

ABBREVIATIONS

- ACC. = ACCESS
- BWL. = BRACED WALL LINE
- BWP. = BRACED WALL PANEL
- C.O. = CASIED OPENING
- C.J. = CEILING JOIST
- CLOS. = CLOSET
- COL. = COLUMN
- COMP. = COMPOSITION
- CONC. = CONCRETE
- CONT. = CONTINUOUS
- C.M.A. = CARBON MONOXIDE ALARM
- C.M.U. = CONCRETE MASONRY UNIT
- D.H. = DOUBLE HUNG
- DIA. = DIAMETER
- D.J. = DOUBLE JOIST
- DN. = DOWN
- EXH. = EXHAUST
- EXT. = EXTERIOR
- FL.J. = FLOOR JOIST
- FTG. = FOOTING
- G.F.I. = GROUND FAULT INTERRUPTER
- H.B. = HOSE BIB
- LVL. = LAMINATED VENEER LUMBER
- M.O. = MASONRY OPENING
- MAS. = MASONRY
- MAX. = MAXIMUM
- M.C. = MEDICINE CABINET
- MTL. = METAL
- MIN. = MINIMUM
- O.C. = ON CENTER
- OSB = ORIENTED STRAND BOARD
- PERF. = PERFORATED
- REC. = RECESSED
- REINF. = REINFORCED
- SCR. = SCREENED
- S.D. = SMOKE DETECTOR
- SEC. = SECOND
- SHWR. = SHOWER
- S.Y.P. = SOUTHERN YELLOW PINE
- S.P.F. = SPRUCE/PINE/FIR
- SUSP. = SUSPENDED
- TYP. = TYPICAL
- U.O.N. = UNLESS OTHERWISE NOTED
- WASH. = WASHER
- W.H. = WATER HEATER
- W.P. = WEATHER PROOF
- W.W.M. = WELDED WIRE MESH
- WDW. HT. = WINDOW HEIGHT
- WD. = WOOD

SYMBOLS

- = HOSE BIB
- s = SWITCH
- ⊕₃ = 3-WAY SWITCH
- ⊕ = LIGHT FIXTURE
- ⊕ = EXHAUST FAN & LIGHT
- ⊕ = SMOKE DETECTOR
- ◁ = SHOWER HEAD
- ◀ = TELEPHONE JACK
- ⊕ = CONVENIENCE OUTLET
- ⊕ = 220 VOLT OUTLET
- = GROUND FAULT INTERRUPTER
- ⊕ = CEILING FAN
- ⊕ = CARBON MONOXIDE ALARM

GENERAL NOTES AND SPECIFICATIONS

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ORIGINAL PURCHASE AGREEMENT

SEE ATTACHED CONSTRUCTION LICENSE FOR INVOICE NUMBER xxxxx.

BUILDING CODE INFORMATION

THIS PLAN HAS BEEN DRAWN TO CONFORM TO THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION (2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS, CURRENT EDITION) WITH AMENDMENTS UNLESS OTHERWISE NOTED. (SEE ATTACHMENTS)

PRIOR TO CONSTRUCTION

THE CONTRACTOR SHALL REVIEW THE PLAN(S) FOR THIS PARTICULAR BUILDING PROJECT TO ENSURE COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL CODES, CLIMATIC GEOGRAPHIC DESIGN CRITERIA, AND ANY OTHER PROVISIONS THAT MAY BE REQUIRED BY VA/FHA/RD.

THE CONTRACTOR SHALL VERIFY PLAN DIMENSIONS, STRUCTURAL COMPONENTS, AND GENERAL SPECIFICATIONS CONTAINED IN THIS SET OF PLANS AND REPORT ANY DISCREPANCIES TO STANDARD HOMES PLAN SERVICE, INC. FOR JUSTIFICATION OR CORRECTION BEFORE PROCEEDING WITH WORK ON HOUSE.

THE CONTRACTOR SHALL DETERMINE ROUGH OPENING SIZES FOR ALL BUILT-IN EQUIPMENT AND/OR FACILITIES AND ADJUST PLAN DIMENSIONS AS REQUIRED.

DO NOT SCALE FROM BLUEPRINTS. REFER TO THE LABELED DIMENSIONS FOR ACTUAL MEASUREMENTS.

IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO PROVIDE FOR THE SERVICES OF A PROFESSIONAL ENGINEER IF REQUIRED BY THE BUILDING CODE OFFICIAL.

SHIPPING DATE : _____

STAMP MUST APPEAR IN RED. PLANS FOR WHICH A BUILDING PERMIT HAS NOT BEEN OBTAINED ONE YEAR FROM THE ABOVE DATE IS SUBJECT TO REVIEW BY STANDARD HOMES PLAN SERVICE, INC. A FEE MAY BE CHARGED FOR THIS SERVICE.

EXCAVATION

EXCAVATE TO UNDISTURBED SOIL. BOTTOM OF FOOTING SHALL EXTEND BELOW LOCAL FROST LINE AND TO A MINIMUM DEPTH OF 12" BELOW ADJACENT GRADE. (PRESUMED 2000 PSF SOIL BEARING CAPACITY).

EXPANSIVE, COMPRESSIVE OR SHIFTING SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSUME A STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE.

FOUNDATION

PROVIDE 1/2" DIA. STEEL ANCHOR BOLTS 6'-0" O.C., 1'-0" MAX. FROM CORNERS AND 1'-0" MAX. FROM ENDS OF EACH PLATE SECTION, WITH 7" MIN. EMBEDMENT.

PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.

SLOPE GRADE AWAY FROM FOUNDATION WALLS 6" MINIMUM WITHIN THE FIRST 10 FEET.

PROVIDE PRESSURE TREATED LUMBER FOR SILLS, PLATES, BANDS AND ANY LUMBER IN CONTACT WITH MASONRY.

PROVIDE APPROVED AND BONDED CHEMICAL SOIL TREATMENT AGAINST FUNGUS, TERMITES AND OTHER HARMFUL INSECTS.

CRAWL SPACE

ALL GIRDER JOINTS AND ENDS OF GIRDERS SHALL REST ON SOLID BEARINGS. FILL CORES OF HOLLOW MASONRY TO FOOTING WITH CONCRETE. FILL TOP COURSE CORES OF EXTERIOR FOUNDATION WALL WITH CONCRETE.

FOOTINGS SHALL EXTEND 6" AND SHALL BE 12" THICK UNDER GIRDER PIERS.

CHIMNEY FOOTING SHALL EXTEND 12" MINIMUM BEYOND EACH SIDE AND SHALL BE AT LEAST 12" THICK.

BASEMENT

ALL GIRDER JOINTS SHALL BREAK ON COLUMN CENTER LINES (STAGGERED) AND ENDS OF GIRDERS SHALL REST ON SOLID MASONRY.

DOUBLE SILL AND USE LEDGER OVER ALL BASEMENT OPENINGS.

ALL BASE. SASH SHALL BE 18/20 2-LT. 3'-3 7/8" X 1'-11 15/16" 3420 HB.

FRAMING

ALL FLOOR JOISTS, CEILING JOISTS, RAFTERS, GIRDERS, HEADERS, SILLS AND BEAMS SHALL BE NO. 2 SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

ALL LOAD BEARING WALLS SHALL BE STUD GRADE SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

DESIGN SPECIFICATIONS FOR LAMINATED VENEER LUMBER (LVL)

BEAMS AND HEADERS : GRADE : 2950Fb-2.0E
BENDING Fb : 2950
MOE : 2.0 X 10⁶
SHEAR Fv : 290

SUPPORT FOR HEADERS:

HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE WITH BUILDING CODE (SEE PLAN). THE FULL-HEIGHT STUD ADJACENT TO EACH END OF THE HEADER SHALL BE END NAILED TO EACH END OF THE HEADER WITH FOUR-16D NAILS. SEE TABLE BELOW.

MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS:

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES)	
	16	24
3 FEET OR LESS	1	1
4 FT.	2	1
8 FT.	3	2
12 FT.	5	3
16 FT.	6	4

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA

ROOF LIVE LOAD (POUNDS PER SQUARE FOOT) : 20 PSF
ULTIMATE DESIGN WIND SPEED (MILES PER HOUR) : 120 MPH
NOMINAL DESIGN WIND SPEED : 93 MPH
EXPOSURE CATEGORY "B" UNLESS OTHERWISE NOTED
WINDOW DESIGN PRESSURE RATING : DP 25
COMPONENT AND CLADDING LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET OR LESS:

PRESSURE ZONE	ULTIMATE DESIGN WIND SPEED (MPH)			
	115	120	130	140
ZONE 1	13.1, -14.0	14.2, -15.0	16.7, -18.0	19.4, -21.0
ZONE 2	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 3	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 4	14.3, -15.0	15.5, -16.0	18.2, -19.0	21.2, -22.0
ZONE 5	14.3, -19.0	15.5, -20.0	18.2, -24.0	21.2, -28.0

ASSUMED MEAN ROOF HEIGHT: 21'-2"

SEISMIC CONDITION BY ZONE : ZONES A AND B
SUBJECT TO DAMAGE FROM WEATHERING : MODERATE
CLIMATE ZONES (UNLESS OTHERWISE NOTED): ZONES 3 AND 4
MINIMUM VALUES FOR ENERGY COMPLIANCE:
CEILING R-38; EXTERIOR WALLS R-15; FLOORS R-19
WINDOW U-FACTOR ≤ 0.35; RECOMMENDED SHGC ≤ 0.30

MISCELLANEOUS

LOCATE ALL CONVENIENCE OUTLETS ABOVE KITCHEN BASE CABINETS 42" ABOVE FINISHED FLOOR.

EMERGENCY EGRESS REQUIREMENTS

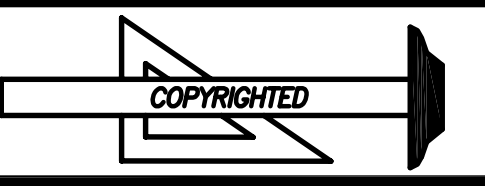
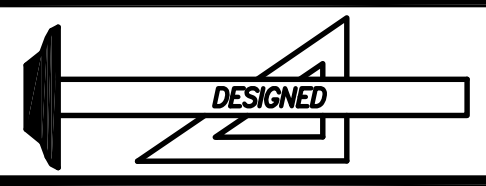
IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY CONFORMITY WITH EGRESS REQUIREMENTS BASED ON SPECIFICATIONS PROVIDED BY WINDOW MANUFACTURER.

