# HARRINGTON

CEDAR POINTE LOT 0003



PLAN ID 040121.1201

## 110 VILLAGE TRAIL SUITE 215 WOODSTOCK, GA. 30188

### **DRAWING INDEX** A0.0 **COVER SHEET** FRONT ELEVATIONS A1.1 A2.1 SIDE & REAR ELEVATIONS A3.1 SLAB FOUNDATION A5.1 FIRST FLOOR PLANS & DETAILS A5.2 SECOND FLOOR PLANS & DETAILS A6.1 **ROOF PLANS** A7 2-A7 3 ELECTRICAL PLANS A8.1 TRIM LOCATION LAYOUTS

AREA TABULATION	
FIRST FLOOR	1104
SECOND FLOOR	1461
TOTAL	2565
GARAGE	396
FRONT PORCH (COVERED)	91
REAR PATIO	200

### **GOVERNMENTAL CODES & STANDARDS**

HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

### BUILDING CODE ANALYSIS / DESIGN CRITERIA

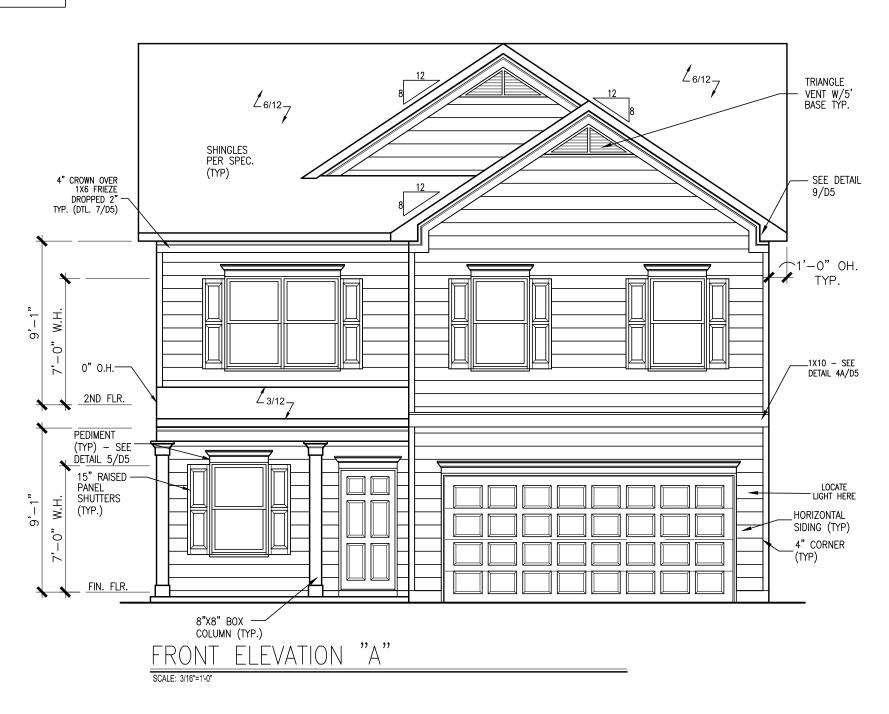
HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

PLAN REVISIONS				
DATE	PAGE #			
10/12/2023	SL	REMOVE 1.5" FURR IN DOWN BATH	A3.1-A8.1	
10/20/2021	AW	Prototype walk revisions - see revision sheet	A5.1, A5.2, A7.2, A7.3	
4/4/2002	AW	Changed finished basement bath plumbing wall from 2x6 to 2x4	A4.2	
3/10/2023	AW	PCR #5180 Added 1 outlet to optional B-5 or Study ILO Living A7.2		
9/26/2023	CLJ	Removed Shower & Tub sizes from all affected pages	A5.1.1 & A5.2	

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

## CEDAR POINTE LOT 0003





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ELEVATIONS FRONT ELEVATION HARRINGTON

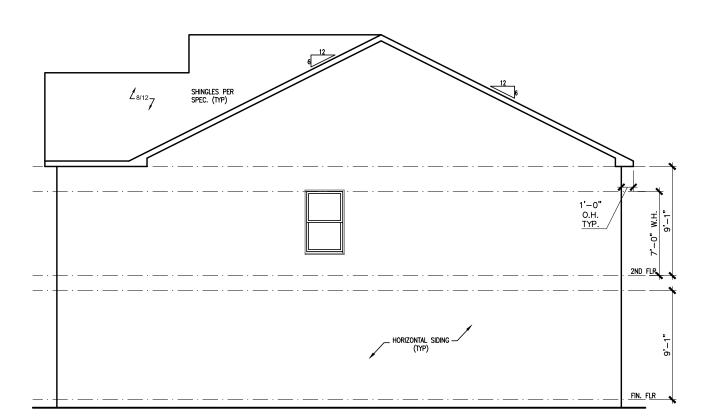
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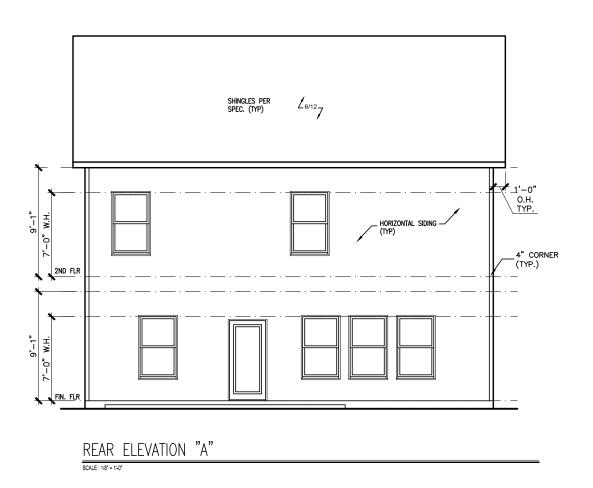


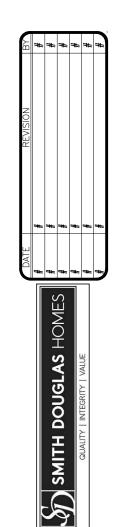
# SMNSLES FOR SPCC. (TP) 17-0° O.H. TYP. MORIZONTAL SDING (TYP) FIR. FLR LEFT ELEVATION "A" SOUE: 19F = 169' SOUE:



RIGHT ELEVATION "A"

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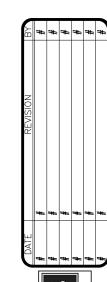


# DROP 4" BELOW HOUSE SLAB WH DROP 4" BELOW HOUSE SLAB START AT THIS CORNER TO LAY OUT PLATES 16' X 7' OHGD (R.O. 16'-3" X 7'-1 1/2") SLAB PLAN SCALE : 1/8" = 1'-0"

# CEDAR POINTE LOT 0003

\*RADON VENT PROVIDED PER LOCAL CODE

REFER TO DETAIL 3/D1 FOR BRICK LEDGE DETAIL WHEN BRICK VENEER IS CHOSEN



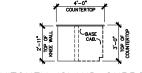


FOUNDATION PLAN SLAB PLAN HARRINGTON

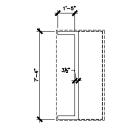
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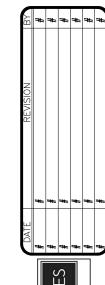


KITCHEN ISLAND SUPPORT FRAMING (SIDE VIEW)



KITCHEN ISLAND SUPPORT FRAMING (PLAN VIEW)

