

AVERY

TOBACCO ROAD
LOT 170



PLAN ID: 042720.0601

110 VILLAGE TRAIL SUITE 215
WOODSTOCK, GA. 30188

DRAWING INDEX	
A0.0	COVER SHEET
A1.1	FRONT ELEVATION
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATION
A5.1	FIRST FLOOR PLAN & DETAILS
A6.1	ROOF PLAN
A7.2	ELECTRICAL PLANS
A8.1	TRIM LOCATION LAYOUTS

AREA TABULATION	
FIRST FLOOR	2404
TOTAL	2404
GARAGE	400
FRONT PORCH A MASSING (COVERED)	19
REAR PATIO	120

PLAN REVISIONS			
DATE	BY	REVISION	PAGE #
9/10/2019	AW	PCR #3209 added clg. mount light to hall by bathroom in finished basement	A7.1.1
9/10/2019	AW	PCR #3214 Removed tempered note from 3050 window in Family Rm. next to rear door	A5.1
11/4/2019	AW	Added grade beam between B-2 & Foyer as part of truss standardization project	A3.1
1/10/2020	AW	Removed optional Study ILO Dining	A5.1.1, A7.2.1
2/11/2020	AW	PCR #3596 Relocated WP outlet on back patio so when its a deck the post won't interfere with outlet	A7.2
4/27/2020	AW	Re-centered A roof massing dormers	A1.1, A1.4, A1.13, A6.1
4/1/2021	AW	PCR #4348 Added led light & switch over tub in the En Suite Bath	A7.2.1
9/2/2021	BB	ADDED 2 TURTLE BACK VENTS TO C MASSING REAR ELEVATION	A2.3, A2.9, A6.1.2
3/1/2022	AW	Changed 3050 twin temp at rear of Brkfst to 3050 single non-temp window	A2.1-A2.3, A5.1
7/10/2023	AW	PCR #5401 Clean up plumbing dims on slab plan	A3.1
8/1/2023	AW	Changed 2x6 walls to 2x4 wall at Bath 3/B3 En Ste bath and back of coat closet	A3.1, A5.1, A5.1.1
9/20/2023	BB	Removed shower and tub sizes from all fixtures on all affected pages	A3.1, A3.1.1, A5.1-5.1.2
3/28/2024	SL	PCR # 5769 Adjusted two electrical outlet locations in kitchen, added three outlets	A7.2
5/13/2024	CLJ	PCR # 5795 Rev kitchen cabinets dimensions to match cabinet layout document	A5.1, A7.2

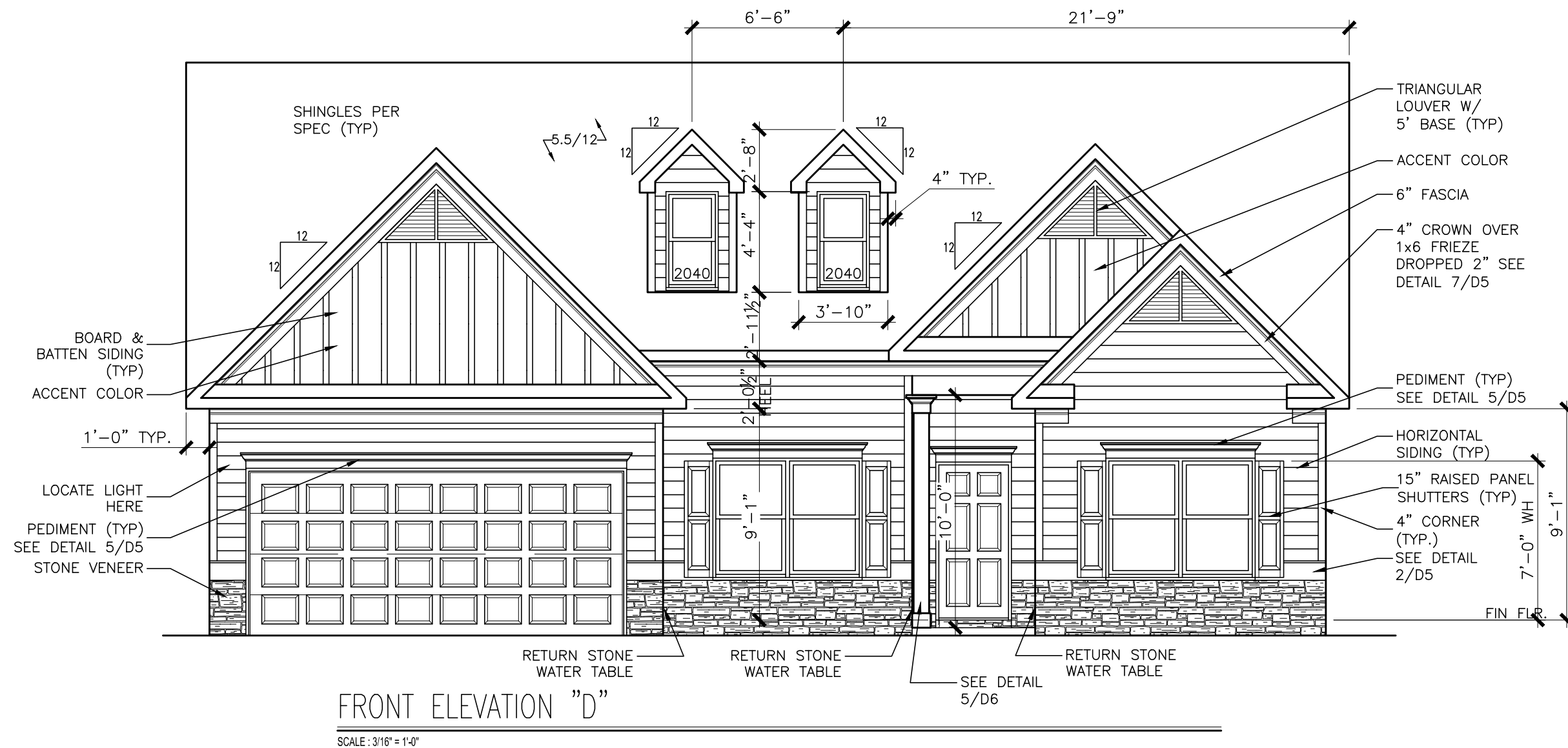
GOVERNMENTAL CODES & STANDARDS
HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA
HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

TOBACCO ROAD LOT 170



FRONT ELEVATION "D"

SCALE : 3/16" = 1'-0"

BY	#	REVISION	DATE

SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

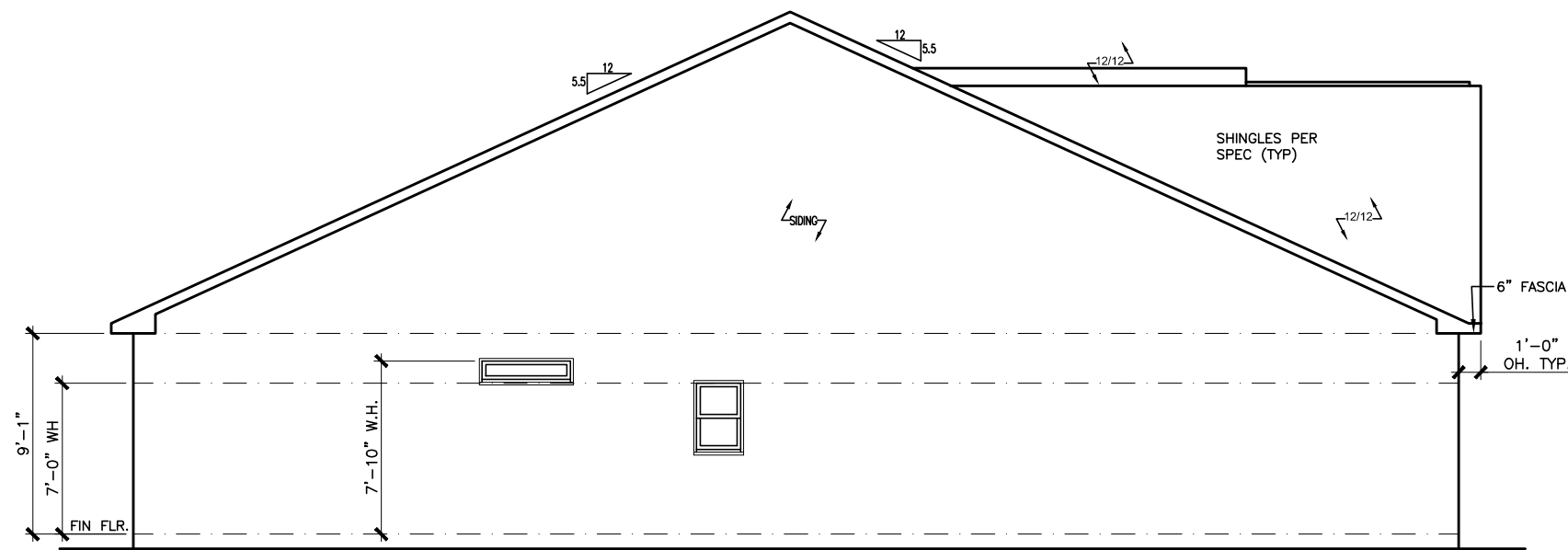
ELEVATION
FRONT ELEVATION
AVERY

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 215
WOODSTOCK, GA 30188
www.smithdouglashomes.com

SMITH DOUGLAS HOMES expressly reserves its property rights in these plans and drawings. These plans and related drawings are not to be reproduced without written consent from SMITH DOUGLAS HOMES.

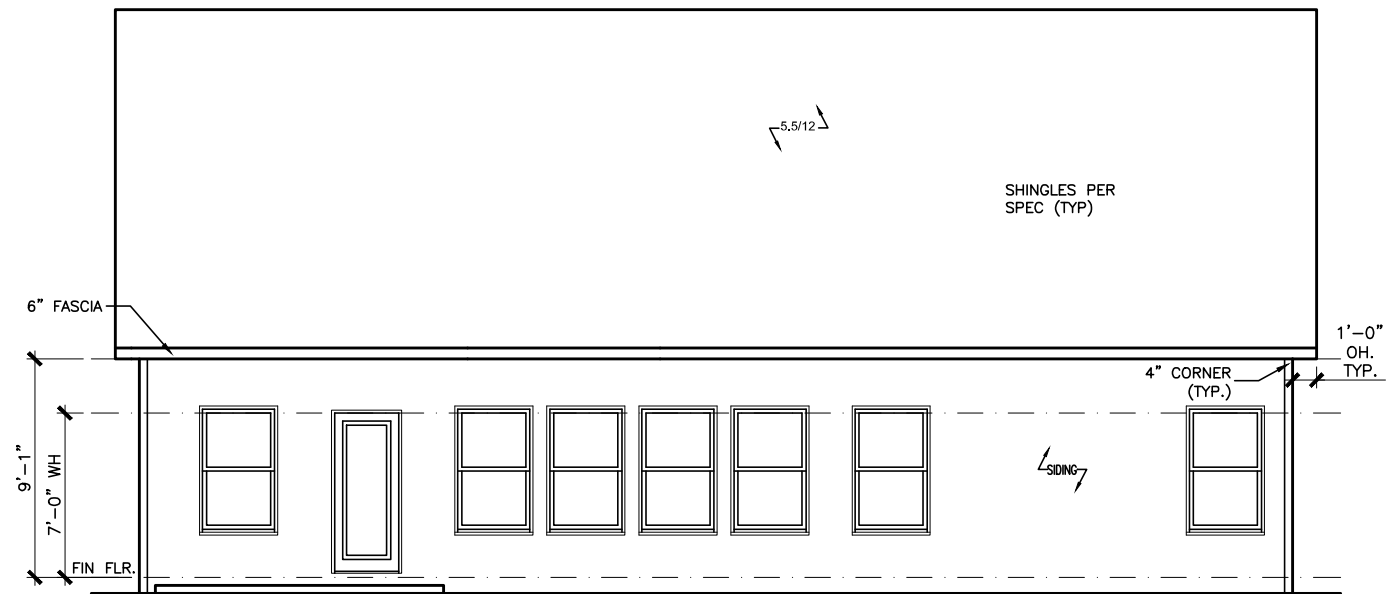
BY: CLJ	CH: AW
DATE: 07-30-24	
FACADE OPT: A	
PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A1.1	

TOBACCO ROAD LOT 170



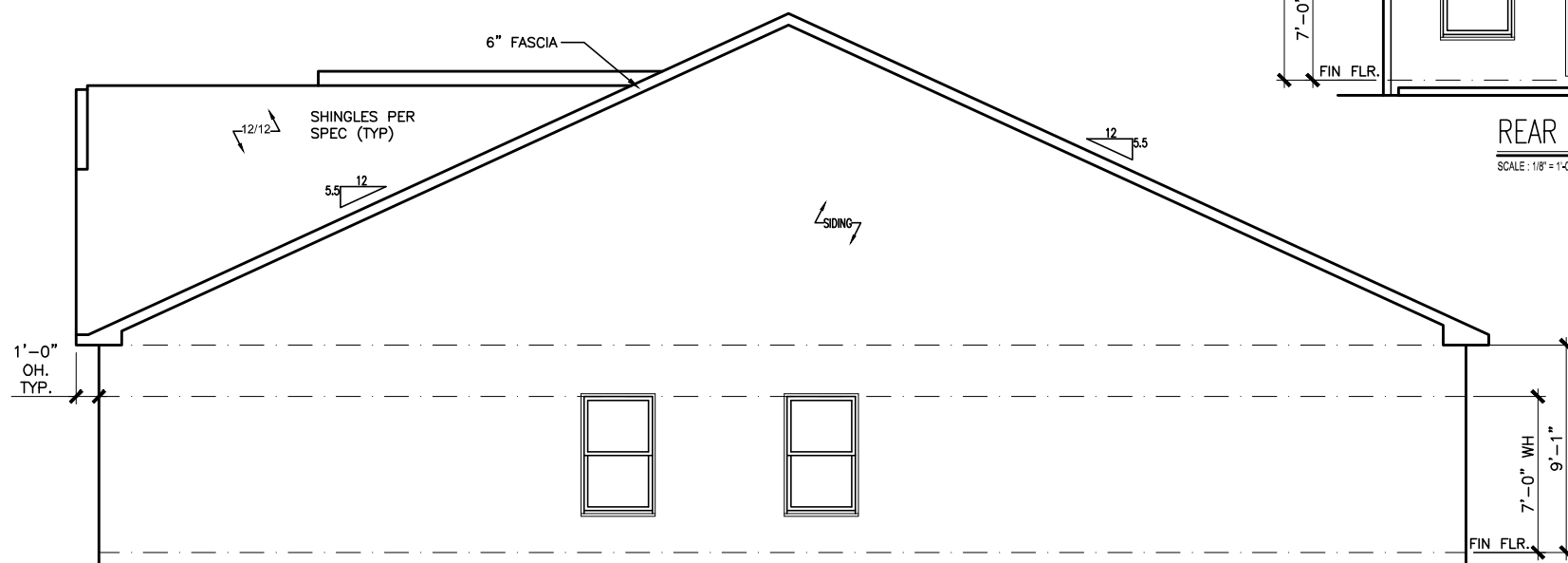
LEFT ELEVATION "D"

