

SURVEY FOR

# FAMILY BUILDING CO.

206 3RD STREET

PIN# 1507-13-6570

D.B. 4229, PAGE 1909

P.B. 3, PAGE 35

TOWN OF ERWIN

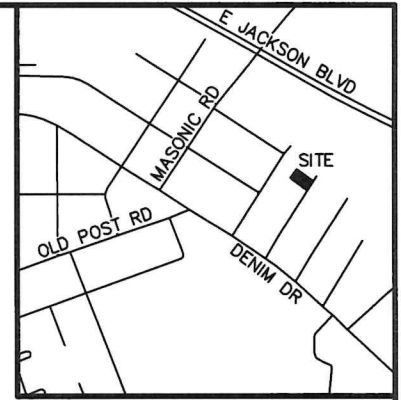
HARNETT COUNTY, NORTH CAROLINA

MAY 9, 2024

REVISED JUNE 11, 2024



SCALE 1"=30'



VICINITY MAP

### LEGEND:

- EIP - EXISTING IRON PIPE
- EIB - EXISTING IRON BAR
- BEIP - BENT IRON PIPE
- BEIB - BENT IRON BAR
- CM - CONCRETE MONUMENT
- EPK - EXISTING PK NAIL
- SPK - SET PK NAIL
- NIP - NEW IRON PIPE SET
- R/W - RIGHT OF WAY
- CATV - CABLE TV BOX
- EB - ELECTRIC BOX
- TEL - TELEPHONE PEDESTAL
- PP - POWER POLE
- OHL - OVERHEAD LINE
- LP - LIGHT POLE
- WM - WATER METER
- WV - WATER VALVE
- CO - SEWER CLEAN-OUT
- CC - CONCRETE
- CB - CATCH BASIN
- MH - MANHOLE
- FH - FIRE HYDRANT
- T.B.R- TO BE REMOVED