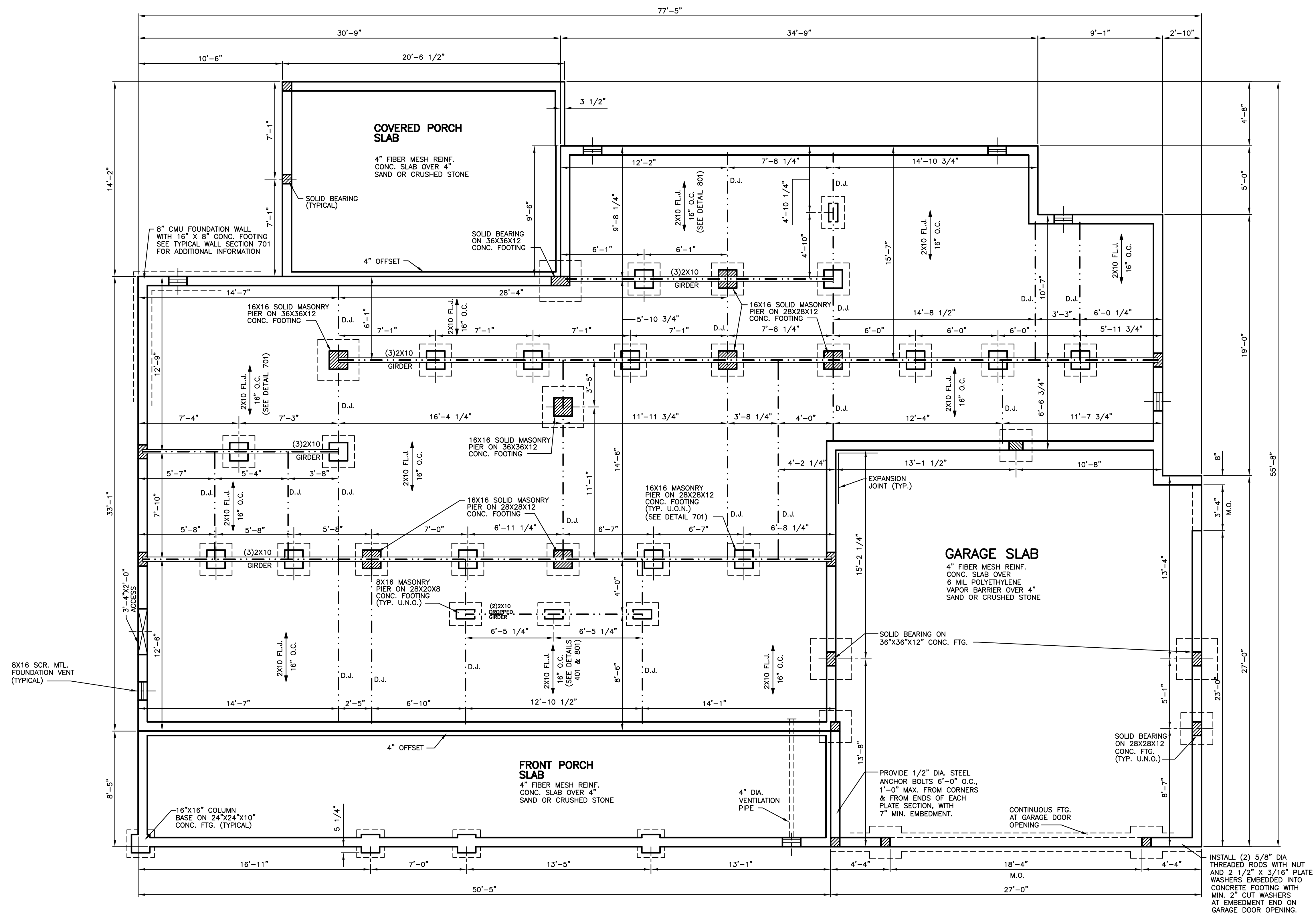
2018 NORTH CAROLINA RESIDENTIAL CODE

THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. THE NET CLEAR OPENING SHALL NOT BE LESS THAN 4.0 SQUARE FEET WHERE THE NET CLEAR OPENING HEIGHT SHALL BE AT LEAST 22 INCHES AND THE NET CLEAR OPENING WIDTH SHALL BE AT LEAST 20 INCHES. IN ADDITION THE MINIMUM TOTAL GLASS AREA SHALL NOT BE LESS THAN 5.0 SQUARE FEET IN THE CASE OF A GROUND STORY WINDOW AND NOT LESS THAN 5.7 SQUARE FEET IN THE CASE OF A SECOND STORY WINDOW.

2015 INTERNATIONAL RESIDENTIAL CODE

THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET EXCEPT GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET OPENING OF 5 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES





FOUNDATION PLAN
SCALE : 1/4"=1'-0"

FOUNDATION VENTILATION REQUIREMENTS :
2352 SQ. FT. DIVIDED BY 1500 = 1.57 SQ. FT. NET

PROVIDE 4 VENTS WITH A MINIMUM OF 64 SQUARE INCHES NET FREE AREA PER VENT.

INSTALL 6 MIL. POLYETHYLENE VAPOR BARRIER OVER ENTIRE CRAWL SPACE SURFACE AND LOCATE VENT OPENINGS WITHIN 3 FEET OF EACH CORNER.

STRUCTURAL EVALUATION BY:

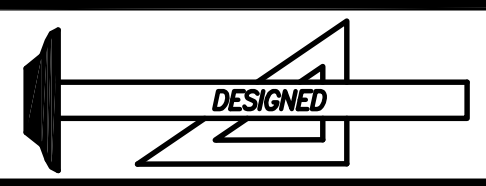
HOWERTON SERVICES, PLLC
LICENSE # P-1716
3513 CATHEDRAL BELL ROAD, RALEIGH, NC 27614

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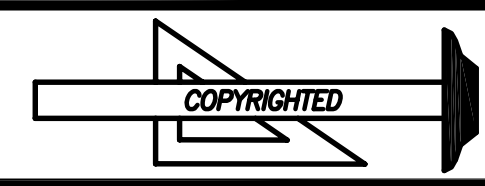


07 05 2023

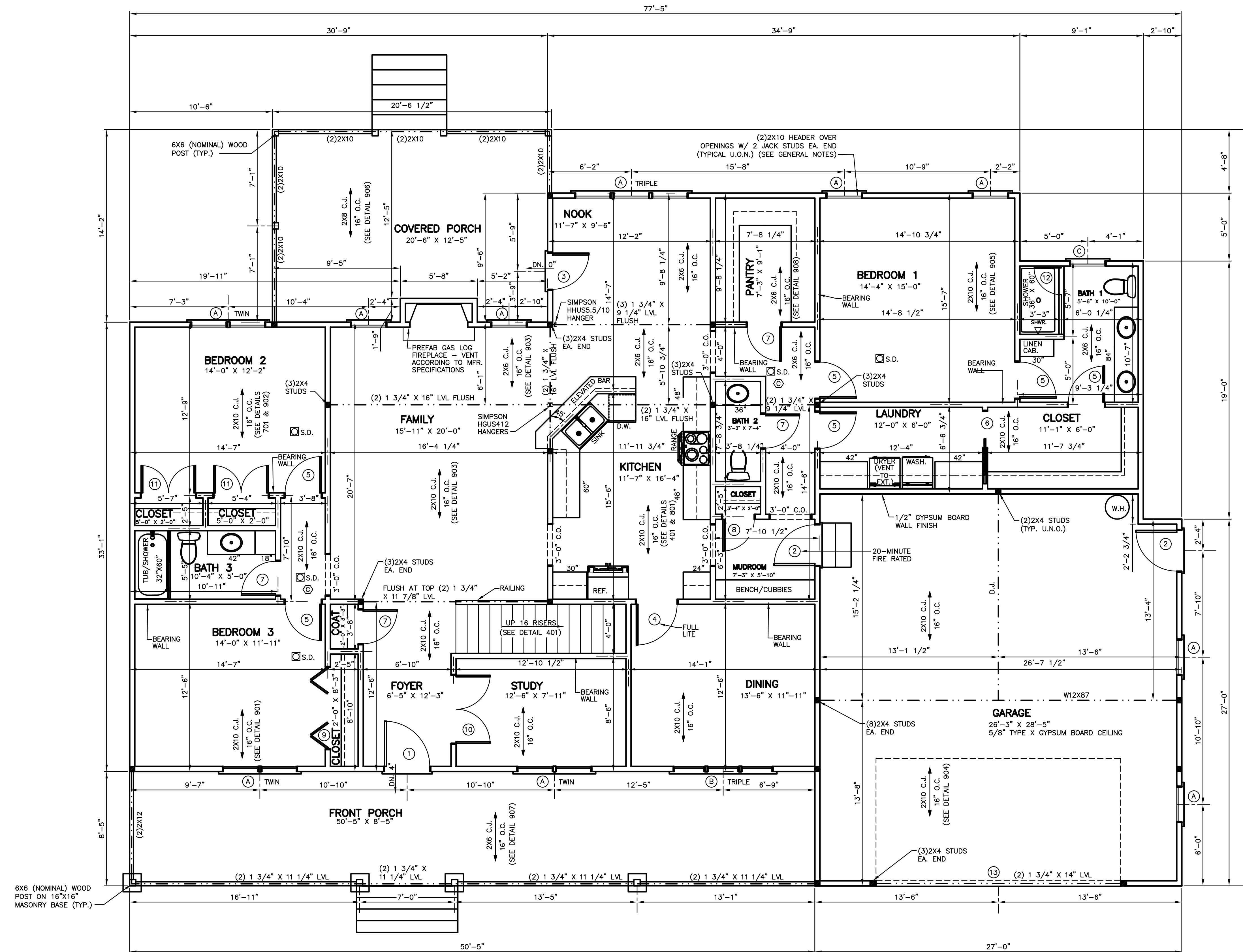
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DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
ANNMARIE & BRADLEY SUMMERS	CUSTOM	2650	SIDING		2 OF 9



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"
 FIRST FLOOR TOTAL HEATED AREA: 2352 SQ. FT. (EXCLUDING FIREPLACE)
 UNFINISHED REC. ROOM AREA: 708 SQ. FT. (INCLUDING STAIRCASE)
 GARAGE AREA: 766 SQ. FT.
 FRONT PORCH AREA: 424 SQ. FT.
 COVERED PORCH AREA: 288 SQ. FT.
 9' CEILING HEIGHT ON FIRST FLOOR
 8' CEILING HEIGHT IN UNFINISHED REC. ROOM

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John Hart
 PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 LICENSE # P-1716

07 05 2023

* MUST MEET EMERGENCY EGRESS REQUIREMENTS (SEE SHEET 1).

