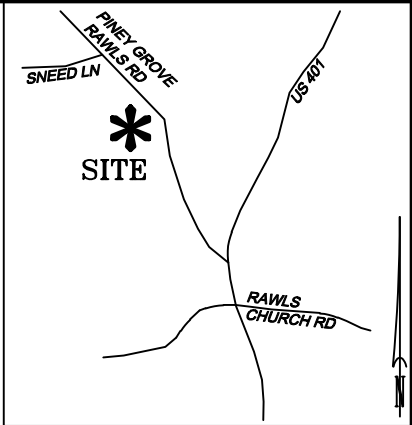
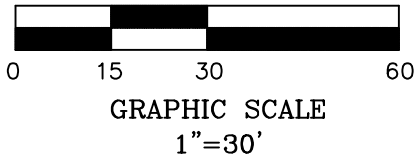


**LEGEND**

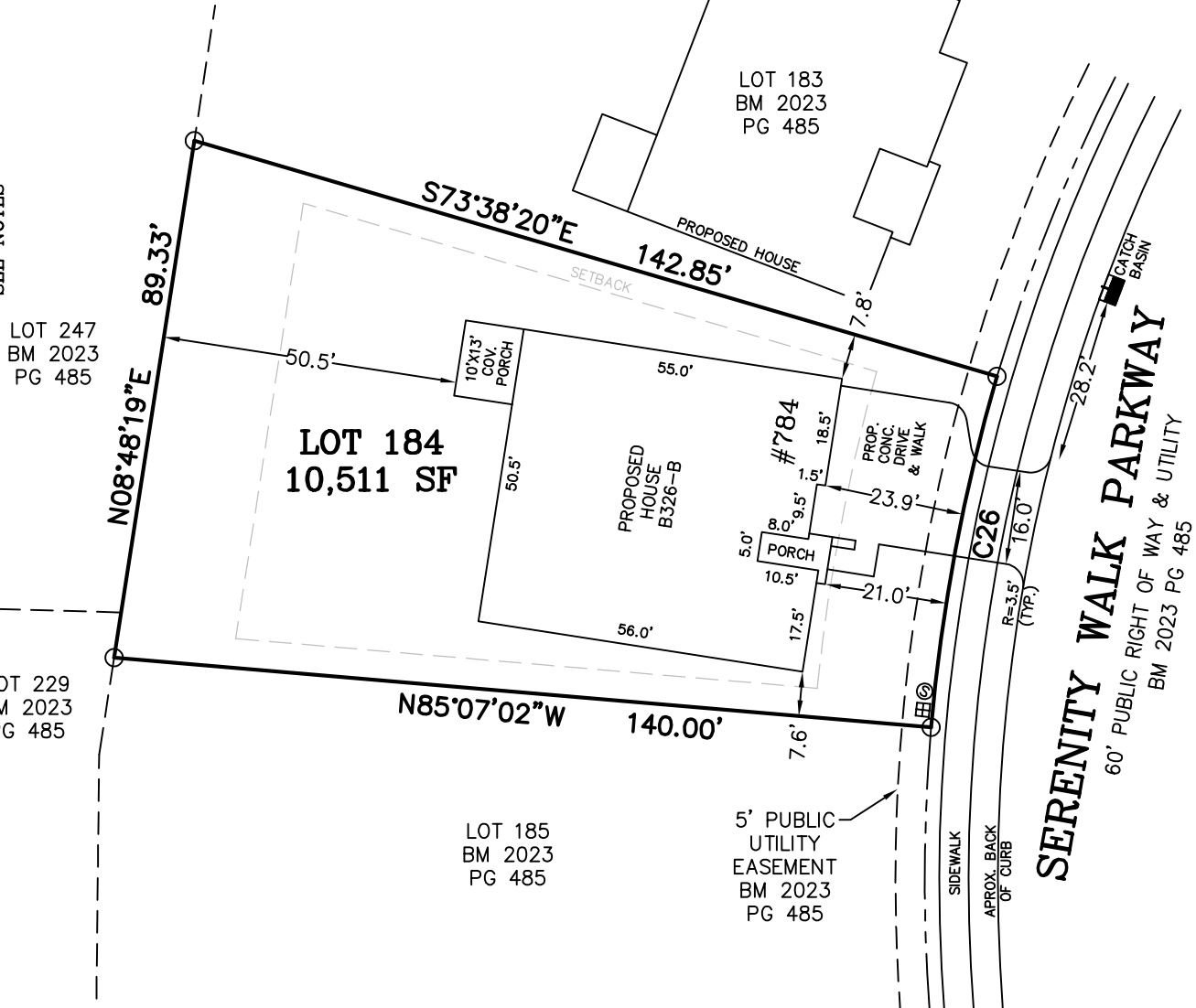
- MATHEMATICAL POINT
- CONTROL CORNER
- ⊞ WATER METER
- ⊙ SEWER CLEAN OUT
- ⊗ FIRE HYDRANT



VICINITY MAP (NTS)

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C26	61.10'	305.00'	S10°37'21"W	61.00'

SEE NOTES



**NOTES:**

- REFERENCE HARNETT CO. BM 2023, PG 483-493 FOR BOUNDARY INFORMATION, NORTH INDEX & TIE LINES TO SUBDIVISION CONTROL CORNERS.
- ZONED: RA-30, RA-40, & CONSERVATION.
- SETBACKS, PER BM 2023 PG 483:
  - >43' LOT WIDTH:
  - FRONT YARD-20', SIDE YARD-5', REAR YARD-20', CORNER YARD-12'.
- PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS SCALED FROM THE NFIP FIRM No. 3720065500L (EFFECTIVE DATE: JULY 19, 2022) AND/OR 3720064500J (EFFECTIVE DATE: 10/3/2006), AND/OR 3720064400J (EFFECTIVE DATE: 10/3/2006).

MAXIMUM ALLOWABLE IMPERVIOUS-3,700 SF

TOTAL ESTIMATED IMPERVIOUS-3,596 SF	
SITE	SQ. FT.
HOUSE	2,801
DRIVEWAY	618
LEAD WALK	38
COV. PORCH	130
PAD	0
A/C PAD	9

**PERMIT PLAN LOT: 184**

SERENITY SUBDIVISION, PHASE 2C  
HECTORS CREEK TOWNSHIP, HARNETT COUNTY, NC

SURVEYED FOR  
**DAVID WEEKLEY HOMES**  
1901 N. HARRISON AVENUE, SUITE 200  
CARY, NC 27513

I HEREBY CERTIFY THAT THE BUILDING WILL LIE WHOLLY ON THE LOT. THIS PLAT IS OF AN EXISTING PARCEL OF LAND. THIS IS NOT A SURVEY AND NOT FOR RECORDATION PURPOSES.



**MSS LAND CONSULTANTS, PC**  
"Committed to Total Quality Service"  
Firm License: C-2070  
E S T. 1 9 9 8

6118 St. Giles St Phone (919) 510-4464  
(Suite E) Fax (919) 510-9102  
Raleigh, NC 27612 Email: gowersw@mssland.com

**PRELIMINARY PLAN**

WADE A. GOWERS, PLS L-4639

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