### CEDAR POINTE LOT 0003

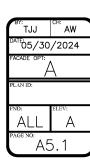


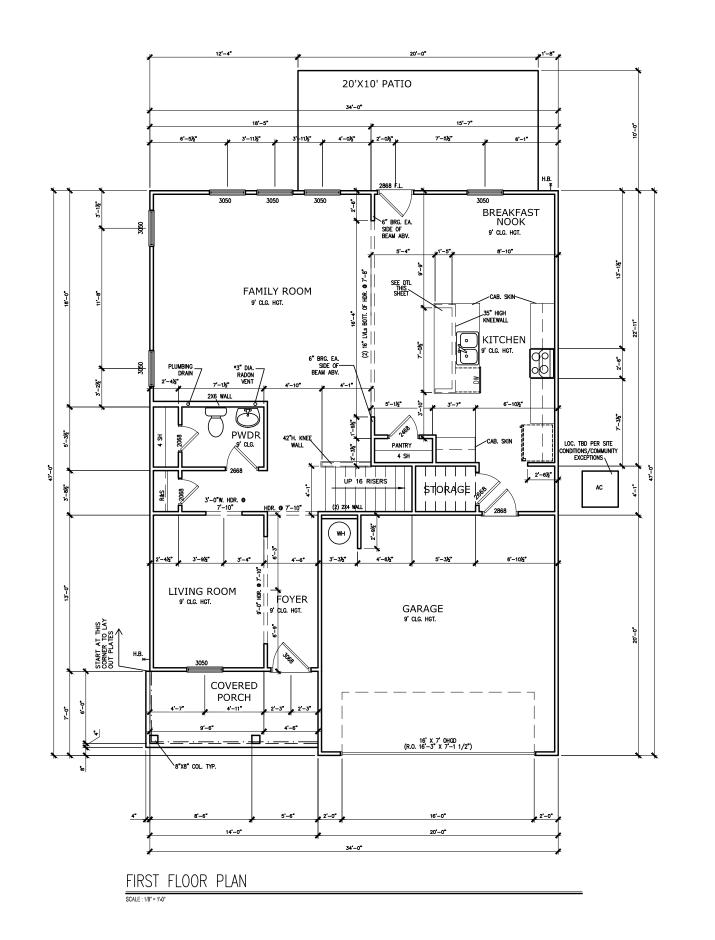


FLOOR PLAN
FIRST FLOOR
HARRINGTON

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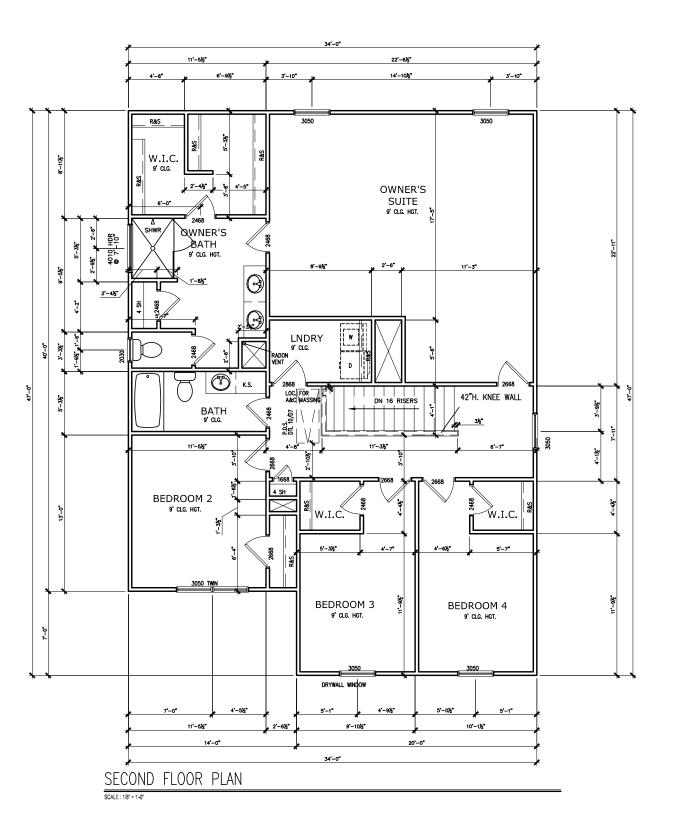
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REFER TO MANUFACTURER'S SPECS. FOR DRAIN LOCATIONS ON DETAIL SHEETS D12, D12.1, D12.2 & D12.3

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SECOND FLOOR HARRINGTON

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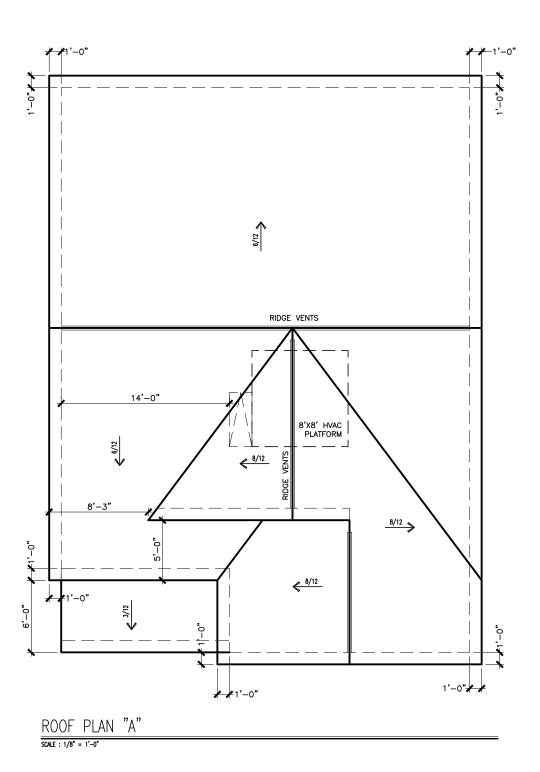
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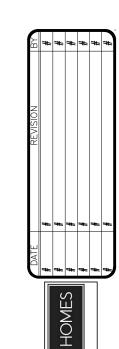
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AW



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ROOF



# 20'X10' PATIO BREAKFAST FAMILY ROOM DO NOT INSTALL 220V OUTLET UNLESS ELEC. RANGE SELECTED GARAGE FOYER LIVING ROOM COVERED PORCH

VERIFY LOCATION OF LIVING ROOM CEILING FIXTURE LIGHTS

# CEDAR POINTE LOT 0003

ELECTRICAL LEGEND				
\$	SWITCH	TV TV	TV	
\$3	3 WAY SWITCH	φ	120V RECEPTACLE	
\$4	4 WAY SWITCH	•	120V SWITCHED RECEPTACLE	
Ø	CEILING FIXTURE	Φ	220V RECEPTACLE	
-	KEYLESS	PGFCI	GFCI OUTLET	
₩	WALL MOUNT FIXTURE	PAFCI	ARCH FAULT CIRCUIT INTERRUPTER	
0	CEILING FIXTURE	† <sub>GL</sub>	GAS LINE	
•	FLEX CONDUIT	† <sub>wL</sub>	WATER LINE	
СН	CHIMES	¥	HOSE BIBB	
PH	TELEPHONE	B	FLOOD LIGHT	
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE		1x4 LUMINOUS FIXTURE	
so	SECURITY OUTLET		CEILING FAN	
	GARAGE DOOR OPENER		CEILING FAIN	
	EXHAUST FAN		ELECTRICAL WIRING	
<u> </u>	FAN/LIGHT		CEILING FIXTURE	
ELEC.	ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES			
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)				
BREAKFAST/DINING ROOM 63" ABOVE FINISHED FLOOR				
KITCH	IEN PENDANT LIGHTS	33" ABO	VE COUNTER TOP	
TWO STORY FOYER FIXTURE		96" ABOVE FINISHED FLOOR		
CEILING FAN		96" ABOVE FINISHED FLOOR		
FL00	D LIGHT	10' MAX	. ABOVE FIN. FLOOR	

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

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ELECTRICAL PLAN
FIRST FLOOR
HARRINGTON

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## OWNER'S SUITE OWNER'S BATH LNDRY W SD/Co W.I.C. BEDROOM 2 BEDROOM 3 BEDROOM 4

### SECOND FLOOR ELECTRICAL PLAN

CALE: 1/8" = 1'-0"

# CEDAR POINTE LOT 0003

ELE	ectrical l	LEGE	ND
\$	SWITCH	Ţ∨	TV
\$3	3 WAY SWITCH	φ	120V RECEPTACLE
\$4	4 WAY SWITCH	•	120V SWITCHED RECEPTACLE
$\boxtimes$	CEILING FIXTURE	$\bigcirc$	220V RECEPTACLE
- <b>∳</b> <sub>K</sub>	KEYLESS	P <sub>GFCI</sub>	GFCI OUTLET
₩X	WALL MOUNT FIXTURE	Pafci	ARCH FAULT CIRCUI
0	CEILING FIXTURE	† <sub>GL</sub>	GAS LINE
•	FLEX CONDUIT	T <sub>WL</sub>	WATER LINE
СН	CHIMES	¥	HOSE BIBB
PH	TELEPHONE	B	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE		1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET		
	GARAGE DOOR OPENER		CEILING FAN
	EXHAUST FAN		ELECTRICAL WIRING
0	FAN/LIGHT		CEILING FIXTURE
ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES			
APPRO	X. FIXTURE HGTS (MEASUR	ED FROM B	OTTOM OF FIXTURE)
BREAKFAST/DINING ROOM 63" ABOVE FINISHED			VE FINISHED FLOOR
KITCH	HEN PENDANT LIGHTS	33" ABO	VE COUNTER TOP
TWO STORY FOYER FIXTURE		96" ABOVE FINISHED FLOOR	
CEILING FAN		96" ABOVE FINISHED FLOOR	
FLOO	D LIGHT	10' MAX	. ABOVE FIN. FLOOR

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER



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ELECTRICAL PLAN SECOND FLOOR HARRINGTON

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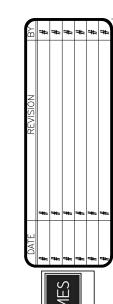
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# 20'X10' PATIO BREAKFAST NOOK FAMILY ROOM KITCHEN \$TIORAGE | LIVING ROOM FOYER GARAGE COVERED PORCH

TWO PIECE CROWN

### CEDAR POINTE LOT 0003





FLOOR PLAN
TRIM LAYOUT
HARRINGTON

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TJJ CH: AW

DATE 05/30/2024

FACADE OPT:

PLANID:

FND:

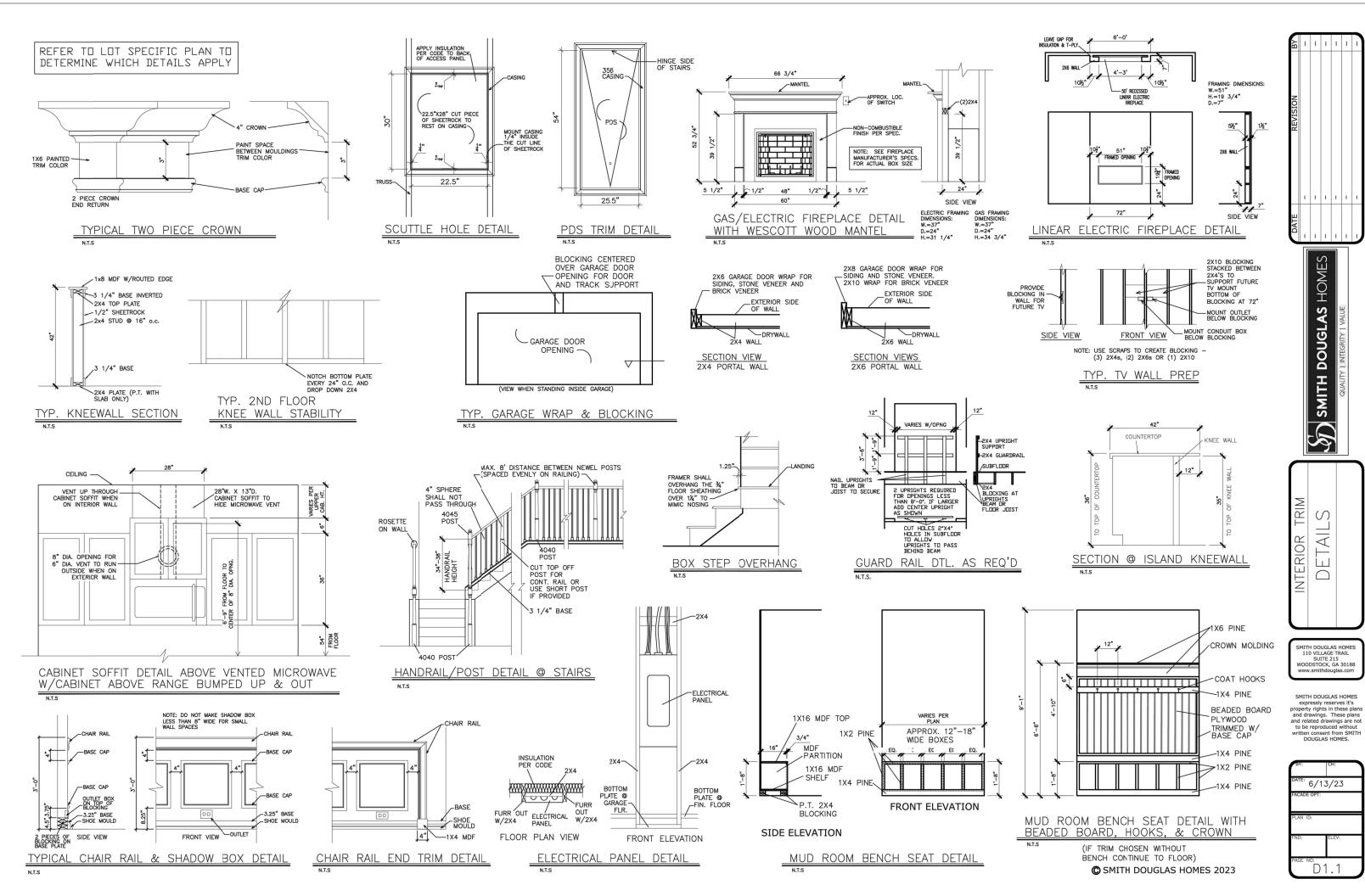
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PAGE NO:

A8.1

TRIM LAYOUT FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"



### CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.131" NAILS	3"x0.120" NAILS
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
SOLE PL. TO JOIST/RIM OR BLK'G	NAILS @ 4" o.c.	NAILS @ 4" o.c.
STUD TO PLATE	(4) TOENAILS/ (3)END NAILS	(4) TOENAILS/ (4)END NAILS*
RIM TO TOP PLATE	TOENAILS @ 6" o.c.	TOENAILS @ 4" o.c.*
BLK'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS EA. END	(3) TOENAILS EA. END*
DOUBLE STUD	NAILS @ 16" o.c.	NAILS @ 16" o.c.
DOUBLE TOP PLATE	NAILS @ 12" o.c.	NAILS @ 8" o.c.
DOUBLE TOP PLATE LAP SPLICE	(I2) NAILS IN LAPPED AREA (24" MIN.)	(15) NAILS IN LAPPED AREA (24" MIN.)
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(3) NAILS	(3) NAILS
RAFTER/TRUSS TO TOP PLATE	(4) TOENAILS +	(4) TOENAILS +
	(I) SIMPSON H2.5T	(I) SIMPSON H2.5T
GAB. END TRUSS TO DBL. TOP PL.	TOENAILS @ 8" O.C.	TOENAILS @ 6" o.c.
R.T. w/ HEEL HT. 91/4" TO 12"	2xIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 6" O.C.	2xIO BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.
R.T. w/ HFFL HT. 12" TO 16"	2xI2 BLK EVERY 3RD BAY	2xI2 BLK EVERY 3RD BAY
K.I. W HEEL HI. 12 10 10	FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 6" O.C.	FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C.*
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. W/ DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W/ NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL	LAP WALL SHTG. W DBL. TOP PL. & INSTALL ON TRUSS VERT FASTEN W NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL*
WALL TO FOUNDATION	WALL SHTG. LAP W/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.	

2½"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"X0.120", SAME SPACING OR NUMBER OF NAILS. ONLY ACCEPTABLE WHERE \* ARE SHOWN)

### ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MIKE FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSH BEAMS DO NOT EXCEED THE FOLLOWING: ROOF TRUSSES:

- 1/4" DEAD LOAD
- ATTIC TRUSSES, & I-JOISTS: 1/8" DEAD LOAD
- ABSOLUTE DEAD LOAD DEFECTION OF ATTIC TRUSSES WHEN AD JACENT TO ELOOR FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NOT DIFFERENTIAL DEFLECTION)

### VENEER LINTEL SCHEDULE

SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE
3'-0"	20 FT. MAX	L3"x3"x¼"
	3 FT. MAX	L3"x3"x¼"
6'-0"	I2 FT. MAX	L4"x3"x/4"
	20 FT. MAX	L5"x3½"x5%"
8'-0"	3 FT. MAX	L4"x4"x¼" *
	I2 FT. MAX	L5"x3½"x5%"
	l6 FT. MAX	L6"x3½"x¾"
9'-6"	I2 FT. MAX	L6"x31/2"x5/6"

. LINTELS: HALL SUPPORT 2 %' - 3 ½' VENEER rv/ 40 ps? MAXIMM MEIGHT. 6' SHALL HAVE 4' MIN BEARING 6' SHALL HAVE 9' MIN BEARING 6' SHALL NOT BE FASTENED BACK TO HEADER.

- (4) SHALL BY TE FASTINED BACK TO HEADER IN WALL 040°GC, W /S' DIA, X 3 /S' LONG LAS SCHEPE BY ALL DOOD HEADER IN WALL 040°GC, W /S' DIA, X 3 /S' LONG LAS SCHEPE BY 21 COMS VERTICALLY SLOTTED HOLES. WAY, VENER IN APPLIES TO ANY PORTION OF PRICK OVER THE OPENING. ALL INITIES SHALL BE LONG LES VERTICAL. ALL DITTLES SHALL BE LONG LES VERTICAL. ALL DITTLES SHALL BE LONG LES VERTICAL. ALL DITTLES SHALL BE LONG LES VERTICAL. BY DISTRICT OF THE HORIZONTAL LES MAY BE CUT IN THE FIELD TO BE 3 /S' NIDE OVER THE BERARNS LENGTH ONLY. THIS IS TO ALLOW FOR MORTARY LONG THIS HOUSE, ONLY THE SHAPPING LENGTH ONLY. THE SETS DIRECTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE ABOVE PARAMETERS.
- R QUEEN VENEER USE L4x3x/4".

### GENERAL STRUCTURAL NOTES

### FOUNDATION

DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE

FOOTING DESIGN - 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.

FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, I2" MAX. FROM PLATE ENDS - UTILIZING

 I/2" DIA. ANCHOR BOLTS @ 6'-0" O.C.7" MIN. EMBEDMENT FA4 ANCHOR STRAPS @ 6'-0" O.C.

FASTEN 2xIO SILL PLATES TO PRECAST BOMT WALLS WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING: I/2" DIA, BOLTS @ 2'-0" O.C

ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2

 BUILDER TO VERIEY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.

FOUNDATION WALLS & FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.

 CONCRETE DESIGN BASED ON ACI 318, CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:

f'c = 4,000 psi: ...... FOUNDATION WALLS 3,000 psi: ...... FOOTINGS & INTERIOR SLABS ON GRADE 3500 psi: ...... GARAGE & EXTERIOR SLABS ON GRADE eq 000,000 psi

BASEMENT FOUNDATION WALL DESIGN BASED ON:

 8' OR 9' HEIGHT (AS NOTED ON PLANS) TALLER WALLS MUST BE ENGINEERED

· BASEMENT WALL DESIGN IS BASED ON 30 OR 45 PCF BACKFILL SOIL TYPE CLASSIFICATIONS:

> 30 PCF TYPE (GW GP GW SP) 45 PCF TYPE (GM, GC, SM, SM-SC, ML)

• IMPORTANT - IF 60 PCF SOIL TYPE (SC, ML-CL, OR CL) IS UTILIZED FOR BACKFILL. CONTACT MULHERN & KULP FOR FURTHER EVALUATION OF FOUNDATION DESIGN.

BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKELLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.

ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.

ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE

FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.

PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.

• JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" OC (MAXIMUM)

• JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I:I RATIO), WITH A MAXIMUM OF I:1.5 RATIO · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL

TYPICAL REINFORCEMENT DETAILS: PROVIDE 3" MIN. CLEAR COVER WHERE CAST AGAINST FARTH, LI/2" MIN, CLEAR COVER AGAINST FORMS. LAP ALL REBAR 48 BAR DIAMETERS MIN. (24" FOR #4 BARS) & BEND BARS AND LAP AT CORNERS. PROVIDE 6

HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT

DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

### LEGEND

R.T. NDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUE (TYP IINO)

SI ABS

O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP, U.N.O.)

F.J. NDICATES 14" DEEP FLOOR 1-JOISTS (24" O.C. MAX SPACING), JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER

D.J. 🔊 INDICATES 2x8 P.T. DECK JOISTS 🛭 16" O.C. (MAX.)

INDICATES LOCATIONS OF POTENTIAL TILE FLOOR.
JOIST MANUFACTURER SHALL DESIGN FLOOR
SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS

IIIIIIIII INTERIOR BEARING WALL

■ □=== BEARING WALL ABOVE (B.W.A.)

BEAM/HEADER

JL METAL HANGER

INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE

### LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: MPH WIND IN 2018 NCSBC:RO

\$ 115 MPH WIND IN 2018 IRC (II5 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301,2,1,1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

HE DESIGN WAS COMPLETED PER 2015 & 2018 IBC FCTION 1609) & ASCE 7, AS PERMITTED BY R30113 OF THE 2018 NCSBC:RC & 2018 IRC. IF THE PARAMETERS OF SECTION R602.12 COMPLY CCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIET LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC & 2018 IRC SECTION R802.II.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5¢ R802.II.

### EXT. WALL SHEATHING SPECIFICATION

7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 3 "XO.II3 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)

ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS, AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE

ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.