REVISED 04-25-23

WINDOW SCHEDULE					
A*	2'-8" x 5'-0" D.H.	D*	3'-0" x 4'-6" D.H.	G	
B	2'-4" x 5'-0" D.H.	E		H	
C	2'-8" x 4'-0" D.H.	F		K	

DOOR SCHEDULE					
1	3'-4" x 7'-0" x 1 3/4"	4	3'-0" x 6'-8" x 1 3/8"	7	2'-6" x 6'-8" x 1 3/8"
2	3'-0" x 6'-8" x 1 3/4"	5	2'-8" x 6'-8" x 1 3/8"	8	2'-4" x 6'-8" x 1 3/8"
3	2'-8" x 6'-8" x 1 3/4"	6	POCKET 2'-8" x 6'-8" x 1 3/8"	9	BI-FOLD 6'-0" x 6'-8" x 1 3/8"

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DESIGNED FOR ANNMARIE & BRADLEY SUMMERS	PLAN NO. CUSTOM 2650	MATERIAL SIDING	SHOWN
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SHEET
3 of 9

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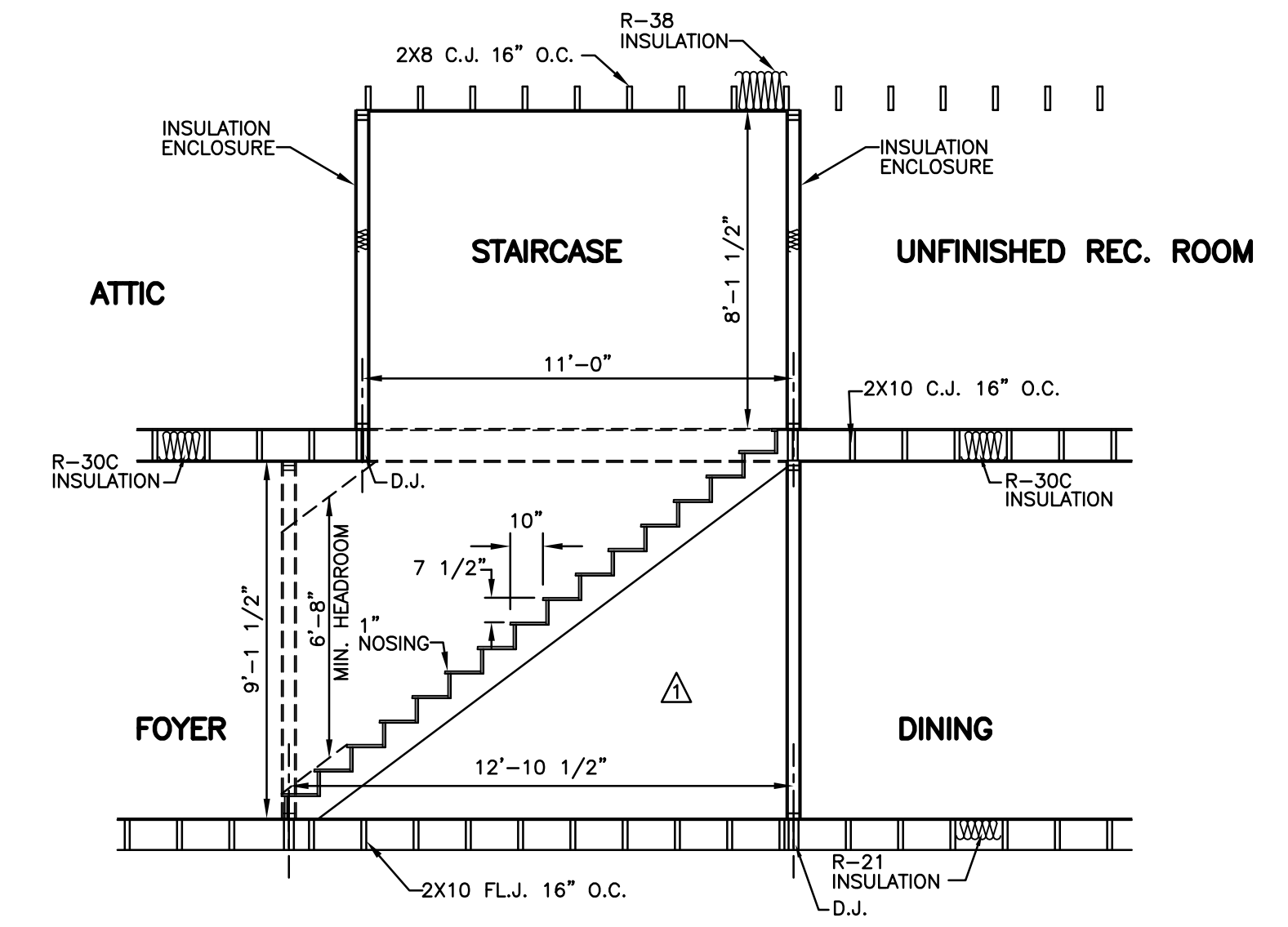
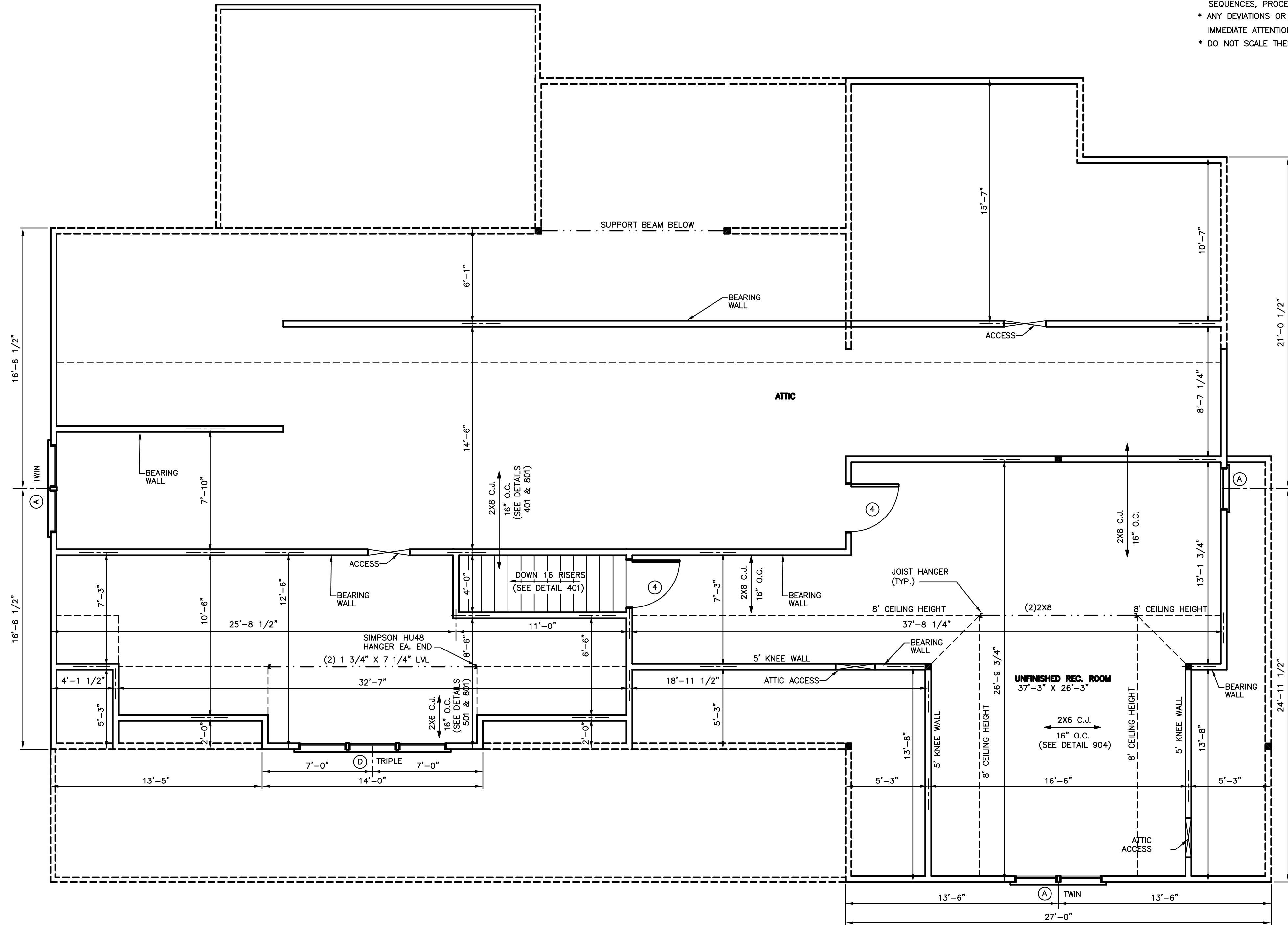
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07 05 2023



▲ WALL BETWEEN STAIRCASE AND STUDY IS BEARING. ENSURE APPROPRIATE SIZE HEADER IS USED IF UTILIZING SPACE UNDER STAIRS FOR STUDY DESK AREA OR STORAGE.

* MUST MEET EMERGENCY EGRESS REQUIREMENTS (SEE SHEET 1).

REVISED 04-25-23

WINDOW SCHEDULE					
A*	2'-8" x 5'-0" D.H.	D*	3'-0" x 4'-8" D.H.	G	
B	2'-4" x 5'-0" D.H.	E		H	
C	2'-8" x 4'-0" D.H.	F		K	
				L	
				M	
				N	
				P	

DOOR SCHEDULE					
1	3'-4" x 7'-0" x 1 3/4"	4	3'-0" x 6'-8" x 1 3/8"	7	2'-6" x 6'-8" x 1 3/8"
2	3'-0" x 6'-8" x 1 3/4"	5	2'-8" x 6'-8" x 1 3/8"	8	2'-4" x 6'-8" x 1 3/8"
3	2'-8" x 6'-8" x 1 3/4"	6	POCKET 2'-8" x 6'-8" x 1 3/8"	9	BI-FOLD 6'-0" x 6'-8" x 1 3/8"
				10	DOUBLE OPENING 5'-0" x 6'-8" x 1 3/8"
				11	DOUBLE OPENING 4'-0" x 6'-8" x 1 3/8"
				12	SHOWER ENCLOSURE 2'-0" x 6'-8"
				13	GARAGE DOOR 18'-0" x 9'-0"
				14	
				15	
				16	
				17	
				18	