SCALE: 1/8" = 1'-0"



REAR ELEVATION "D"

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "D"

SCALE: 1/8" = 1'-0"

BY	REVISION	DATE



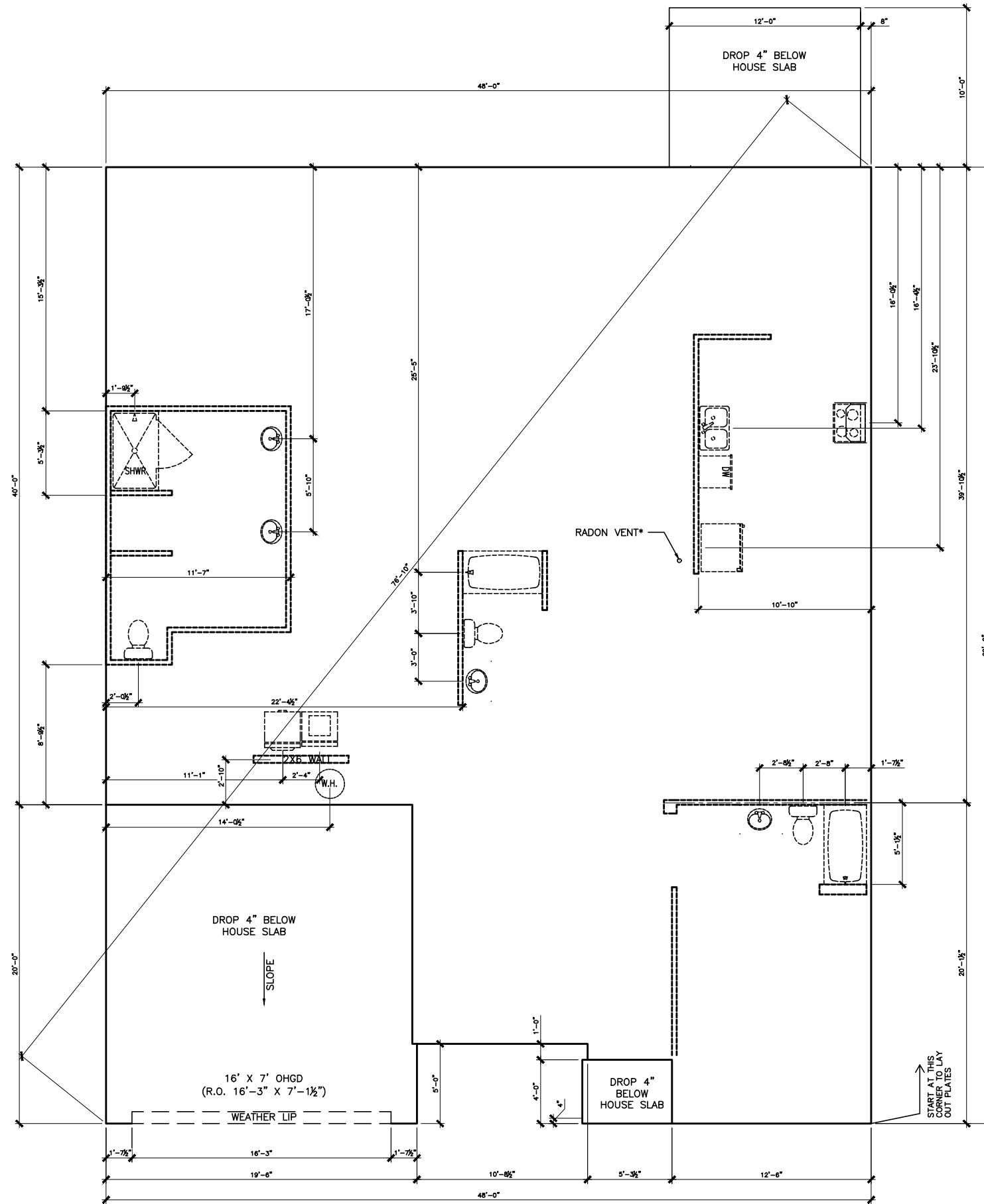
ELEVATIONS
SIDES AND REAR
AVERY

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 215
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES
expressly reserves its
property rights in these
plans and drawings.
These plans and related
drawings are not to be
reproduced without written
consent from SMITH
DOUGLAS HOMES.

BY: CLJ	CH: AW
DATE: 07-30-24	
FACADE OPT: A	
PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A2.1	

TOBACCO ROAD LOT 170



SLAB PLAN

SCALE: 1/8" = 1'-0"

*RADON VENT PROVIDED
PER LOCAL CODE

REFER TO DETAIL 3/D1
FOR BRICK LEDGE
DETAIL WHEN BRICK
VENEER IS CHOSEN

DATE	REVISION	BY



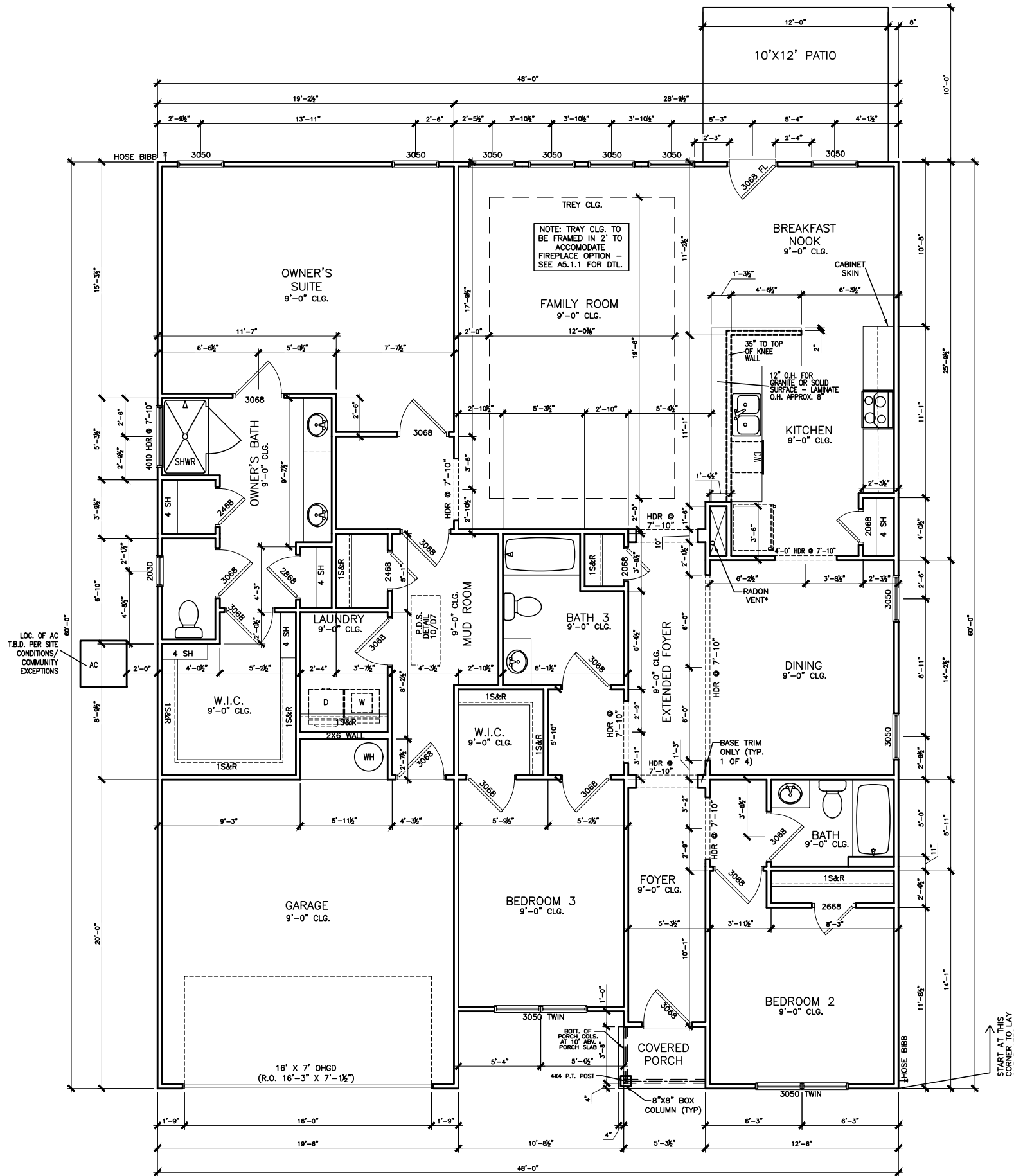
FOUNDATION PLAN
SLAB PLAN
AVERY

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 215
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES
expressly reserves its
property rights in these
plans and drawings.
These plans and related
drawings are not to be
reproduced without written
consent from SMITH
DOUGLAS HOMES.

BY: CLJ	CH: AW
DATE: 07-30-24	
FACADE OPT: A	
PLAN ID:	
PND: ALL	BLEV: D
PAGE NO: A3.1	

TOBACCO ROAD LOT 170



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

REFER TO MANUFACTURER'S SPECS.
FOR DRAIN LOCATIONS ON DETAIL
SHEETS D12, D12.1, D12.2, D12.3

*RADON VENT PROVIDED
PER LOCAL CODE

DATE	BY	REVISION



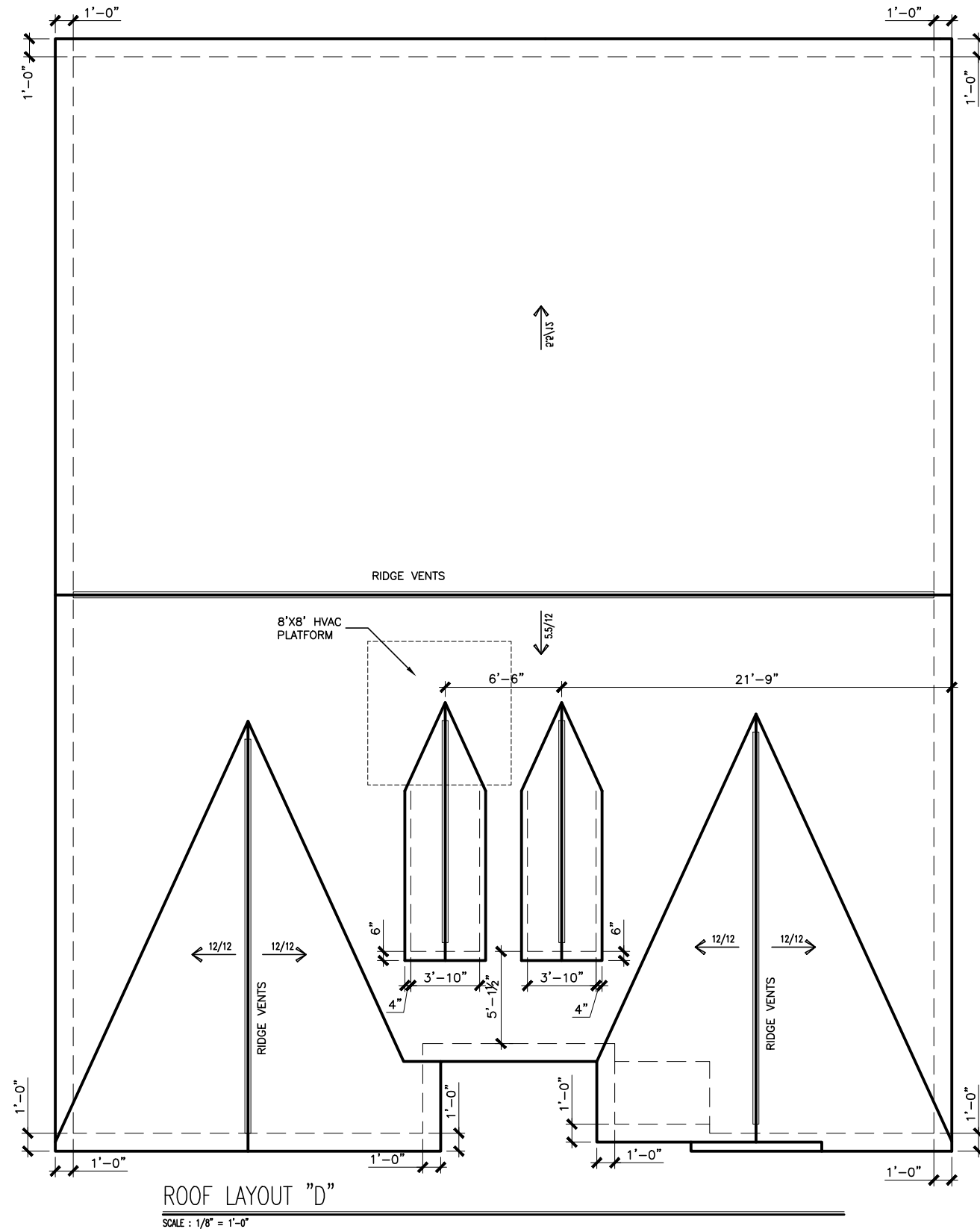
FLOOR PLAN
FIRST FLOOR
AVERY

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 215
WOODSTOCK, GA 30188
www.smithdoughs.com

SMITH DOUGLAS HOMES
expressly reserves its
property rights in these
plans and drawings.
These plans and related
drawings are not to be
reproduced without written
consent from SMITH
DOUGLAS HOMES.