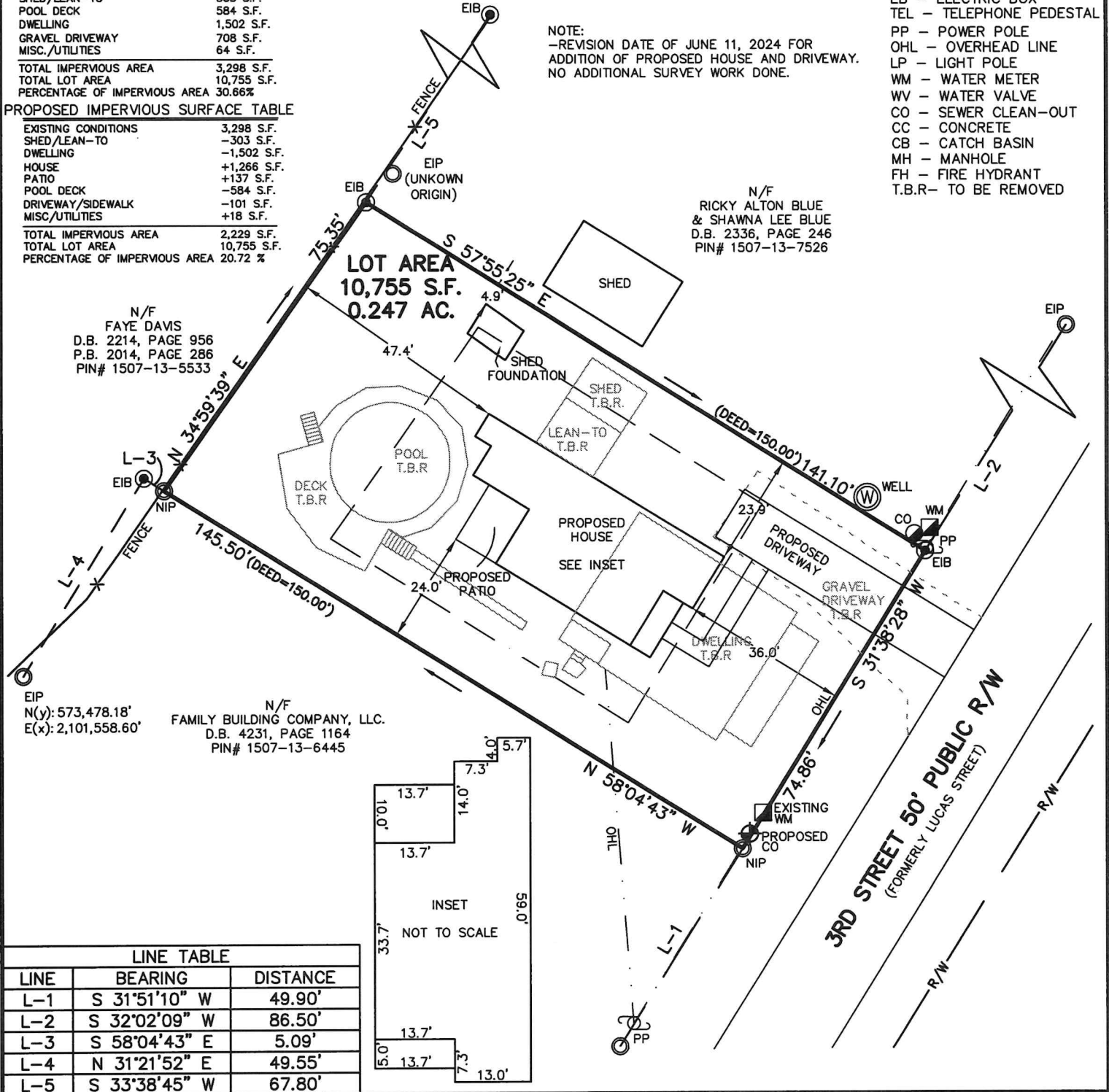
### EXISTING IMPERVIOUS SURFACE TABLE

SHED FOUNDATION	73 S.F.
SHED/LEAN-TO	303 S.F.
POOL DECK	584 S.F.
DWELLING	1,502 S.F.
GRAVEL DRIVEWAY	708 S.F.
MISC./UTILITIES	64 S.F.
TOTAL IMPERVIOUS AREA	3,298 S.F.
TOTAL LOT AREA	10,755 S.F.
PERCENTAGE OF IMPERVIOUS AREA	30.66%

### PROPOSED IMPERVIOUS SURFACE TABLE

EXISTING CONDITIONS	3,298 S.F.
SHED/LEAN-TO	-303 S.F.
DWELLING	-1,502 S.F.
HOUSE	+1,266 S.F.
PATIO	+137 S.F.
POOL DECK	-584 S.F.
DRIVEWAY/SIDEWALK	-101 S.F.
MISC./UTILITIES	+18 S.F.
TOTAL IMPERVIOUS AREA	2,229 S.F.
TOTAL LOT AREA	10,755 S.F.
PERCENTAGE OF IMPERVIOUS AREA	20.72 %

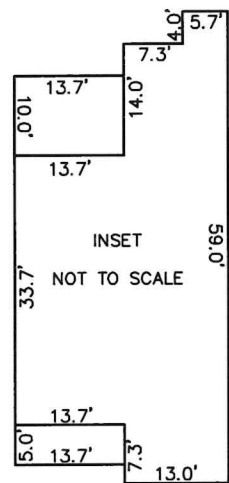
NOTE:  
 -REVISION DATE OF JUNE 11, 2024 FOR  
 ADDITION OF PROPOSED HOUSE AND DRIVEWAY.  
 NO ADDITIONAL SURVEY WORK DONE.



N/F  
 FAYE DAVIS  
 D.B. 2214, PAGE 956  
 P.B. 2014, PAGE 286  
 PIN# 1507-13-5533

N/F  
 RICKY ALTON BLUE  
 & SHAWNA LEE BLUE  
 D.B. 2336, PAGE 246  
 PIN# 1507-13-7526

N/F  
 FAMILY BUILDING COMPANY, LLC.  
 D.B. 4231, PAGE 1164  
 PIN# 1507-13-6445



### LINE TABLE

LINE	BEARING	DISTANCE
L-1	S 31°51'10" W	49.90'
L-2	S 32°02'09" W	86.50'
L-3	S 58°04'43" E	5.09'
L-4	N 31°21'52" E	49.55'
L-5	S 33°38'45" W	67.80'



# CMP

Professional Land Surveyors  
 C-1525  
 333 S. White Street  
 Post Office Box 1253  
 Wake Forest, N.C. 27588  
 (919)556-3148

I DECLARE THAT THIS SURVEY COMPLIES WITH THE NORTH CAROLINA STANDARDS OF PRACTICE FOR SURVEYING, (SECTION 1600) FOR CLASS A SURVEYS AND THAT THE CALCULATED RATIO OF PRECISION BEFORE ADJUSTMENTS IS 1:10,000+. FURTHERMORE, PROPERTY CORNERS SHOWN ARE PRIMARY CONTROL MONUMENTATION FOR THE RE-ESTABLISHMENT OF PROPERTY CORNERS IN THE ABSENCE OF GRID MONUMENTS AND OTHER SUBDIVISION PROPERTY CORNERS. THIS SURVEY IS NOT TO BE RECORDED WITHOUT THE WRITTEN AUTHORIZATION OF THE SURVEYOR.

*[Signature]*  
 6/19/2024  
 PROFESSIONAL LAND SURVEYOR L-3835