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SHEET
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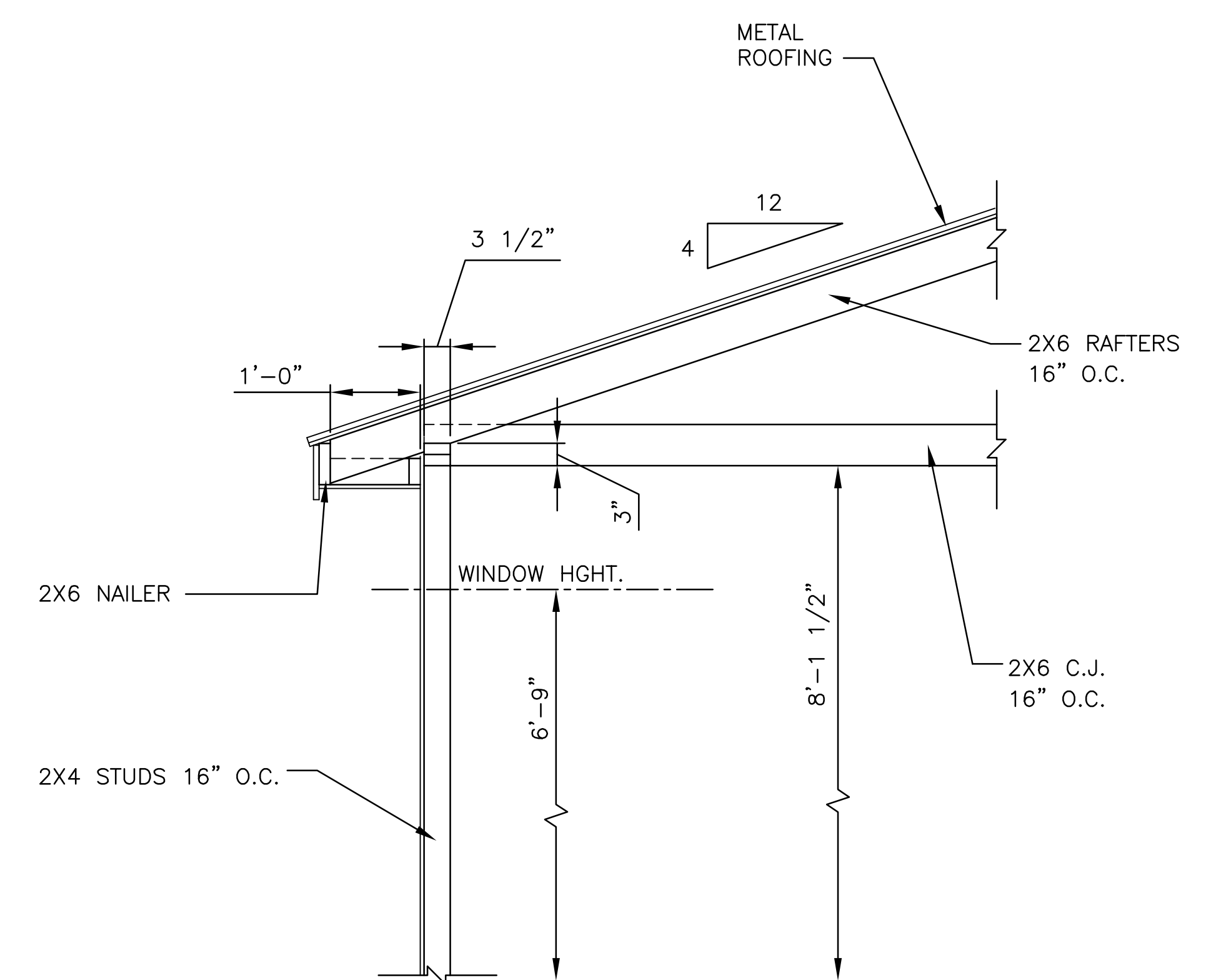
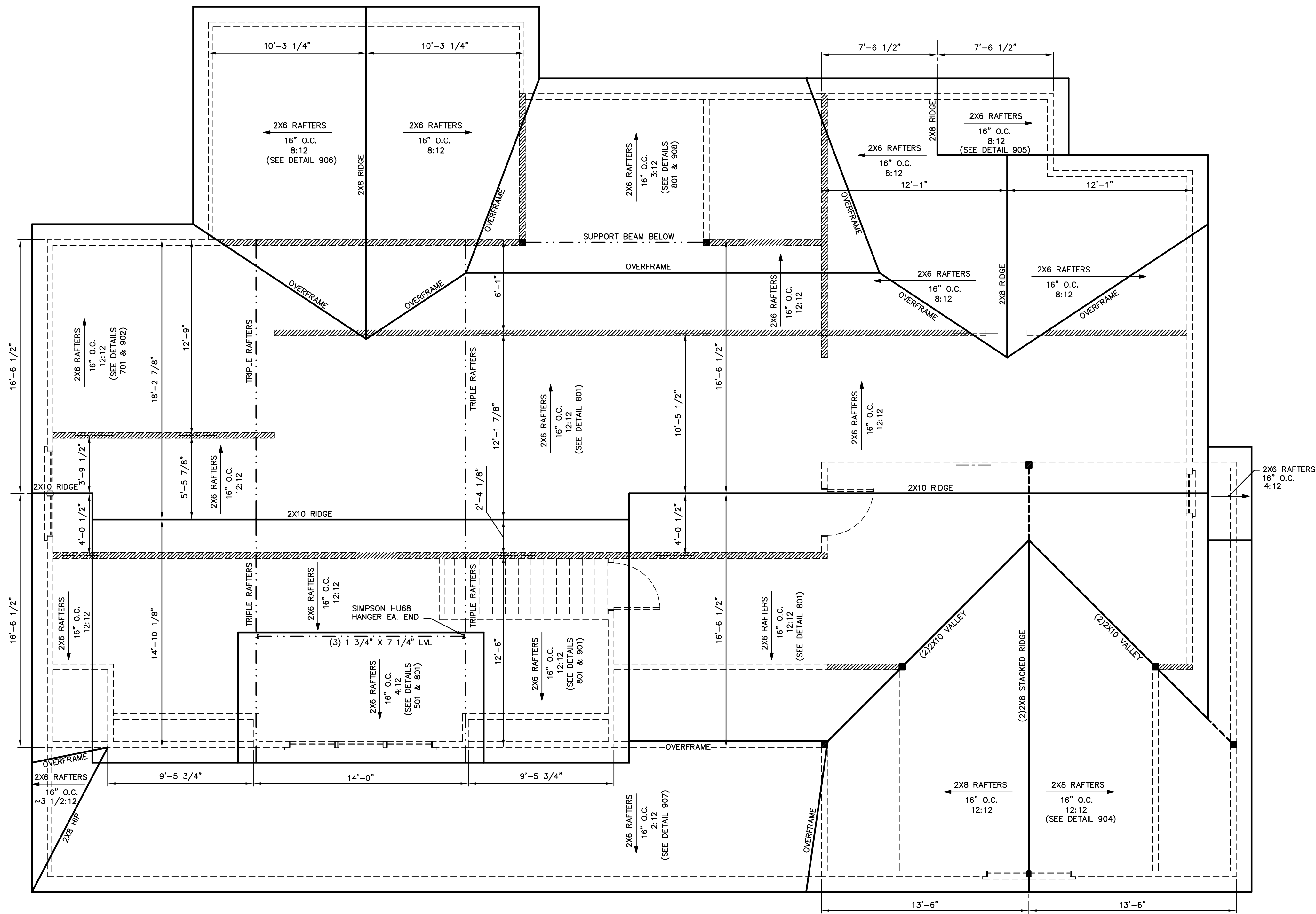
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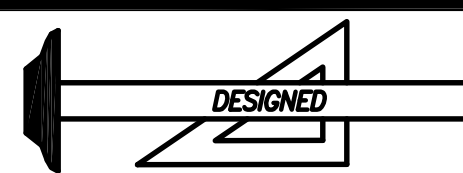


501 SECTION THRU FRONT DORMER
 SCALE : 3/4"=1'-0"

ROOF PLAN

SCALE : 1/4"=1'-0"

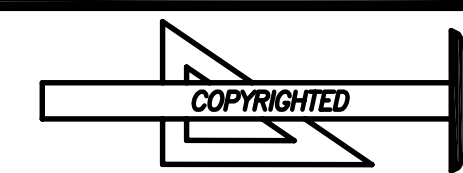
ATTIC VENTILATION REQUIREMENTS :
 3831 SQ. FT. DIVIDED BY 150 = 25.5 SQ. FT. NET
 FREE AREA REQUIRED



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ANNMARIE & BRADLEY SUMMERS	CUSTOM	2650	SIDING		5 of 9

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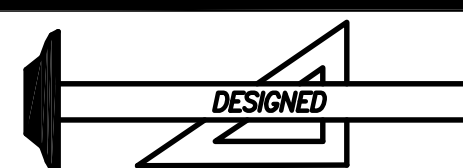
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FRONT ELEVATION
SCALE : 1/4"=1'-0"

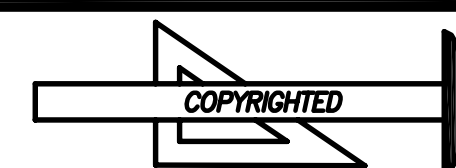


REAR ELEVATION
SCALE : 1/4"=1'-0"



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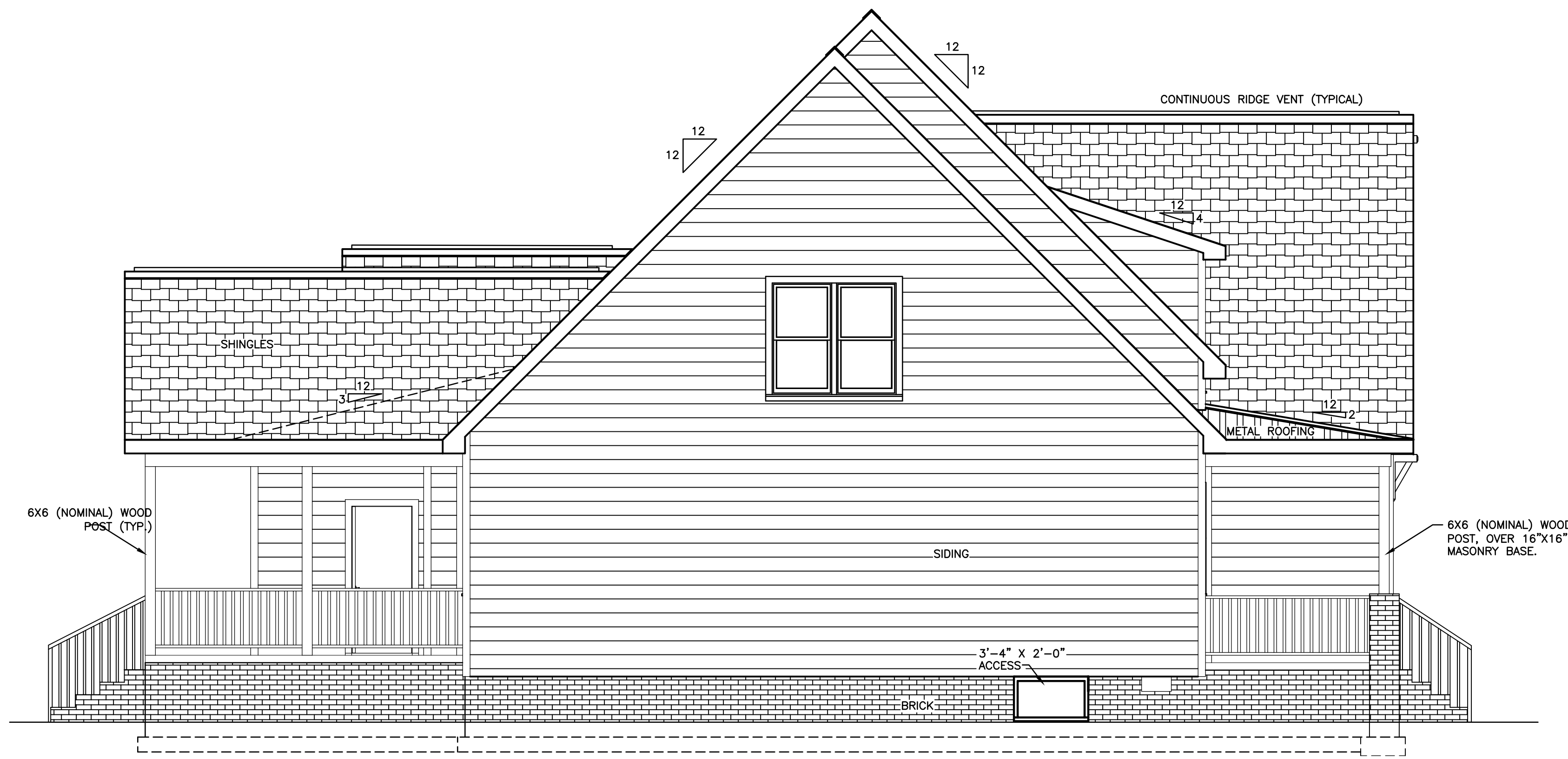
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ANNMARIE & BRADLEY SUMMERS	CUSTOM	2650	SIDING		6 OF 9