BY: CLJ	CH: AW
DATE: 07-30-24	
FACADE OPT: A	
PLAN ID:	
FNID: ALL	BLEV: D
PAGE NO: A5.1	

TOBACCO ROAD LOT 170



DATE	REVISION	BY
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



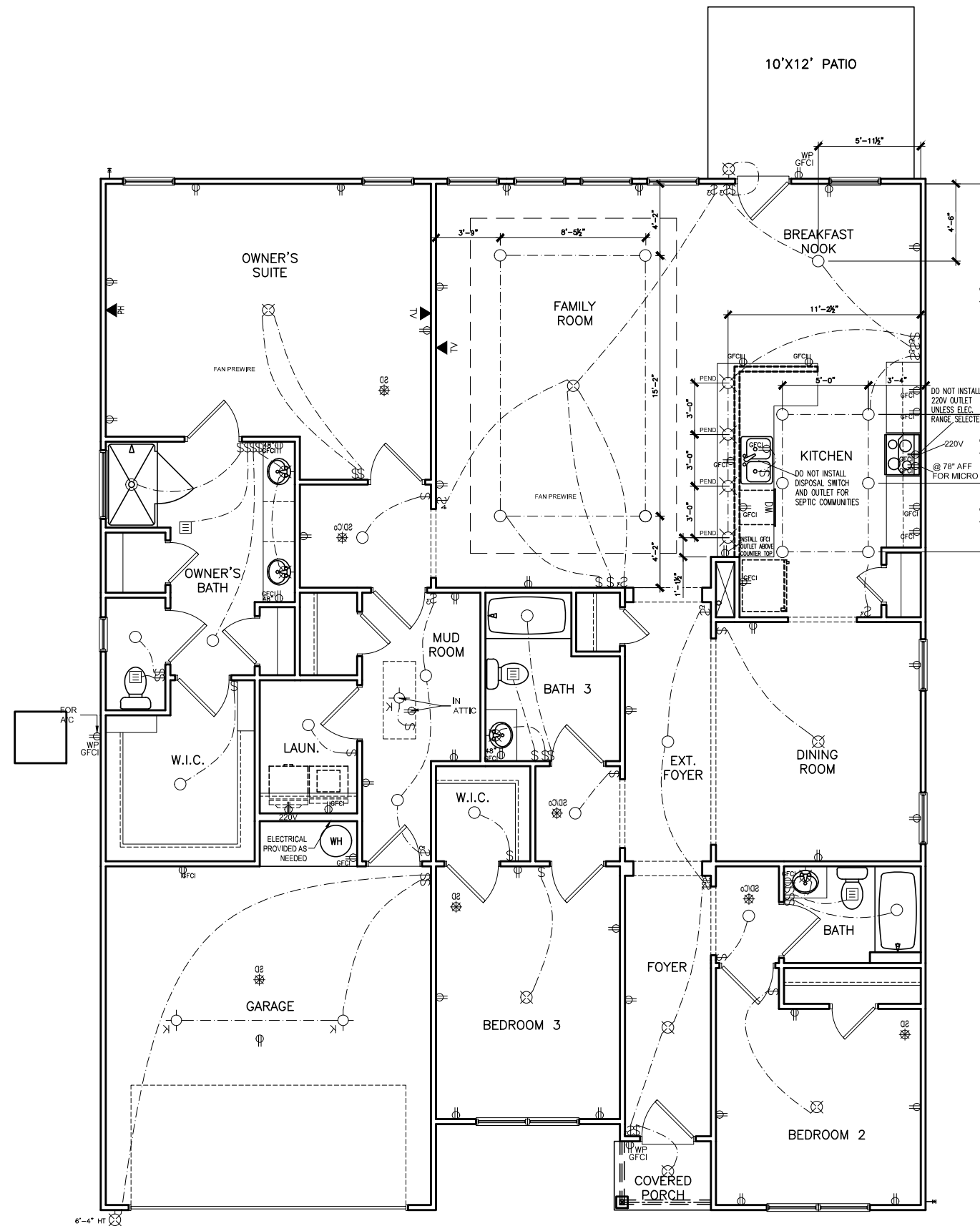
ROOF LAYOUT
ROOF PLAN
AVERY

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 215
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES expressly reserves its property rights in these plans and drawings. These plans and related drawings are not to be reproduced without written consent from SMITH DOUGLAS HOMES.

BY: CLJ	CH: AW
DATE: 07-30-24	
FACADE OPT: A	
PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A6.1	

TOBACCO ROAD LOT 170



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL LEGEND

\$	SWITCH	▼	TV
\$3	3 WAY SWITCH	⊕	120V RECEPTACLE
\$4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕	KEYLESS	⊕	GFCI OUTLET
⊗	WALL MOUNT FIXTURE	⊕	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	† _{GL}	GAS LINE
●	FLEX CONDUIT	† _{WL}	WATER LINE
CH	CHIMES	↓	HOSE BIBB
▼	TELEPHONE	⊕	FLOOD LIGHT
SD/Cd	SMOKE DETECTOR & CARBON MONOXIDE	▭	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊗	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
⊕	EXHAUST FAN	⊕	CEILING FIXTURE
⊕	FAN/LIGHT		

ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES

APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)

BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR
CEILING FAN	96" ABOVE FINISHED FLOOR

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

DATE	REVISION	BY

SMITH DOUGLAS HOMES
QUALITY | INTEGRITY | VALUE

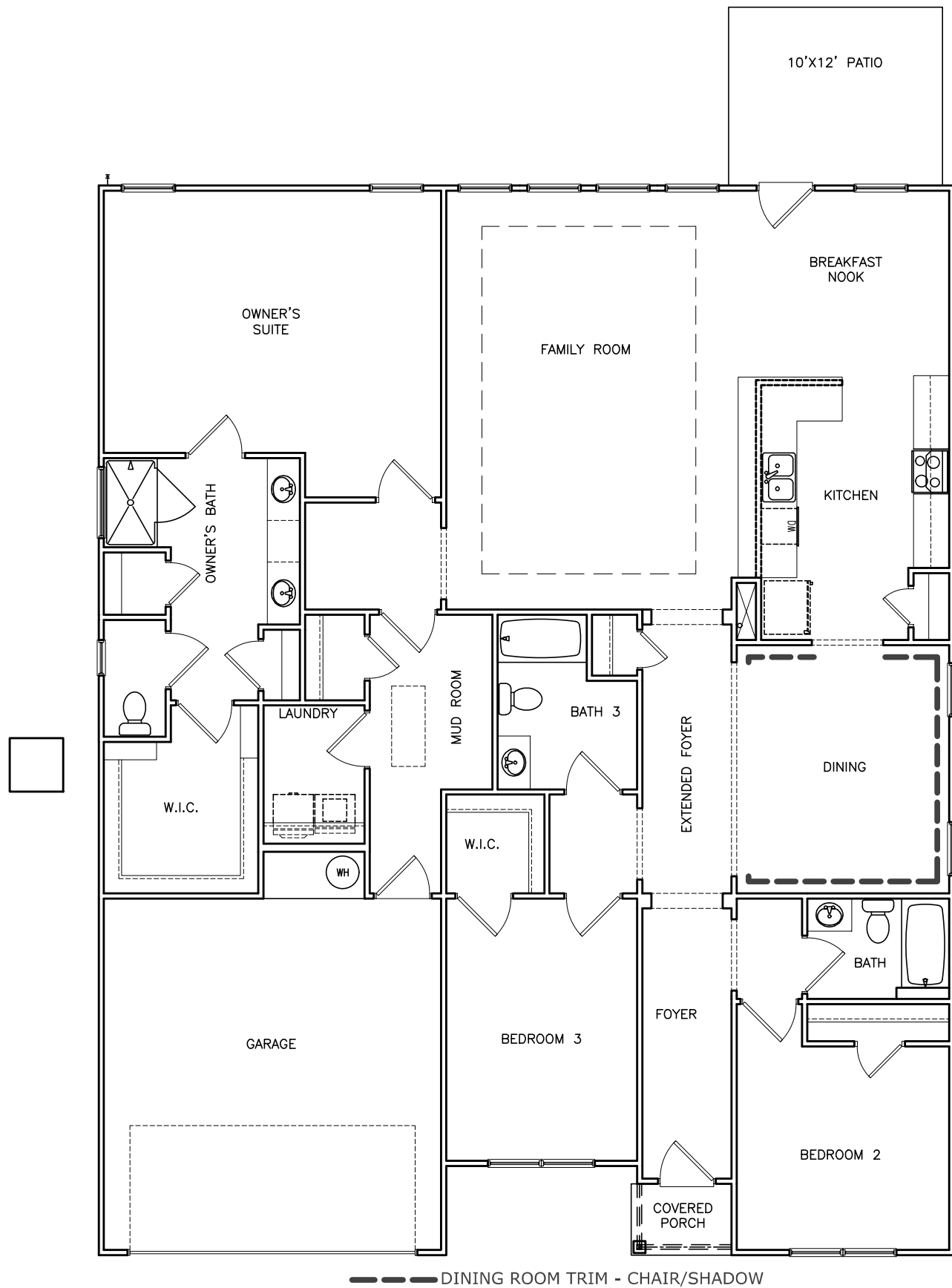
ELECTRICAL PLAN
FIRST FLOOR
AVERY

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 215
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES expressly reserves its property rights in these plans and drawings. These plans and related drawings are not to be reproduced without written consent from SMITH DOUGLAS HOMES.

BY: CLJ	CH: AW
DATE: 07-30-24	
FACADE OPT: A	
PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A7.2	

TOBACCO ROAD LOT 170



--- DINING ROOM TRIM - CHAIR/SHADOW

TRIM LAYOUT FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"

DATE	REVISION	BY
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



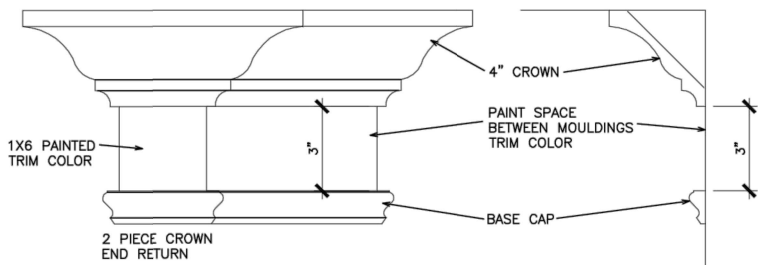
TRIM LAYOUT
TRIM LAYOUT
AVERY

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 215
WOODSTOCK, GA 30188
www.smithdouglas.com

SMITH DOUGLAS HOMES
expressly reserves its
property rights in these
plans and drawings.
These plans and related
drawings are not to be
reproduced without written
consent from SMITH
DOUGLAS HOMES.

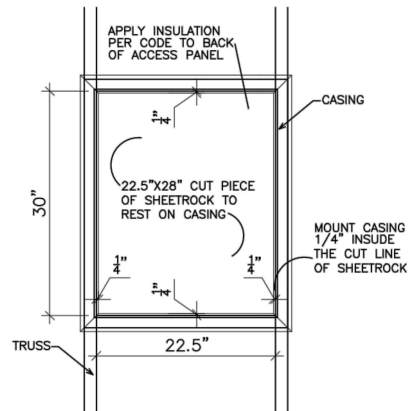
BY: CLJ	CH: AW
DATE: 07-30-24	
FACADE OPT: A	
PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A8.1	

REFER TO LOT SPECIFIC PLAN TO DETERMINE WHICH DETAILS APPLY



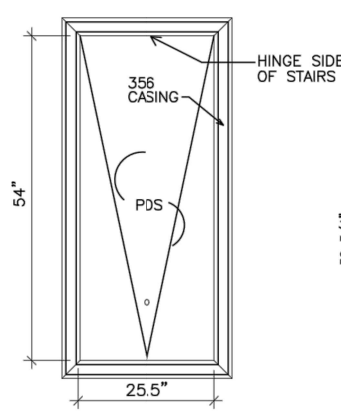
TYPICAL TWO PIECE CROWN

N.T.S.



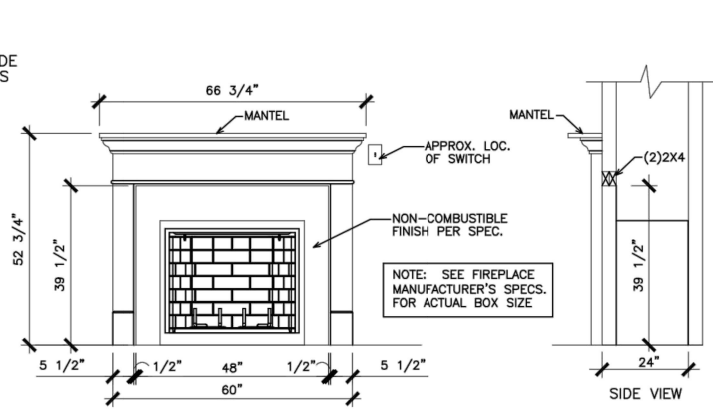
SCUTTLE HOLE DETAIL

N.T.S.



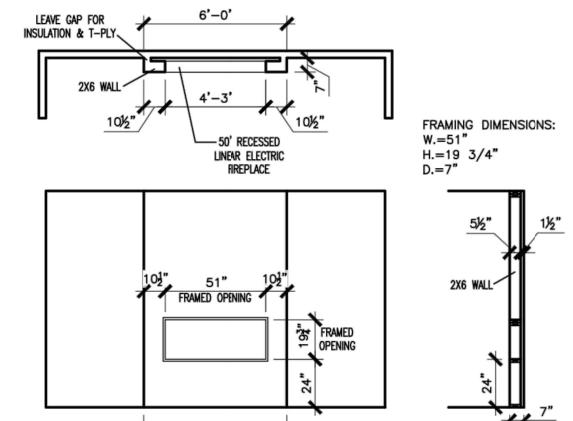
PDS TRIM DETAIL

N.T.S.