 ALT, STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/4" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

### 3" O.C. EDGE NAILING

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W 2 3 × 0.113 NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEI TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING

### NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN. T WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.

PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120 NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING

NDICATES HOLDOWN

### HOLD-DOWN SCHEDULE

TIPLOCE	SPECIFICATION	
► HD-I	SIMPSON HTT4 HOLD-DOWN *	

DIA, THREADED ROD INTO CONCRETE FOUNDATION. PROVIDE 12" MIN. EMBEDMENT INTO CONCRETE. INSTALL PER MANUF. RECOMMENDATIONS. DO NOT LOCATE ANCHORS WITHIN I 3/4" OF EDGE OF FOUNDATION

### FLOOR FRAMING

- I-JOISTS SHALL BE DESIGNED BY MANUE TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN LOADS")
- FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE) HOWEVER IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TONA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).
- AT I-JOIST FLOORS, PROVIDE I" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O. I-JOIST SHOP DWGS, SHALL BE SUBMITTED TO ARCH, & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C., EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND
- $2\frac{1}{2}$ "  $\times$  0.131" NAILS @ 6"o.c. @ PANEL EDGES & @ 12"o.c. FIELD.
- × 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD. - 2 🖁 × 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD.

### ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS w/ 2 ½" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES € @ 12" O.C. FIELD.
- w/ 2 3 × 0.120" NAILS @ 4"0.c. @ PANEL EDGES & @ 8" O.C. FIELD. - w/ 2 3 × 0.113" NAILS @ 3"o.c. @ PANEL EDGES \$ @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- FASTEN EACH ROOF TRUSS TO TOP PLATE W USP RTTA CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) RTTA CLIPS AT 2-PLY GIRDER TRUSSES, (3) RTTA CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.C ROOF TRUSS SHOP DWGS, SHALL BE SUBMITTED TO ARCH & ENG.
- FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES
- SUPPORT SHORT SPAN ROOF TRUSSES W/2x4 LEDGER FASTENED TO FRAMING w/(2) 3"  $\times$  0.120" NAILS @ 16" O.C. (UP TO T' SPAN).

### MEANS & METHODS NOTES

AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO THE ADDITION OF NECESSARY SHORING SHEETING TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF

TRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH LOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIF LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

### GENERAL STRUCTURAL NOTES

DESIGN IS BASED ON 2018 NGSBC-RESIDENTIAL CODE

WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

DESIGN LOADS: ROOF DEAD = 7 PSE T.C., IO PSE B.C.

LOAD DURATION FACTOR = 1.25 LIVE = 40 PSF (30 PSF @ SLEEPING AREAS)

ADD'L IO PSF @ CERAMIC TILE IN BATHS & LAUND.

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

DEAD = 10 PSF (I-JOISTS)

### GENERAL FRAMING

- CONNECTIONS TABLE (IRC TABLE R602.3(1)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION, ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP "STUD" GRADE LUMBER, OR BETTER, U.N.O WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING.
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER. SUPPORT ALL HEADERS/ BEAMS W/ (1)2x JACK STUD & (1)2x
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.. ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED
- WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.) . HEADERS IN NON-LOAD BEARING WALLS SHALL BE (I)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15)
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING: • 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0xI0^6 psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
   'LVL' Fb=2400 psi; FcII=2500 psi; E=I.8xI0^6 psi
- FOR 2 & 3 PLY BEAMS OF EQUAL 13/4" MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"XO.120" NAILS @ 8" O/C OR 2 ROWS USP WS35 SCREWS (OR 31/3" TRUSSLOK SCREWS) @ 16" O/C, USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER.

  APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3  $\frac{1}{2}$ " OR 5  $\frac{1}{4}$ 4 BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 & 2x8
- FOR 4 PLY BEAMS OF EQUAL 13/4" MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROMS OF USP WS6 SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE, A SOLID 1" BEAM IS ACCEPTABLE
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND./BEARING. BLOCKING TO MATCH POST ABOVE.
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE USP BCS22-4 CAP 8 PA44E BASE, U.N.O.

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERINS C-3825



Mulhern+Kulp project numbe 256-21012

SMK ILM issue date: 02-21-22

REVISIONS:

MJF

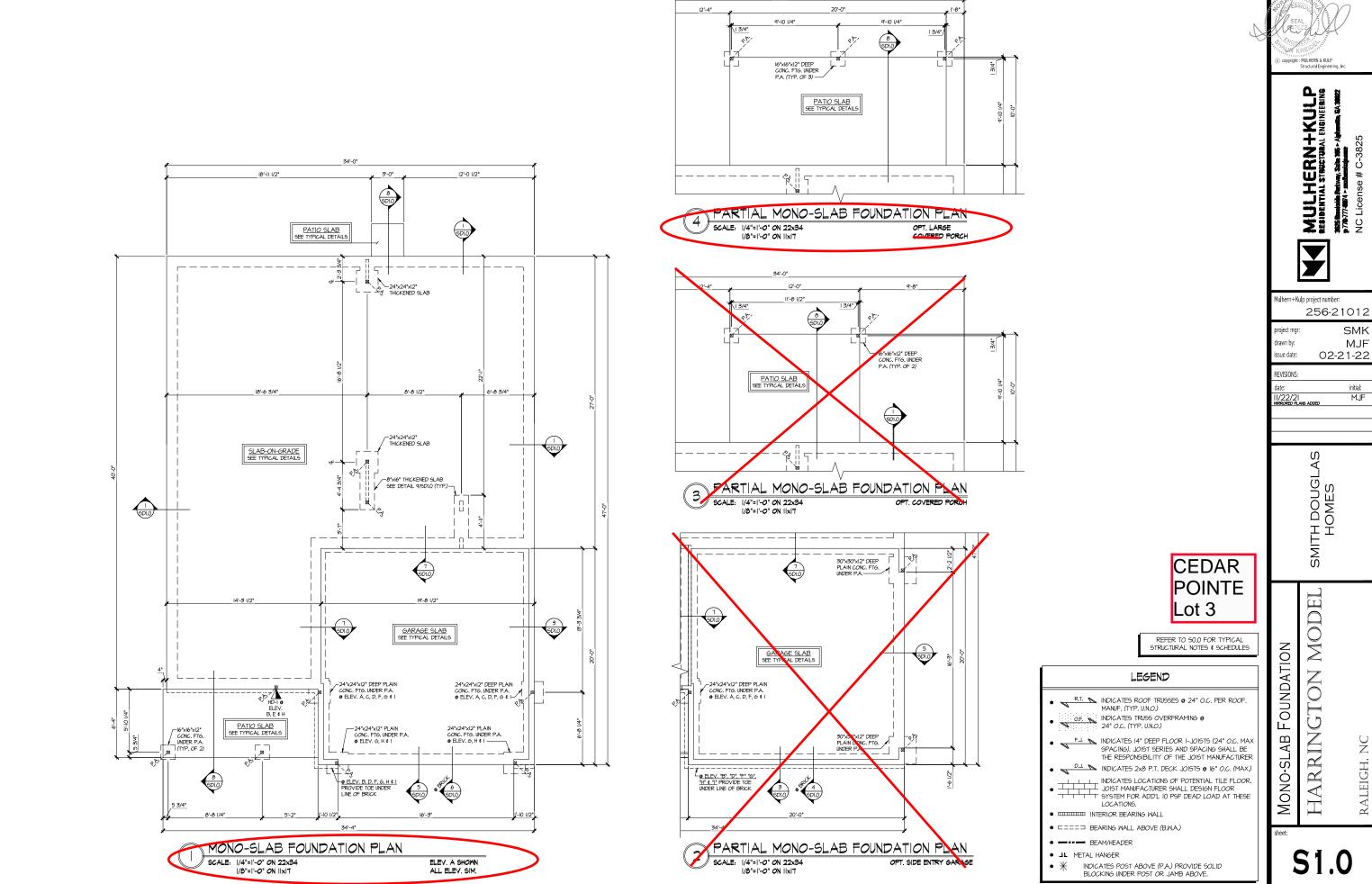
 $\overline{\mathbb{Q}}$ SMITH DOUC HOMES