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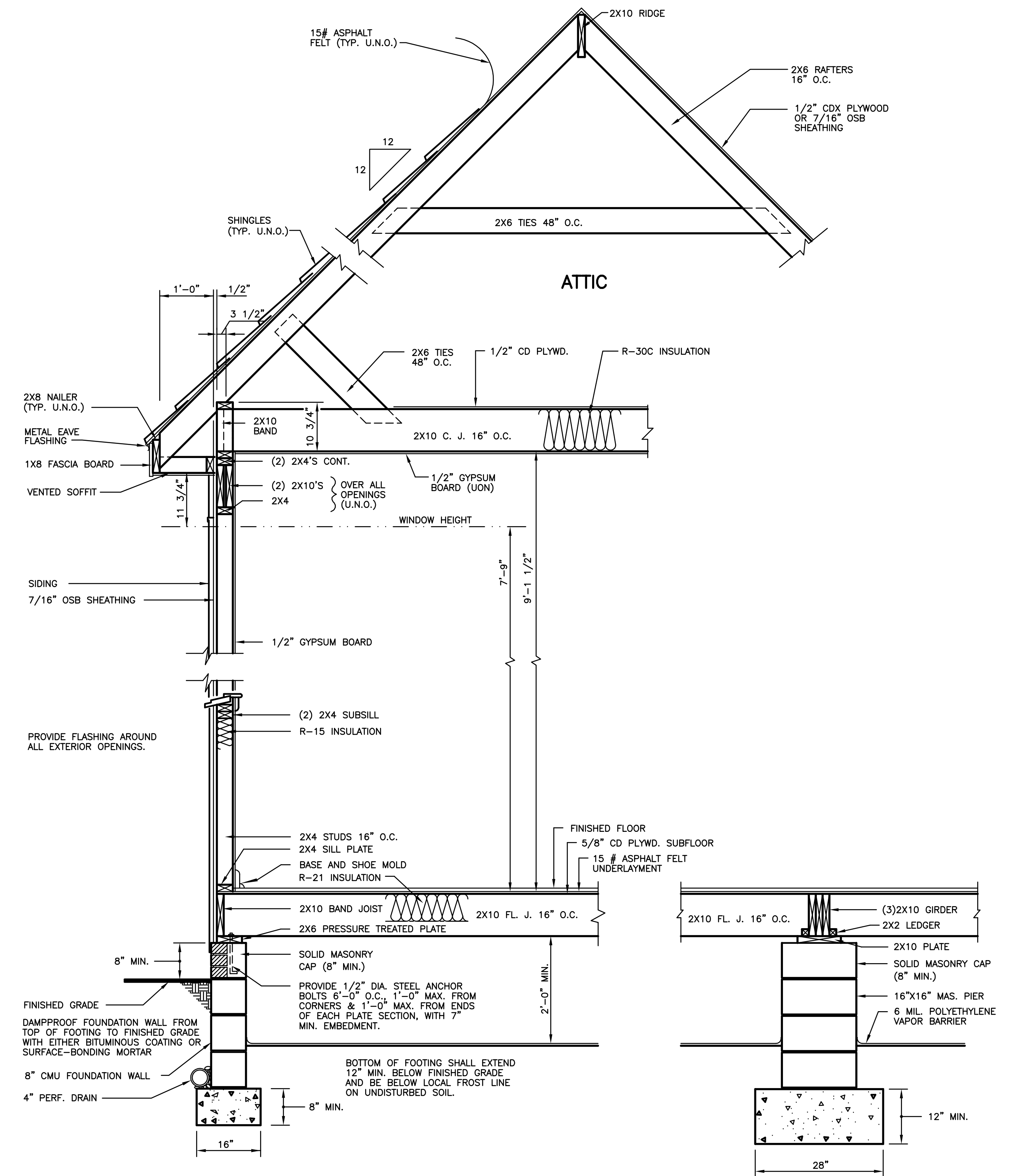
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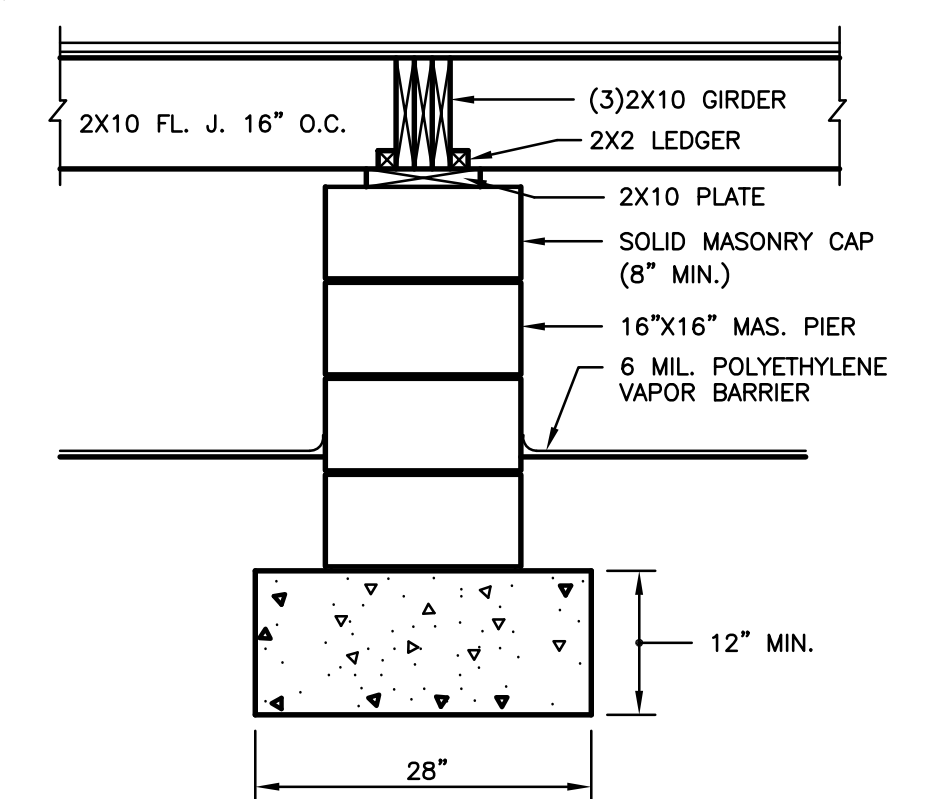
LEFT ELEVATION
SCALE : 1/4"=1'-0"



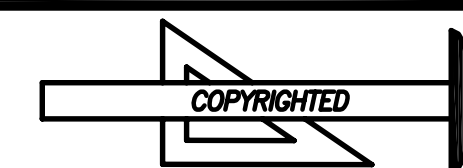
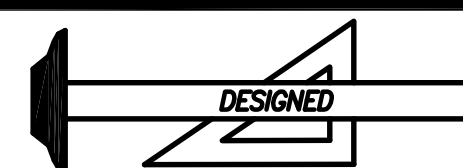
RIGHT ELEVATION
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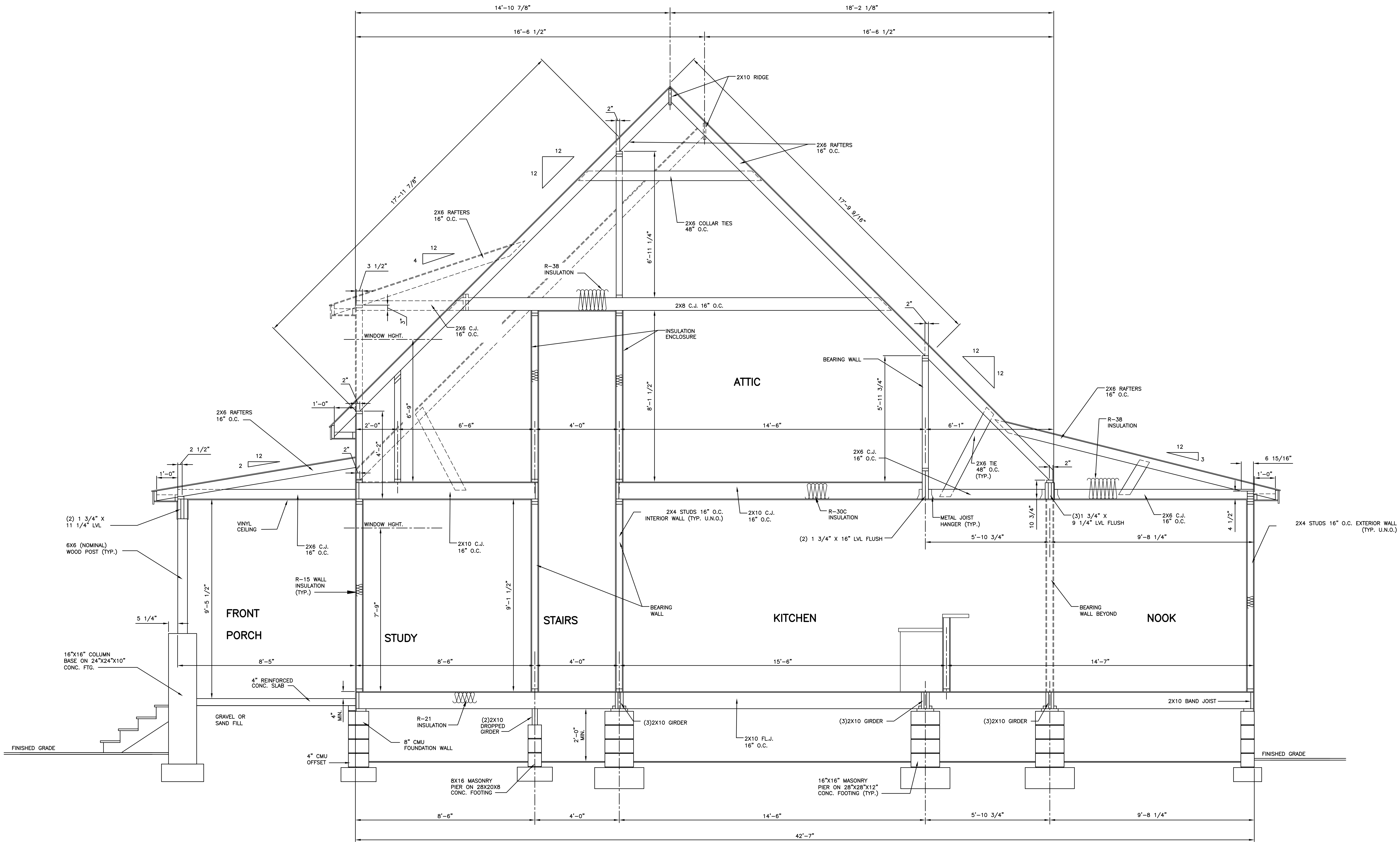
701 WALL SECTION THRU BEDROOM 2
SCALE : 3/4"=1'-0"



