

HARRINGTON

CEDAR POINTE
LOT 0003



PLAN ID 040121.1201

**110 VILLAGE TRAIL SUITE 215
WOODSTOCK, GA. 30188**

DRAWING INDEX	
A0.0	COVER SHEET
A1.1	FRONT ELEVATIONS
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATION
A5.1	FIRST FLOOR PLANS & DETAILS
A5.2	SECOND FLOOR PLANS & DETAILS
A6.1	ROOF PLANS
A7.2-A7.3	ELECTRICAL PLANS
A8.1	TRIM LOCATION LAYOUTS

AREA TABULATION	
FIRST FLOOR	1104
SECOND FLOOR	1461
TOTAL	2565
GARAGE	396
FRONT PORCH (COVERED)	91
REAR PATIO	200

PLAN REVISIONS			
DATE	BY	REVISION	PAGE #
10/12/2023	SL	REMOVE 1.5" FURR IN DOWN BATH	A3.1-A8.1
10/20/2021	AW	Prototype walk revisions - see revision sheet	A5.1, A5.2, A7.2, A7.3
4/4/2002	AW	Changed finished basement bath plumbing wall from 2x6 to 2x4	A4.2
3/10/2023	AW	PCR #5180 Added 1 outlet to optional B-5 or Study ILO Living	A7.2
9/26/2023	CLJ	Removed Shower & Tub sizes from all affected pages	A5.1.1 & A5.2

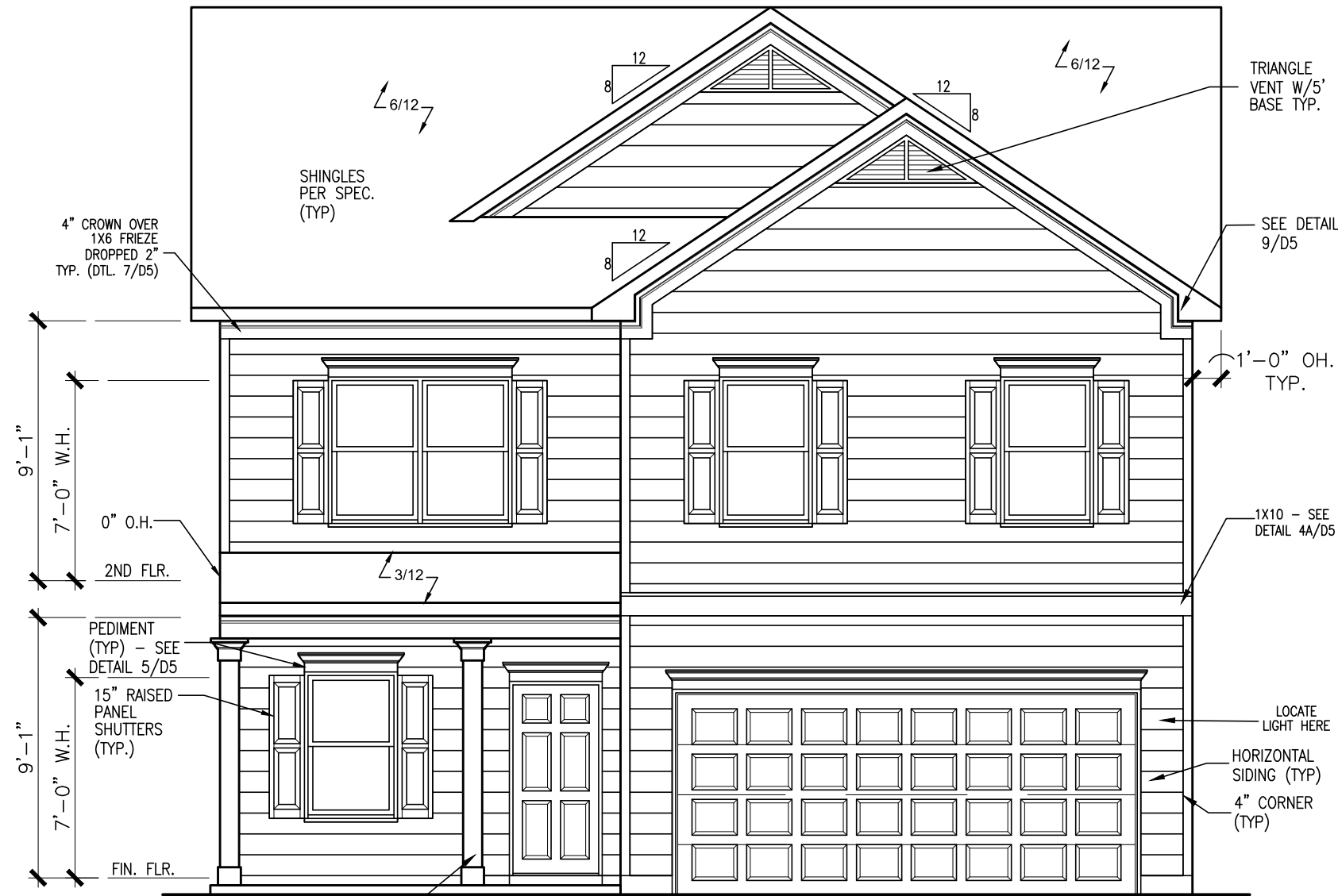
GOVERNMENTAL CODES & STANDARDS
HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA
HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

CEDAR POINTE LOT 0003



8"x8" BOX COLUMN (TYP.)
FRONT ELEVATION "A"

SCALE: 3/16"=1'-0"

BY	REVISION	DATE
#	#	#
#	#	#
#	#	#
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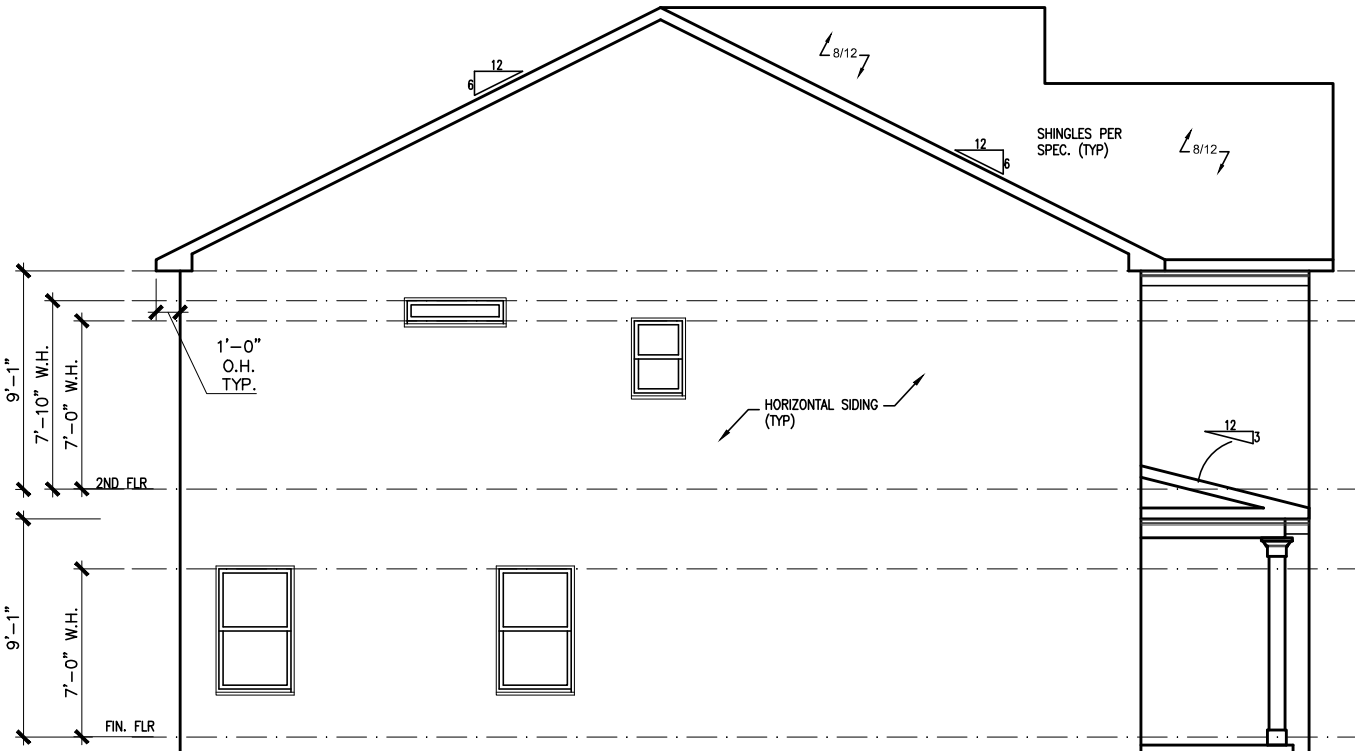
ELEVATIONS
FRONT ELEVATION
HARRINGTON

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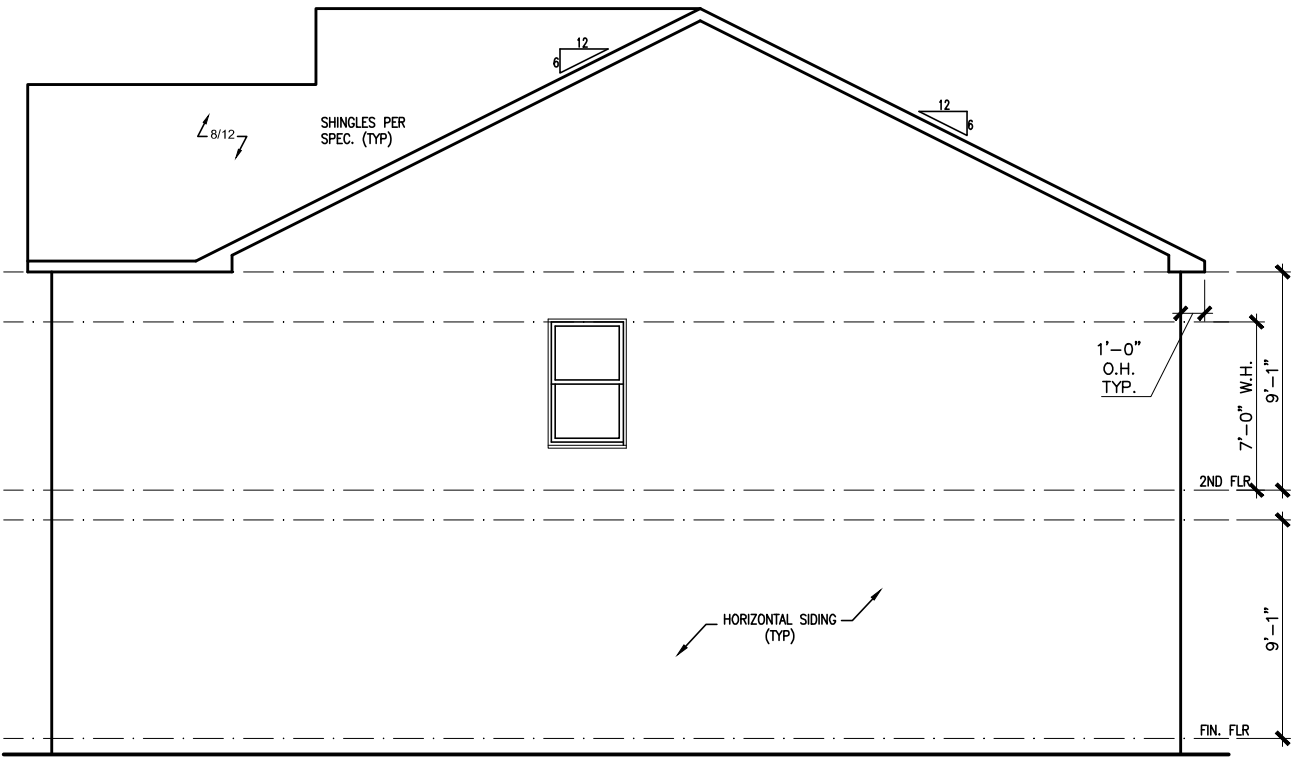
BY: TJJ	CH: AW
DATE: 05/30/2024	
FACADE OPT: A	
PLAN ID:	
FND: ALL	ELEV: A
PAGE NO: A1.1	

CEDAR POINTE LOT 0003



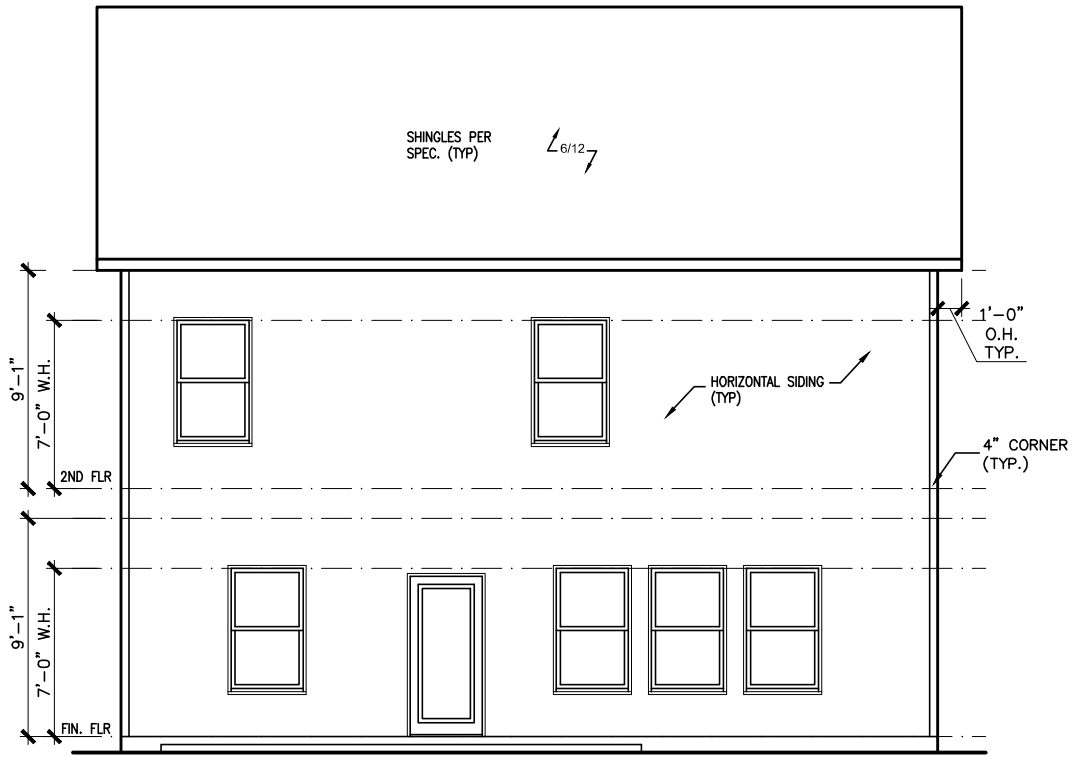
LEFT ELEVATION "A"

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "A"

SCALE: 1/8" = 1'-0"



REAR ELEVATION "A"

SCALE: 1/8" = 1'-0"

BY	REVISION	DATE
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QUALITY | INTEGRITY | VALUE

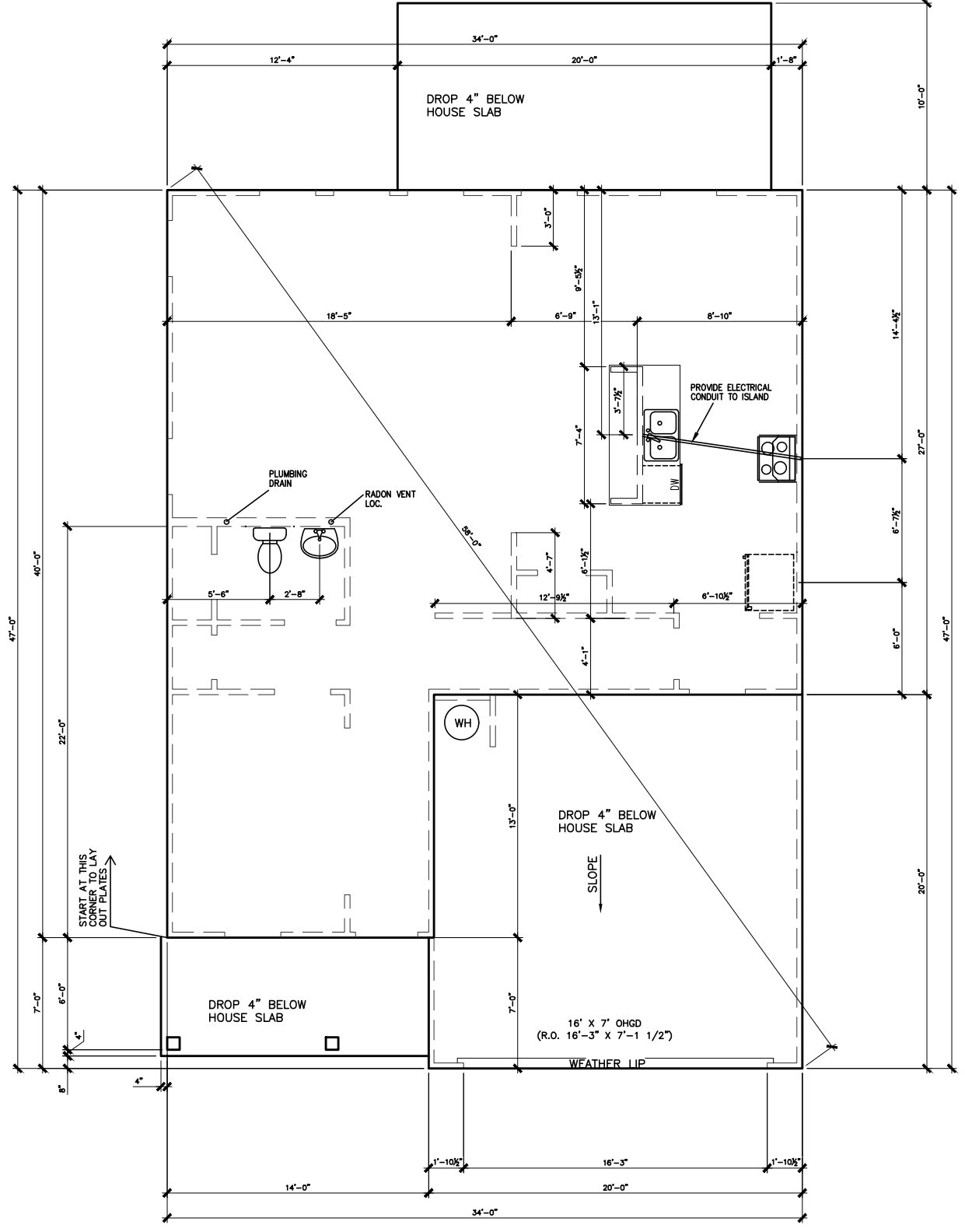
ELEVATIONS
SIDES AND REAR
HARRINGTON

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PAGE NO: A2.1	

CEDAR POINTE LOT 0003



SLAB PLAN

SCALE: 1/8" = 1'-0"