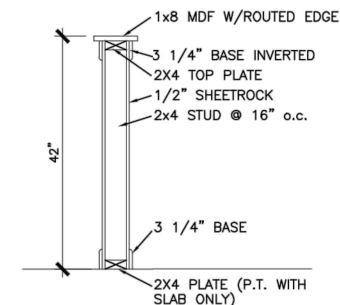
GAS/ELECTRIC FIREPLACE DETAIL WITH WESCOTT WOOD MANTEL

N.T.S.



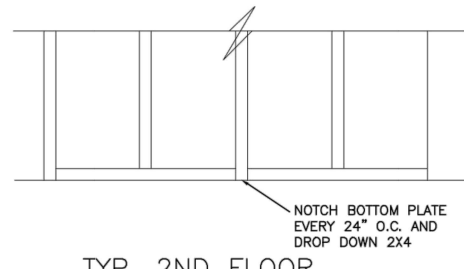
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S.



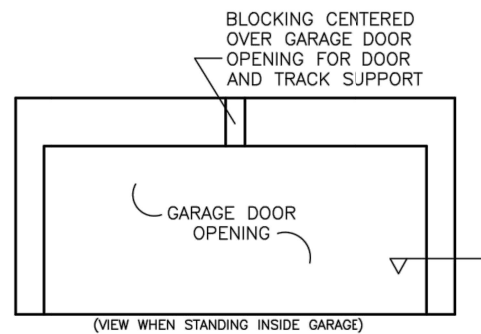
TYP. KNEEWALL SECTION

N.T.S.



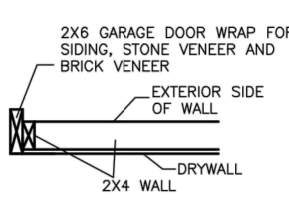
TYP. 2ND FLOOR KNEE WALL STABILITY

N.T.S.



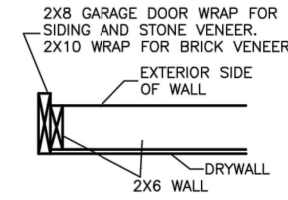
TYP. GARAGE WRAP & BLOCKING

N.T.S.



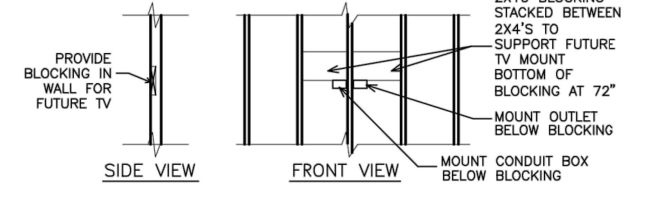
SECTION VIEW 2X4 PORTAL WALL

N.T.S.



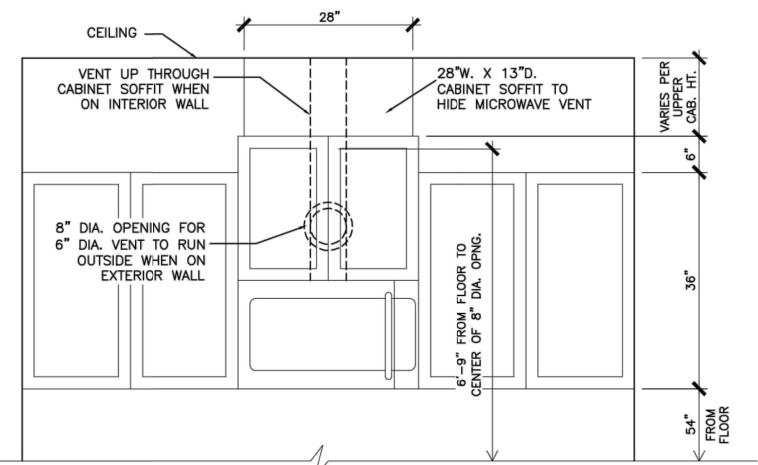
SECTION VIEWS 2X6 PORTAL WALL

N.T.S.



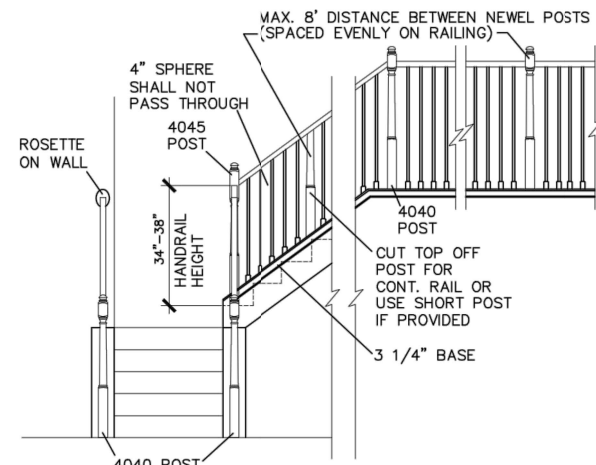
TYP. TV WALL PREP

N.T.S.



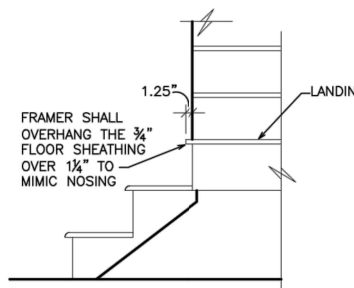
CABINET SOFFIT DETAIL ABOVE VENTED MICROWAVE W/CABINET ABOVE RANGE BUMPED UP & OUT

N.T.S.



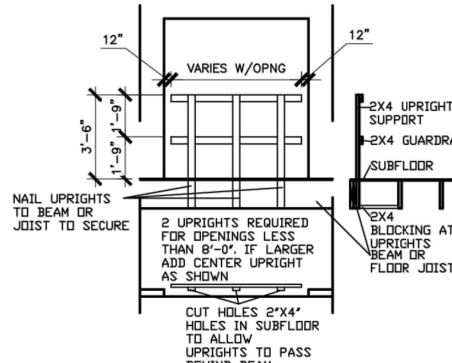
HANDRAIL/POST DETAIL @ STAIRS

N.T.S.



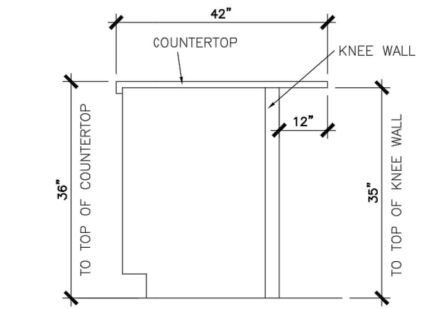
BOX STEP OVERHANG

N.T.S.



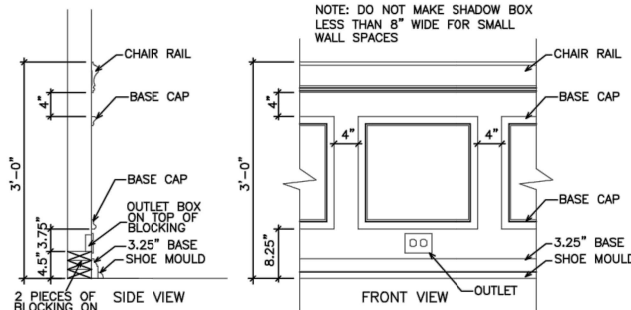
GUARD RAIL DTL. AS REQ'D

N.T.S.



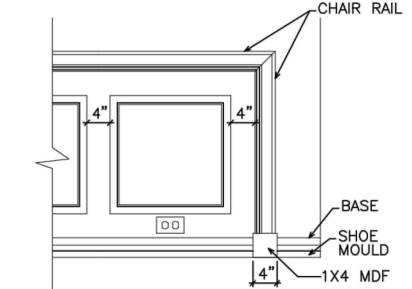
SECTION @ ISLAND KNEEWALL

N.T.S.



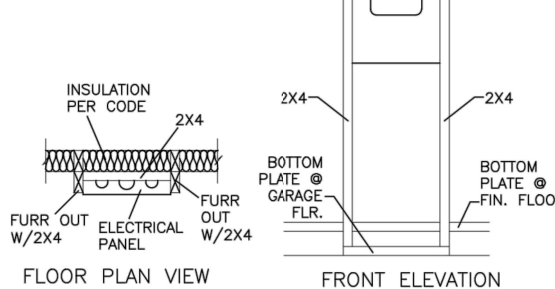
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S.



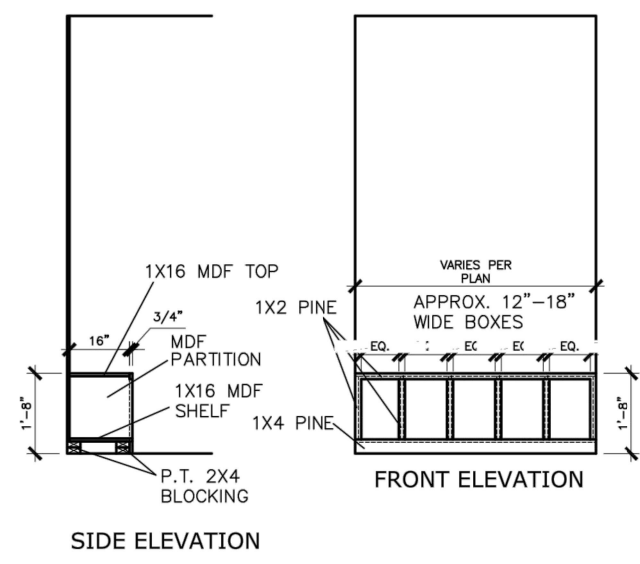
CHAIR RAIL END TRIM DETAIL

N.T.S.



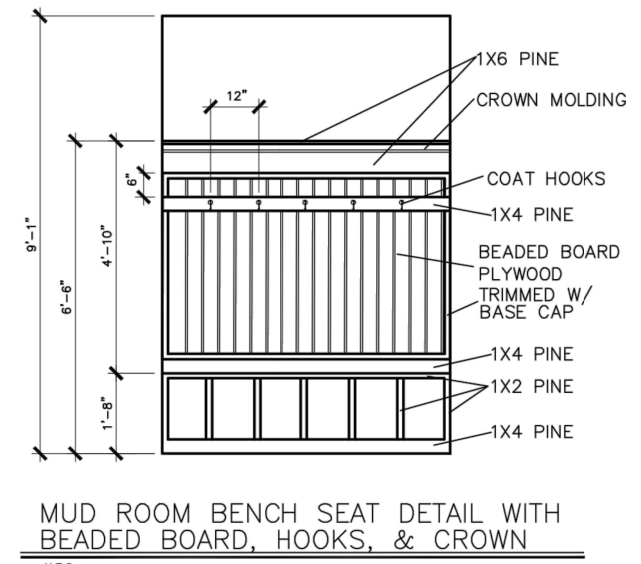
ELECTRICAL PANEL DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL

N.T.S.



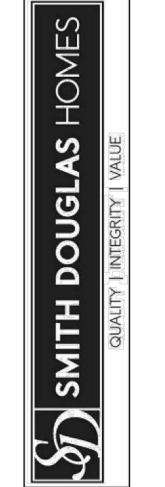
MUD ROOM BENCH SEAT DETAIL WITH BEADED BOARD, HOOKS, & CROWN

N.T.S.

(IF TRIM CHOSEN WITHOUT BENCH CONTINUE TO FLOOR)

© SMITH DOUGLAS HOMES 2023

BY	REVISION	DATE



INTERIOR TRIM DETAILS

SMITH DOUGLAS HOMES
110 VILLAGE TRAIL
SUITE 215
WOODSTOCK, GA 30188
www.smithdouglas.com

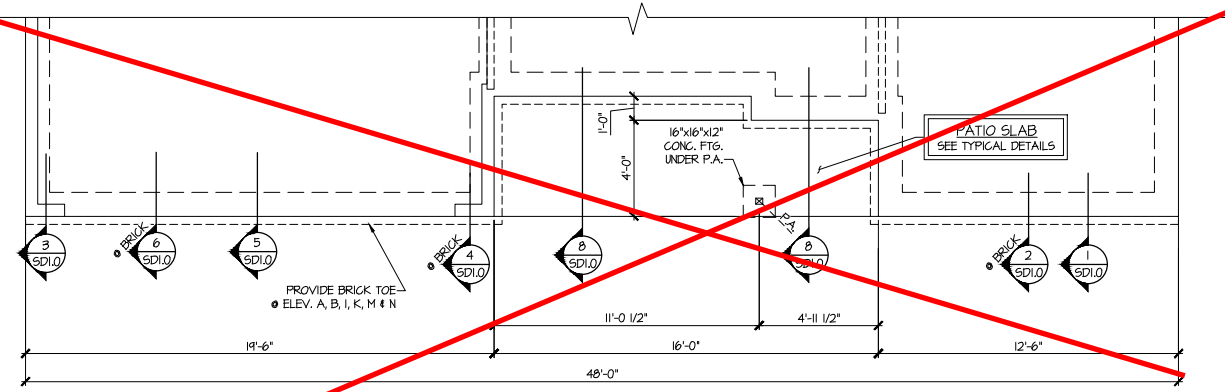
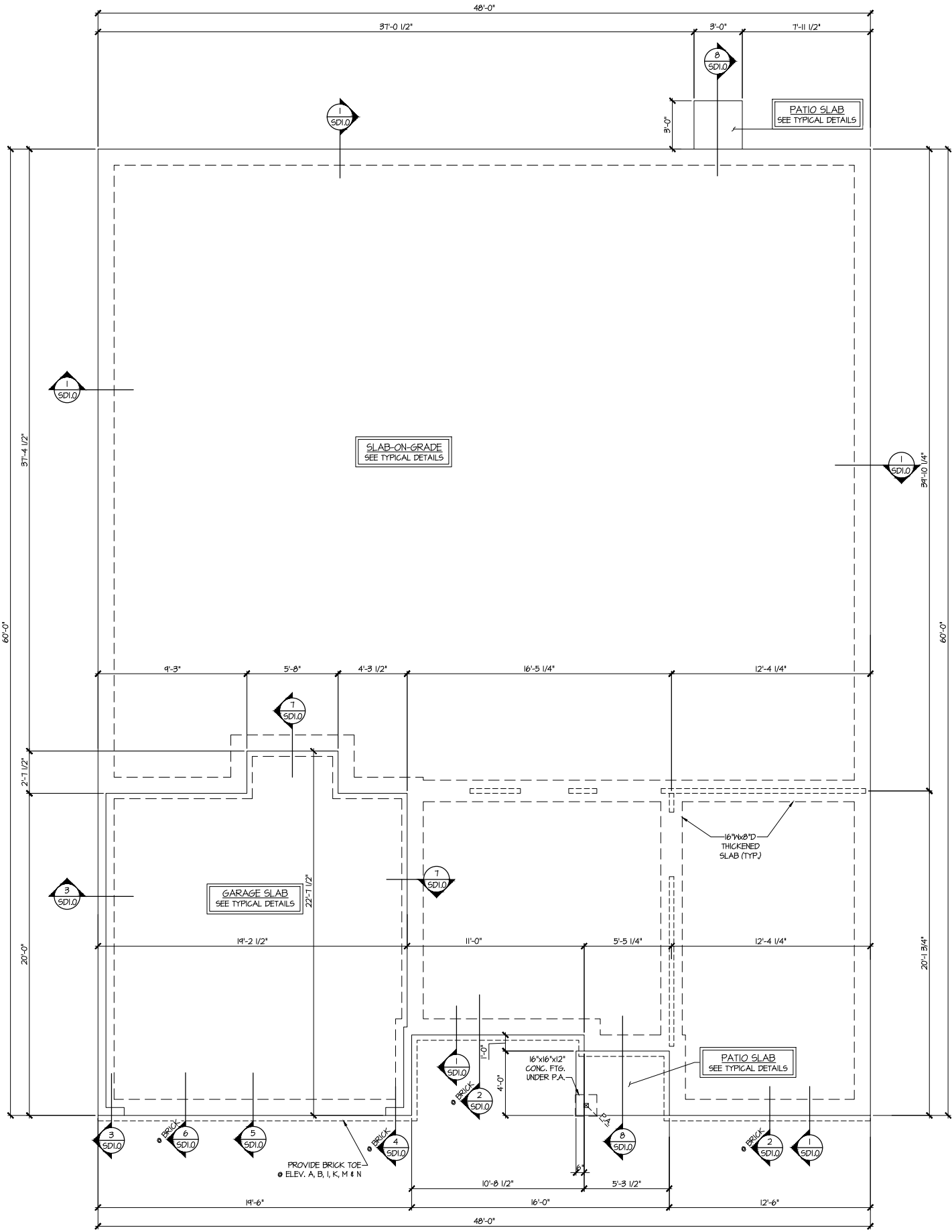
SMITH DOUGLAS HOMES expressly reserves its property rights in these plans and drawings. These plans and related drawings are not to be reproduced without written consent from SMITH DOUGLAS HOMES.