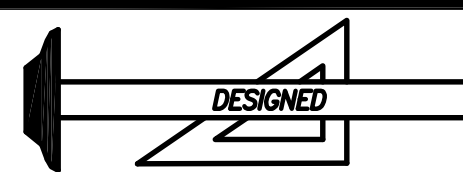
SECTION THRU GIRDER/PIER
SCALE : 3/4"=1'-0"



DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
ANNMARIE & BRADLEY SUMMERS	CUSTOM	2650	SIDING		7 OF 9

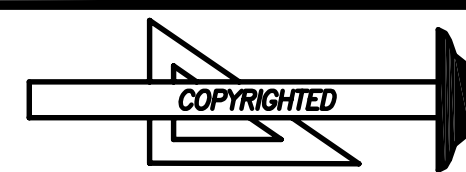


801 CROSS SECTION THRU KITCHEN
SCALE: 1/2"=1'-0"



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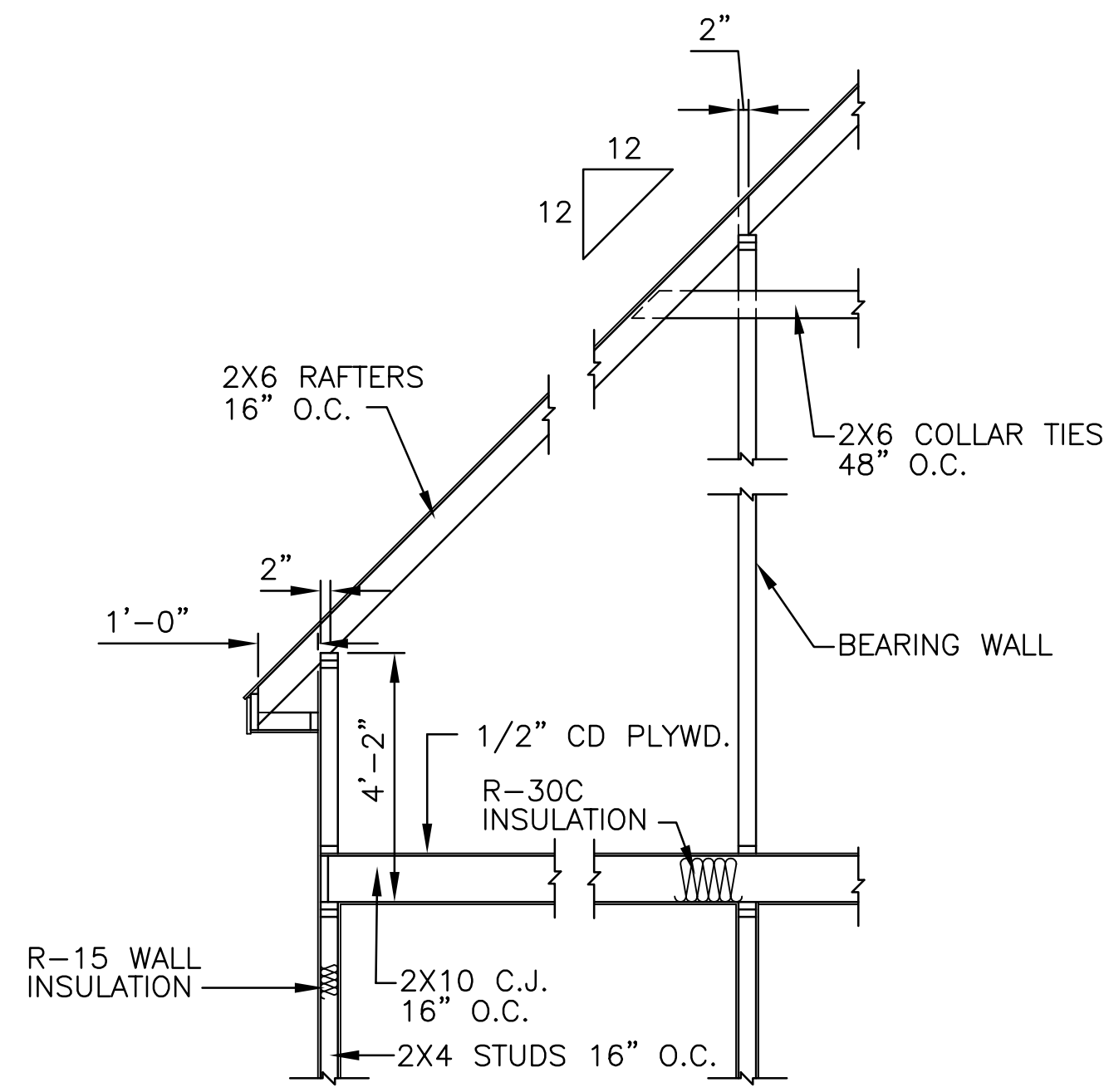
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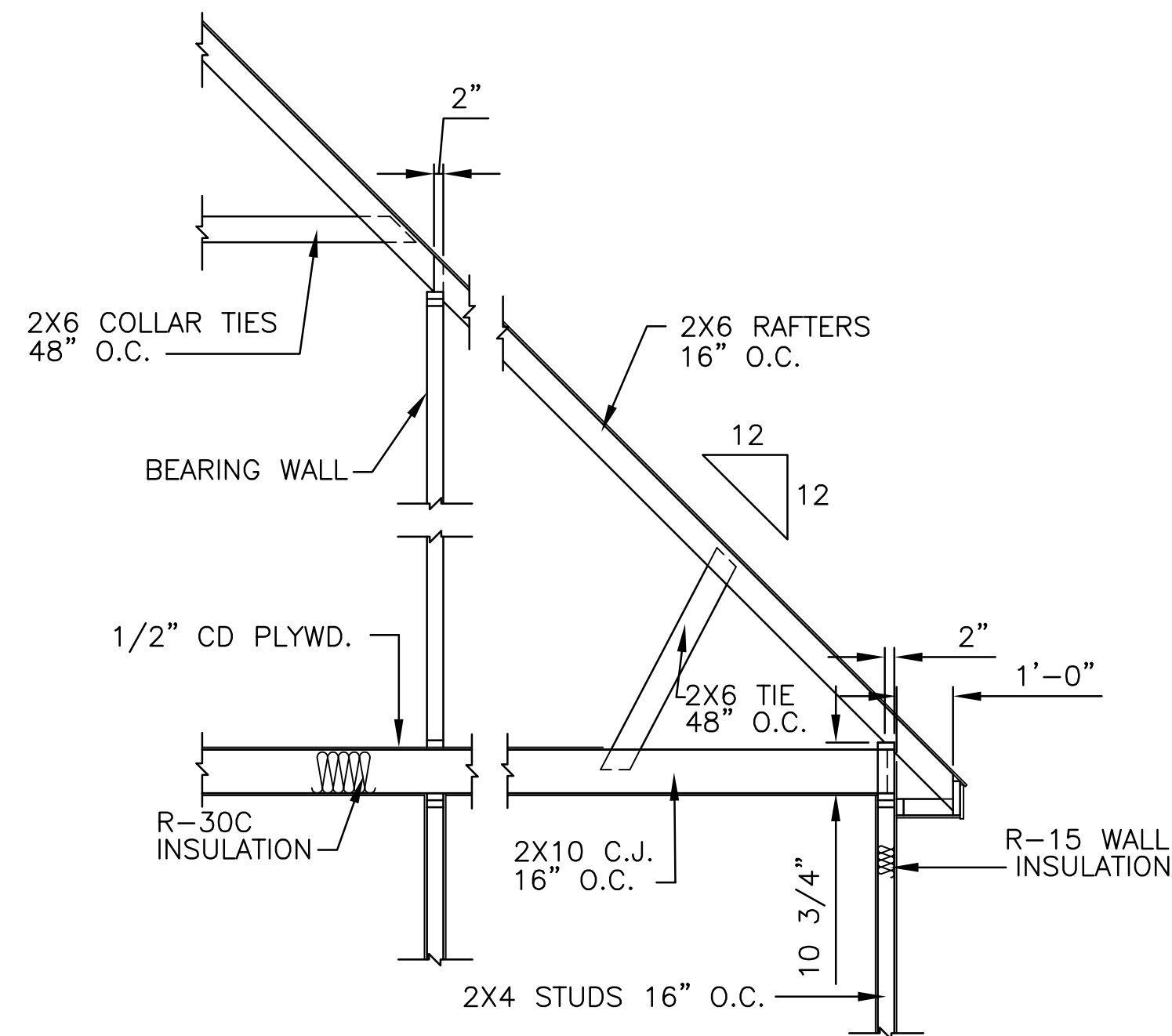
DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
ANNMARIE & BRADLEY SUMMERS	CUSTOM	2650	SIDING		8 OF 9