*RADON VENT PROVIDED PER LOCAL CODE

REFER TO DETAIL 3/D1 FOR BRICK LEDGE DETAIL WHEN BRICK VENEER IS CHOSEN

DATE	REVISION	BY



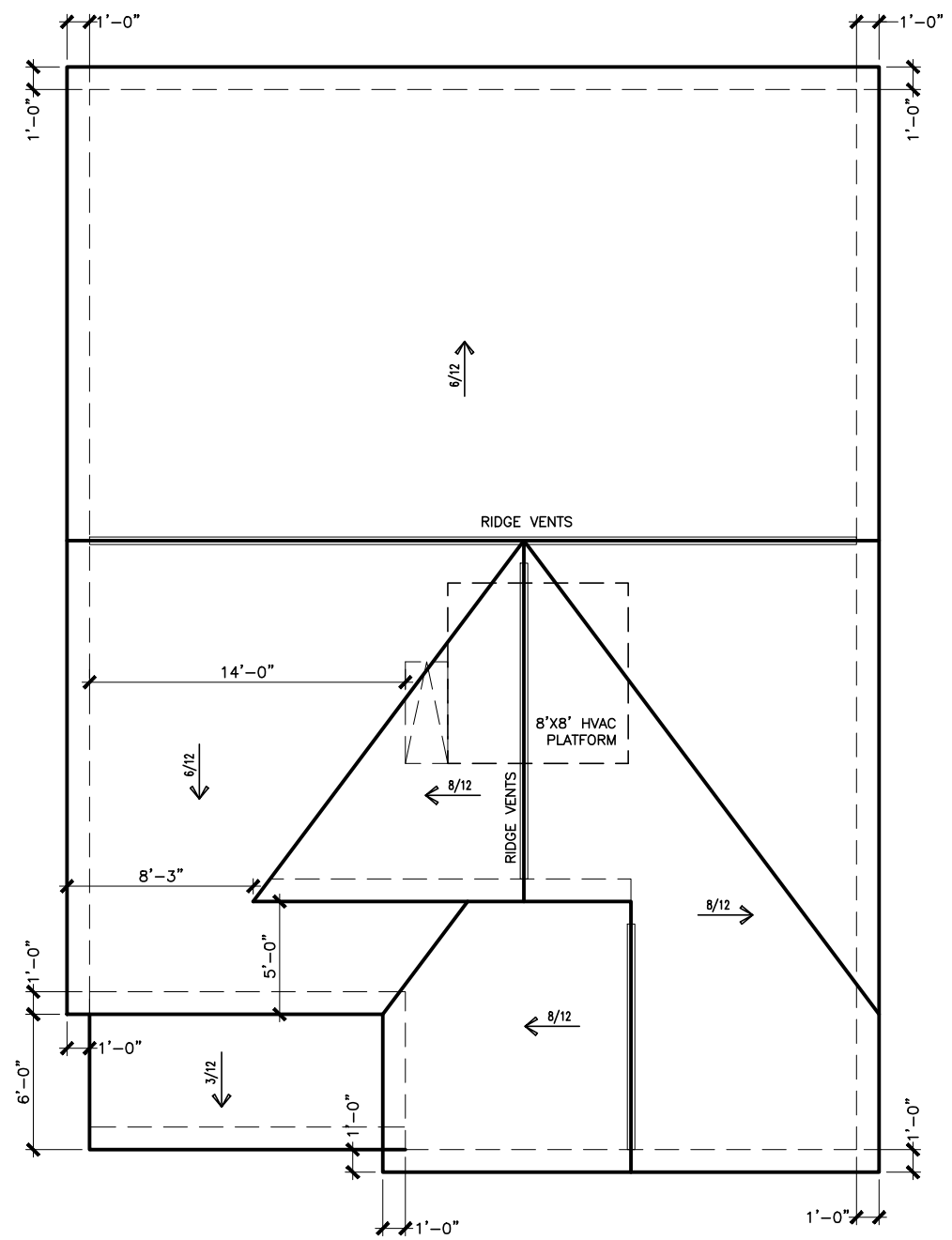
FOUNDATION PLAN
SLAB PLAN
HARRINGTON

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PAGE NO: A3.1	

CEDAR POINTE LOT 0003



ROOF PLAN "A"
SCALE : 1/8" = 1'-0"

DATE	REVISION	BY
#	#	#
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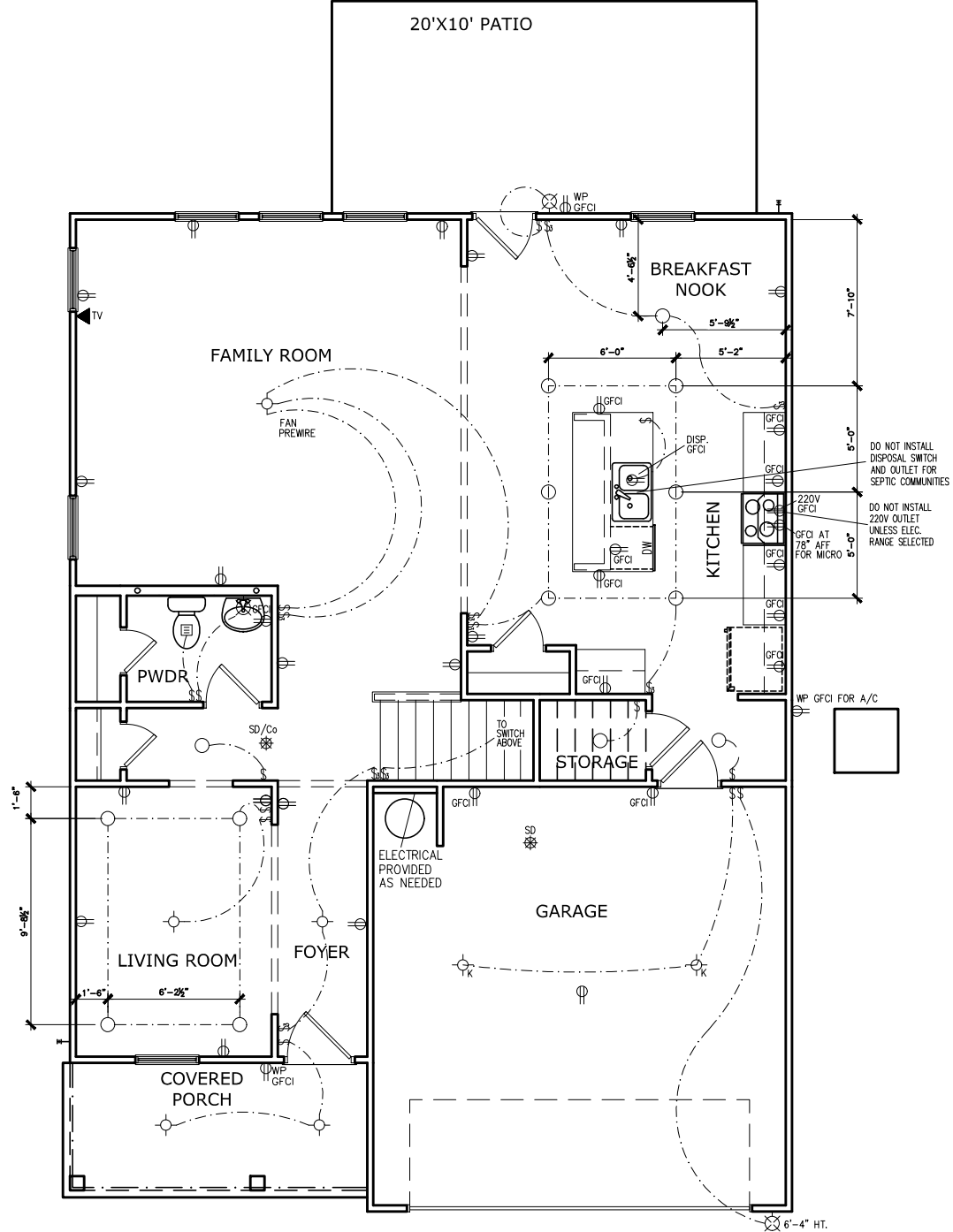
ROOF PLAN
ROOF PLAN
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PAGE NO: A6.1	

CEDAR POINTE LOT 0003



VERIFY
LOCATION OF
LIVING ROOM
CEILING
FIXTURE LIGHTS

ELECTRICAL LEGEND			
\$	SWITCH	TV	TV
\$3	3 WAY SWITCH	⊕	120V RECEPTACLE
\$4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕ _K	KEYLESS	⊕ _{GFCI}	GFCI OUTLET
⊕ _W	WALL MOUNT FIXTURE	⊕ _{AFCI}	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	† _{GL}	GAS LINE
●	FLEX CONDUIT	† _{WL}	WATER LINE
CH	CHIMES	⊥	HOSE BIBB
PH	TELEPHONE	⊕	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	⊕	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊕	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
⊕	EXHAUST FAN	⊕	CEILING FIXTURE
⊕	FAN/LIGHT		
ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES			
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)			
BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR		
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP		
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR		
CEILING FAN	96" ABOVE FINISHED FLOOR		
FLOOD LIGHT	10' MAX. ABOVE FIN. FLOOR		

NOTE: FINAL PLACEMENT OF
PHONE/CABLE T.B.D. ON SITE
BY THE BUILDER

FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

DATE	REVISION	BY	#



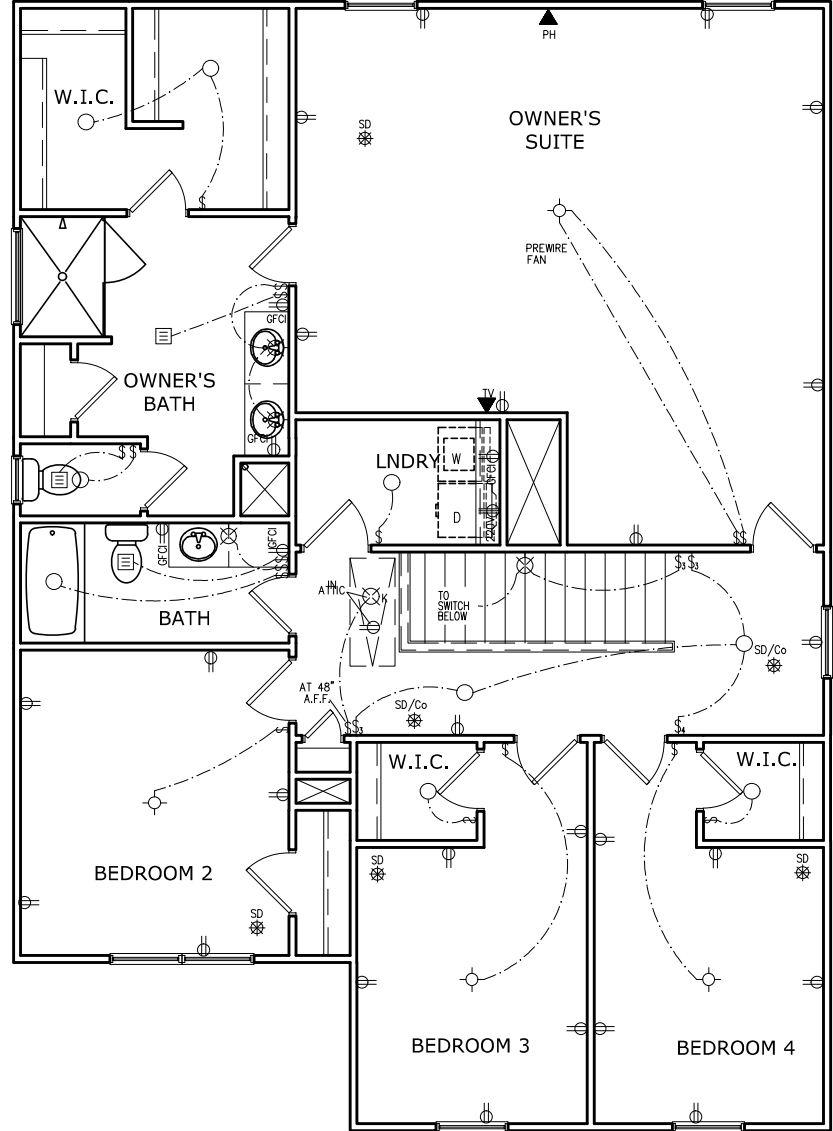
ELECTRICAL PLAN
FIRST FLOOR
HARRINGTON

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PAGE NO: A7.2	

CEDAR POINTE LOT 0003



ELECTRICAL LEGEND			
§	SWITCH	TV	TV
§3	3 WAY SWITCH	⊕	120V RECEPTACLE
§4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕	KEYLESS	⊕	GFCI OUTLET
⊕	WALL MOUNT FIXTURE	⊕	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	†	GAS LINE
●	FLEX CONDUIT	†	WATER LINE
CH	CHIMES	⊥	HOSE BIBB
PH	TELEPHONE	⊕	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	⊕	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊕	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
⊕	EXHAUST FAN	⊕	CEILING FIXTURE
⊕	FAN/LIGHT		
ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES			
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)			
BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR		
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP		
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR		
CEILING FAN	96" ABOVE FINISHED FLOOR		
FLOOD LIGHT	10' MAX. ABOVE FIN. FLOOR		

NOTE: FINAL PLACEMENT OF
PHONE/CABLE T.B.D. ON SITE
BY THE BUILDER

SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

DATE	REVISION	BY



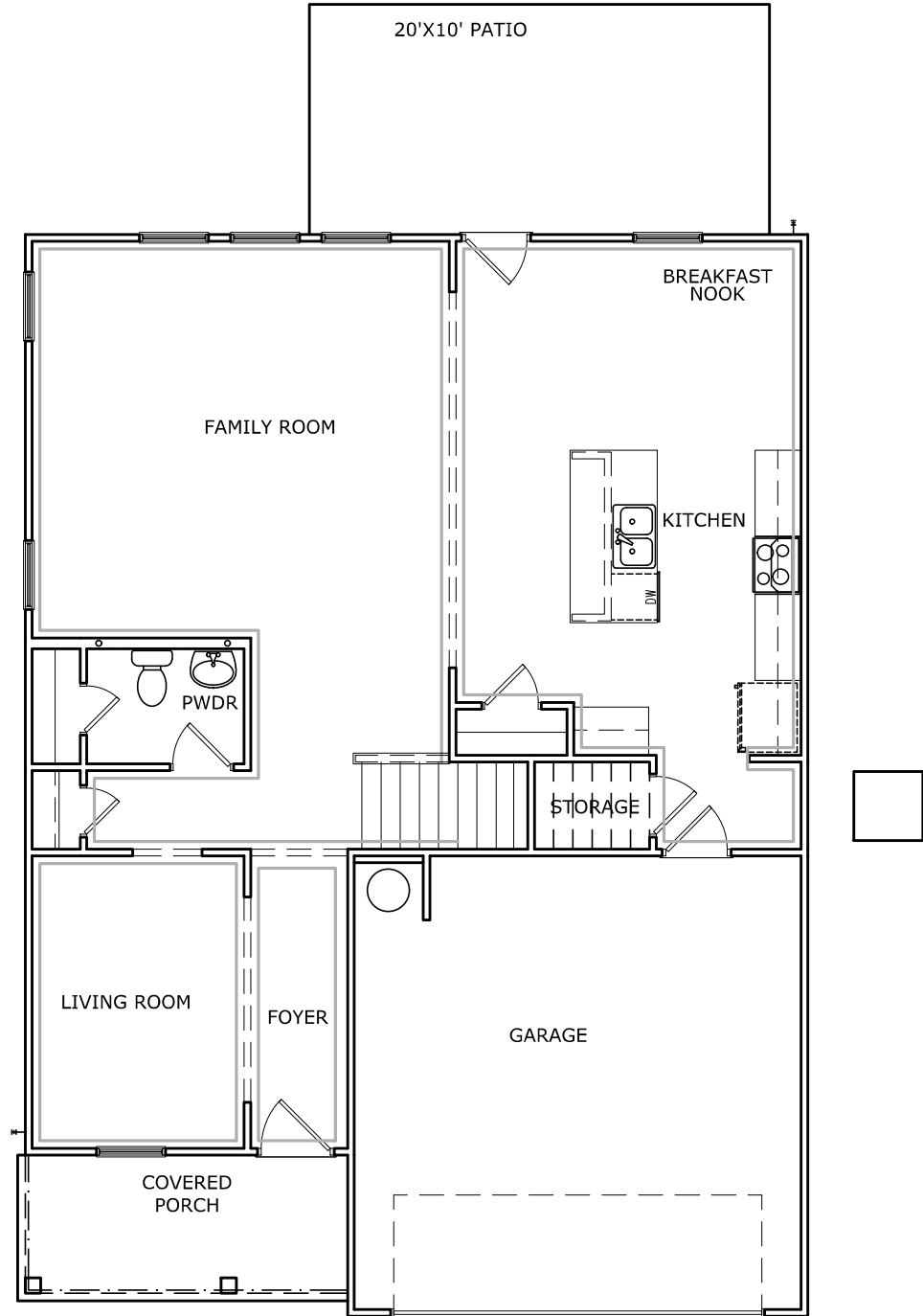
ELECTRICAL PLAN
SECOND FLOOR
HARRINGTON

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FND: ALL	BLV: A
PAGE NO: A7.3	

CEDAR POINTE LOT 0003



—— TWO PIECE CROWN

TRIM LAYOUT FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"

DATE	REVISION	BY
#	#	#
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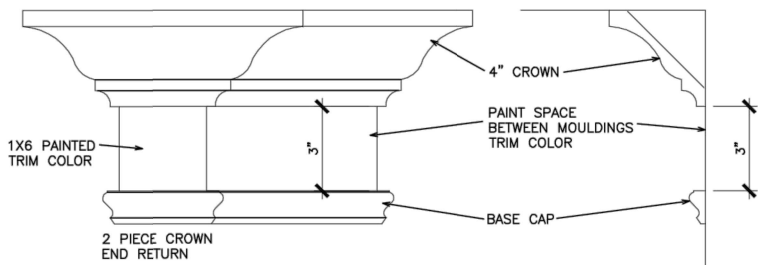
FLOOR PLAN
TRIM LAYOUT
HARRINGTON

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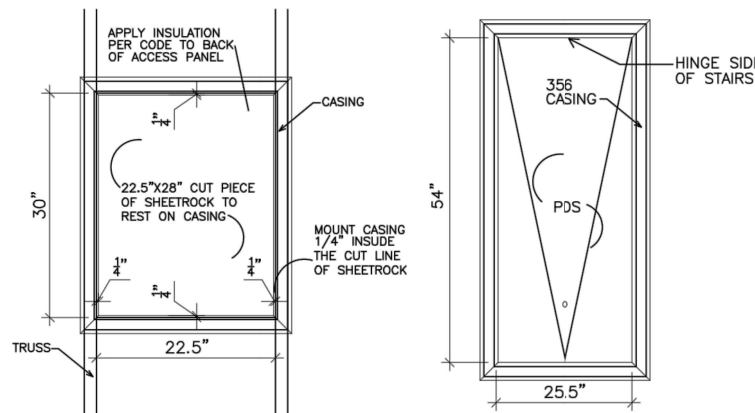
BY: TJJ	CH: AW
DATE: 05/30/2024	
FACADE OPT: A	
PLAN ID:	
FND: ALL	ELEV: A
PAGE NO: A8.1	

REFER TO LOT SPECIFIC PLAN TO DETERMINE WHICH DETAILS APPLY



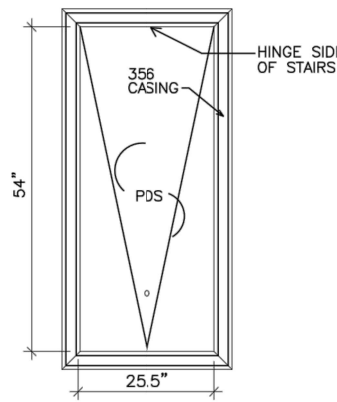
TYPICAL TWO PIECE CROWN

N.T.S.