II MODE NOTES GLON STRUCTURAL

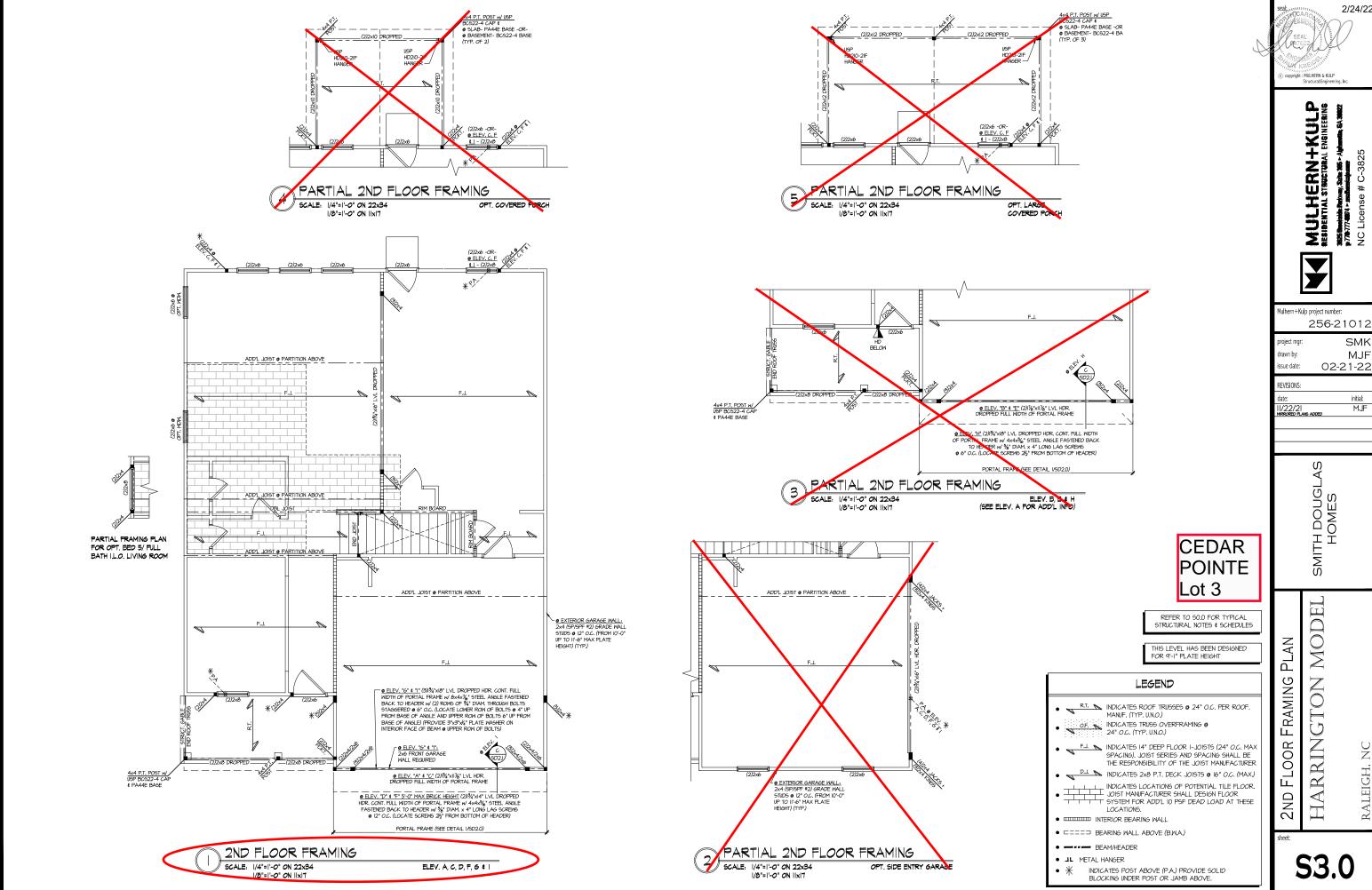
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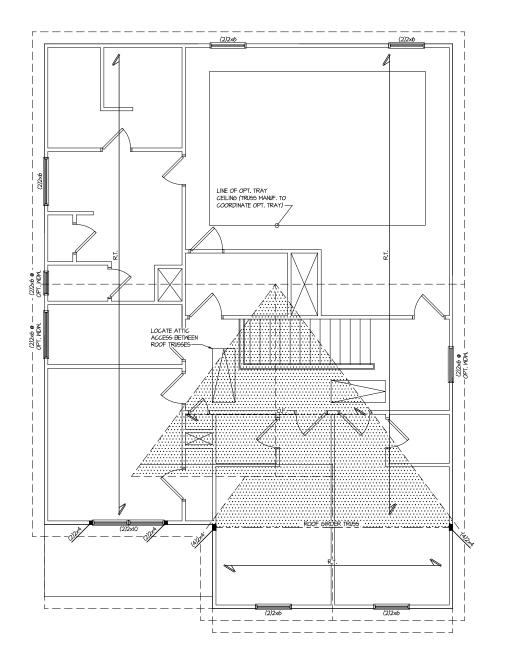
GENERAL

CEDAR POINTE Lot 3



34'-0"







2/24/22

MULHERN+KULP

RESIDENTIAL STRUCTURAL ENGINEERING

SECRETARIA STRUCTURAL ENGINEERING

PTOTITION STRUCTURAL EN

Mulhern+Kulp project number: 256-21012

SMK MJF

02-21-22

issue date: REVISIONS:

initial: MJF

SMITH DOUGLAS HOMES

HARRINGTON MODEL

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

Lot 3

CEDAR POINTE

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

### LEGEND

INDICATES LOCATIONS OF POTENTIAL TILE FLOOR.
JOIST MANUFACTURER SHALL DESIGN FLOOR
SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.

BEAM/HEADER

METAL HANGER

INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

• RT. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)

• OF. INDICATES TRUSS OVERFRAMING • 24" O.C. (TYP. U.N.O.)

F.J. NDICATES 14" DEEP FLOOR 1-JOISTS (24" O.C. MAX
SPACING), JOIST SERIES AND SPACING SHALL BE
THE RESPONSIBILITY OF THE JOIST MANUFACTURER

• D.J. INDICATES 2x8 P.T. DECK JOISTS • 16" O.C. (MAX.)

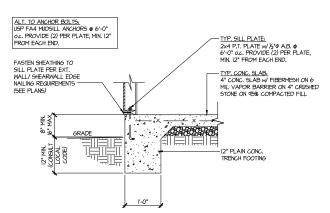
• IIIIIII INTERIOR BEARING WALL

● □□□□□ BEARING WALL ABOVE (B.W.A.)

ROOF

FRAMING PLAN

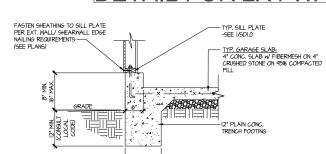
**S4.0** 



TYPICAL SLAB ON GRADE PERIMETER FOOTING

### I" AIR GAP -BRICK VENEER PER SPEC W I" N. x 22GA CORRUGATED GALV. METAL WALL TIES 9 16" O.C. HORIZ. & VERT. (TYP.) GROUT SOLID TO WEEP HOLES • 24" o.c 44800400 16" PLAIN CONC

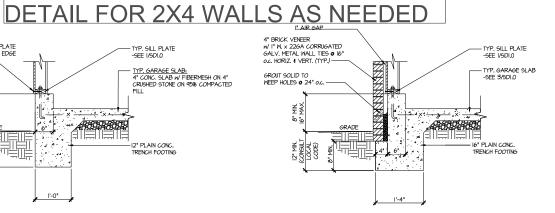
TYPICAL SLAB ON GRADE 2 PERIMETER FOOTING W/ BRICK VENEER



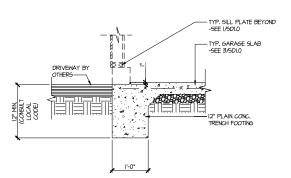
**USE ALTERNATE GARAGE CURB** 

TYPICAL SLAB ON GRADE GARAGE 3 PERIMETER FOOTING

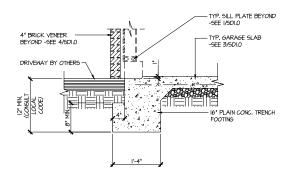
I'-O"



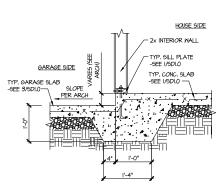
TYPICAL SLAB ON GRADE GARAGE 4 PERIMETER FOOTING



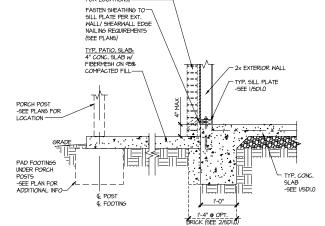
TYPICAL SLAB ON GRADE GARAGE 5 ENTRY @ PERIMETER FOOTING



TYPICAL SLAB ON GRADE GARAGE 6 ENTRY @ PERIMETER FOOTING

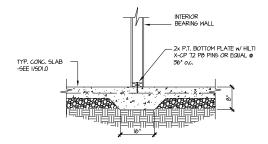


TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING

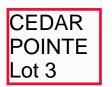


OPT. BRICK (SEE ARCH FOR LOCATIONS)

TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL



2/24/22

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING 265 Brockside Perkvey, Suite 265 • Agina 2-78-77-4804 • menhanicapasan NC License # C-3825

Mulhern+Kulp project number: 256-21012

SMK drawn by: MJF issue date: 02-21-22

REVISIONS:

initial: MJF

SMITH DOUGLAS HOMES

MODEL ARRINGTON FOUNDATION DETAILS

**SD1.0** 



# MULHERN+KULP RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 🔻 p 770-777-0074 🔻 mulhernkulp.com

August 18, 2023

lody Hunt

Director of Product Development

# **SMITH DOUGLAS HOMES**

110 Village Trail, Suite 215 Woodstock, GA 30188

# **ALTERNATE GARAGE CURB DETAIL**

# Smith Douglas Homes

## Reference

Current Structural Plans prepared by Mulhern & Kulp

Jody:

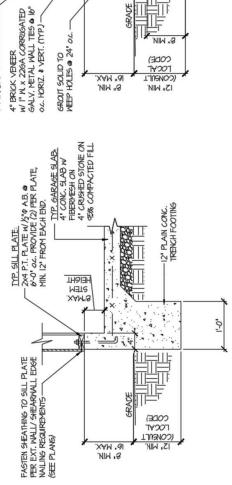
Pursuant to your request, we have prepared this letter to address the "Alternate Garage Curb Details", prepared by Mulhern & Kulp for these are an acceptable alternative to the 6" wide curb at the garage per M&K foundation details 3 & 4 on sheet SD-1.0 at 2x4 garage Smith Douglas Homes shown below. The foundation details shown below call for a 4" wide curb with a maximum of 8" stem wall height; wall locations.

TYP. SILL PLATE. 2x4 P.T. PLATE W/K'O AB. 6 6-0" 0x. PROVIDE (2) PER PLATE, MIN. 12" FROM EACH BND.

8"MAX. STEM HEIGHT

GROUT SOLID TO WEEP HOLES № 24" oz

.XAM "&I



NIM .8

CODE) 1007 (CON€0LT 12" MIN.

A/ BRICK VENER TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING m

MANAGORA

Please feel free to call if you have any questions.

TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

**⟨⟨⟨⟨⟨** 

Respectfully,

# **MULHERN & KULP STRUCTURAL ENGINEERING, INC.**

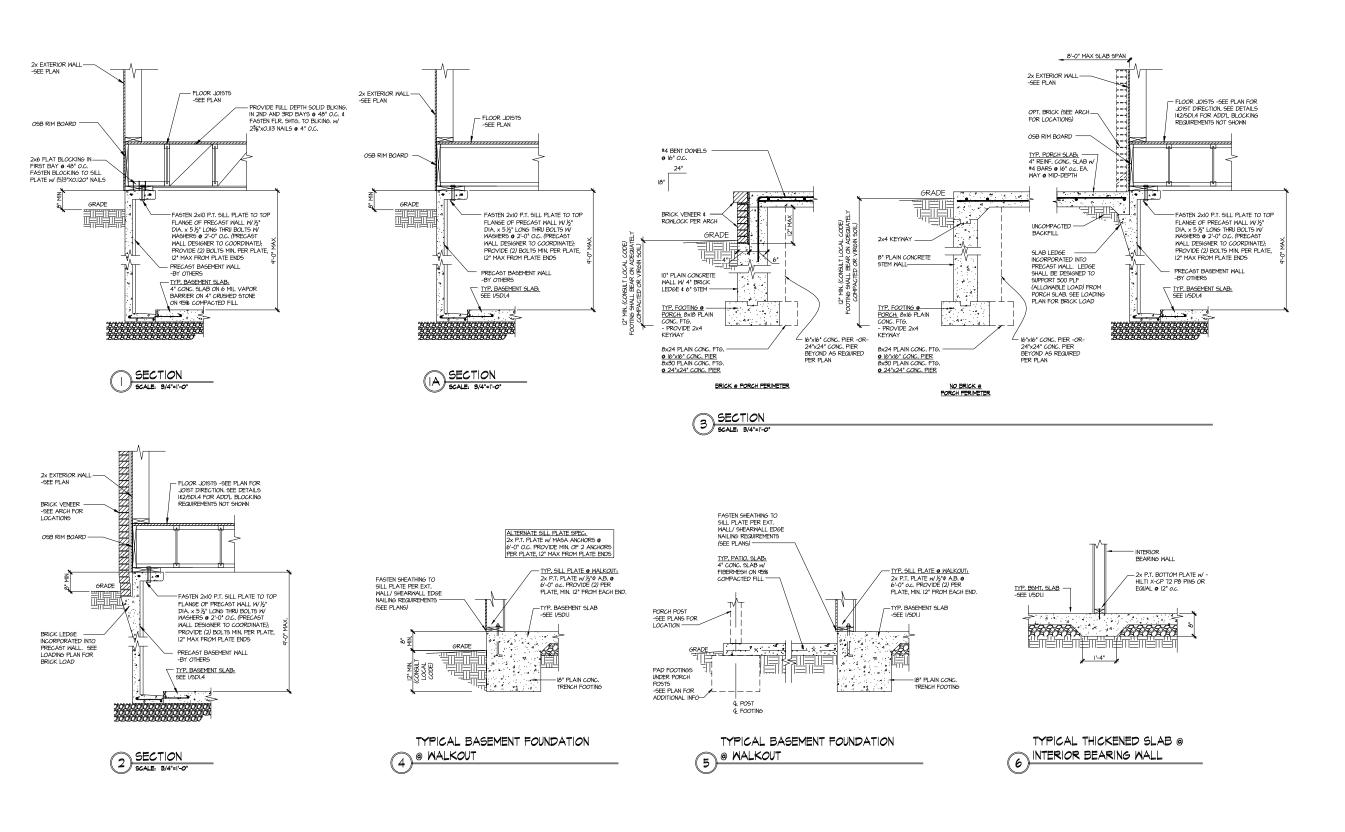
NC License # C-3825

Project Manager + Atlanta Office Director Shaun M. Kreidel, P.E.



P:|Client Files|256 - Smith Douglas Homes|2023|23000 - 2023 Client Admin|2023-08-17 - 4in Garage Curb Letter|Alternate Garage Curb Detail - Letter - NC.docx





CEDAR POINTE Lot 3

2/24/22

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Mulhern+Kulp project number: 256-21012

SMK MJF issue date: 02-21-22

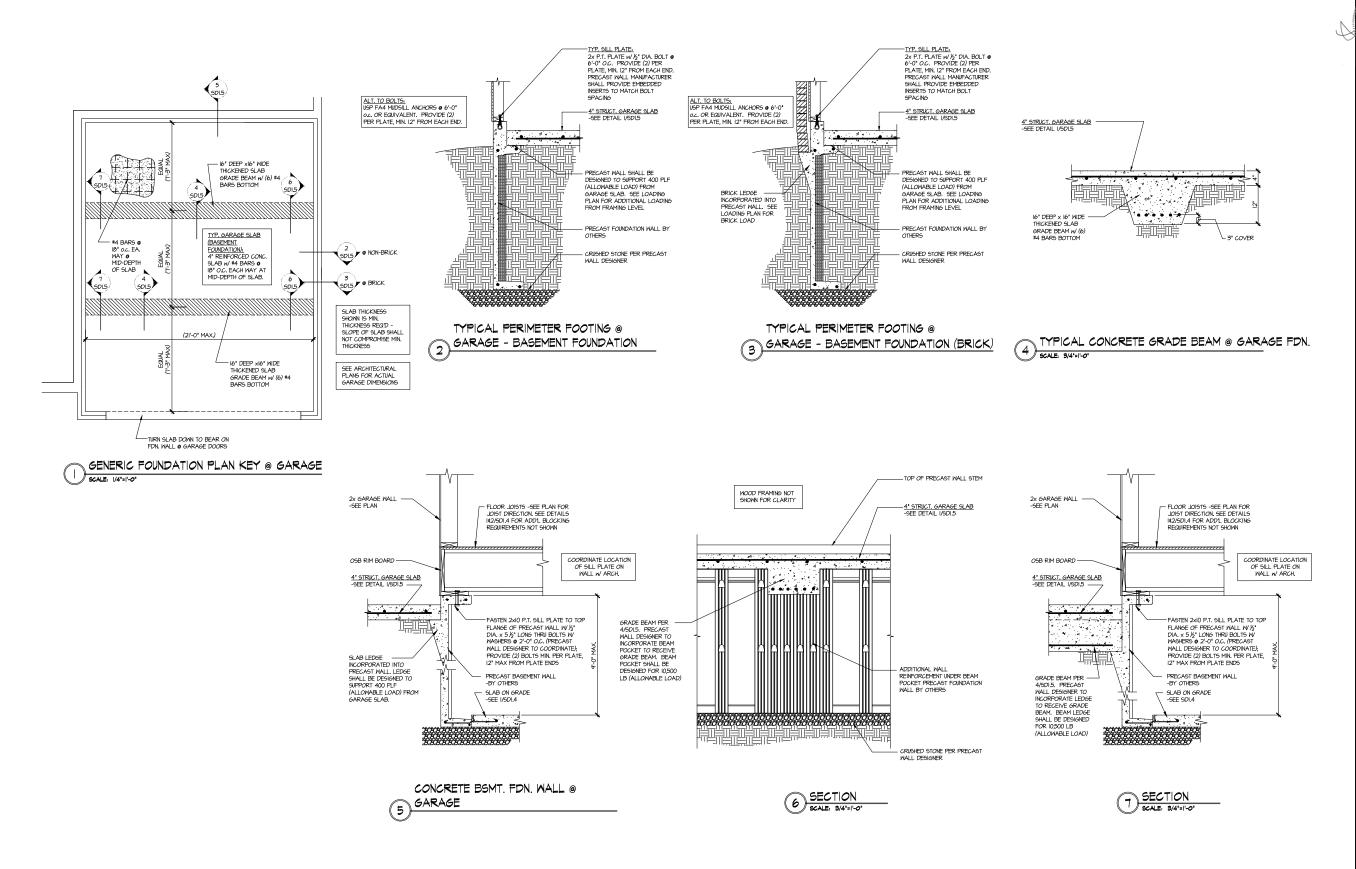
REVISIONS:

initial: MJF

SMITH DOUGLAS HOMES

MODE ARRINGTON FOUNDATION DETAILS

**SD1.4** 



CEDAR POINTE Lot 3

2/24/22

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SESENCIAL PRINCIPLES AND SERVED SANDERS

\$778-777-884 - Industries

*TI*-484 ► material point. License # C-3825

Mulhern+Kulp project number: 256-21012

SMK drawn by: MJF issue date: 02-21-22

REVISIONS:

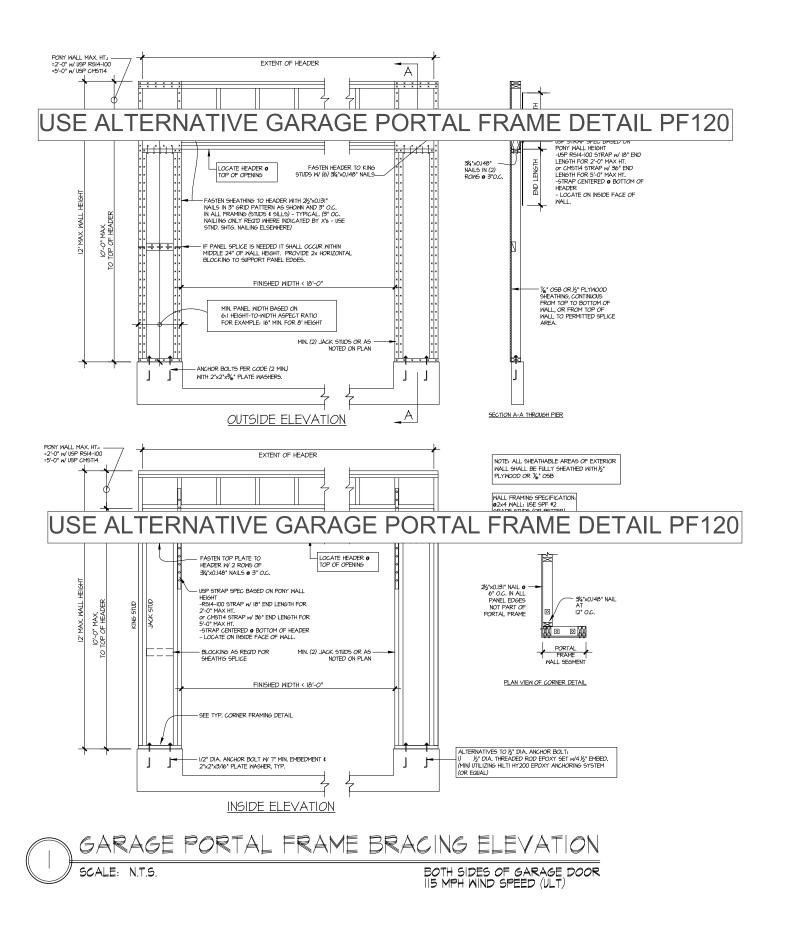
initial: MJF

SMITH DOUGLAS HOMES

MODE RRINGTON FOUNDATION DETAILS

RALEIGH,

**SD1.5** 



2/24/22

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENSINEERING
SESSEMICIAL STRUCTURAL EN ADMINE SA SEES
\$770.777.874 - Indirections 1905 Bookside Perkway, Suite 1906 • Algebra 1978-777-4874 • medicantement NC License # C-3825