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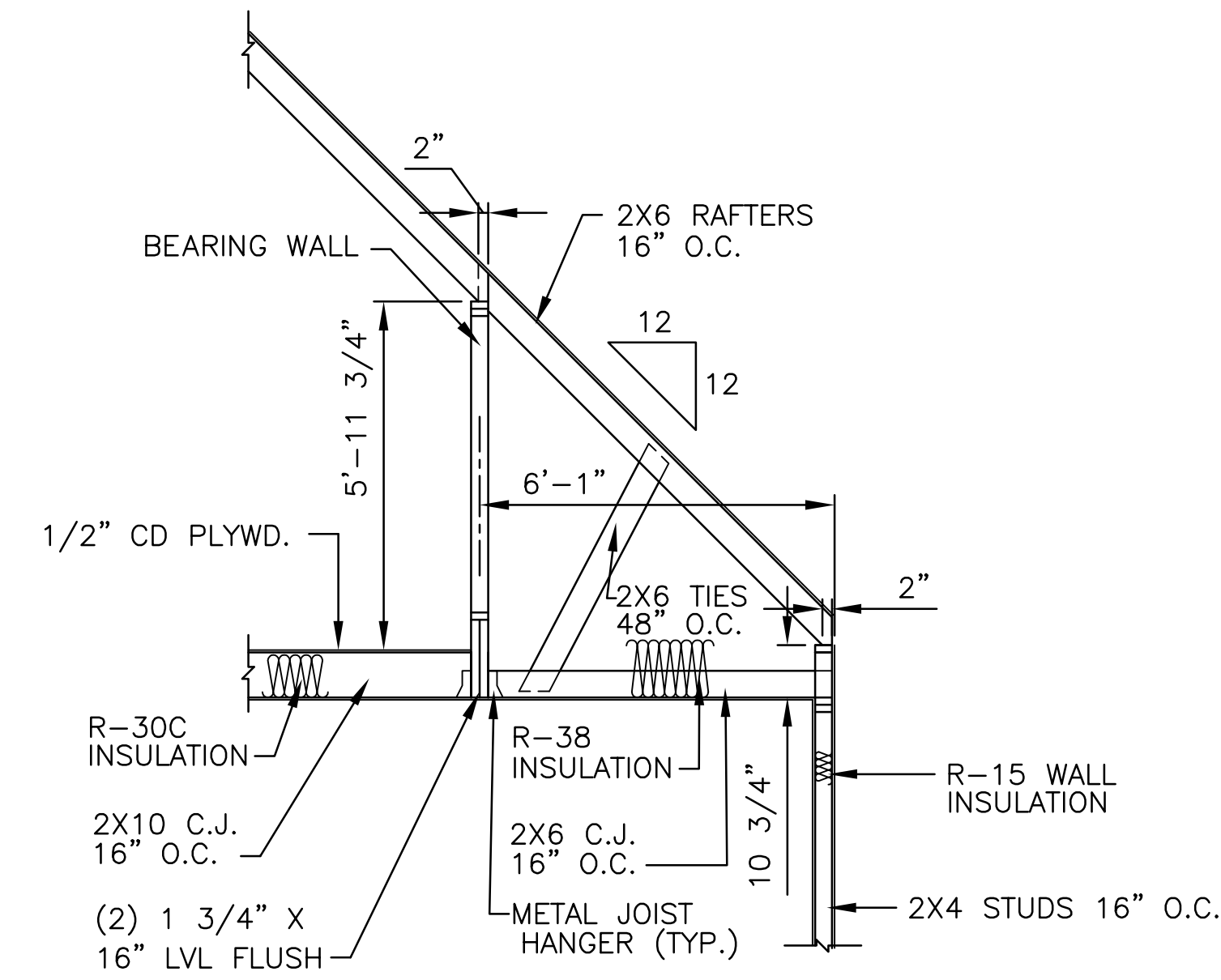
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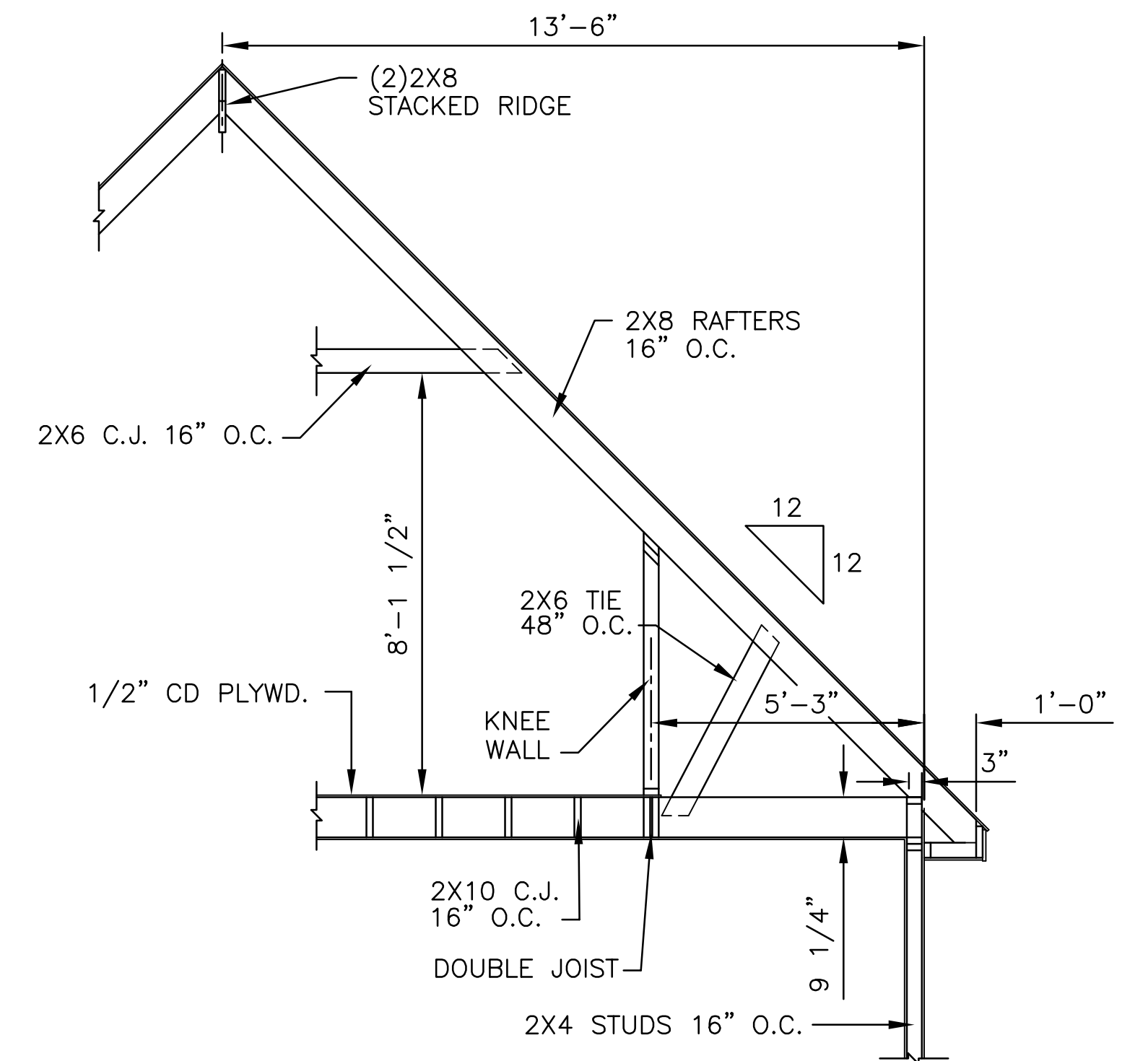
901 RAISED MAIN GABLE THRU BEDROOM 3
SCALE : 3/8"=1'-0"



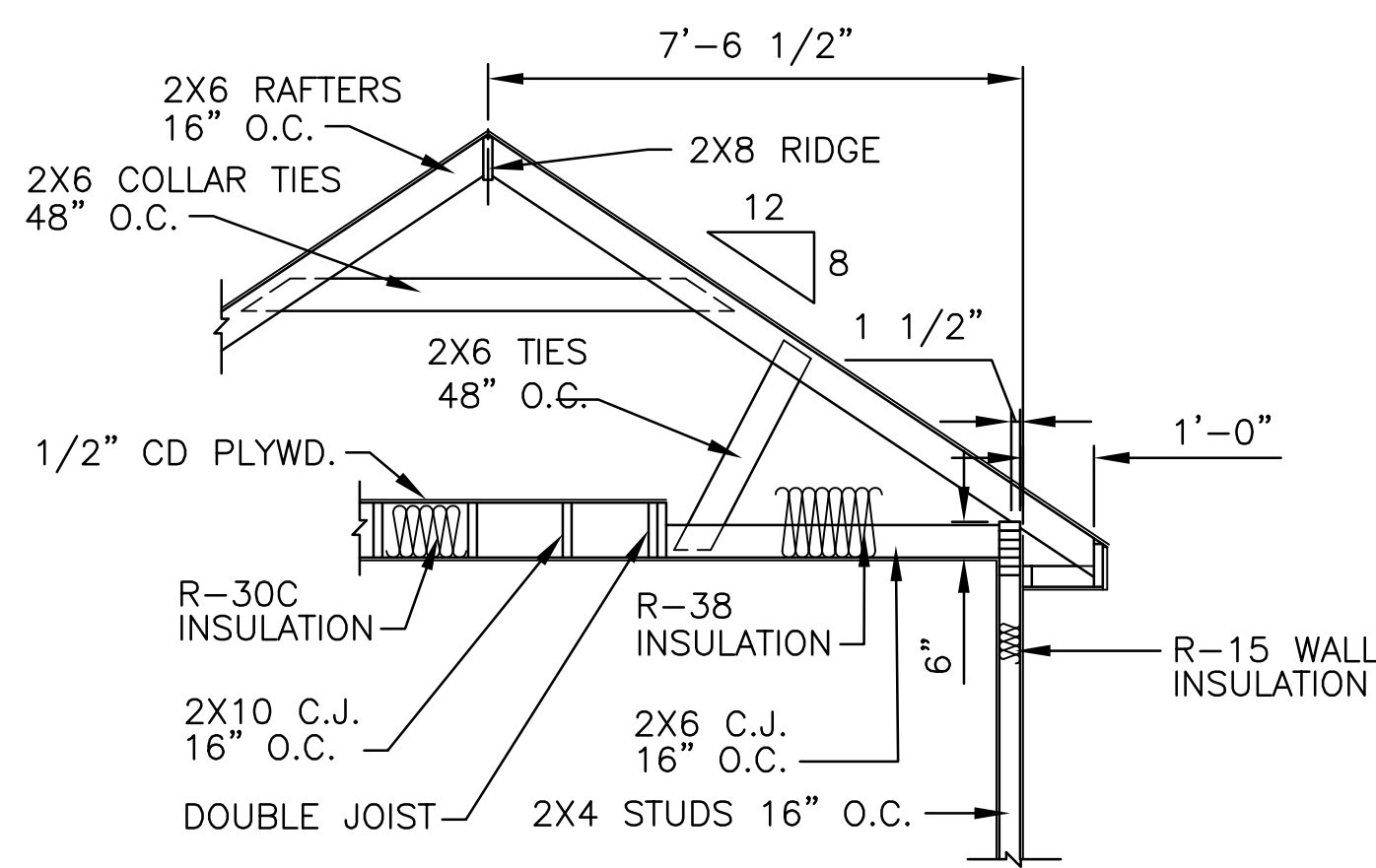
902 SECTION THRU BEDROOM 2
SCALE : 3/8"=1'-0"