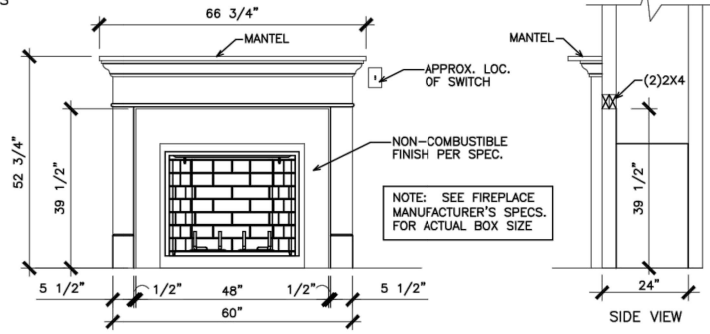
SCUTTLE HOLE DETAIL

N.T.S.



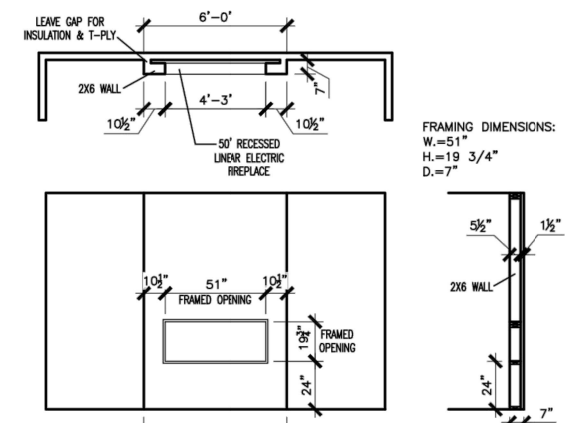
PDS TRIM DETAIL

N.T.S.



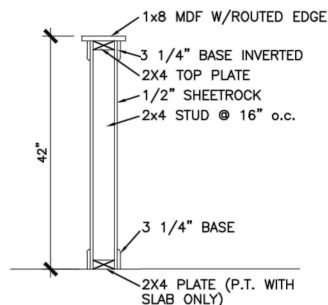
GAS/ELECTRIC FIREPLACE DETAIL WITH WESCOTT WOOD MANTEL

N.T.S.



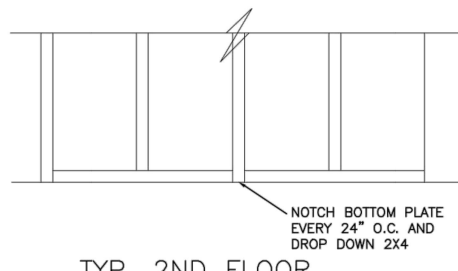
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S.



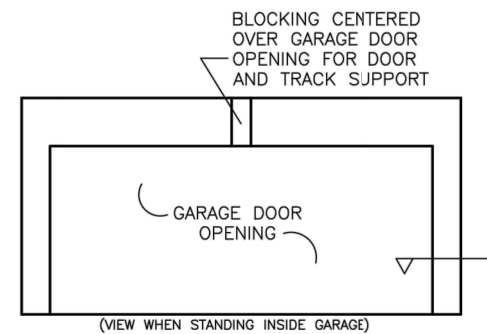
TYP. KNEEWALL SECTION

N.T.S.



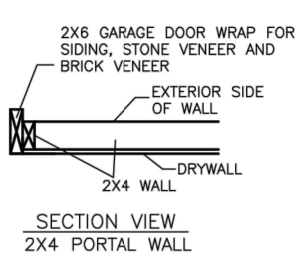
TYP. 2ND FLOOR KNEEWALL STABILITY

N.T.S.



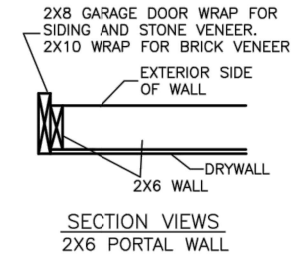
TYP. GARAGE WRAP & BLOCKING

N.T.S.



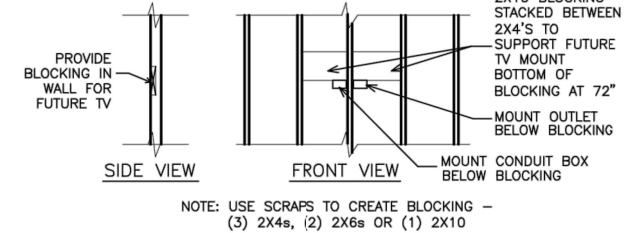
SECTION VIEW 2X4 PORTAL WALL

N.T.S.



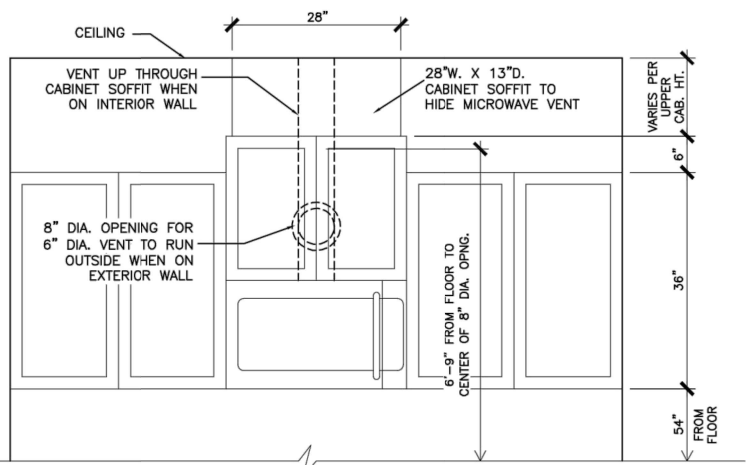
SECTION VIEWS 2X6 PORTAL WALL

N.T.S.



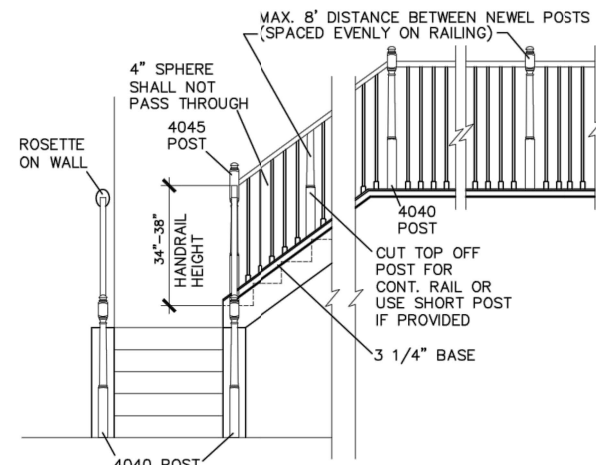
TYP. TV WALL PREP

N.T.S.



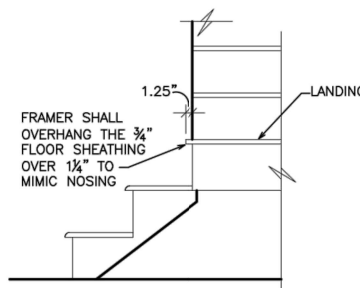
CABINET SOFFIT DETAIL ABOVE VENTED MICROWAVE W/CABINET ABOVE RANGE BUMPED UP & OUT

N.T.S.



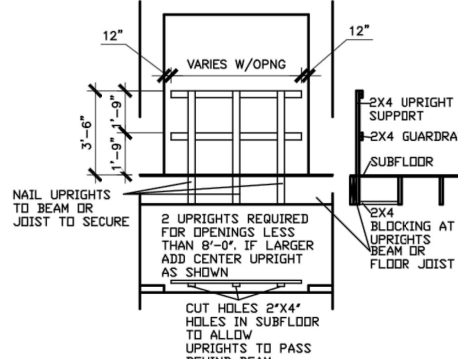
HANDRAIL/POST DETAIL @ STAIRS

N.T.S.



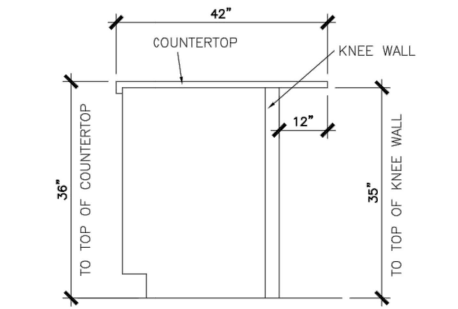
BOX STEP OVERHANG

N.T.S.



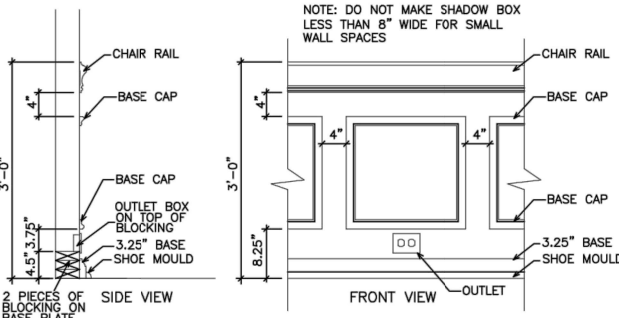
GUARD RAIL DTL. AS REQ'D

N.T.S.



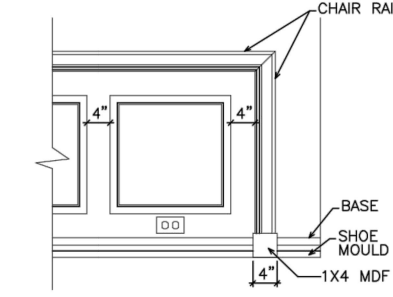
SECTION @ ISLAND KNEEWALL

N.T.S.



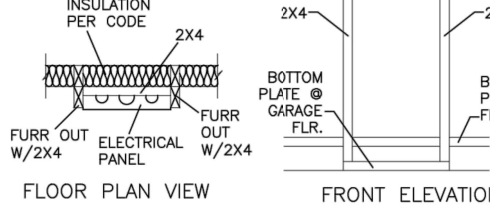
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S.



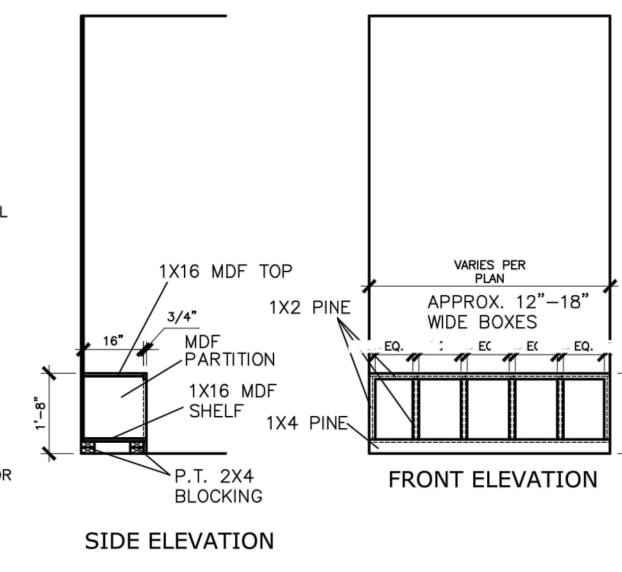
CHAIR RAIL END TRIM DETAIL

N.T.S.



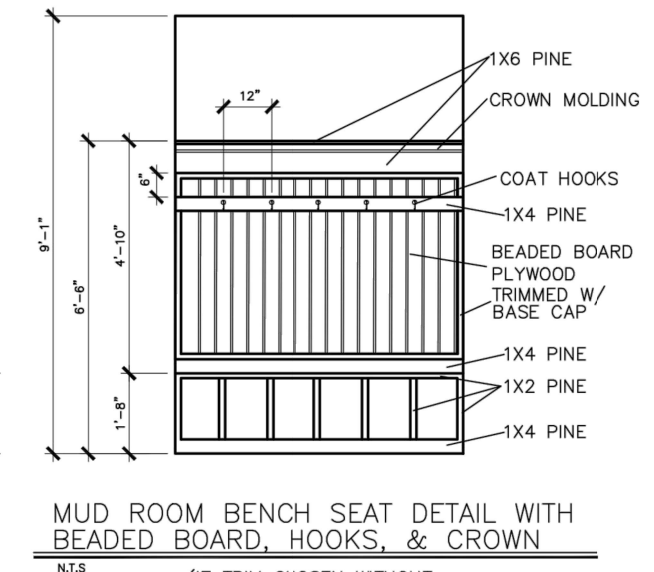
ELECTRICAL PANEL DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL WITH BEADED BOARD, HOOKS, & CROWN

N.T.S.

(IF TRIM CHOSEN WITHOUT BENCH CONTINUE TO FLOOR)

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BY	DATE	REVISION

SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

INTERIOR TRIM
DETAILS

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DATE:	6/13/23
PLAN ID:	
END:	
ELEV:	
PAGE NO.:	D1.1

Mulhern+Kulp project number:
 256-21012

project mgr: SMK
 drawn by: MJF
 issue date: 02-21-22

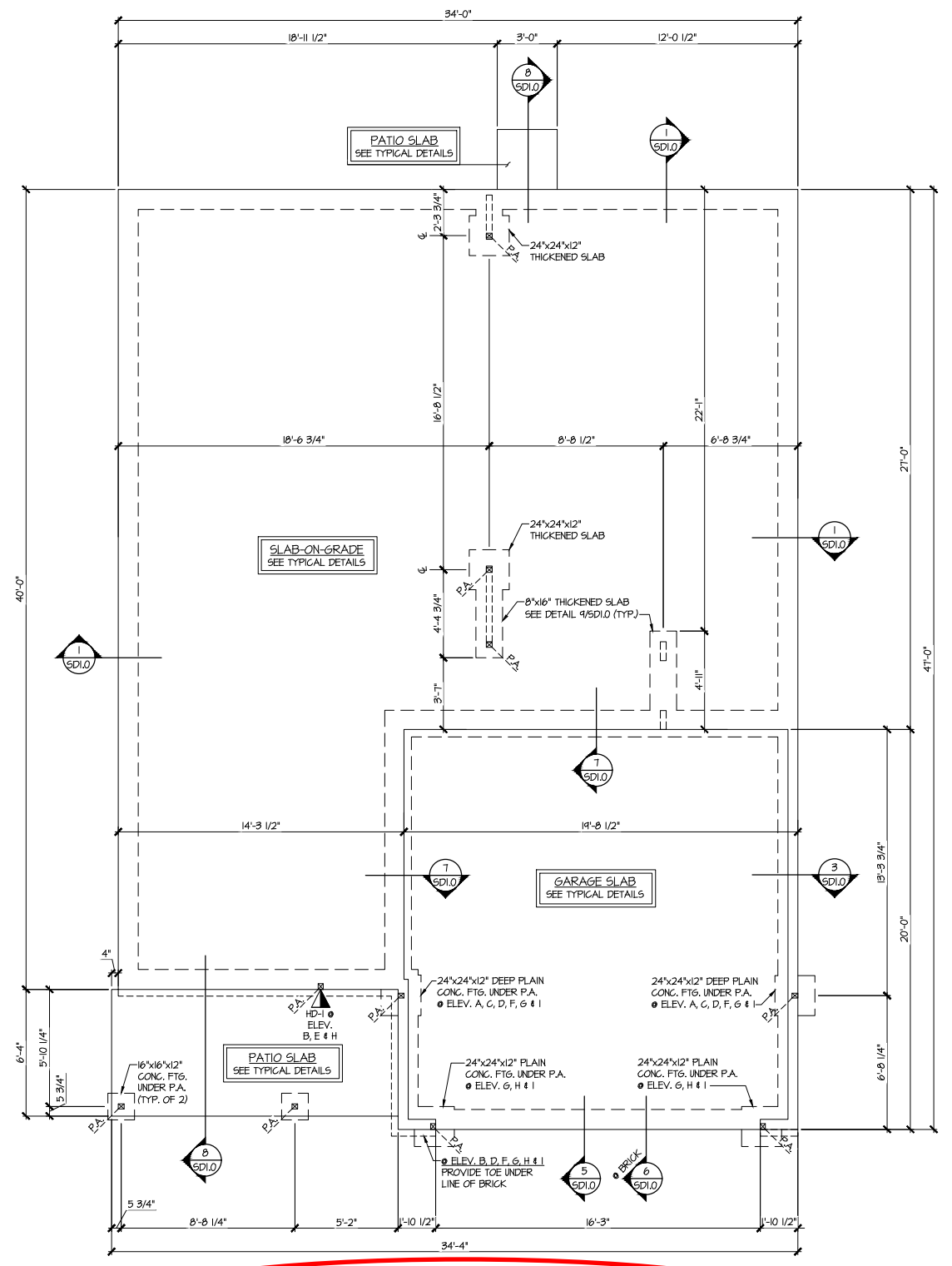
REVISIONS:

date:	initial:
1/22/21	MJF
MISSING PLANS ADDED	

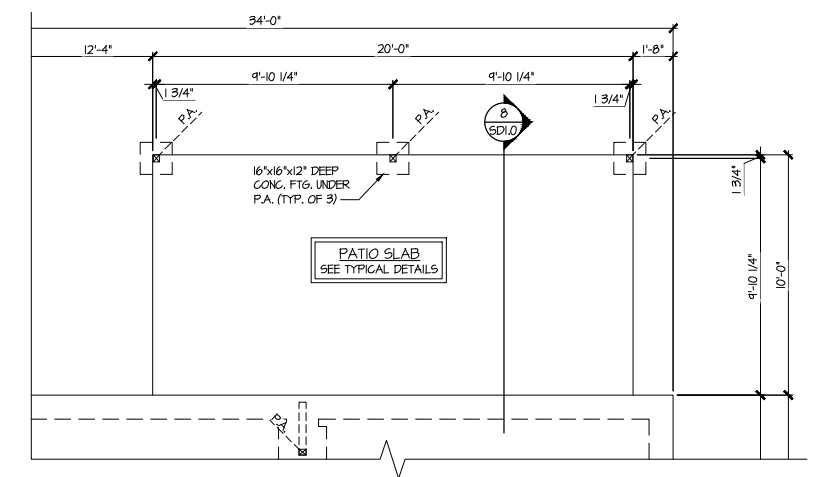
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MONO-SLAB FOUNDATION
 HARRINGTON MODEL
 RALEIGH, NC

