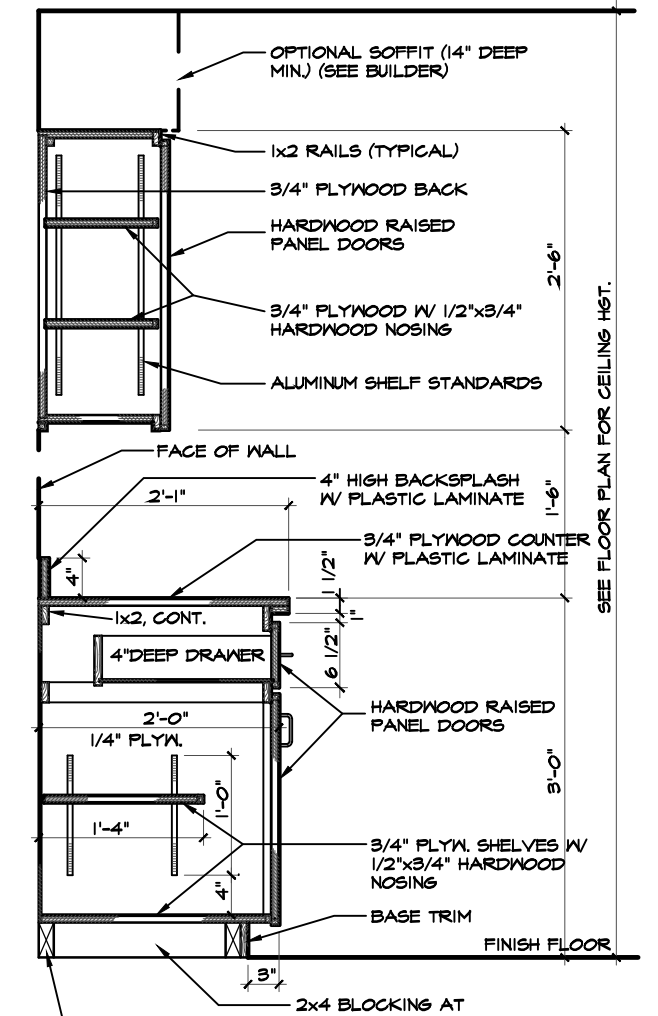
6 DIRECT VENT FIREPLACE DETAIL
 SCALE: NONE



7 TYPICAL STAIR DETAIL
 SCALE: NONE



5 TYPICAL DECK STAIR DETAIL
 SCALE: 3/4"=1'-0"



8 CABINET DETAIL
 SCALE: NONE