DATE:	6/13/23
PLAN ID:	
PND:	
ELEV:	
PAGE NO.:	D1.1

**TOBACCO
 Lot 170**

REFER TO S.O. FOR TYPICAL
 STRUCTURAL NOTES & SCHEDULES

LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
	INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
	INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



2 MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. B, C, E, F, H, K, I, N
 (SEE ELEV. A FOR ADD'L INFO)

1 MONO-SLAB FOUNDATION PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. A, D, M

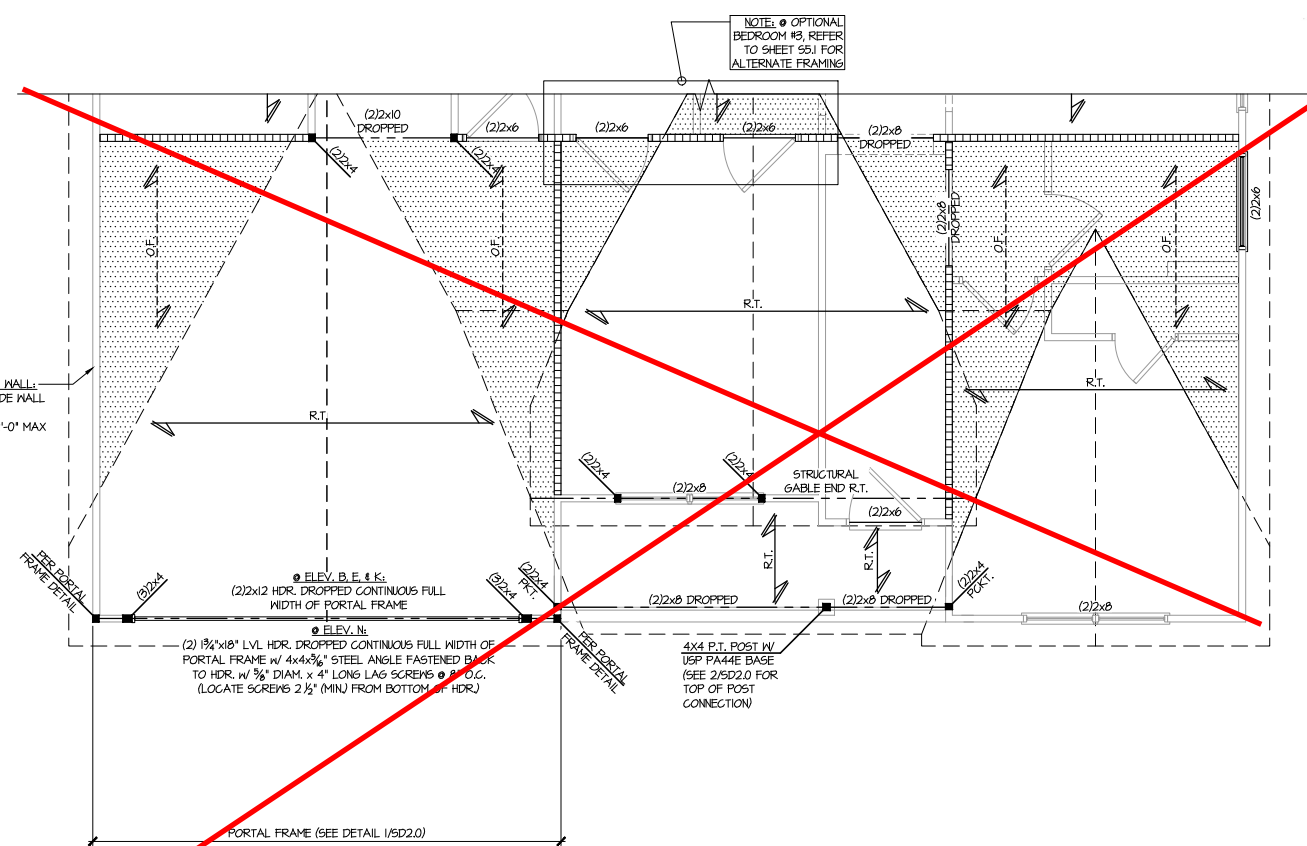
MONO-SLAB FOUNDATION
 A VERY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

sheet:
S1.0M

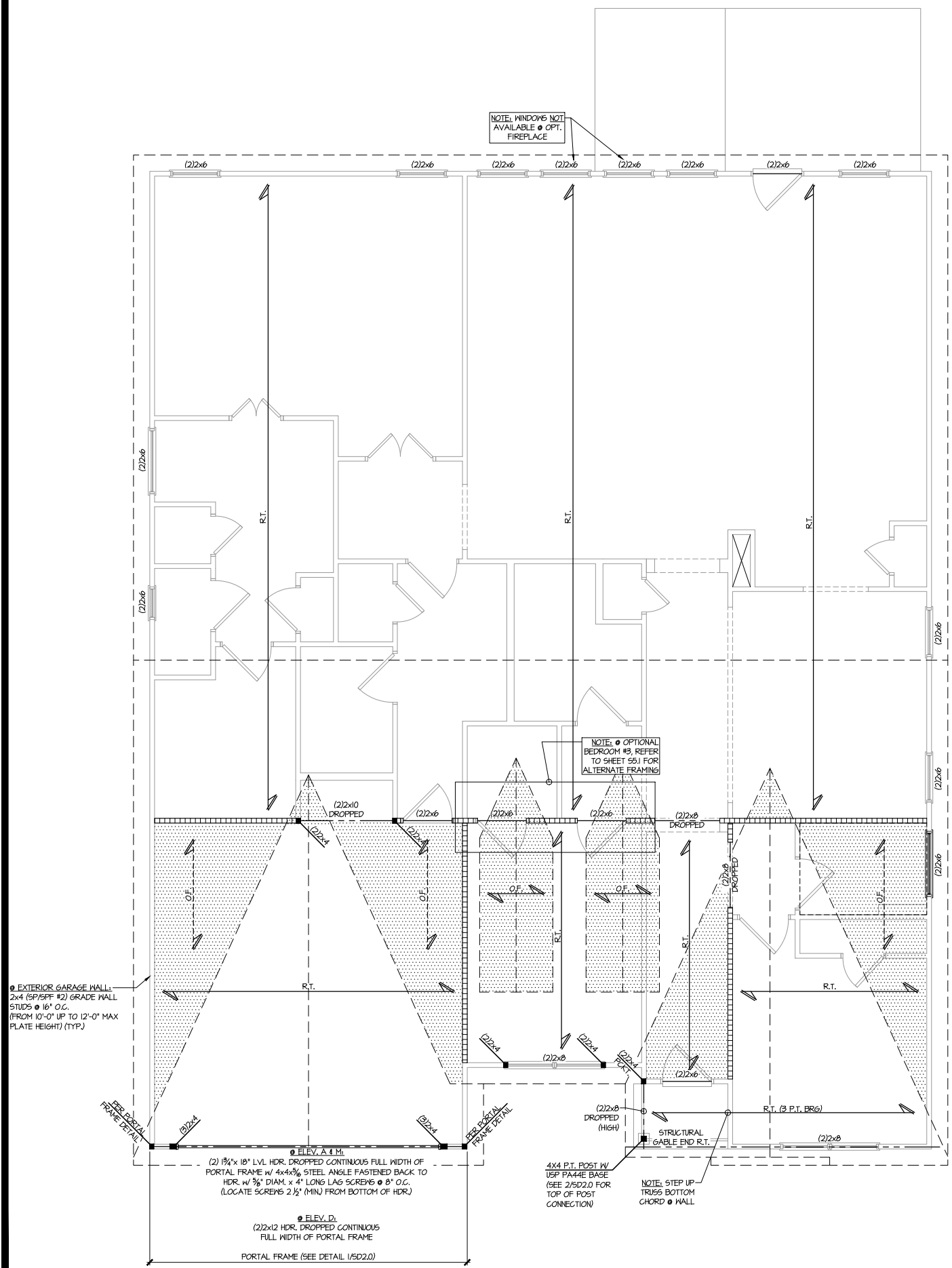
**TOBACCO
 Lot 170**

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT
 REFER TO S.O. FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

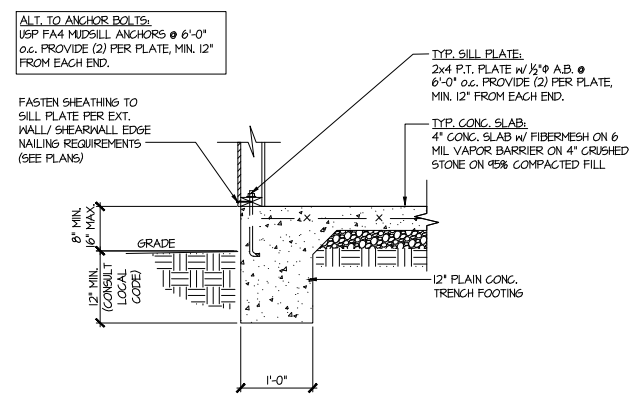
LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
	INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
	INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADDL 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



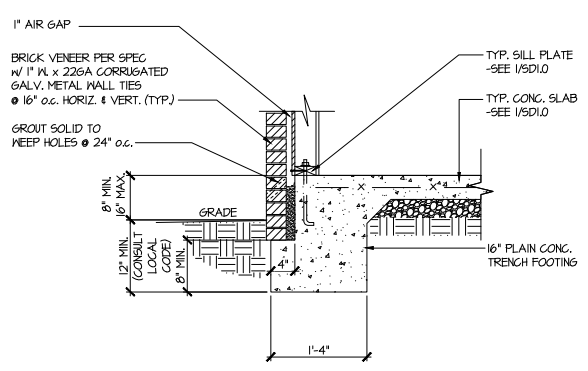
2 PARTIAL ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. B, E, K, & N
 (SEE ELEV. A FOR ADD'L INFO)



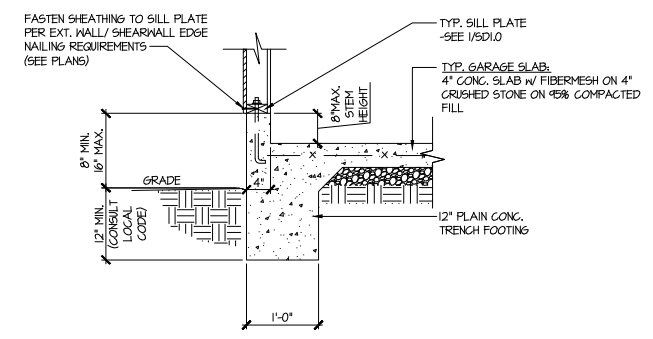
1 ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0" ON 22x34
 1/8"=1'-0" ON 11x17
 ELEV. A, D, & M



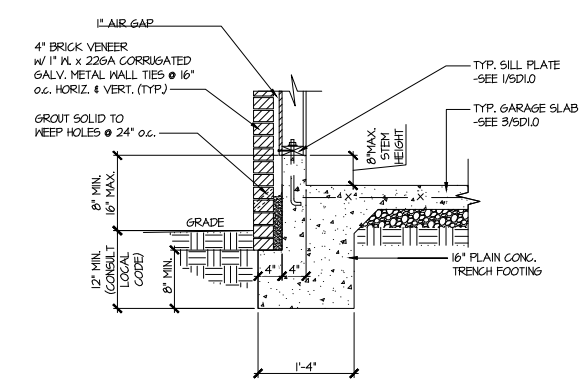
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING