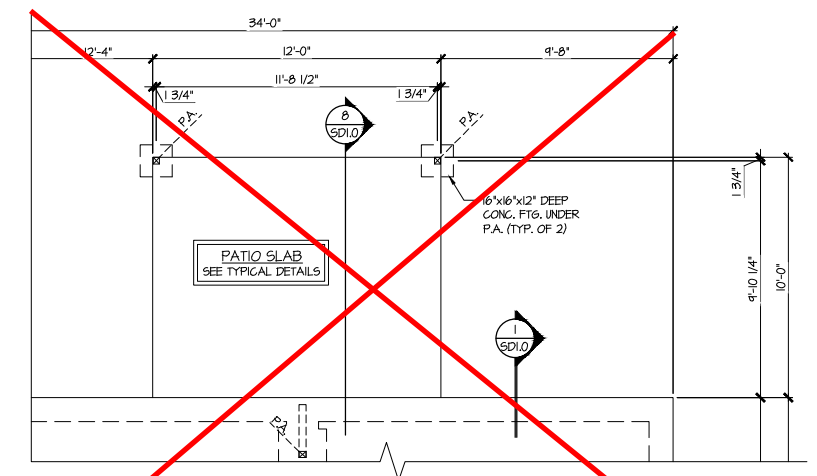
sheet:
S1.0



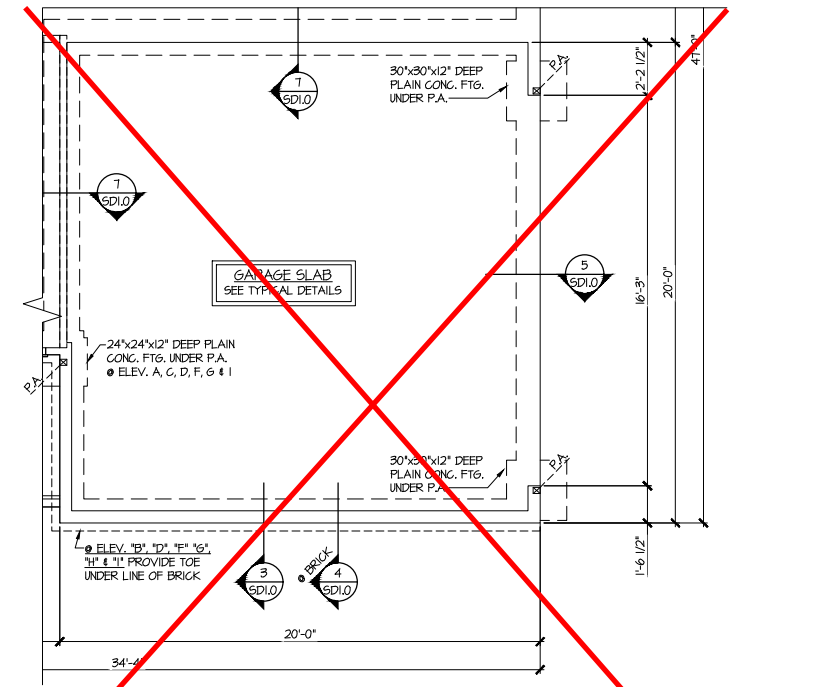
1 MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. A SHOWN
 ALL ELEV. SIM.



4 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. LARGE
 COVERED PORCH



3 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. COVERED PORCH



2 PARTIAL MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 OPT. SIDE ENTRY GARAGE

**CEDAR
 POINTE
 Lot 3**

REFER TO S0.0 FOR TYPICAL
 STRUCTURAL NOTES & SCHEDULES

LEGEND

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
- OF INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- J.L. METAL HANGER
- * INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

Mulhern+Kulp project number:
256-21012

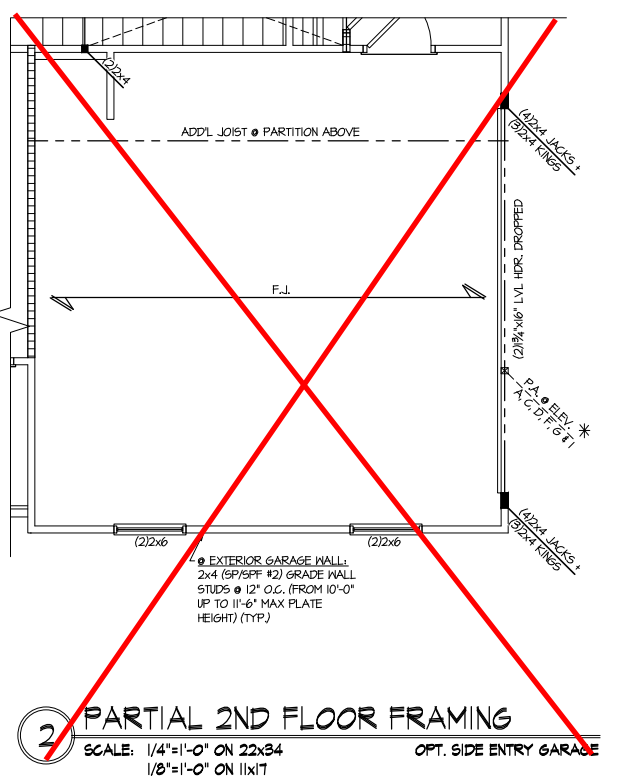
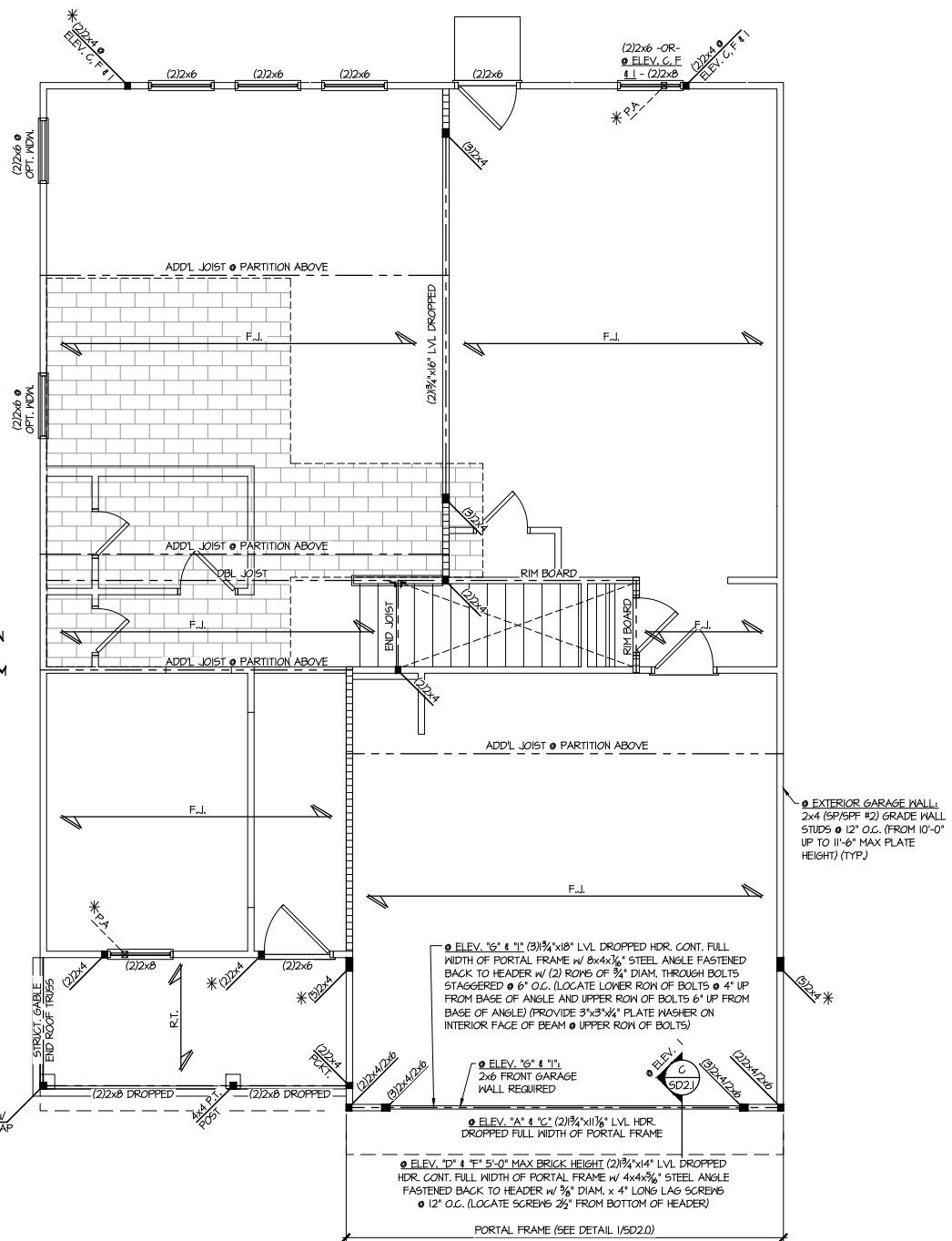
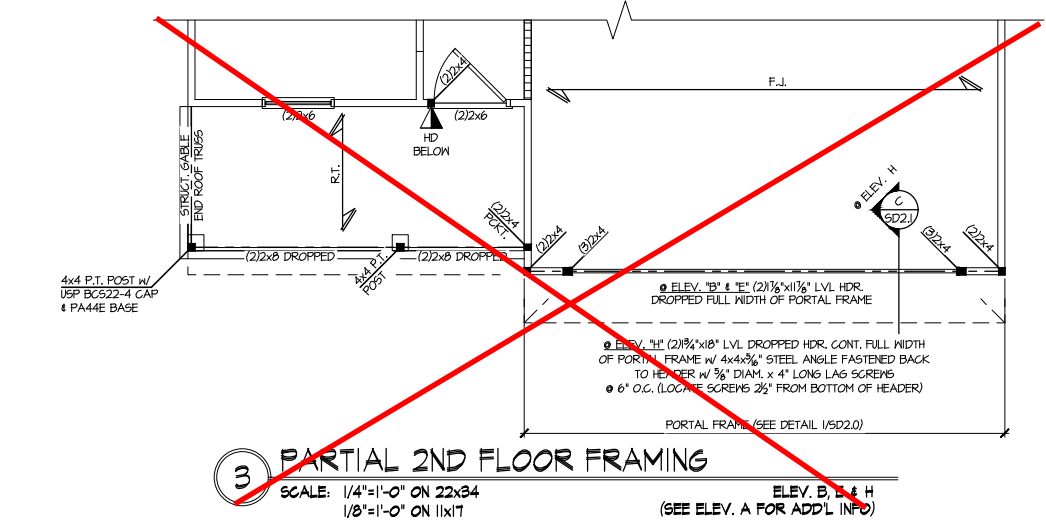
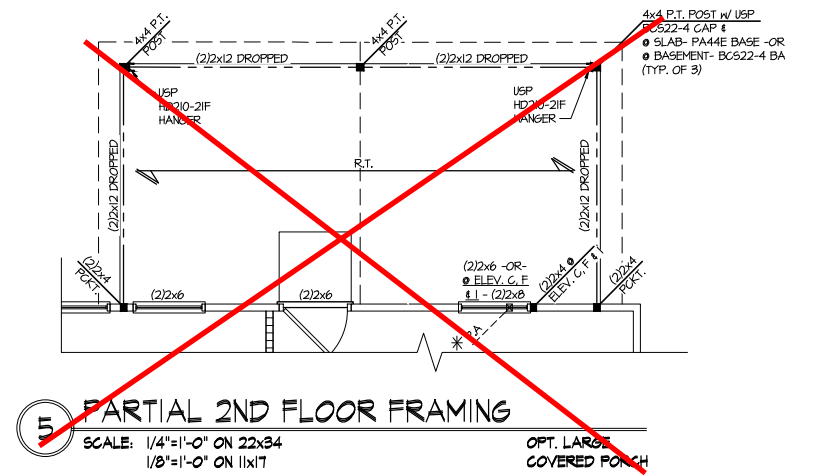
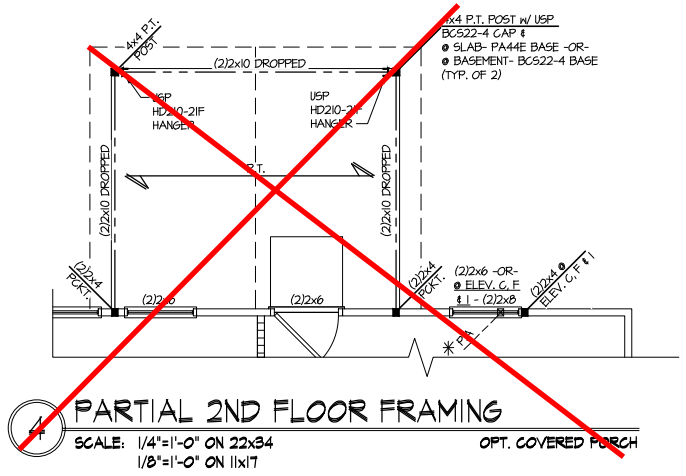
project mgr: **SMK**
 drawn by: **MJF**
 issue date: **02-21-22**

REVISIONS:

date: 1/22/21	initial: MJF
REVISIONS ADDED	

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2ND FLOOR FRAMING PLAN
 HARRINGTON MODEL
 RALEIGH, NC



**CEDAR
 POINTE
 Lot 3**

REFER TO 50.0 FOR TYPICAL
 STRUCTURAL NOTES & SCHEDULES

THIS LEVEL HAS BEEN DESIGNED
 FOR 9'-1" PLATE HEIGHT

LEGEND

- R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
- OF INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
- F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
- D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
- INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
- INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.)
- BEAM/HEADER
- JL METAL HANGER
- * INDICATES POST ABOVE (P.A) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

PARTIAL FRAMING PLAN
 FOR OPT. BED 5/ FULL
 BATH I.L.O. LIVING ROOM

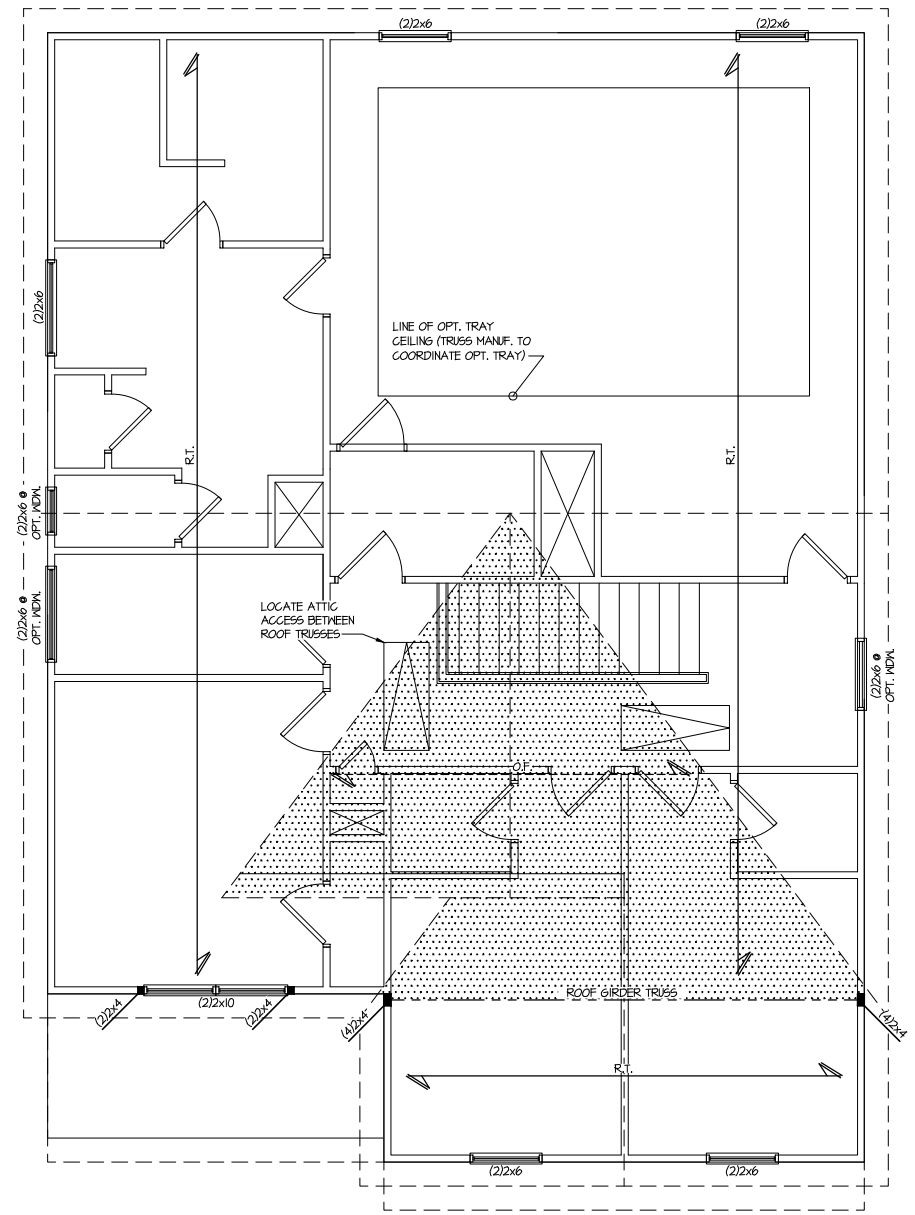
Mulhern+Kulp project number:
 256-21012
 project mgr: SMK
 drawn by: MJF
 issue date: 02-21-22

