

PLAN:  
Menger w/  
Porch



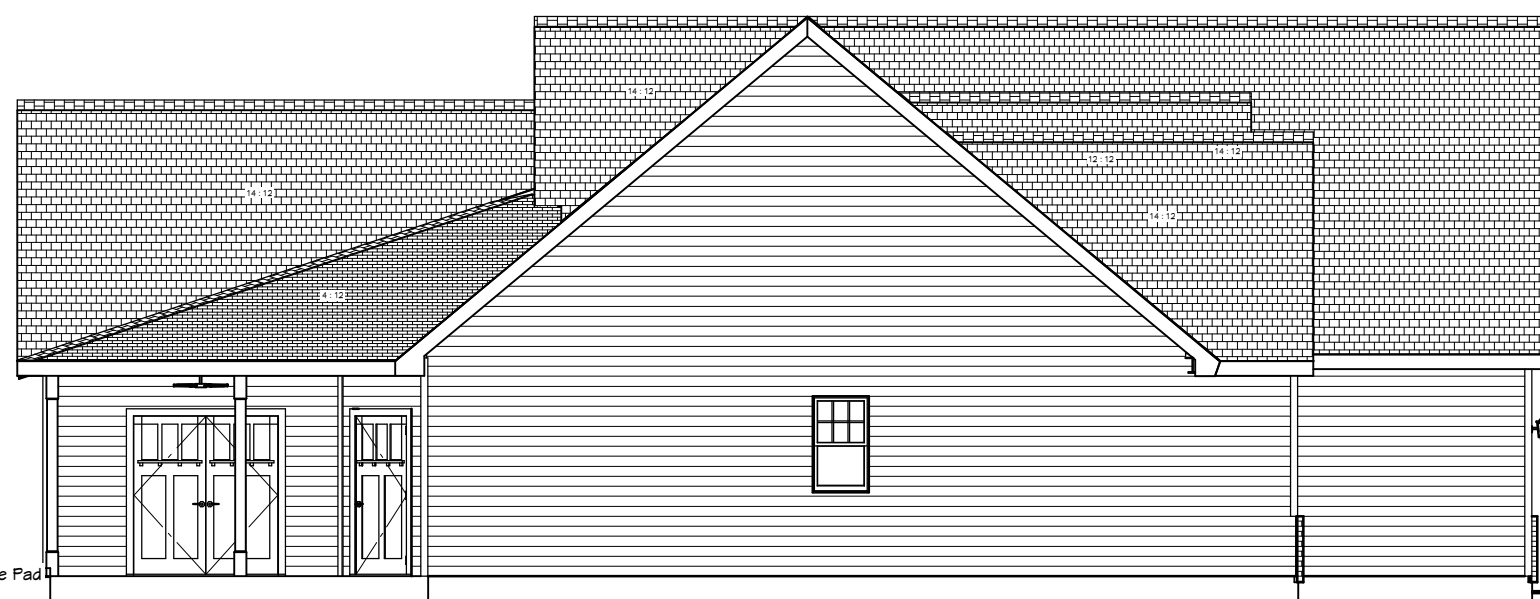
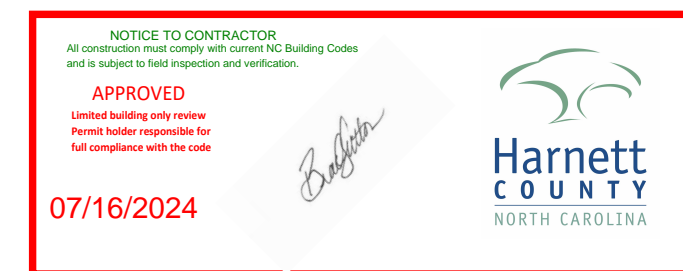
**FRONT ELEVATION**

Scale: 1/4" = 1'0"

9'0" CEILING HEIGHT FIRST FLOOR  
(HEADER HEIGHT 7'6")