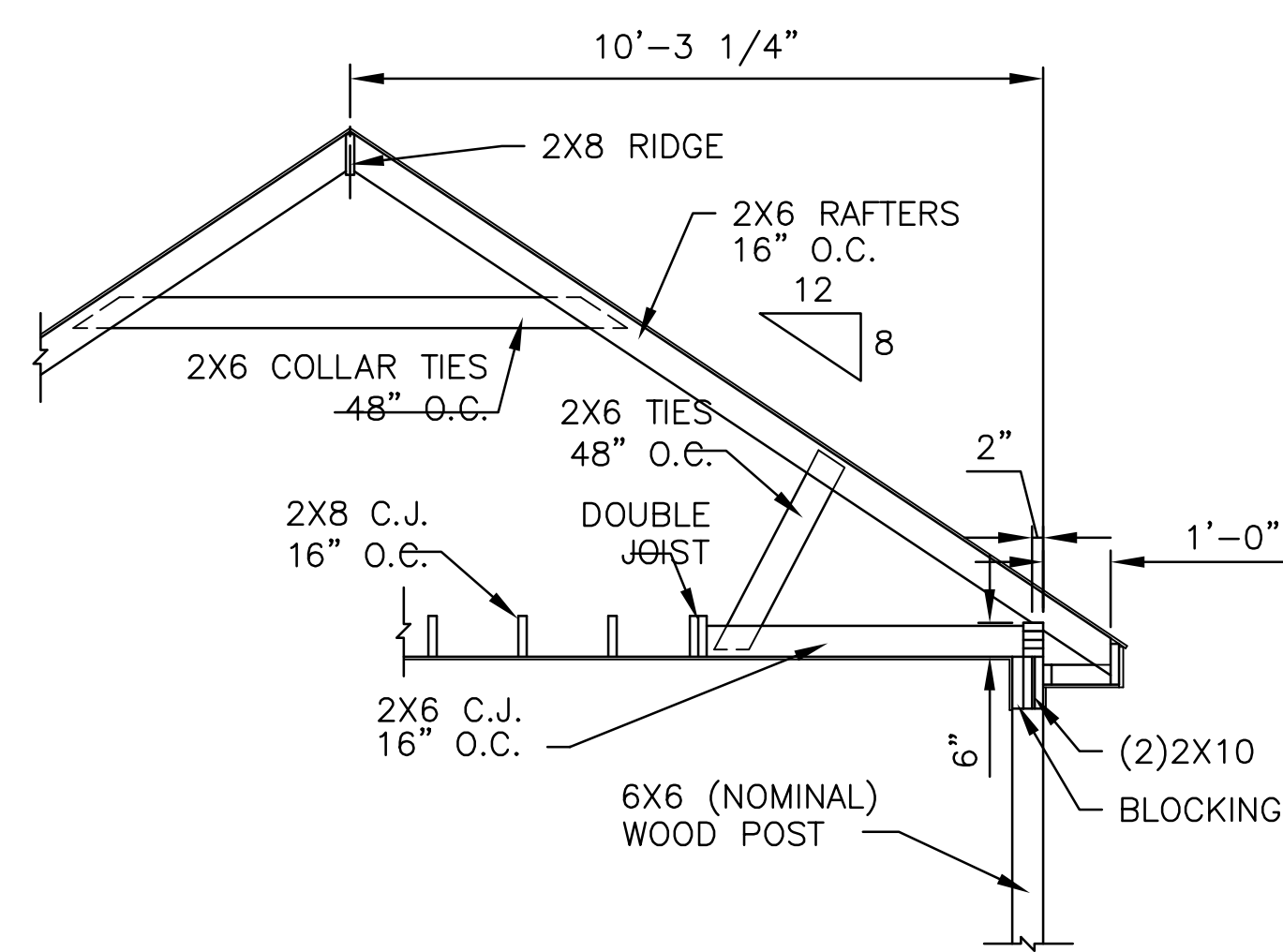
903 SECTION THRU FAMILY ROOM
SCALE : 3/8"=1'-0"



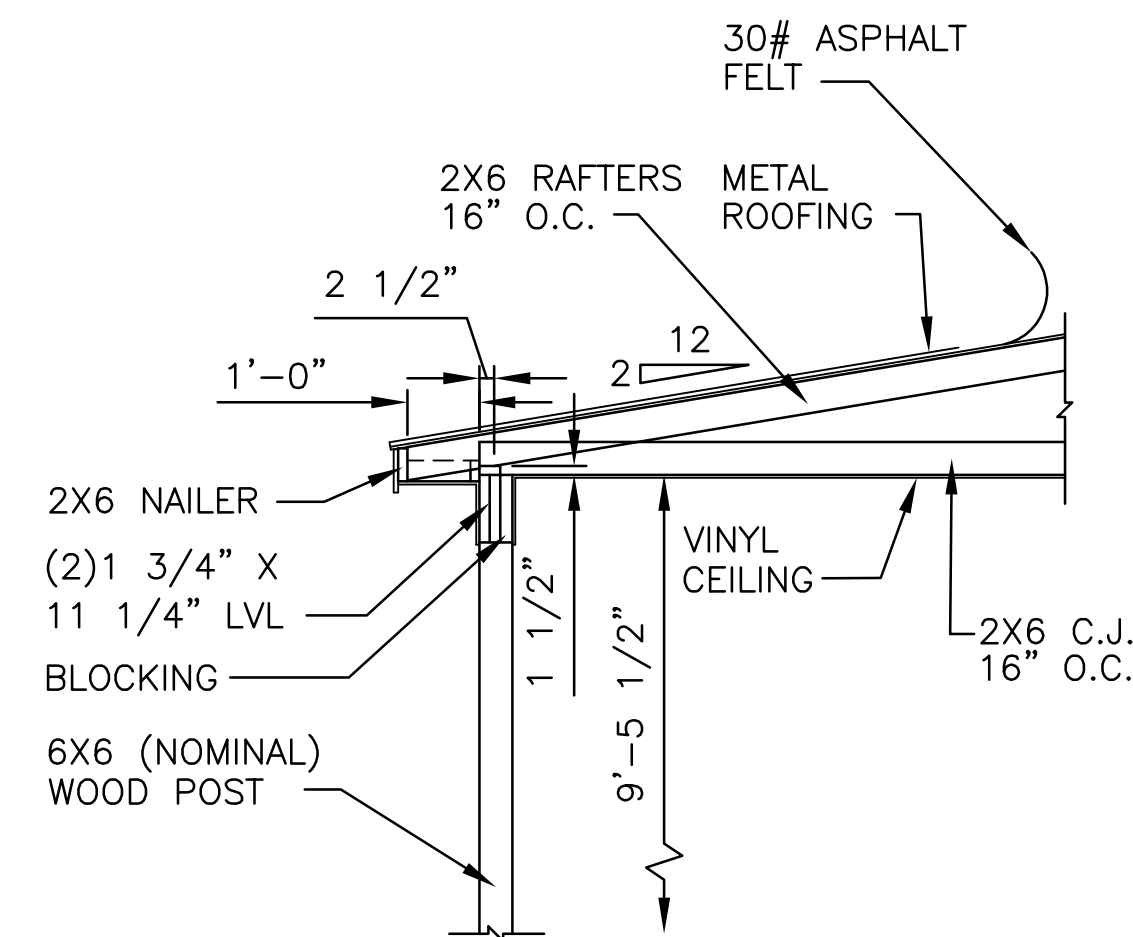
904 SECTION THRU GARAGE
SCALE : 3/8"=1'-0"



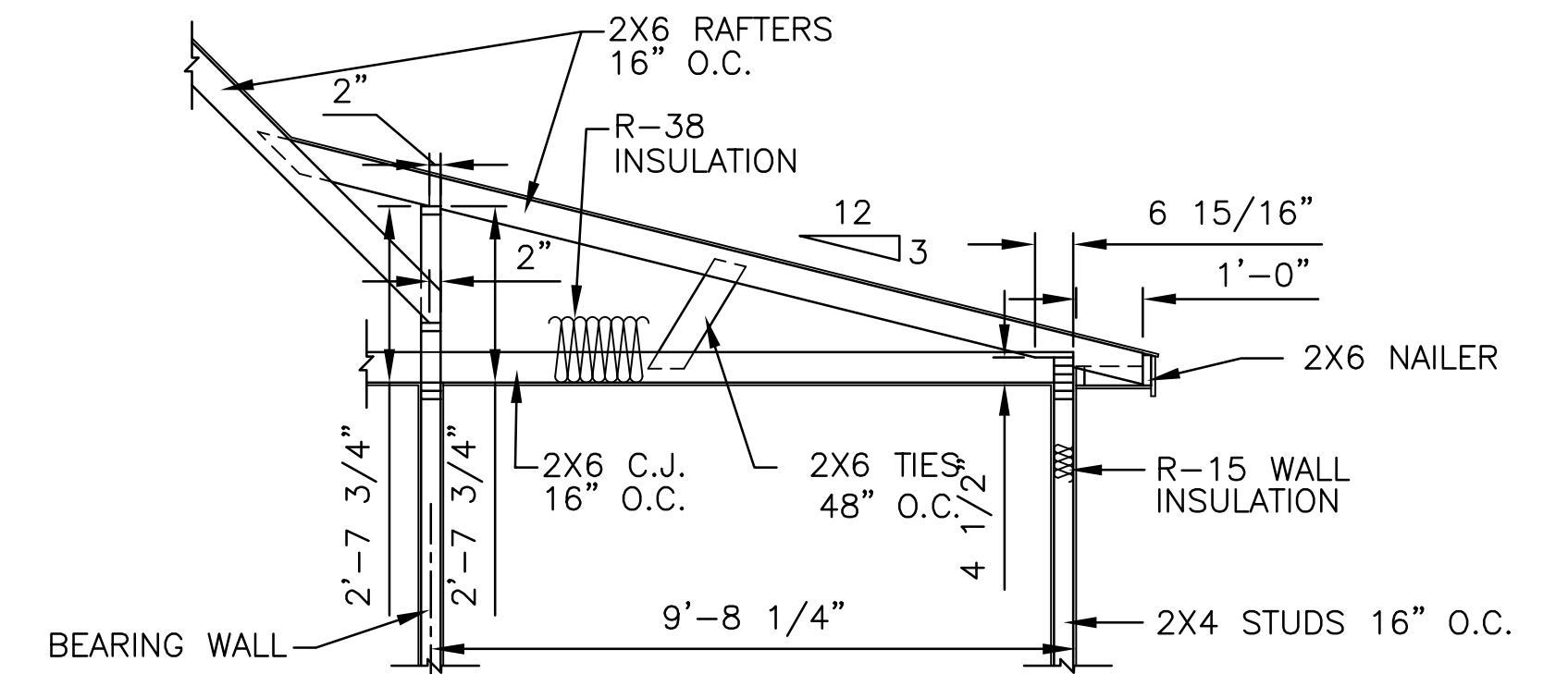
905 SECTION THRU BEDROOM 1
SCALE : 3/8"=1'-0"



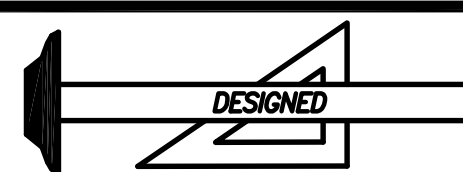
906 SECTION THRU COVERED PORCH
SCALE : 3/8"=1'-0"



907 SECTION THRU FRONT PORCH
SCALE : 3/8"=1'-0"

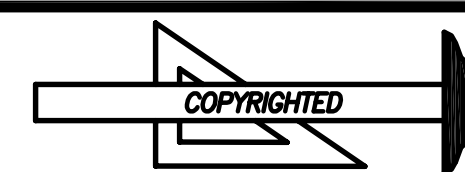


908 SECTION THRU PANTRY
SCALE : 3/8"=1'-0"



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