REVISIONS:
 date: 1/22/21 initial: MJF
 REVISIONS ADDED

SMITH DOUGLAS
 HOMES

HARRINGTON MODEL
 RALEIGH, NC

sheet:
S4.0



**CEDAR
 POINTE
 Lot 3**

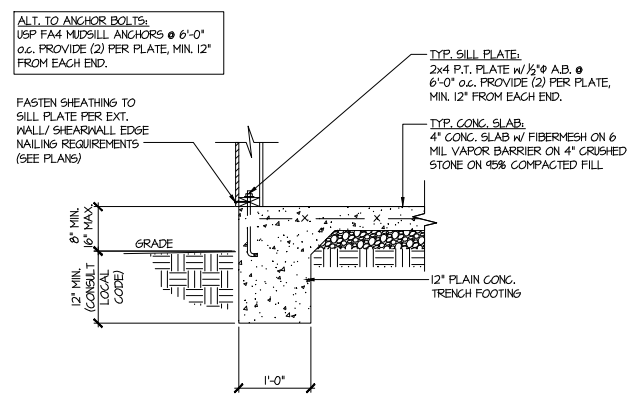
THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

REFER TO S0.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

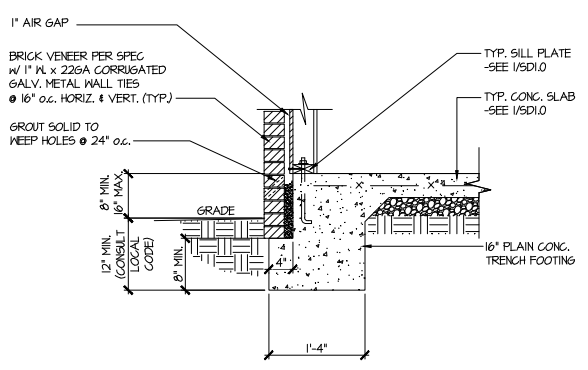
1 ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. A, D & G

LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
	INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
	INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

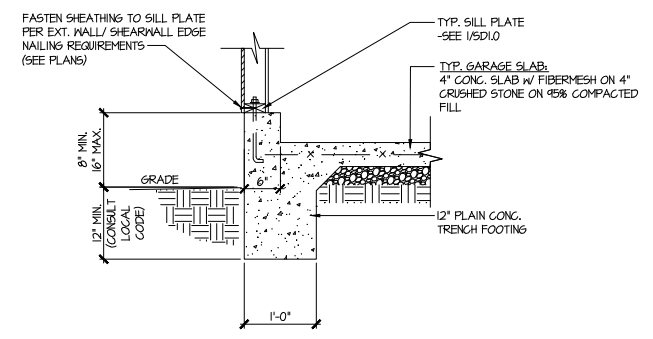
**USE ALTERNATE GARAGE CURB
 DETAIL FOR 2X4 WALLS AS NEEDED**



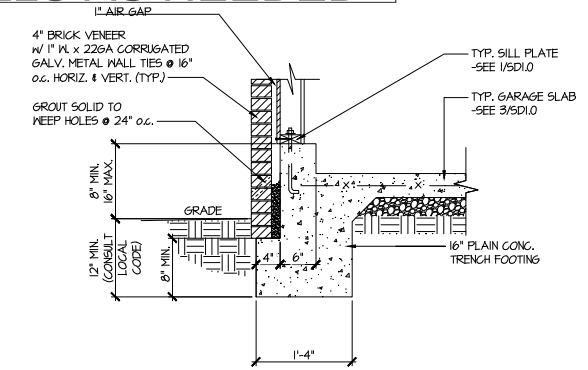
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING



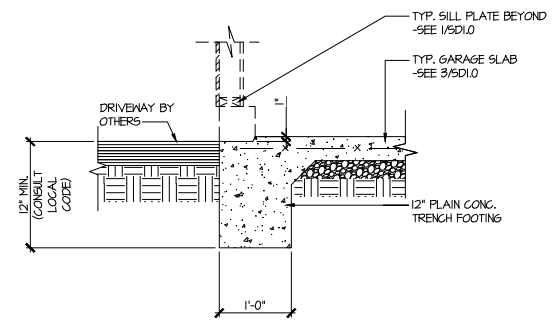
2 TYPICAL SLAB ON GRADE PERIMETER FOOTING w/ BRICK VENEER



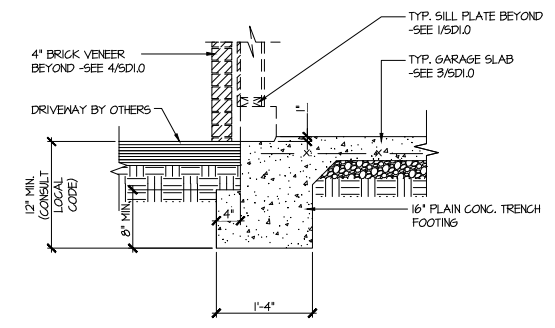
3 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



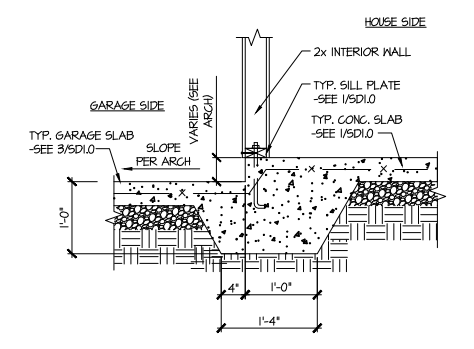
4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER



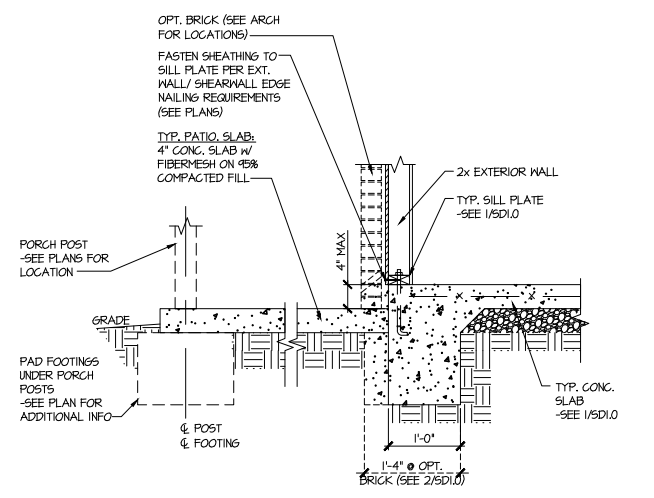
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



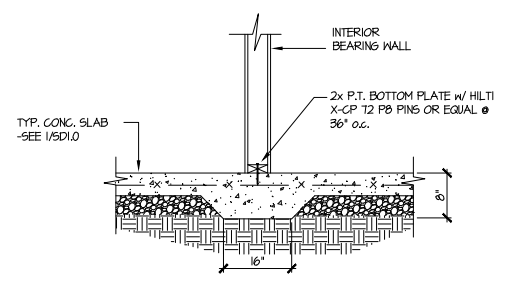
6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING w/ BRICK VENEER



7 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

MULHERN+KULP
 RESIDENTIAL STRUCTURAL ENGINEERING
 3825 Matthews Parkway, Suite 105 - Alpharetta, GA 30022
 770-777-8974 - mulhern+kulp.com
 NC License # C-3825

Mulhern+Kulp project number:
256-21012

project mgr: **SMK**
 drawn by: **MJF**
 issue date: **02-21-22**

REVISIONS:

date:	initial:
11/22/21	MJF
UNRECORDED PLANS ADDED	

SMITH DOUGLAS
 HOMES

FOUNDATION DETAILS
 HARRINGTON MODEL
 RALEIGH, NC

**CEDAR
 POINTE
 Lot 3**

sheet:
SD1.0



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

August 18, 2023

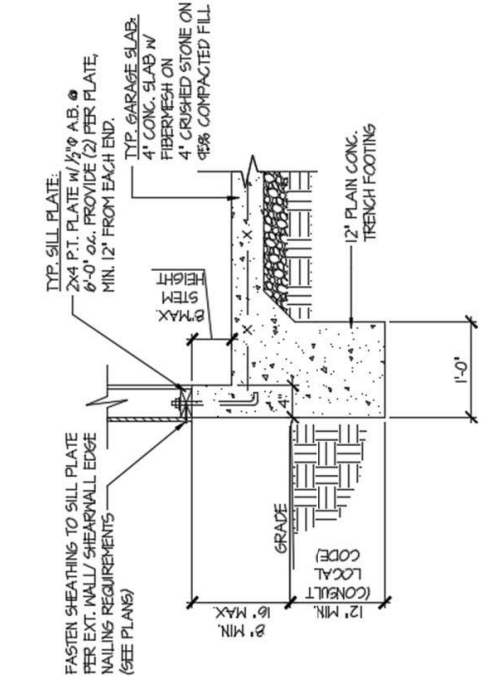
Jody Hunt
Director of Product Development
SMITH DOUGLAS HOMES
110 Village Trail, Suite 215
Woodstock, GA 30188

ALTERNATE GARAGE CURB DETAIL
Smith Douglas Homes

Reference
Current Structural Plans prepared by Mulhern & Kulp

Jody:

Pursuant to your request, we have prepared this letter to address the “Alternate Garage Curb Details”, prepared by Mulhern & Kulp for Smith Douglas Homes shown below. The foundation details shown below call for a 4” wide curb with a maximum of 8” stem wall height; these are an acceptable alternative to the 6” wide curb at the garage per M&K foundation details 3 & 4 on sheet SD-1.0 at 2x4 garage wall locations.



(A) TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

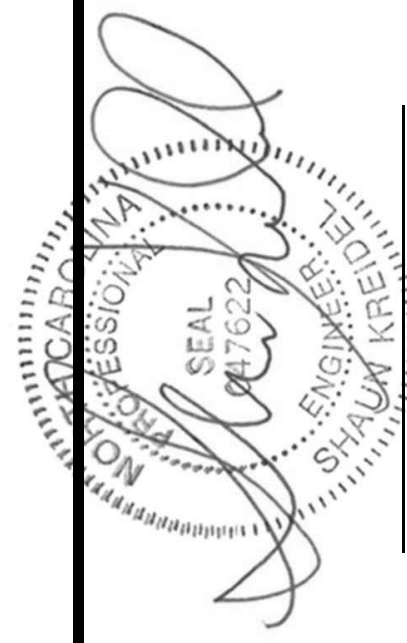
Please feel free to call if you have any questions.

Respectfully,

MULHERN & KULP STRUCTURAL ENGINEERING, INC.

NC License # C-3825

Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director



Signature + Seal 08/18/2023

Mulhern+Kulp project number:
256-21012

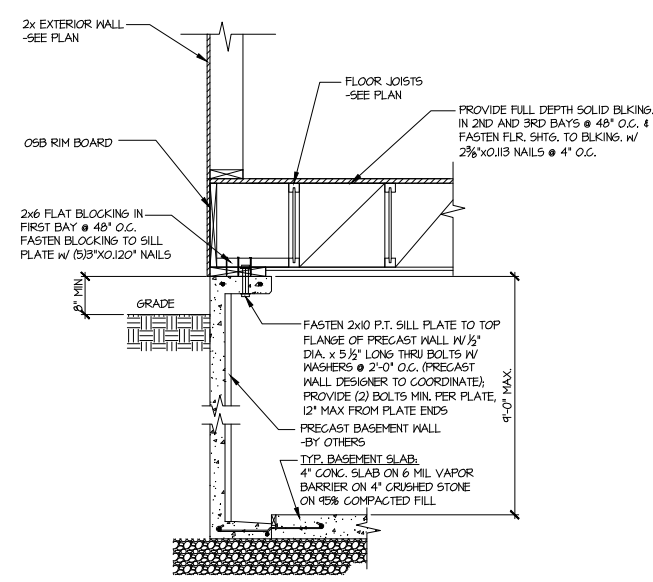
project mgr: **SMK**
 drawn by: **MJF**
 issue date: **02-21-22**

REVISIONS:

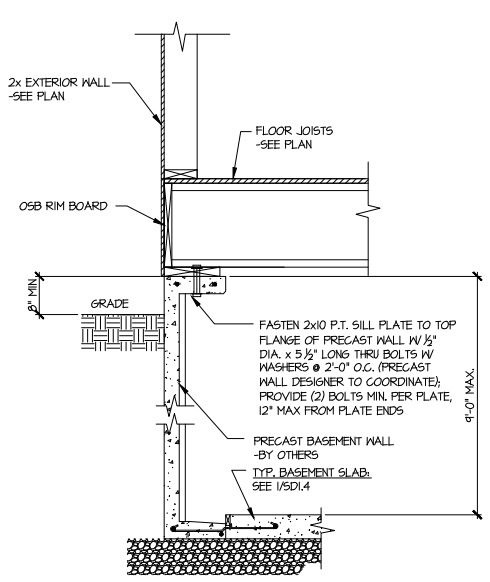
date:	initial:
11/22/21	MJF
UNRECORDED PLANS ADDED	

SMITH DOUGLAS
 HOMES

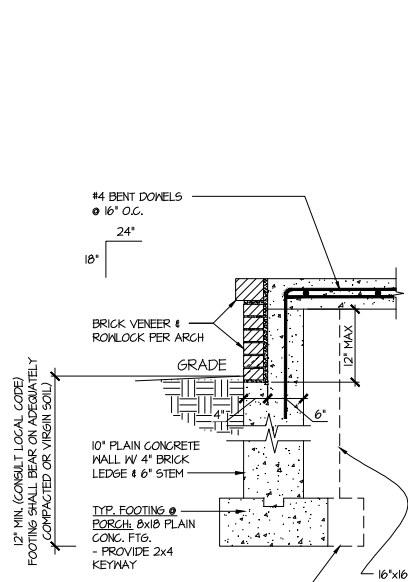
FOUNDATION DETAILS
 HARRINGTON MODEL
 RALEIGH, NC



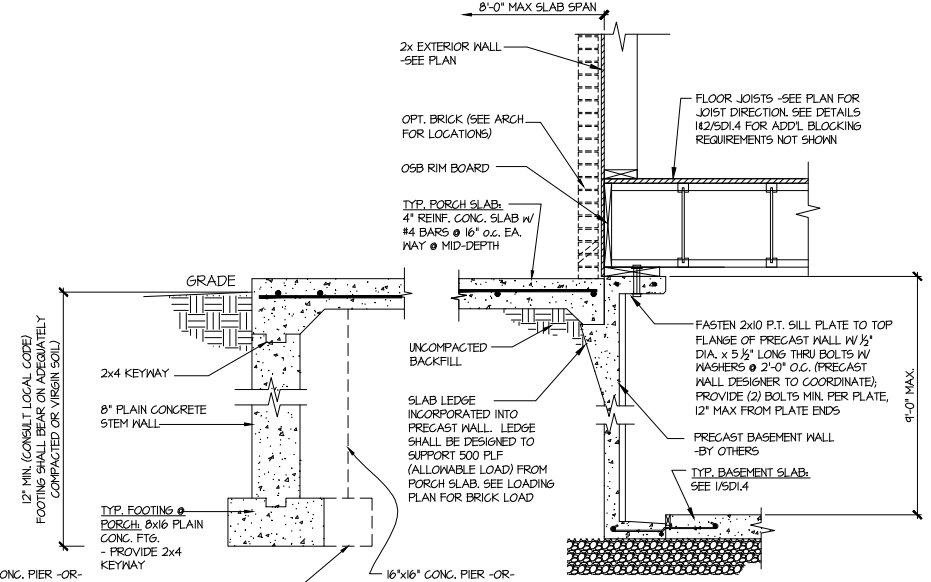
1 SECTION
 SCALE: 3/4"=1'-0"



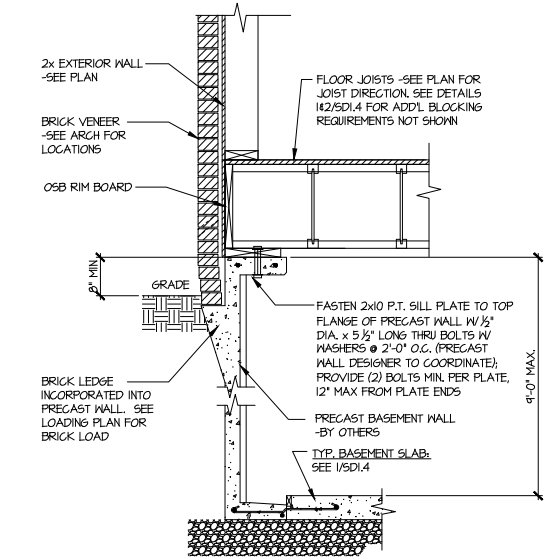
1A SECTION
 SCALE: 3/4"=1'-0"



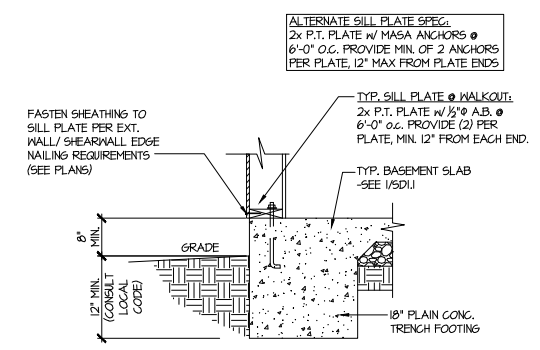
3 SECTION
 SCALE: 3/4"=1'-0"