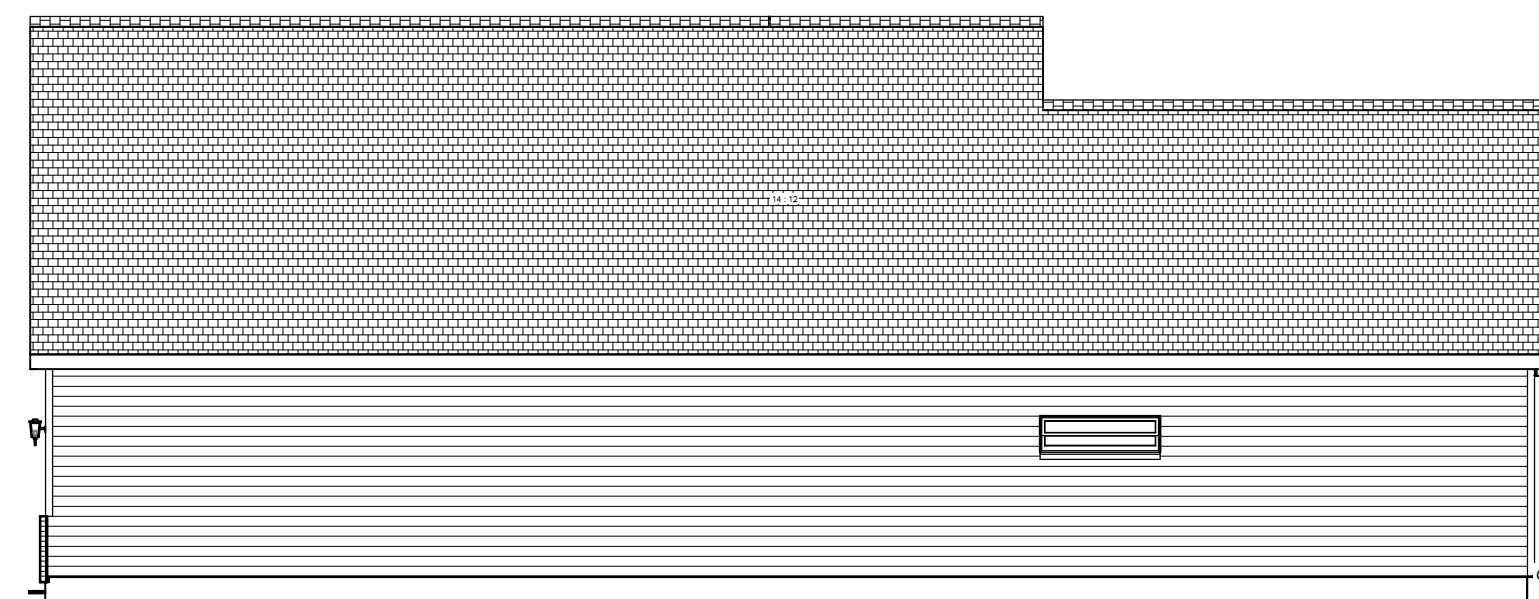
8'0" CEILING HEIGHT SECOND FLOOR  
(FRAME HEADERS TO TOP PLATES)

FRAME WINDOWS TO HEADER HEIGHT



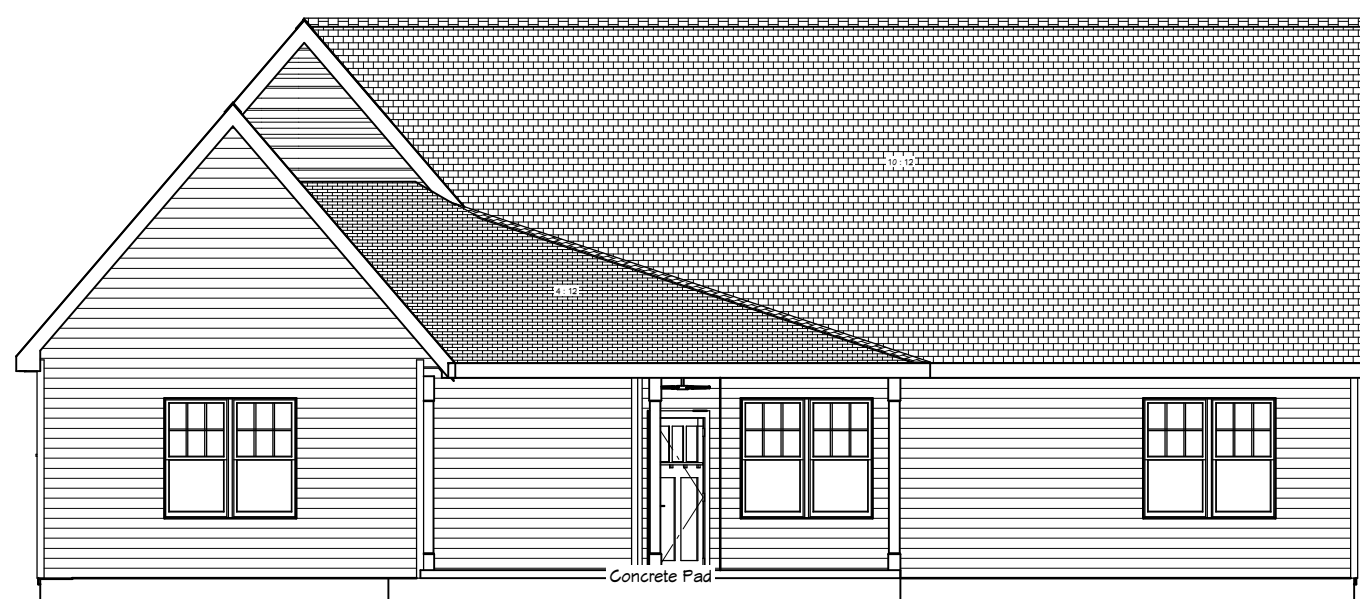
**LEFT ELEVATION**

Scale: 1/8" = 1'0"