Mulhern+Kulp project number: 256-21012

SMK drawn by: MJF issue date: 02-21-22

REVISIONS:

initial: MJF

SMITH DOUGLAS HOMES

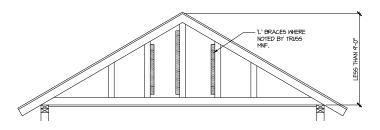
HARRINGTON MODEL

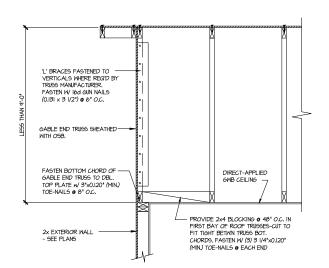
FRAMING DETAILS

CEDAR POINTE

Lot 3

**SD2.0** 

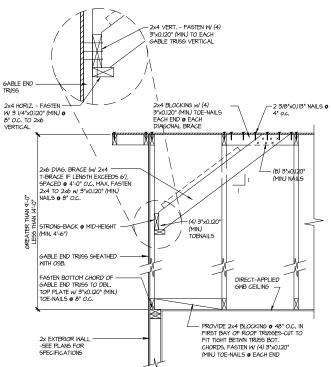




BRACE GABLE END TRUSGES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LEGS THAN 9'-O'. L' BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.

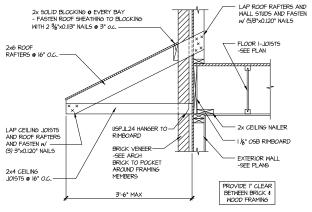
TYPICAL GABLE END BRACING DETAIL SCALE: NONE REGID & GABLE END TRUSS

- STRONG-BACK **o** MID-HEIGHT FOR DIAG. BRACES



TYPICAL GABLE END BRACING DETAIL SCALE. NONE REGID & GABLE END TRUSS

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0'. 'L' BRACES NOT REQUIRED.



DETAIL @ PENT ROOF

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

> CEDAR POINTE Lot 3

2/24/22

MULHERN + KULP

RESIDENTIAL STRUCTURAL ENGINEERING

RESERVED FOR A STRUCTURAL SATION

F.70-777-874 - EMBREDGESTRUCTURAL SATION

NC License # C-3825

Mulhern+Kulp project number: 256-21012

SMK MJF issue date: 02-21-22

REVISIONS:

initial: MJF

SMITH DOUGLAS HOMES

HARRINGTON MODEL FRAMING DETAILS

**SD2.1** 





3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 🔻 p 770-777-0074 🔻 mulhernkulp.com

July 28, 2023

lody Hunt

Director of Product Development

# **SMITH DOUGLAS HOMES**

110 Village Trail, Suite 215 Woodstock, GA 30188

# **ALTERNATE GARAGE PORTAL FRAME DETAIL**

# Smith Douglas Homes

**Reference** "Alternate Garage Portal Frame Detail" on sheet PF-120 & PF-130, prepared by Mulhern & Kulp dated 07/28/2023 - attached

Jody:

Pursuant to your request, we have prepared this letter to address the "*Alternate Garage Portal Frame Detail*", prepared by Mulhern & Kulp for Smith Douglas Homes.

Detail" on sheet "PF-130" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than The "Atternate Garage Portal Frame Detail" on sheet "PF-120" is an acceptable alternative portal frame design for anywhere in North The "Alternate Garage Portal Frame or equal to 130mph ultimate wind speed per ASCE 7-16. These details only apply to structural plans that have been designed by Mulhern& Kulp. It is the responsibility of "SDH" to provide the correct "Alternate Garage Portal Frame Detail", to the building Carolina with a wind speed less than or equal to 120mph ultimate wind speed per ASCE 7-16. department that matches the jurisdiction's wind speed requirements.

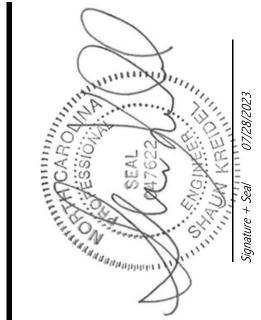
Please feel free to call if you have any questions.

Respectfully,

# **MULHERN & KULP STRUCTURAL ENGINEERING, INC.**

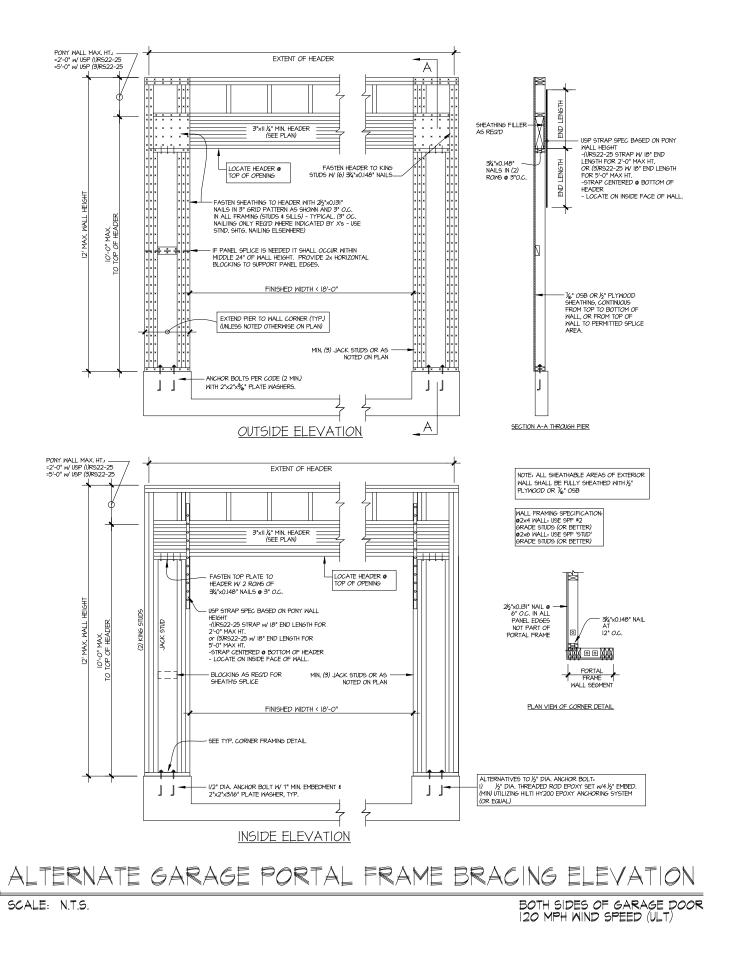
NC License # C-3825

Project Manager + Atlanta Office Director Shaun M. Kreidel, P.E.



P:|Client Files|256 - Smith Douglas Homes|2023|23000 - 2023 Client Admin|2023-07-28 - Alternate Portal Frame Letter|Alternate Garage Portal Frame Detail -Letter - RLH.docx