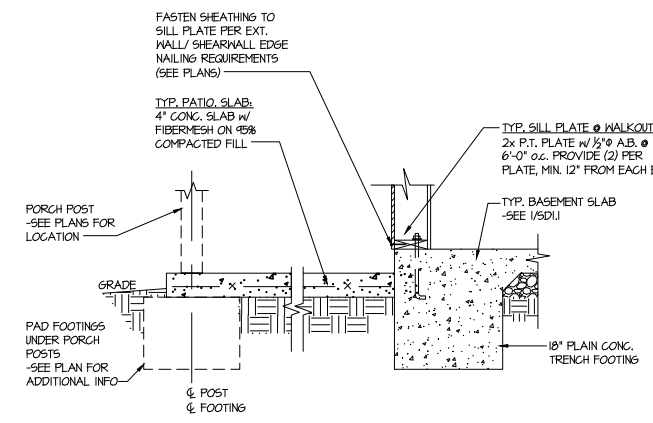
3 SECTION
 SCALE: 3/4"=1'-0"



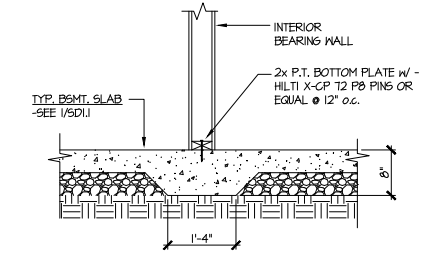
2 SECTION
 SCALE: 3/4"=1'-0"



4 TYPICAL BASEMENT FOUNDATION @ WALKOUT



5 TYPICAL BASEMENT FOUNDATION @ WALKOUT



6 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

**CEDAR
 POINTE
 Lot 3**

sheet:
SD1.4

Mulhern+Kulp project number:
 256-21012

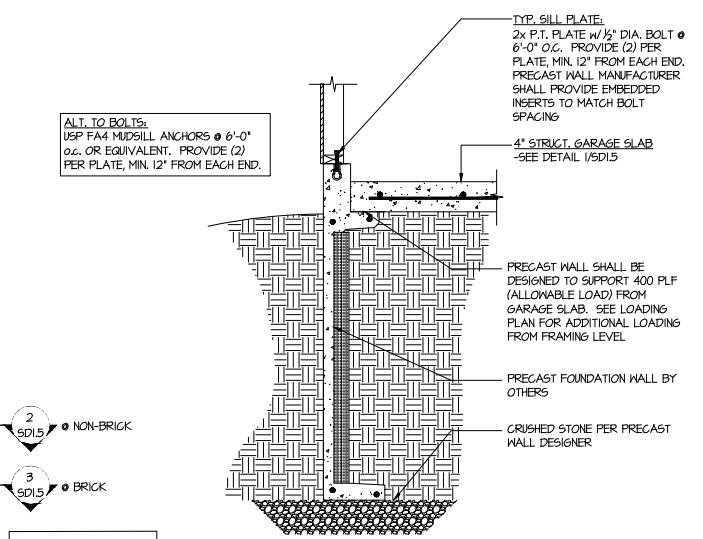
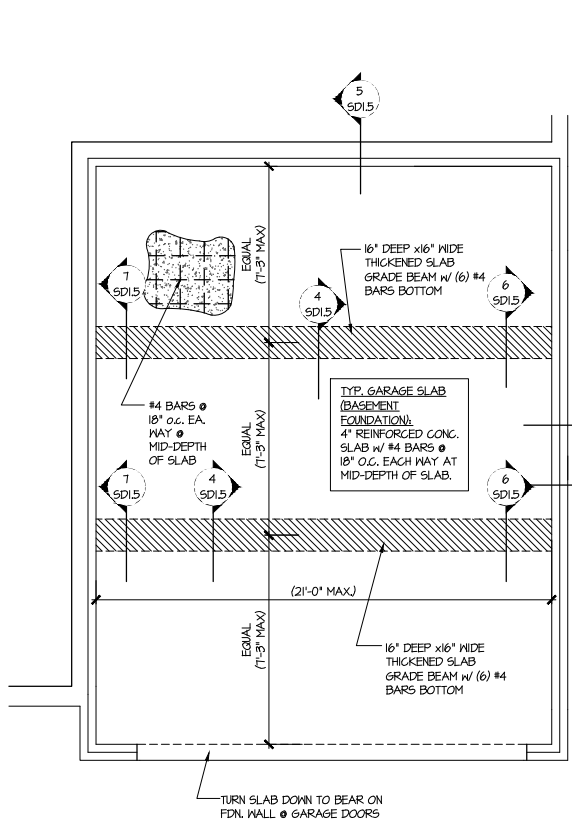
project mgr: SMK
 drawn by: MJF
 issue date: 02-21-22

REVISIONS:

date:	initial:
1/22/21	MJF
MISSED PLANS ADDED	

SMITH DOUGLAS
 HOMES

FOUNDATION DETAILS
 HARRINGTON MODEL
 RALEIGH, NC



ALT. TO BOLTS:
 USP FA4 MIDSILL ANCHORS @ 6'-0" O.C. OR EQUIVALENT. PROVIDE (2) PER PLATE, MIN. 12" FROM EACH END.

4" STRIKT. GARAGE SLAB -SEE DETAIL 1/SD1.5

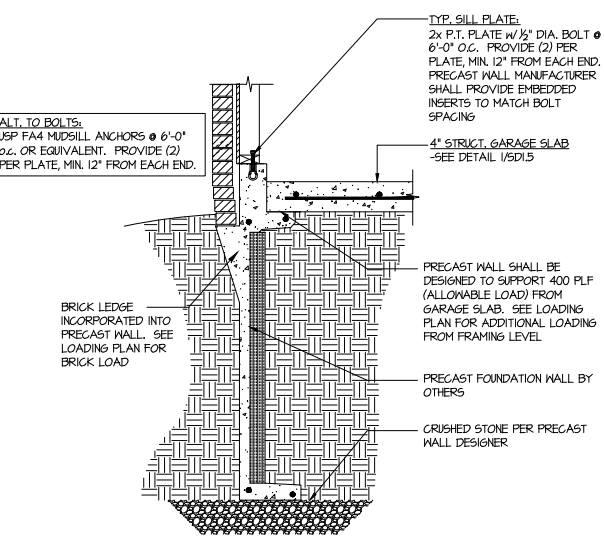
PRECAST WALL SHALL BE DESIGNED TO SUPPORT 400 PLF (ALLOWABLE LOAD) FROM GARAGE SLAB. SEE LOADING PLAN FOR ADDITIONAL LOADING FROM FRAMING LEVEL.

PRECAST FOUNDATION WALL BY OTHERS

CRUSHED STONE PER PRECAST WALL DESIGNER

SLAB THICKNESS SHOWN IS MIN. THICKNESS REQ'D - SLOPE OF SLAB SHALL NOT COMPROMISE MIN. THICKNESS

SEE ARCHITECTURAL PLANS FOR ACTUAL GARAGE DIMENSIONS



ALT. TO BOLTS:
 USP FA4 MIDSILL ANCHORS @ 6'-0" O.C. OR EQUIVALENT. PROVIDE (2) PER PLATE, MIN. 12" FROM EACH END.

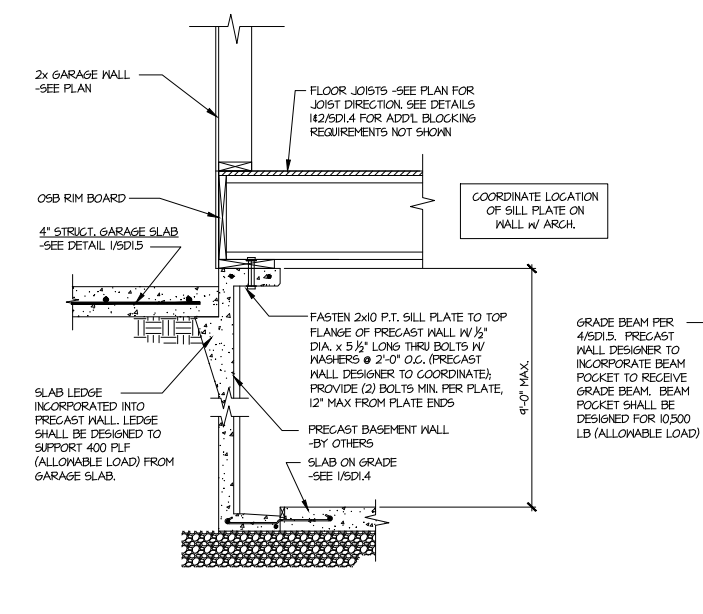
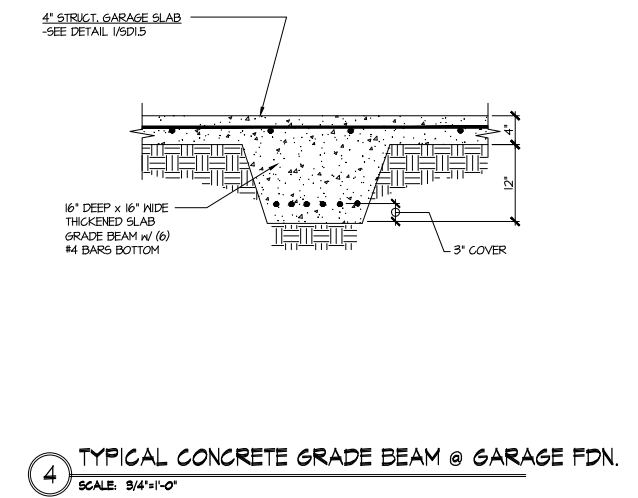
4" STRIKT. GARAGE SLAB -SEE DETAIL 1/SD1.5

PRECAST WALL SHALL BE DESIGNED TO SUPPORT 400 PLF (ALLOWABLE LOAD) FROM GARAGE SLAB. SEE LOADING PLAN FOR ADDITIONAL LOADING FROM FRAMING LEVEL.

PRECAST FOUNDATION WALL BY OTHERS

CRUSHED STONE PER PRECAST WALL DESIGNER

BRICK LEDGE INCORPORATED INTO PRECAST WALL. SEE LOADING PLAN FOR BRICK LOAD



2x GARAGE WALL -SEE PLAN

FLOOR JOISTS -SEE PLAN FOR JOIST DIRECTION. SEE DETAILS 1/2/SD1.4 FOR ADDL. BLOCKING REQUIREMENTS NOT SHOWN

OSB RIM BOARD

4" STRIKT. GARAGE SLAB -SEE DETAIL 1/SD1.5

SLAB LEDGE INCORPORATED INTO PRECAST WALL. LEDGE SHALL BE DESIGNED TO SUPPORT 400 PLF (ALLOWABLE LOAD) FROM GARAGE SLAB.

FASTEN 2x10 P.T. SILL PLATE TO TOP FLANGE OF PRECAST WALL W/ 1/2" DIA. x 5 1/2" LONG THRU BOLTS W/ WASHERS @ 2'-0" O.C. (PRECAST WALL DESIGNER TO COORDINATE); PROVIDE (2) BOLTS MIN. PER PLATE, 12" MAX FROM PLATE ENDS

PRECAST BASEMENT WALL -BY OTHERS

SLAB ON GRADE -SEE 1/SD1.4

9'-0" MAX.

COORDINATE LOCATION OF SILL PLATE ON WALL W/ ARCH.

GRADE BEAM PER 4/SD1.5. PRECAST WALL DESIGNER TO INCORPORATE BEAM POCKET TO RECEIVE GRADE BEAM. BEAM POCKET SHALL BE DESIGNED FOR 10500 LB (ALLOWABLE LOAD)

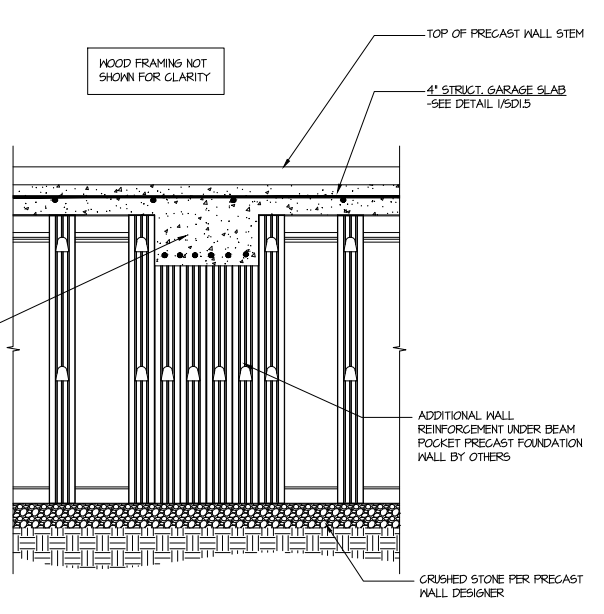
WOOD FRAMING NOT SHOWN FOR CLARITY

4" STRIKT. GARAGE SLAB -SEE DETAIL 1/SD1.5

TOP OF PRECAST WALL STEM

ADDITIONAL WALL REINFORCEMENT UNDER BEAM POCKET PRECAST FOUNDATION WALL BY OTHERS

CRUSHED STONE PER PRECAST WALL DESIGNER



2x GARAGE WALL -SEE PLAN

FLOOR JOISTS -SEE PLAN FOR JOIST DIRECTION. SEE DETAILS 1/2/SD1.4 FOR ADDL. BLOCKING REQUIREMENTS NOT SHOWN

OSB RIM BOARD

4" STRIKT. GARAGE SLAB -SEE DETAIL 1/SD1.5

SLAB LEDGE INCORPORATED INTO PRECAST WALL. LEDGE SHALL BE DESIGNED TO SUPPORT 400 PLF (ALLOWABLE LOAD) FROM GARAGE SLAB.

FASTEN 2x10 P.T. SILL PLATE TO TOP FLANGE OF PRECAST WALL W/ 1/2" DIA. x 5 1/2" LONG THRU BOLTS W/ WASHERS @ 2'-0" O.C. (PRECAST WALL DESIGNER TO COORDINATE); PROVIDE (2) BOLTS MIN. PER PLATE, 12" MAX FROM PLATE ENDS

PRECAST BASEMENT WALL -BY OTHERS

SLAB ON GRADE -SEE SD1.4

9'-0" MAX.

COORDINATE LOCATION OF SILL PLATE ON WALL W/ ARCH.

GRADE BEAM PER 4/SD1.5. PRECAST WALL DESIGNER TO INCORPORATE LEDGE TO RECEIVE GRADE BEAM. BEAM LEDGE SHALL BE DESIGNED FOR 10500 LB (ALLOWABLE LOAD)

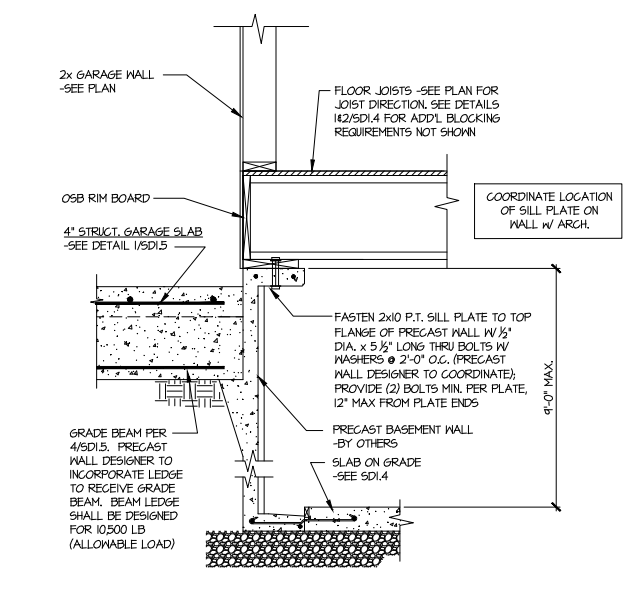
WOOD FRAMING NOT SHOWN FOR CLARITY

4" STRIKT. GARAGE SLAB -SEE DETAIL 1/SD1.5

TOP OF PRECAST WALL STEM

ADDITIONAL WALL REINFORCEMENT UNDER BEAM POCKET PRECAST FOUNDATION WALL BY OTHERS

CRUSHED STONE PER PRECAST WALL DESIGNER



2x GARAGE WALL -SEE PLAN

FLOOR JOISTS -SEE PLAN FOR JOIST DIRECTION. SEE DETAILS 1/2/SD1.4 FOR ADDL. BLOCKING REQUIREMENTS NOT SHOWN

OSB RIM BOARD

4" STRIKT. GARAGE SLAB -SEE DETAIL 1/SD1.5

SLAB LEDGE INCORPORATED INTO PRECAST WALL. LEDGE SHALL BE DESIGNED TO SUPPORT 400 PLF (ALLOWABLE LOAD) FROM GARAGE SLAB.

FASTEN 2x10 P.T. SILL PLATE TO TOP FLANGE OF PRECAST WALL W/ 1/2" DIA. x 5 1/2" LONG THRU BOLTS W/ WASHERS @ 2'-0" O.C. (PRECAST WALL DESIGNER TO COORDINATE); PROVIDE (2) BOLTS MIN. PER PLATE, 12" MAX FROM PLATE ENDS

PRECAST BASEMENT WALL -BY OTHERS

SLAB ON GRADE -SEE SD1.4

9'-0" MAX.

COORDINATE LOCATION OF SILL PLATE ON WALL W/ ARCH.