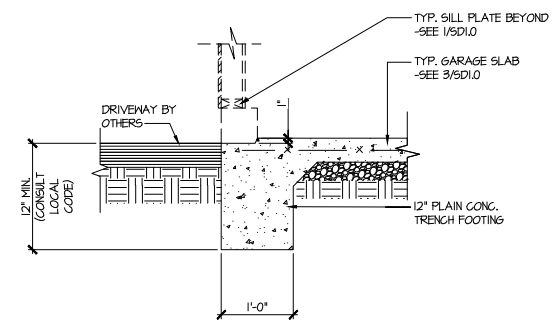
2 TYPICAL SLAB ON GRADE PERIMETER FOOTING w/ BRICK VENEER



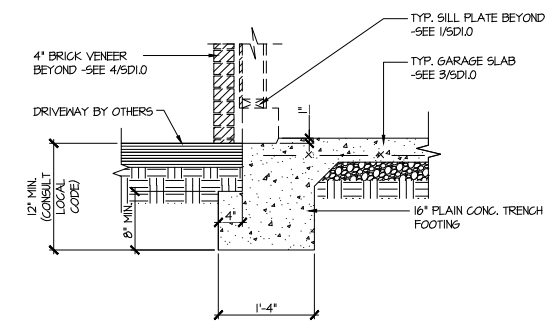
3 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



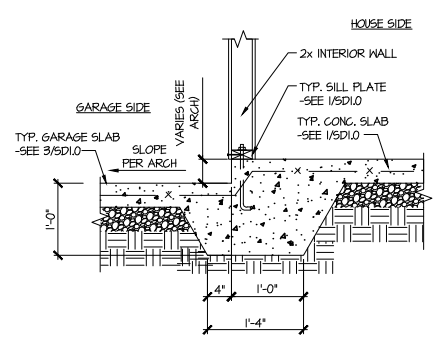
4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER



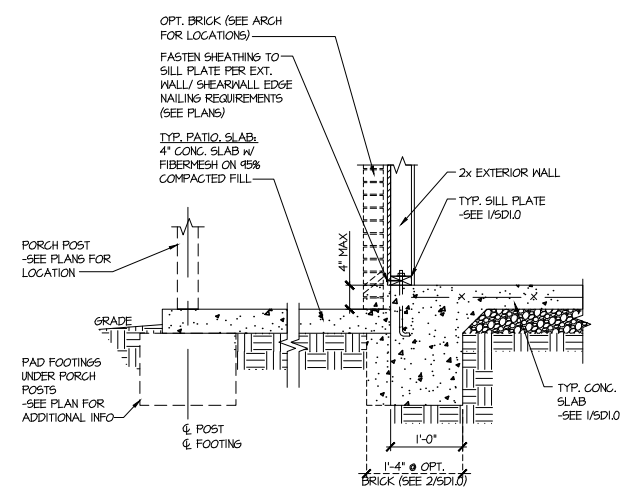
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



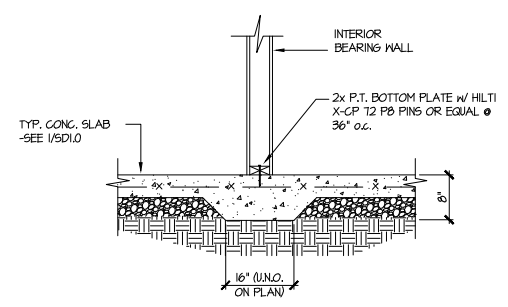
6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING w/ BRICK VENEER



7 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

MULHERN+KULP
 RESIDENTIAL STRUCTURAL ENGINEERING
 3025 Shuman Blvd., Suite 105 - Alpharetta, GA 30022
 770-777-8974 - mulhern+kulp.com
 NC License # C-3825

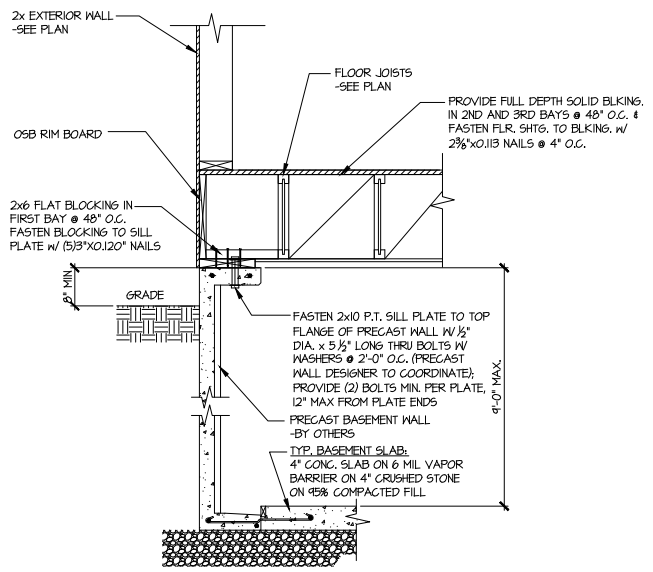
Mulhern+Kulp project number:
 256-22014
 project mgr: SMK
 drawn by: MMD
 issue date: 09-29-2023
 REVISIONS:
 date: initial:
 12/14/2023 - CREATED MIRROR SET MMD

SMITH DOUGLAS
 HOMES

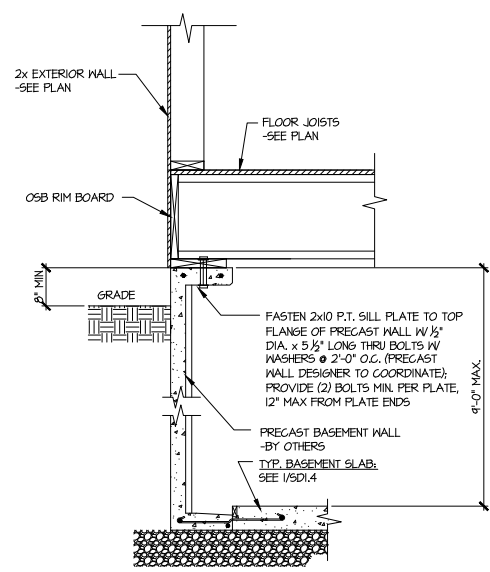
FOUNDATION DETAILS
 AVERY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

TOBACCO
 Lot 170

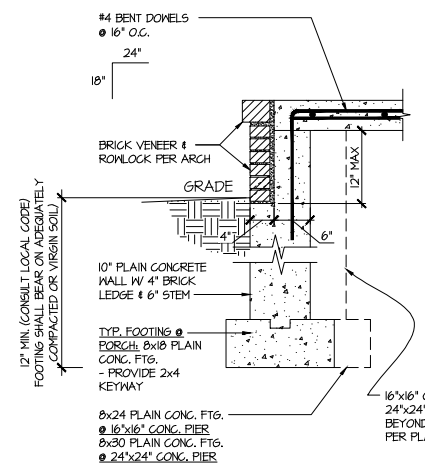
sheet:
SD1.0



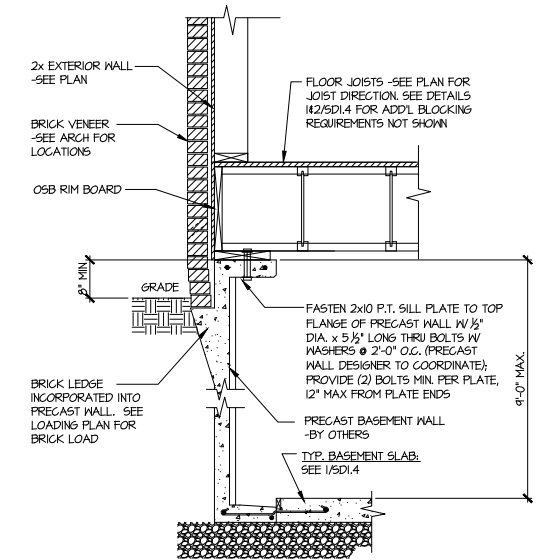
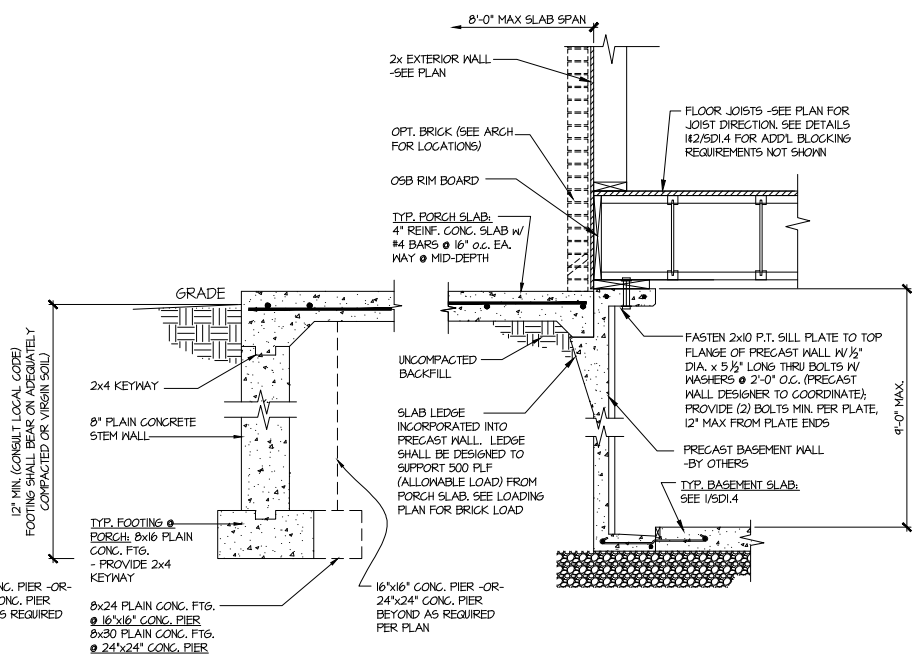
1 SECTION
 SCALE: 3/4"=1'-0"



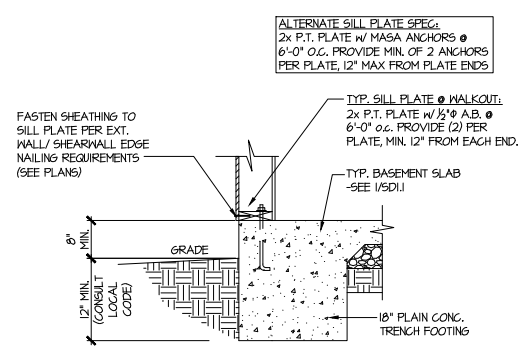
1A SECTION
 SCALE: 3/4"=1'-0"



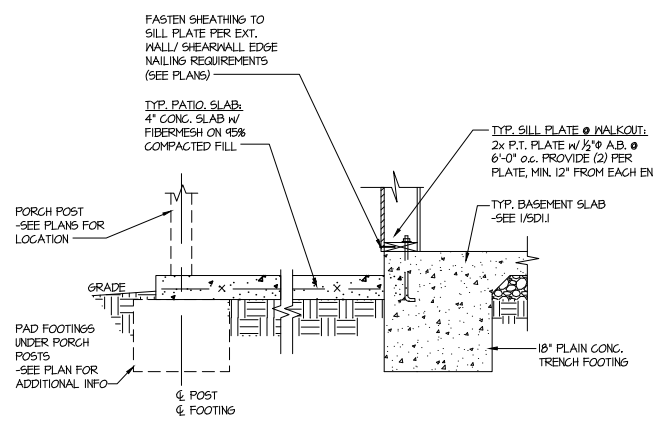
3 SECTION
 SCALE: 3/4"=1'-0"



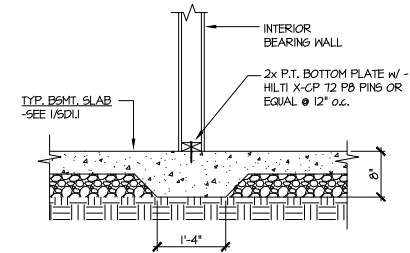
2 SECTION
 SCALE: 3/4"=1'-0"



4 TYPICAL BASEMENT FOUNDATION @ WALKOUT



5 TYPICAL BASEMENT FOUNDATION @ WALKOUT



6 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

MULHERN+KULP
 RESIDENTIAL STRUCTURAL ENGINEERING
 3825 Shawnee Parkway, Suite 105 - Alpharetta, GA 30022
 770-777-8874 - mulhern+kulp.com
 NC License # C-3825

Mulhern+Kulp project number:
 256-22014

project mgr: SMK
 drawn by: MMD
 issue date: 09-29-2023

REVISIONS:
 date: initial:
 12/14/2023 - CREATED MIRROR SET MMD

SMITH DOUGLAS
 HOMES

FOUNDATION DETAILS
 A VERY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

TOBACCO
 Lot 170

sheet:
SD1.4

Mulhern+Kulp project number:
256-22014

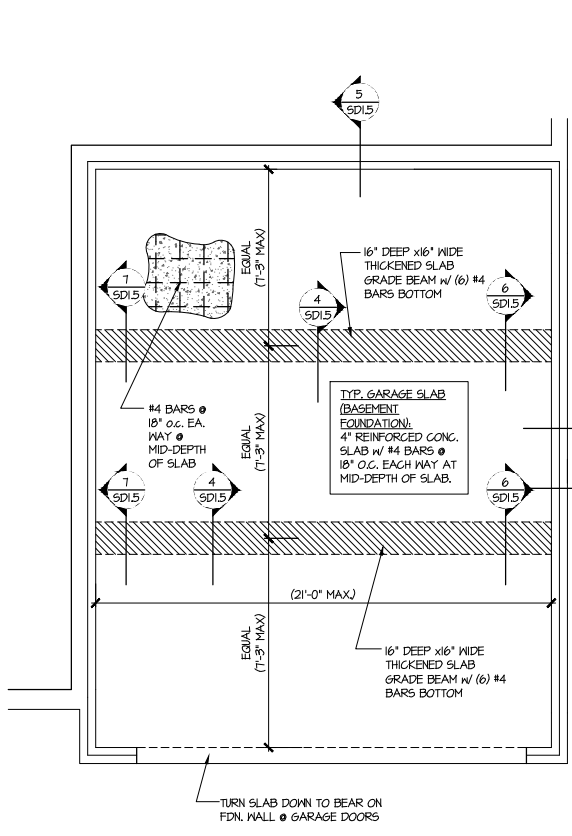
project mgr: **SMK**
 drawn by: **MMD**
 issue date: **09-29-2023**