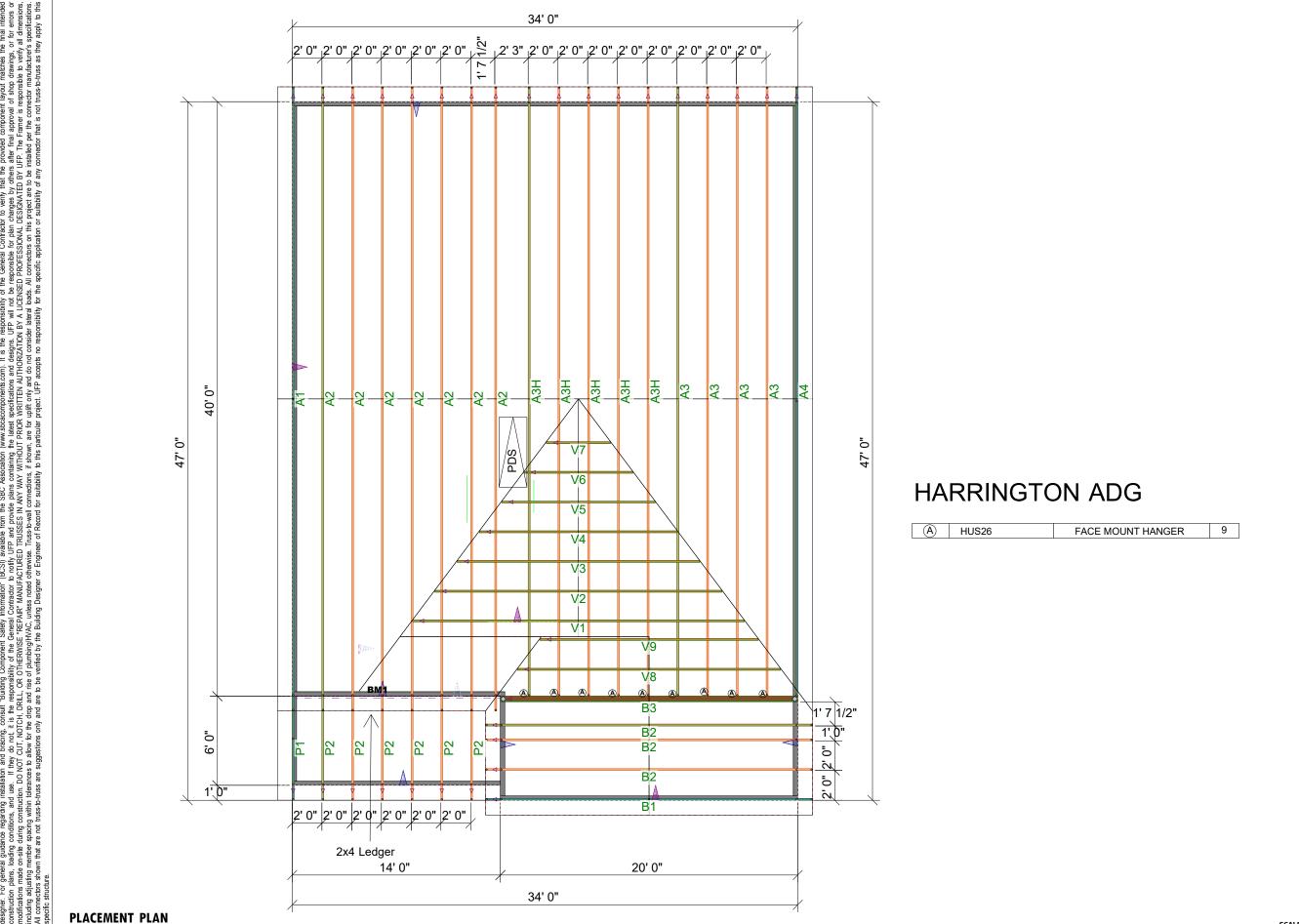




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RESIDENTIAL STRUCTURAL ENGINEERING
STRUCTURAL ENGINEERING
PASSESSERIT: TRANSPORTER STRUCTURAL ENGINEERING Mulhern+Kulp project number: 256-23000 SMK RAP issue date: 07.28.2023 REVISIONS: initial: SMITH DOUGLAS HOMES FRAME PORTAL FRAME ALTERNATE PORTAL

CEDAR POINTE Lot 3

PF-120



를 61.48 VALLEY ¥

**LINES:4.94** 

**LINES:** 

**9**4

LINE

2007.53 ft<sup>2</sup>\_RIDGE

AREA:

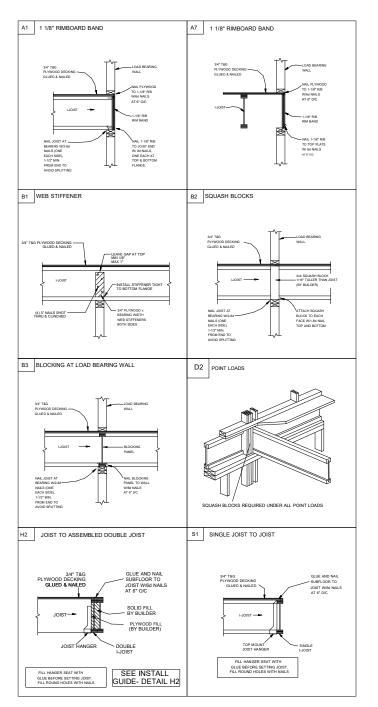
SCALE: N.T.S

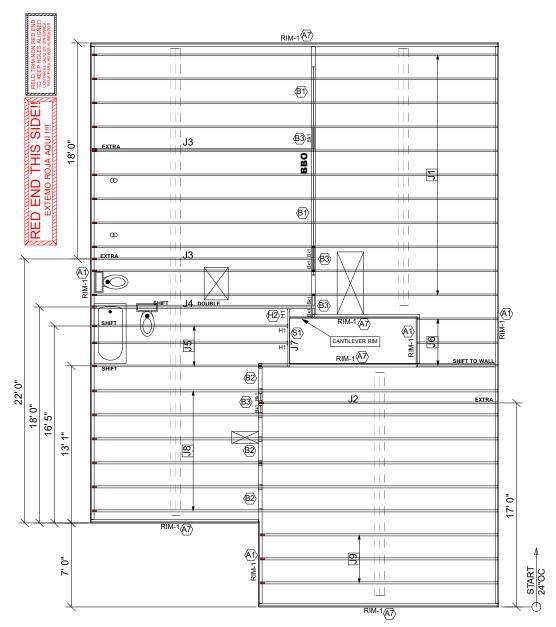
**UFP** SITE BUILT A UPP INDUSTRIES COMPANY

RALEIGH

DESIGNER JNN LAYOUT DATE 11/21/2021 ARCH DATE

JOB #: MASTER





		Products			
PlotID	Length	Product	Plies	Net Qty	Fab Type
J1	34' 0"	14" TJI® 110	1	11	MFD
J2	20' 0"	14" TJI® 110	1	1	MFD
J3	19' 0"	14" TJI® 110	1	2	MFD
J4	19' 0"	14" TJI® 110	2	2	MFD
J5	17' 0"	14" TJI® 110	1	3	MFD
J6	7' 0"	14" TJI® 110	1	3	MFD
J7	5' 0"	14" TJI® 110	1	1	MFD
J8	34' 0"	14" TJI® 210	1	6	MFD
J9	20' 0"	14" TJI® 210	1	3	MFD
RIM-1	16' 0"	1 1/8" x 14" TJ® Rim Board	1	12	FF
Bk1	2' 0"	14" TJI® 110	1	7	MFD

	Connec	tor Summ	nary
PlotID	Qty	Manuf	Product
H1	3	MiTek	TFL1714

### **GENERAL NOTES:**

1.) TOP CHORD OF JOISTS ARE PAINTED RED AT NUMBERED END. PLACE PAINTED END AS

NOTED ON PLAN.
2.) FOLLOW SPECIAL SPACING AND LOCATION DIMENSIONS FOR EXTRAS OR SHIFTED JOISTS

AS SHOWN ON PLAN.
3.) ALL INTERIOR WALL PLATES MUST BE LEVEL WITH OUTSIDE WALL TOP PLATES.
4.) DO NOT STACK CONSTRUCTION LOADS ON UN-BRACED JOISTS.
5.) PROVIDE SOLID SUPPORT BELOW ALL BEAM

AND HEADER BEARING POINTS IN WALL AND JOIST SPACES CONTINUOUS DOWN TO THE FOUNDATION.

FOUNDATION:

(a) LOCATE CRIPPLE STUDS IN JOIST SPACE
DIRECTLY BELOW HEADER JACKS AT ALL FIRST
FLOOR EXTERIOR DOOR LOCATIONS.

7.) INSTALL NAILS IN ALL HOLES PROVIDED IN JOIST HANGERS EXCEPT AT BOTTOM CHORD SEAT. PLACE A DAB OF GLUE IN THE HANGER SEAT BEFORE SETTING JOISTS.

8.) IMPORTANT NOTE! NO STRUCTURAL ANALYSIS OF CONVENTIONAL HEADERS HAS BEEN CONDUCTED IF NOT NOTED. THEY ARE CONSIDERED TO BE ADEQUATE TO SUPPORT THE APPLIED LOADS.

### FRAMER NOTE

DENOTES DUCT HOLE RUNS

ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED

Avoid Plumbing Drops

### FRAMER NOTE

NAILS.

. GLUE AND NAIL PLYWOOD SUBFLOOR TO BEAMS AND GIRDERS AT 6" O/C WHERE NO WALL IS ABOVE. 2. FILL HANGER SEAT WITH GLUE BEFORE SETTING JOIST IN HANGER. FILL ROUND HOLES WITH

CRITICAL!!

INSTALL 2X4 SQUASH BLOCKS IN FLOOR TRUSS SPACE BELOW ALL EXTERIOR DOOR HEADER JACKS. CUT 1/16" TALLER THAN TRUSS.

### PLAN LEGEND

1B-, 2B-

H-, 1H-, GDH- INDICATES BEAM BELOW TOP PLATE (DROPPED BELOW FLOOR SYSTEM)

SINGLE PLY BEAM (ADD LINE FOR EACH ADDITIONAL PLY)

SHIFT JOIST TO MISS PLUMBING, ALIGN WWALL OR SUPPORT FURNITURE

A JOIST ADDED TO THE LAYOUT IN ADDITION TO THE ON CENTER JOISTS

DOUBLE

FIELD TRIM NON RED END TO KEEP HOLES ALIGNED CONTAR EL LADO DE SIN MARCA ROJA PARA HOYOS ALINEADOS

**FIELD LOCATE PLUMBING DROPS/CAN LIGHTS, ETC... PRIOR TO JOIST SECUREMENT TO AVOID INTERFERENCE** 

### LAYOUT FOR 19.2" O/C

1= 19-3/16"	9= 172-13/16"
2= 38-3/8"	10= 192"
3=57-5/8"	11= 211-3/16"
4= 76-13/16"	12= 230-3/8"
5= 96"	13= 249-13/16"
6= 115-3/16"	14= 268-13/16"
7= 134-3/8"	15= 288"
8= 153-5/8"	

FIELD VERIFY DIMENSIONS TO **JOISTS LOCATED UNDER WALLS!!** 2ND FLOOR LAYOUT

DESIGNER PB2 LAYOUT DATE 5/24/2024 ARCH DATE 11/12/2021 STRUC DATE 2/24/2022 JOB #: 24052180F2

2ND FLOOR PLACEMENT PLAN

BUILT SITE

UFP

**2nd Floor** Harrington

**Smith Douglas Homes** 

SCALE: 1/8"=1'