GRADE BEAM PER 4/SD1.5. PRECAST WALL DESIGNER TO INCORPORATE LEDGE TO RECEIVE GRADE BEAM. BEAM LEDGE SHALL BE DESIGNED FOR 10500 LB (ALLOWABLE LOAD)

WOOD FRAMING NOT SHOWN FOR CLARITY

4" STRIKT. GARAGE SLAB -SEE DETAIL 1/SD1.5

TOP OF PRECAST WALL STEM

ADDITIONAL WALL REINFORCEMENT UNDER BEAM POCKET PRECAST FOUNDATION WALL BY OTHERS

CRUSHED STONE PER PRECAST WALL DESIGNER

**CEDAR
 POINT
 Lot 3**

Mulhern+Kulp project number:
256-21012

project mgr: **SMK**
 drawn by: **MJF**
 issue date: **02-21-22**

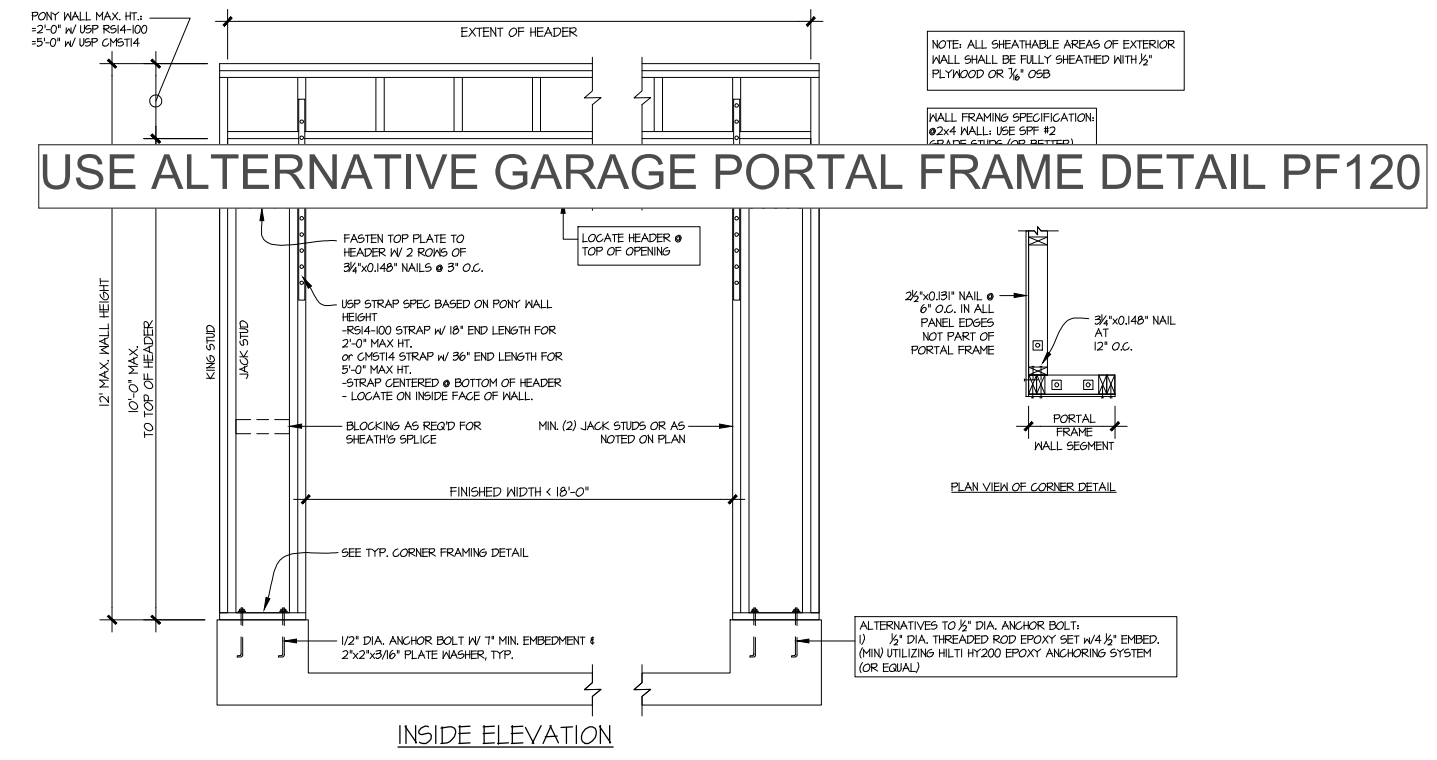
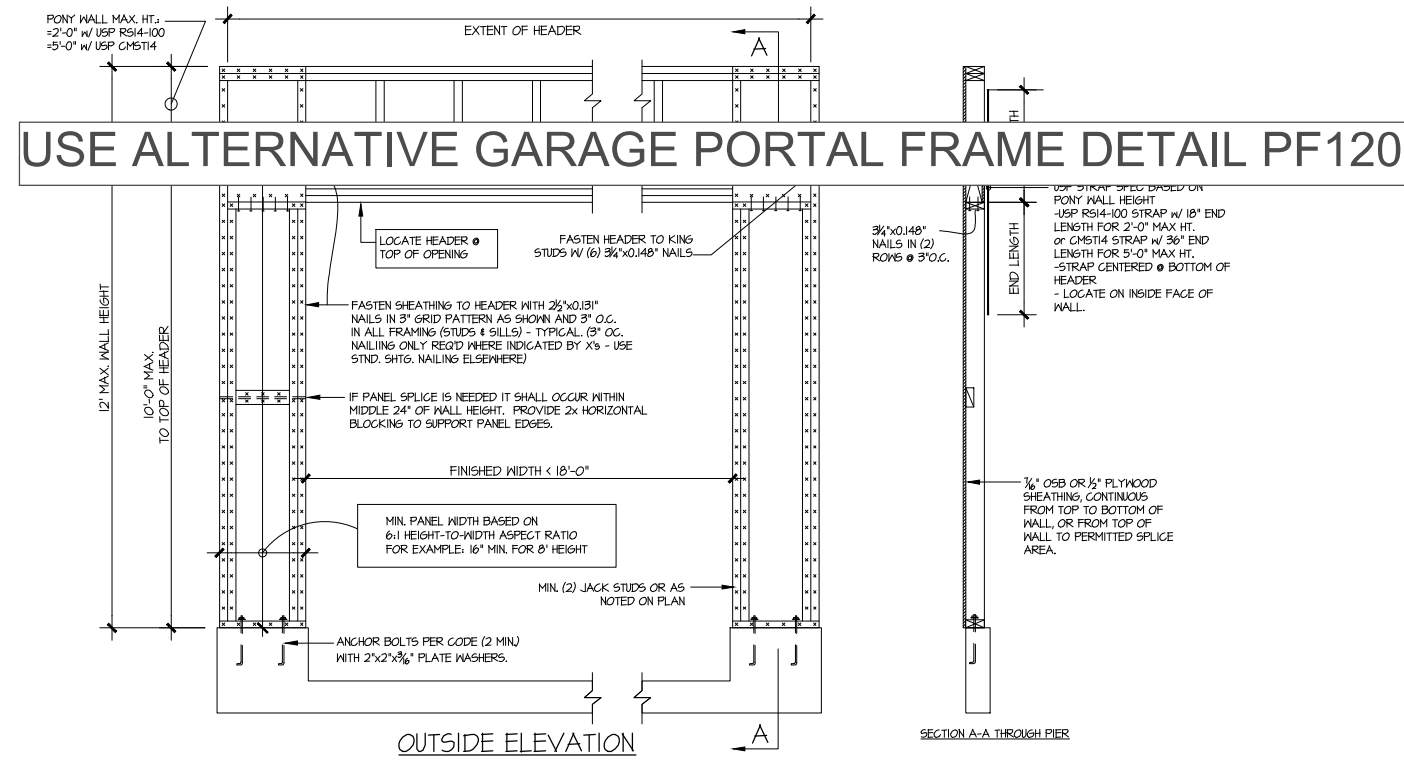
REVISIONS:

date:	initial:
1/22/21	MJF
REVISIONS ADDED	

SMITH DOUGLAS
 HOMES

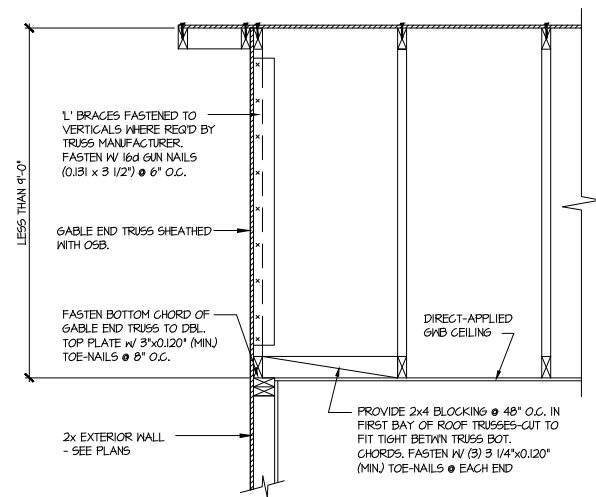
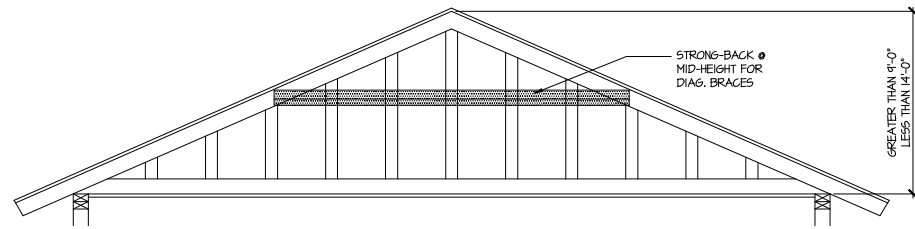
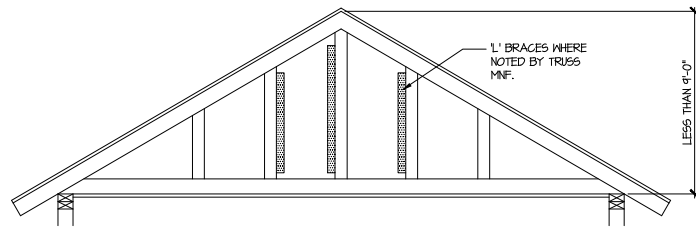
HARRINGTON MODEL
 RALEIGH, NC

FRAMING DETAILS
 sheet: **SD2.0**



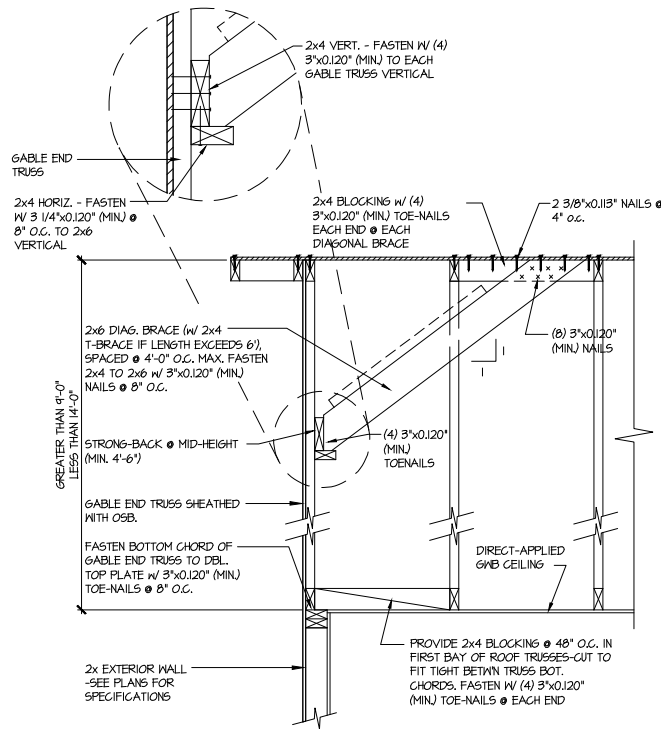
GARAGE PORTAL FRAME BRACING ELEVATION
 SCALE: N.T.S. BOTH SIDES OF GARAGE DOOR
 115 MPH WIND SPEED (ULT)

**CEDAR
 POINTE
 Lot 3**



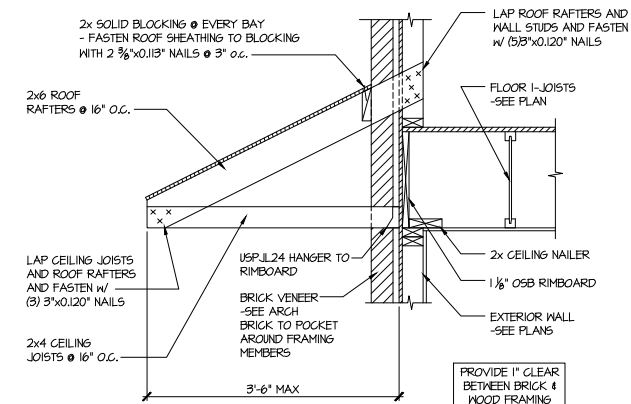
A TYPICAL GABLE END BRACING DETAIL
 SCALE: NONE
 REQ'D @ GABLE END TRUSS HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



B TYPICAL GABLE END BRACING DETAIL
 SCALE: NONE
 REQ'D @ GABLE END TRUSS HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.



C DETAIL @ PENT ROOF
 SCALE: 3/4"=1'-0"

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

MULHERN+KULP
 RESIDENTIAL STRUCTURAL ENGINEERING
 3825 Stonehills Parkway, Suite 105 - Alpharetta, GA 30022
 770-777-8974 - mulhern+kulp.com
 NC License # C-3825

Mulhern+Kulp project number:
 256-21012
 project mgr: SMK
 drawn by: MJF
 issue date: 02-21-22

REVISIONS:

date:	initial:
11/22/21	MJF
PROPOSED PLANS ADDED	

SMITH DOUGLAS
 HOMES

HARRINGTON MODEL
 RALEIGH, NC

**CEDAR
 POINTE**
 Lot 3

sheet:
SD2.1



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

July 28, 2023

Jody Hunt
Director of Product Development
SMITH DOUGLAS HOMES
110 Village Trail, Suite 215
Woodstock, GA 30188

ALTERNATE GARAGE PORTAL FRAME DETAIL
Smith Douglas Homes

Reference

"Alternate Garage Portal Frame Detail" on sheet PF-120 & PF-130, prepared by Mulhern & Kulp dated 07/28/2023 - attached

Jody:

Pursuant to your request, we have prepared this letter to address the "Alternate Garage Portal Frame Detail", prepared by Mulhern & Kulp for Smith Douglas Homes.

The "Alternate Garage Portal Frame Detail" on sheet "PF-120" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than or equal to 120mph ultimate wind speed per ASCE 7-16. The "Alternate Garage Portal Frame Detail" on sheet "PF-130" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than or equal to 130mph ultimate wind speed per ASCE 7-16. These details only apply to structural plans that have been designed by Mulhern & Kulp. It is the responsibility of "SDH" to provide the correct "Alternate Garage Portal Frame Detail", to the building department that matches the jurisdiction's wind speed requirements.

Please feel free to call if you have any questions.

Respectfully,

MULHERN & KULP STRUCTURAL ENGINEERING, INC.

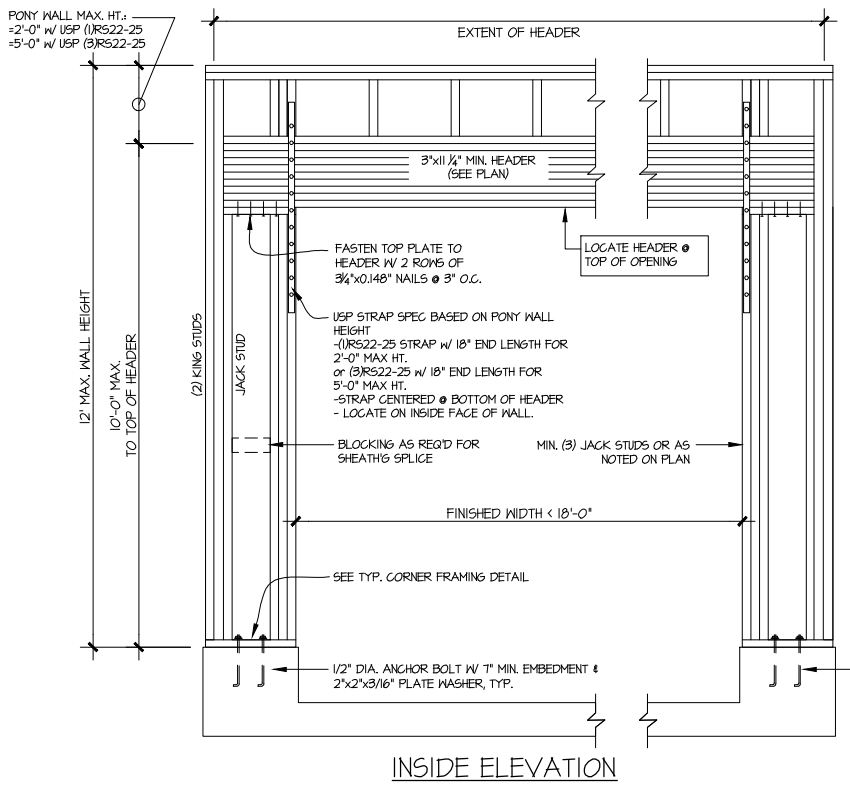
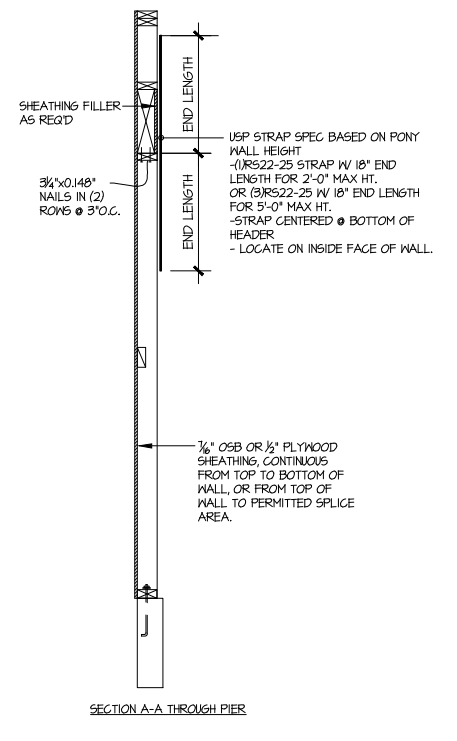
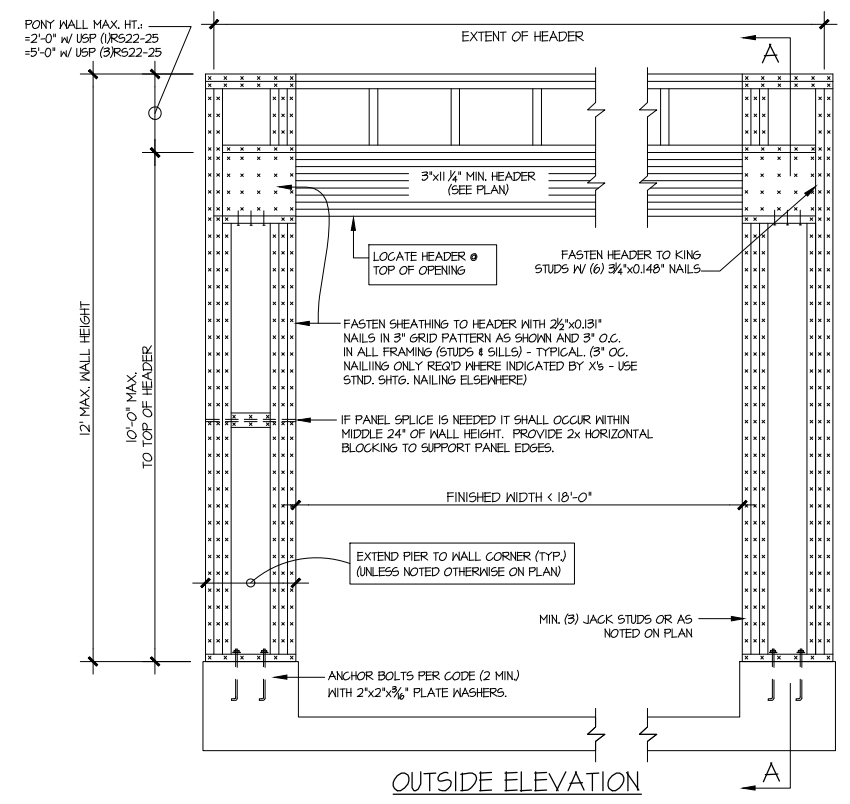
NC License # C-3825

Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director



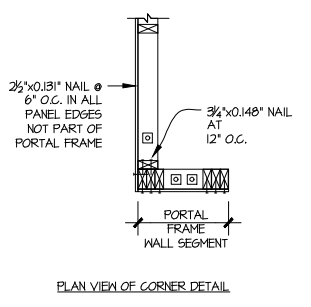
Signature + Seal 07/28/2023

REVISIONS:	
date:	initial:



NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 3/8" OSB

WALL FRAMING SPECIFICATION:
02x4 WALL: USE SFF #2 GRADE STUDS (OR BETTER)
02x6 WALL: USE SFF #1UD GRADE STUDS (OR BETTER)



ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
1) 1/2" DIA. THREADED ROD EPOXY SET w/4 1/2" EMBED. (MIN) UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)

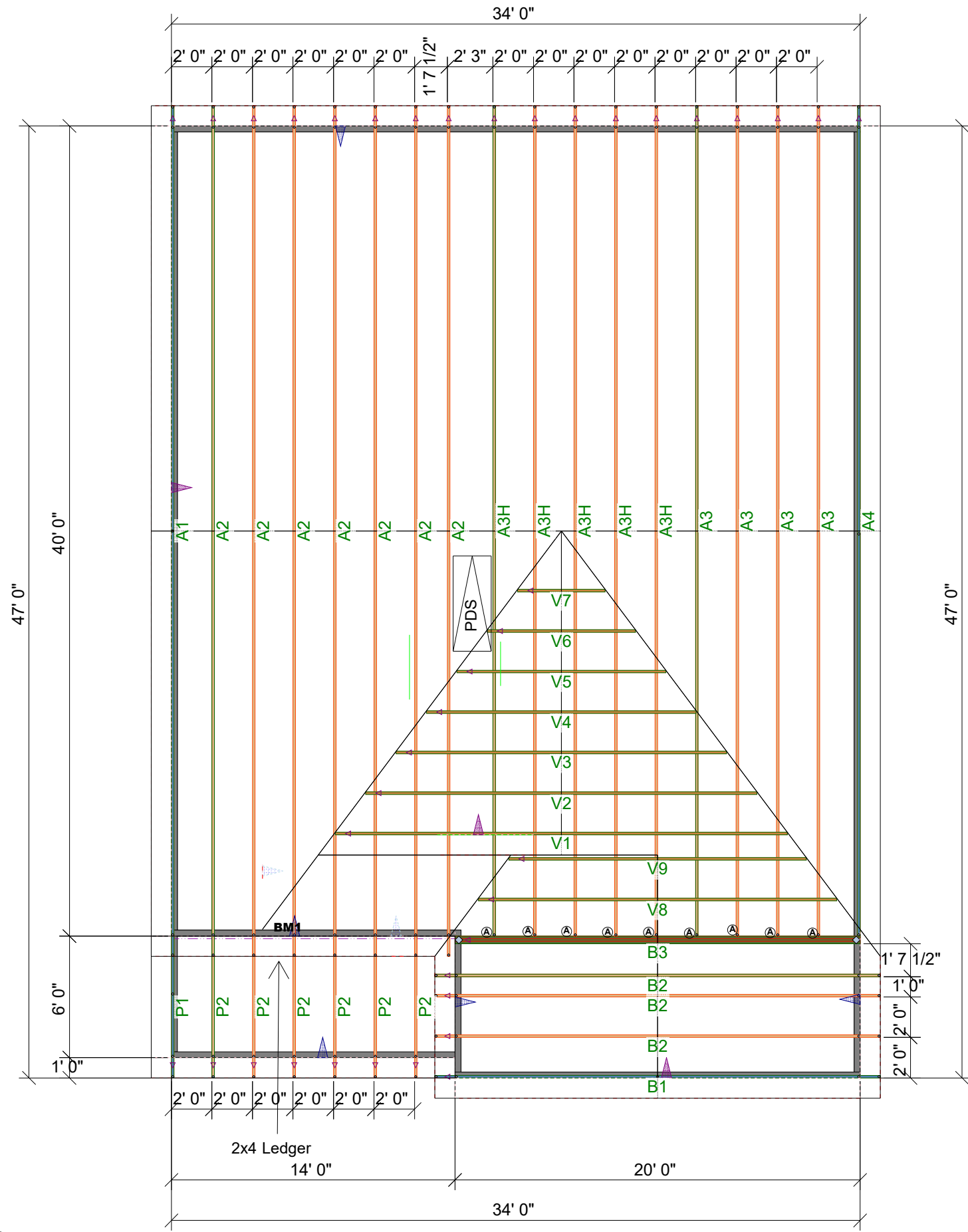
A ALTERNATE GARAGE PORTAL FRAME BRACING ELEVATION

SCALE: N.T.S.

BOTH SIDES OF GARAGE DOOR
120 MPH WIND SPEED (ULT)

**CEDAR
POINTE
Lot 3**

THIS IS A TRUSS/COMPONENT PLACEMENT DIAGRAM (TPD) ONLY; NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDD's) for each truss design identified on the TPD. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbcassociation.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.



PLACEMENT PLAN

HARRINGTON ADG

(A)	HUS26	FACE MOUNT HANGER	9
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SCALE: N.T.S

ROOF AREA: 2007.53 ft² _ RIDGE LINE: 64 ft _ VALLEY LINES: 61.48 _ HIP LINES: 4.94 _ △ Indicates Left End of Truss

REVISIONS	DATE	DESCRIPTION	DSN

DESIGNER JNN
 LAYOUT DATE 11/21/2021
 ARCH DATE
 STRUC DATE
 JOB #: MASTER

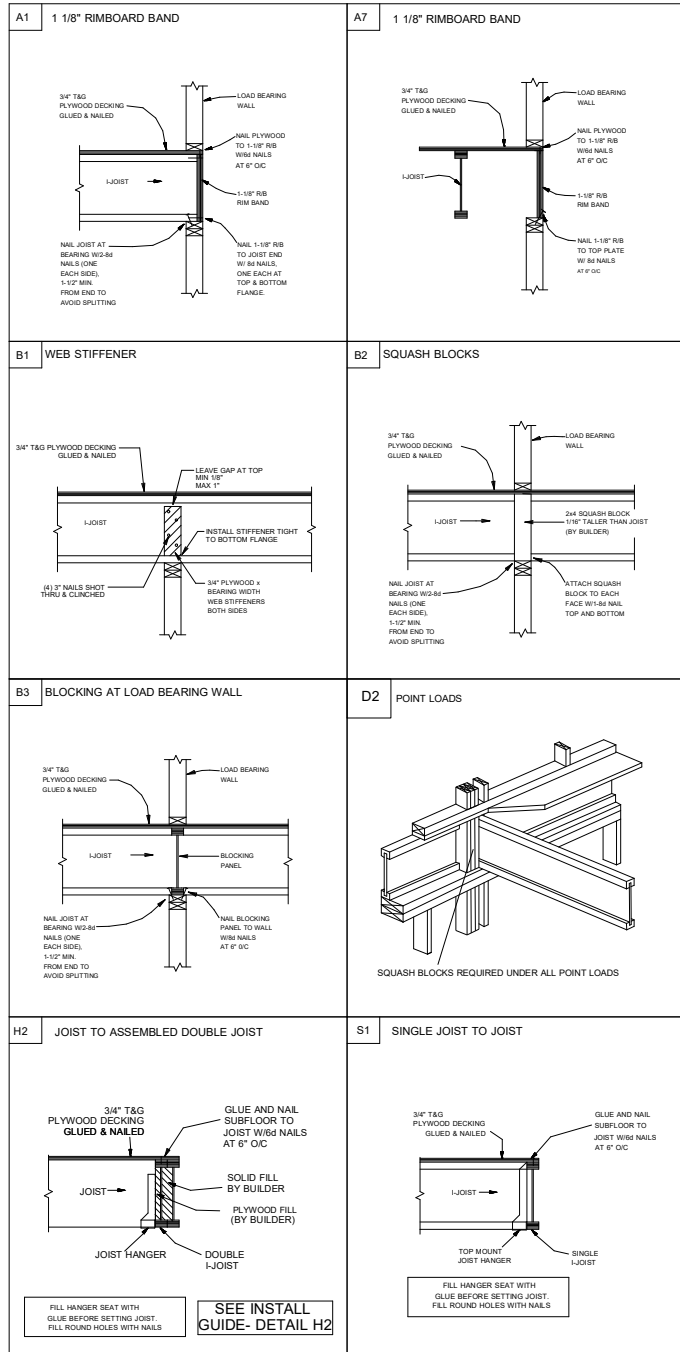
HARRINGTON ADG

SMITH DOUGLAS RALEIGH

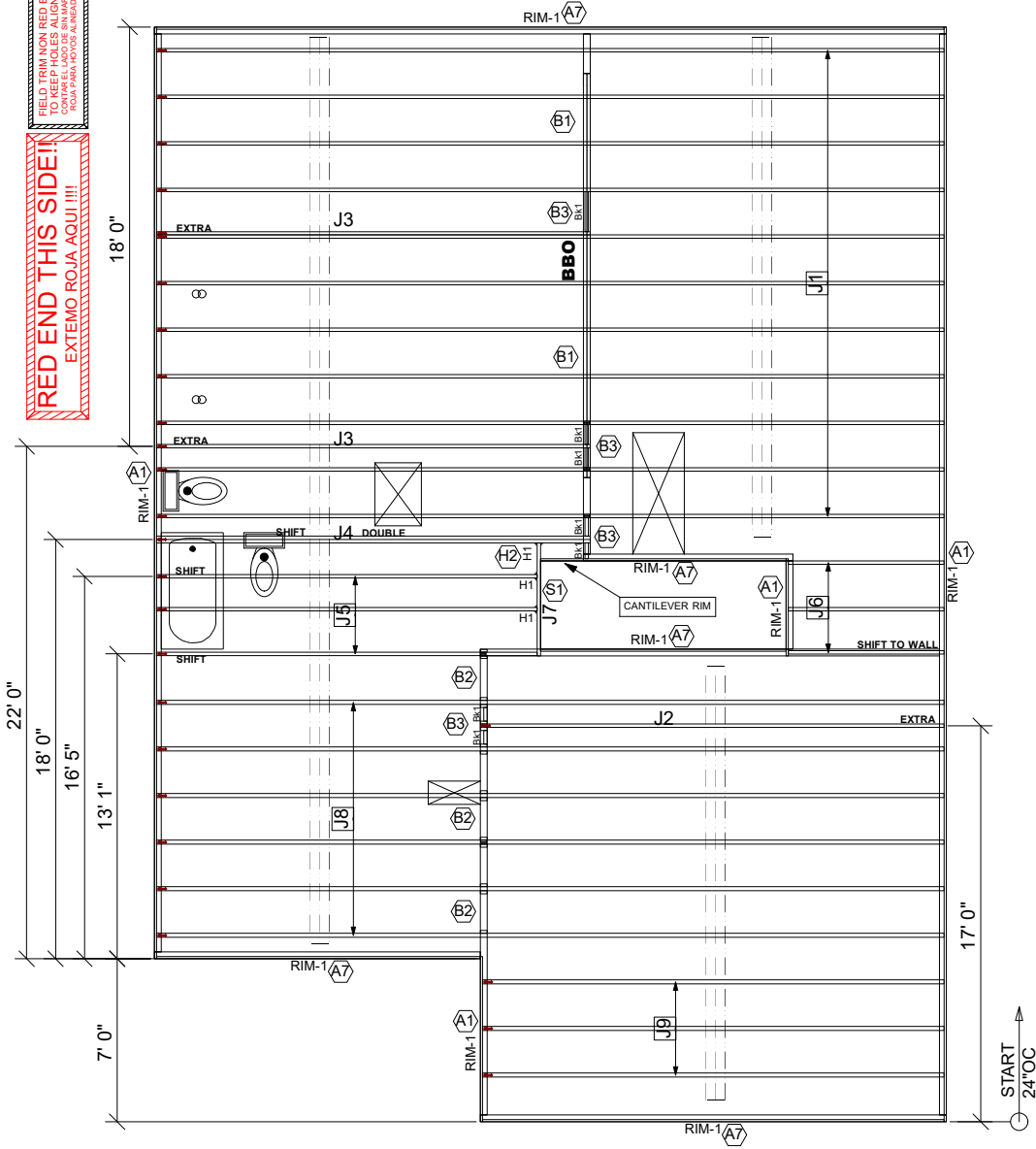


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FIELD TRIM NON RED END TO KEEP HOLES ALIGNED FROM PARA HOYOS ALINEADOS
RED END THIS SIDE!!
EXTIMO ROJA AQUÍ!!!!



Products					
PlotID	Length	Product	Plies	Net Qty	Fab Type
J1	34' 0"	14" TJI@ 110	1	11	MFD
J2	20' 0"	14" TJI@ 110	1	1	MFD
J3	19' 0"	14" TJI@ 110	1	2	MFD
J4	19' 0"	14" TJI@ 110	2	2	MFD
J5	17' 0"	14" TJI@ 110	1	3	MFD
J6	7' 0"	14" TJI@ 110	1	3	MFD
J7	5' 0"	14" TJI@ 110	1	1	MFD
J8	34' 0"	14" TJI@ 210	1	6	MFD
J9	20' 0"	14" TJI@ 210	1	3	MFD
RIM-1	16' 0"	1 1/8" x 14" TJI@ Rim Board	1	12	FF
Bk1	2' 0"	14" TJI@ 110	1	7	MFD

Connector Summary			
PlotID	Qty	Manuf	Product
H1	3	MiTek	TFL1714

- GENERAL NOTES:**
- 1.) TOP CHORD OF JOISTS ARE PAINTED RED AT NUMBERED END. PLACE PAINTED END AS NOTED ON PLAN.
 - 2.) FOLLOW SPECIAL SPACING AND LOCATION DIMENSIONS FOR EXTRAS OR SHIFTED JOISTS AS SHOWN ON PLAN.
 - 3.) ALL INTERIOR WALL PLATES MUST BE LEVEL WITH OUTSIDE WALL TOP PLATES.
 - 4.) DO NOT STACK CONSTRUCTION LOADS ON UN-BRACED JOISTS.
 - 5.) PROVIDE SOLID SUPPORT BELOW ALL BEAM AND HEADER BEARING POINTS IN WALL AND JOIST SPACES CONTINUOUS DOWN TO THE FOUNDATION.
 - 6.) LOCATE CRIPPLE STUDS IN JOIST SPACE DIRECTLY BELOW HEADER JACKS AT ALL FIRST FLOOR EXTERIOR DOOR LOCATIONS.
 - 7.) INSTALL NAILS IN ALL HOLES PROVIDED IN JOIST HANGERS EXCEPT AT BOTTOM CHORD SEAT. PLACE A DAB OF GLUE IN THE HANGER SEAT BEFORE SETTING JOISTS.
 - 8.) IMPORTANT NOTE! NO STRUCTURAL ANALYSIS OF CONVENTIONAL HEADERS HAS BEEN CONDUCTED IF NOT NOTED. THEY ARE CONSIDERED TO BE ADEQUATE TO SUPPORT THE APPLIED LOADS.

FRAMER NOTE
 --- DENOTES DUCT HOLE RUNS

ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED

- Avoid Plumbing Drops

FRAMER NOTE

1. GLUE AND NAIL PLYWOOD SUBFLOOR TO BEAMS AND GIRDERS AT 6" O/C WHERE NO WALL IS ABOVE.
2. FILL HANGER SEAT WITH GLUE BEFORE SETTING JOIST IN HANGER. FILL ROUND HOLES WITH NAILS.

CRITICAL !!
 INSTALL 2X4 SQUASH BLOCKS IN FLOOR TRUSS SPACE BELOW ALL EXTERIOR DOOR HEADER JACKS. CUT 1/16" TALLER THAN TRUSS.

PLAN LEGEND

1B-, 2B-	*INDICATES BEAM ABOVE TOP PLATE (FLUSH WITH FLOOR SYSTEM)
H-, 1H-, GDH-	INDICATES BEAM BELOW TOP PLATE (DROPPED BELOW FLOOR SYSTEM)
SHIF	SINGLE PLY BEAM (ADD LINE FOR EACH ADDITIONAL PLY) SHIFT JOIST TO MISS PLUMBING. ALIGN W/WALL OR SUPPORT FURNITURE
EXTRA	A JOIST ADDED TO THE LAYOUT IN ADDITION TO THE ON CENTER JOISTS
DOUBLE	TWO JOISTS SIDE BY SIDE (ONLY ASSEMBLED IF NOTED)

FIELD TRIM NON RED END TO KEEP HOLES ALIGNED
CONTAR EL LADO DE SIN MARCA ROJA PARA HOYOS ALINEADOS

FIELD LOCATE PLUMBING DROPS/CAN LIGHTS, ETC... PRIOR TO JOIST SECUREMENT TO AVOID INTERFERENCE.

LAYOUT FOR 19.2" O/C

1= 19-3/16"	9= 172-13/16"
2= 38-3/8"	10= 192"
3= 57-5/8"	11= 211-3/16"
4= 76-13/16"	12= 230-3/8"
5= 96"	13= 249-13/16"
6= 115-3/16"	14= 268-13/16"
7= 134-3/8"	15= 288"
8= 153-5/8"	

FIELD VERIFY DIMENSIONS TO JOISTS LOCATED UNDER WALLS!!
2ND FLOOR LAYOUT

2ND FLOOR PLACEMENT PLAN

SCALE: 1/8"=1'



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Smith Douglas Homes

Harrington 2nd Floor

REVISIONS	DATE	DESCRIPTION	DSN