REVISIONS:
 date: _____ initial: _____
 12/14/2023 - CREATED MIRROR SET MMD

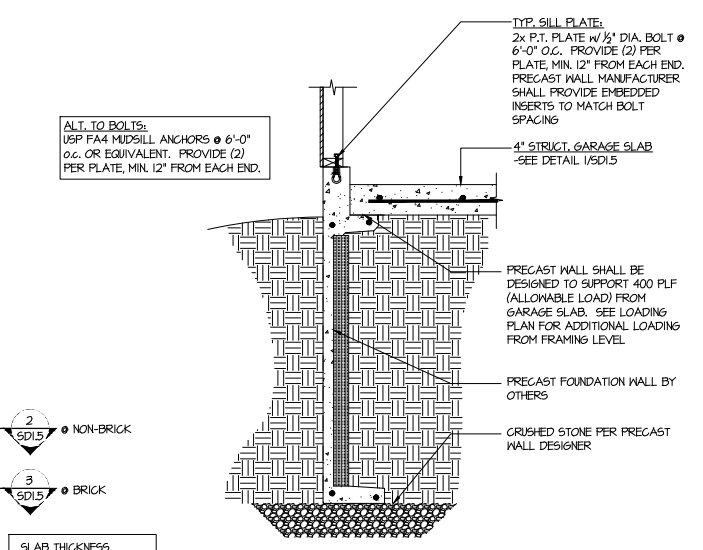
SMITH DOUGLAS
 HOMES

FOUNDATION DETAILS
A VERY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

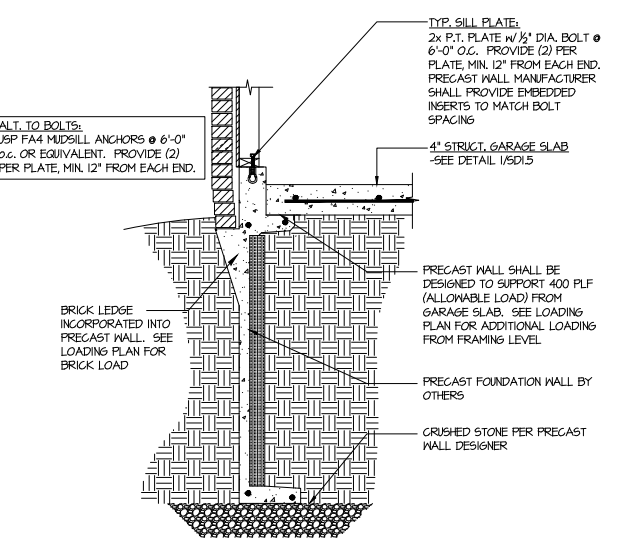
TOBACCO
 Lot 170



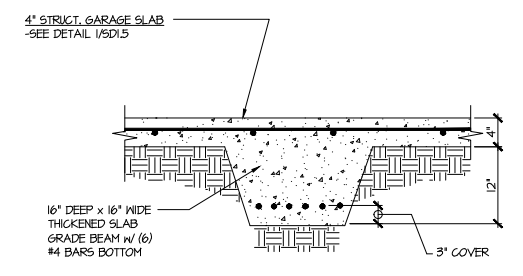
1 GENERIC FOUNDATION PLAN KEY @ GARAGE
 SCALE: 1/4"=1'-0"



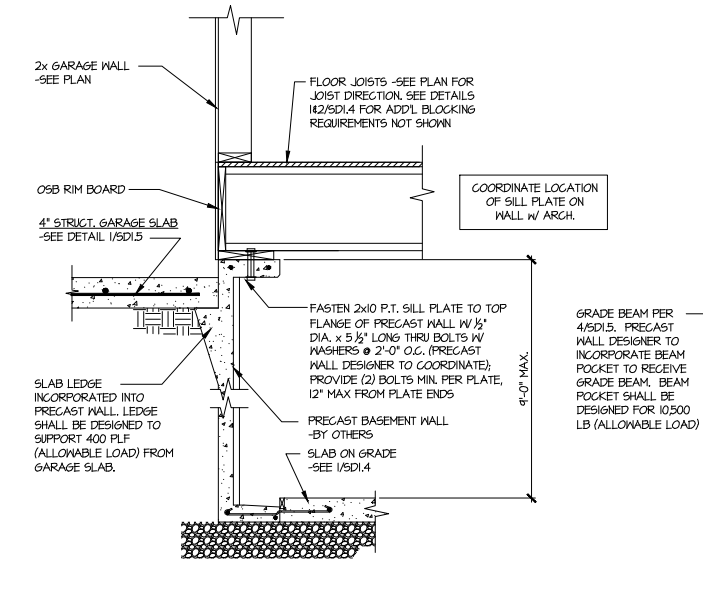
2 TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION
 SCALE: 3/4"=1'-0"



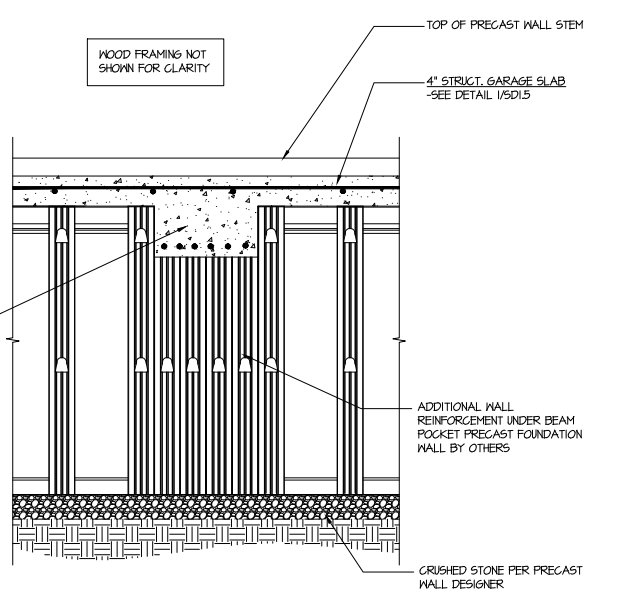
3 TYPICAL PERIMETER FOOTING @ GARAGE - BASEMENT FOUNDATION (BRICK)
 SCALE: 3/4"=1'-0"



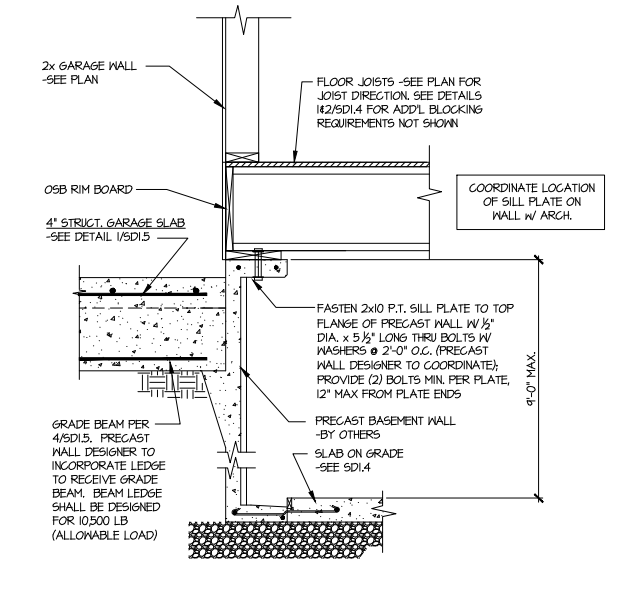
4 TYPICAL CONCRETE GRADE BEAM @ GARAGE FDN.
 SCALE: 3/4"=1'-0"



5 CONCRETE BSMT. FDN. WALL @ GARAGE
 SCALE: 3/4"=1'-0"



6 SECTION
 SCALE: 3/4"=1'-0"



7 SECTION
 SCALE: 3/4"=1'-0"

Mulhern+Kulp project number:
256-22014

project mgr: **SMK**
 drawn by: **MMD**
 issue date: **09-29-2023**

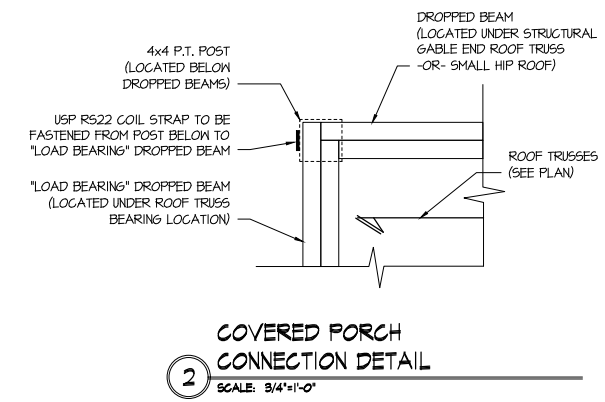
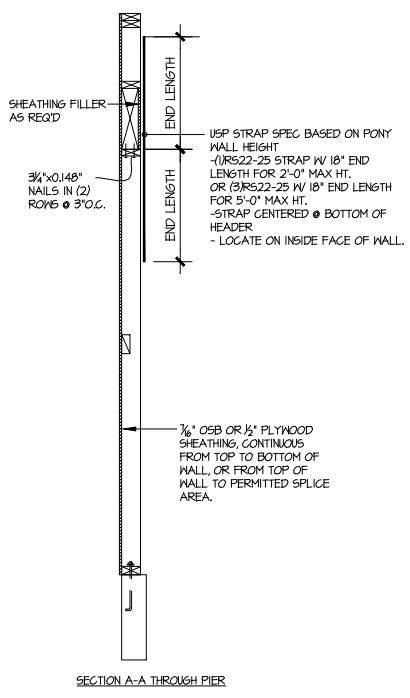
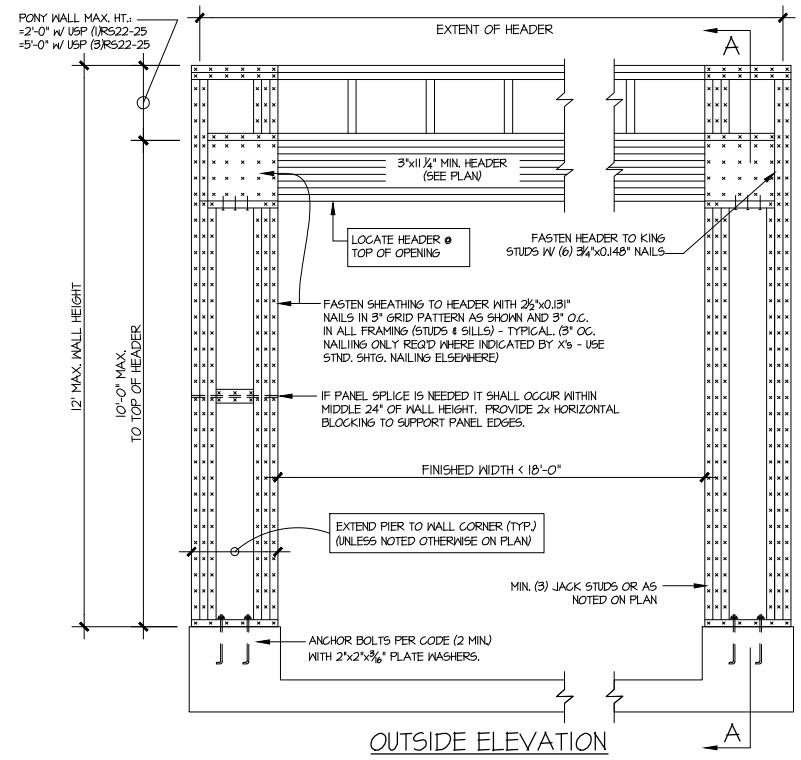
REVISIONS:
 date: initial:
 12/14/2023 - CREATED MIRRORRED SET MMD

SMITH DOUGLAS
 HOMES

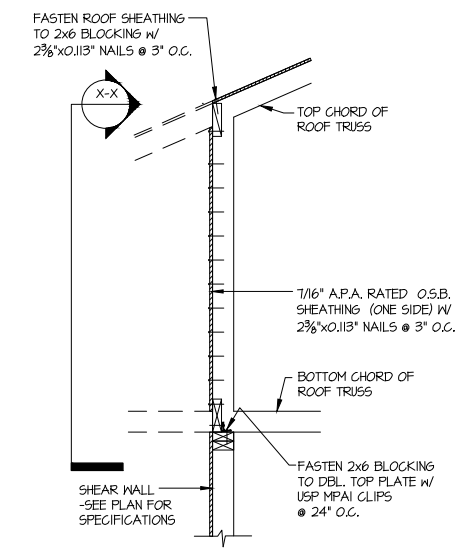
FRAMING DETAILS
 A VERY MODEL
 120 MPH WIND ZONE
 NORTH CAROLINA

sheet:
SD2.0

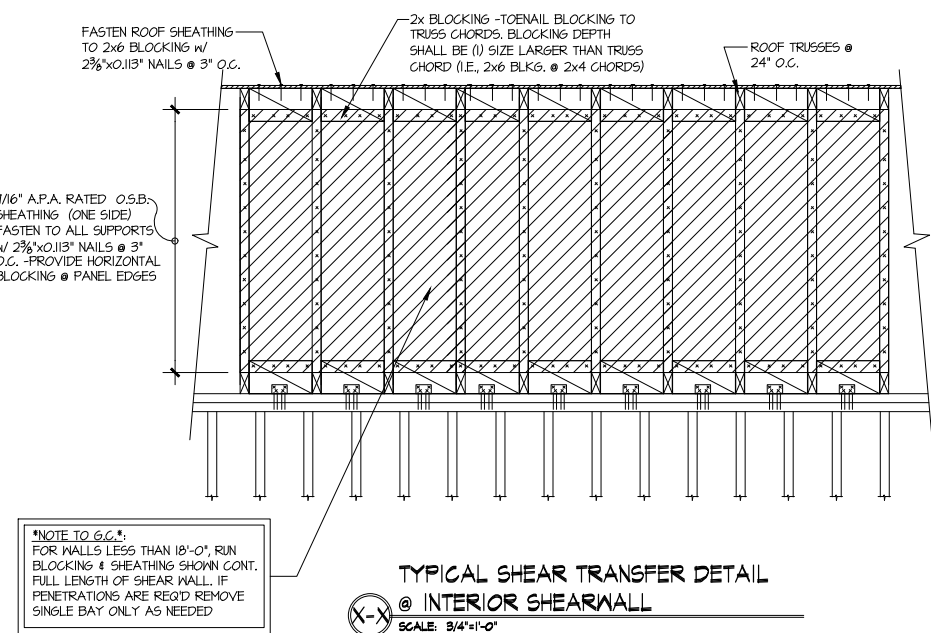
TOBACCO
 Lot 170



COVERED PORCH CONNECTION DETAIL
 SCALE: 3/4"=1'-0"

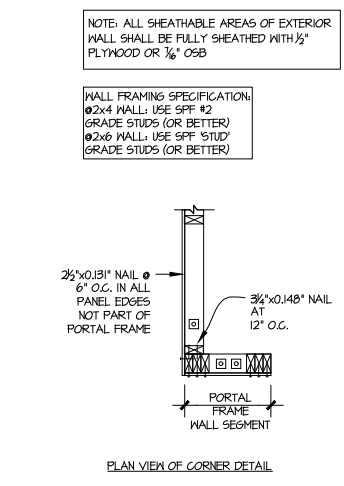
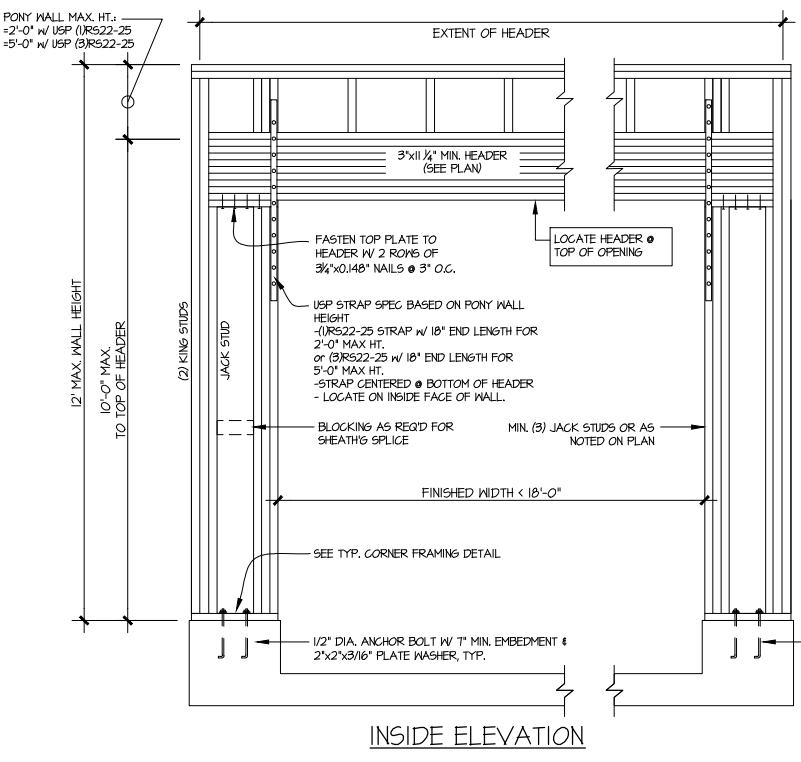


TYPICAL SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL
 SCALE: 3/4"=1'-0"



NOTE TO G.C.:
 FOR WALLS LESS THAN 18'-0", RUN BLOCKING & SHEATHING SHOWN CONT. FULL LENGTH OF SHEAR WALL. IF PENETRATIONS ARE REQ'D REMOVE SINGLE BAY ONLY AS NEEDED

TYPICAL SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL
 SCALE: 3/4"=1'-0"

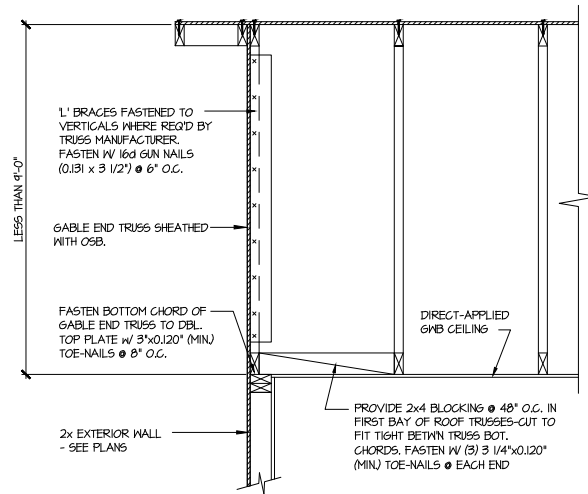
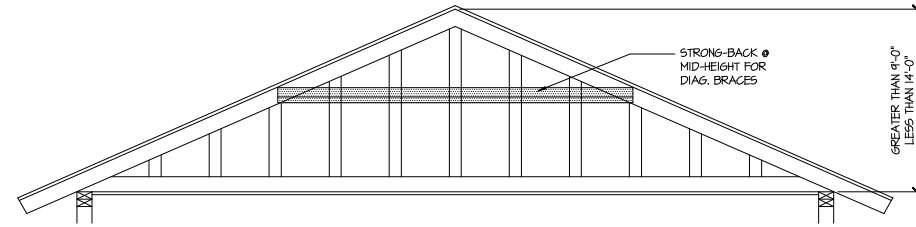
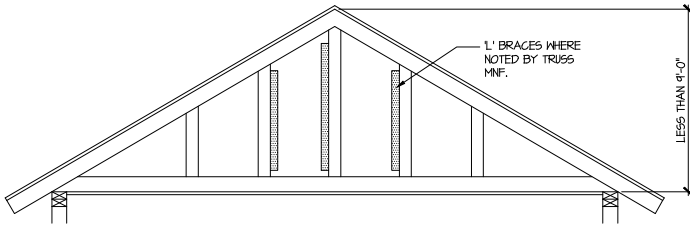


ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:
 (1) 1/2" DIA. TREADED ROD EPOXY SET W/ 4 1/2" EMBED. (MIN) UTILIZING HLT1 HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)

GARAGE PORTAL FRAME BRACING ELEVATION

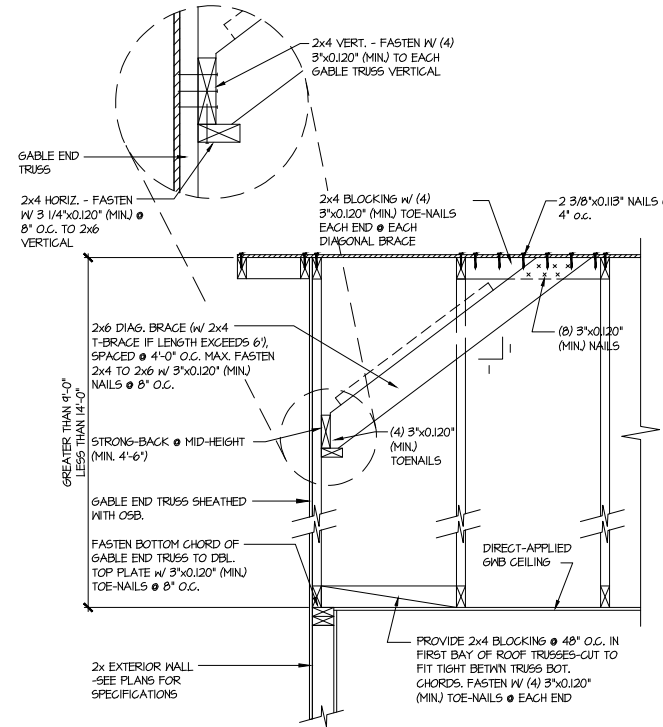
SCALE: N.T.S. BOTH SIDES OF GARAGE DOOR 120 MPH WIND SPEED (ULT)





A TYPICAL GABLE END BRACING DETAIL
SCALE: NONE
REQ'D @ GABLE END TRUSS HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



B TYPICAL GABLE END BRACING DETAIL
SCALE: NONE
REQ'D @ GABLE END TRUSS HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

Seal
PROFESSIONAL ENGINEER
SHAUN KREIDEL
Copyright: MULHERN & KULP
Structural Engineering, Inc.
12/16/23

MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERING
3825 Stoneville Parkway, Suite 105 - Alpharetta, GA 30022
978-777-8974 - mulhern+kulp.com
NC License # C-3825



Mulhern+Kulp project number:
256-22014

project mgr: SMK
drawn by: MMD
issue date: 09-29-2023

REVISIONS:
date: initial:
12/14/2023 - CREATED MIRROR SET MMD

SMITH DOUGLAS
HOMES

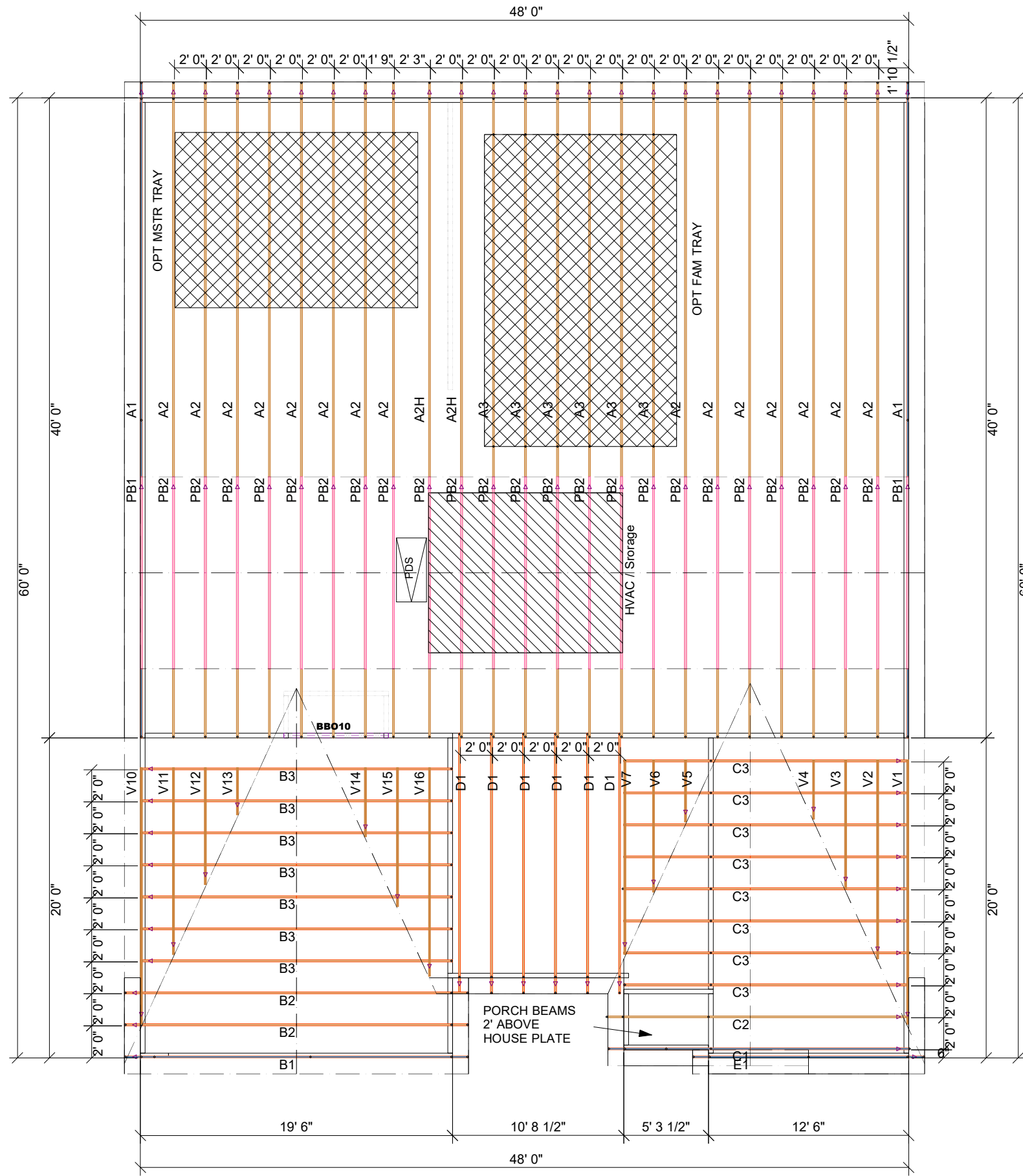
FRAMING DETAILS
A VERY MODEL
120 MPH WIND ZONE
NORTH CAROLINA

sheet:
SD2.1

TOBACCO
Lot 170

THIS IS A TRUSS PLACEMENT DIAGRAM (TPD) ONLY; NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDD's) for each truss design identified on the TPD. The Contractor is responsible for the temporary bracing of the roof and floor system, and requirements for the permanent restraint/bracing of truss systems may be met by following the methods outlined in ANSI-TPI 1-2014 - 2.3.3. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbcassociation.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.

PLACEMENT PLAN



△ INDICATES LEFT END OF TRUSS SCALE: N.T.S

ROOF AREA: 3552.8 ft² sqft **RIDGE LINE:** 99.5 ft **VALLEY LINES:** 102.16 ft **HIP LINES:** 0 ft **THESE VALUES ARE APPROXIMATE ONLY**

REVISIONS		DSN
DATE	DESCRIPTION	

EVERY ADG FAM TRAY

SD

This drawing is property of UFP Site Built, LLC. Any unauthorized use of this document without written permission is prohibited. UFP relinquishes ownership of delivered product upon delivery. Owner of product must obtain UFP's authorization prior to any alteration or modification of product. UFP will not be held responsible for any unauthorized modifications done or costs incurred without prior written authorization from UFP.

TRUSS TRAX
UFP CONSTRUCTION

UFP SITE BUILT
A UFP INDUSTRIES COMPANY

Burlington, NC
Chesapeake, VA
Clinton, NC
Conway, SC
Jefferson, GA

Locust, NC
Liberty, VA
Ooltewah, TN
Pearisburg, VA
Stanfield, NC

Customer Service (800) 476-9356

TrussTraxUFP.com