**RIGHT ELEVATION**

Scale: 1/8" = 1'0"



**REAR ELEVATION**

Scale: 1/8" = 1'0"

SHEET TITLE:

**ELEVATIONS**

PROJECT ADDRESS:  
184 Edes Ct.  
Liberty Meadows Lot 22

DESIGNED BY:  
Precision Custom Homes  
Raeferd, NC  
Shaun@PrecisionCustomHomesNC.com

DATE:

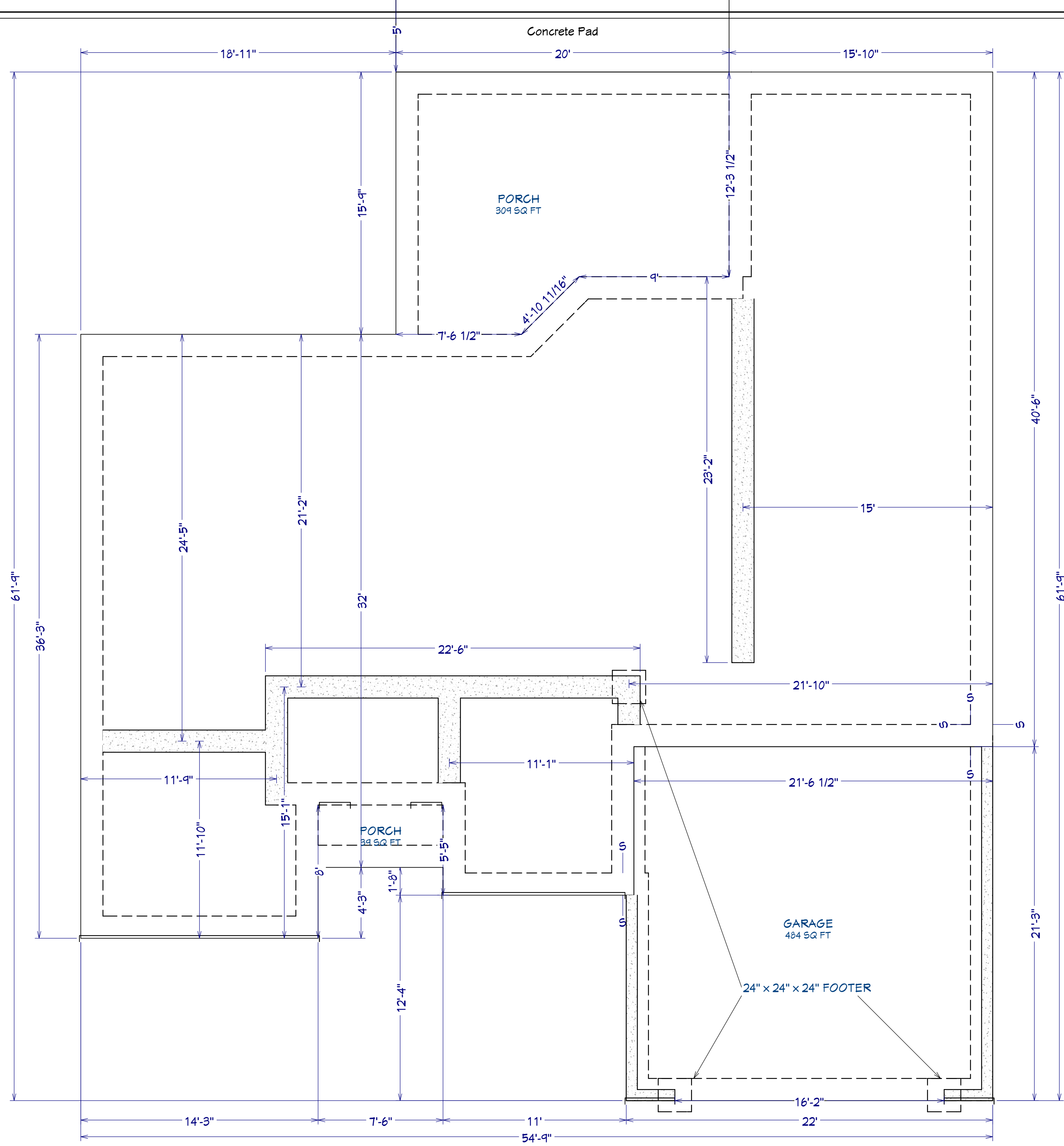
6/17/24

SCALE:

1/4" = 1'

SHEET:

**A-1**



AREA SCHEDULE	
NAME	AREA
1st FLOOR	1,950 SF
2nd FLOOR	424 SF
GARAGE	467 SF
FRONT PORCH	28 SF
BACK PORCH	275 SF
TOTAL HEATED	2,374 SF
TOTAL UNDER ROOF	3,144 SF

**FOUNDATION PLAN**  
Scale: 1/4" = 1'0"

PLAN:  
Menger w/  
Porch

SHEET TITLE:  
**FOUNDATION**

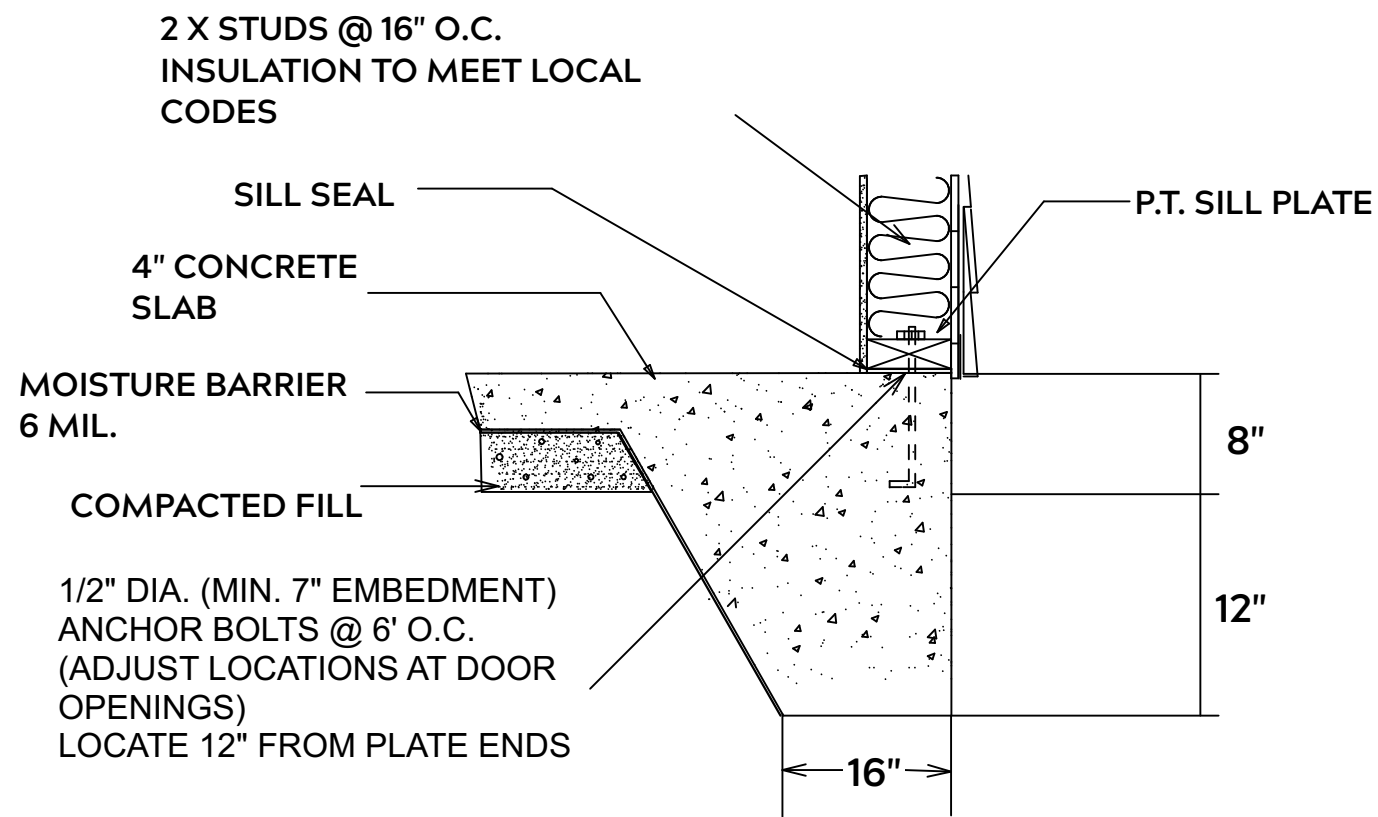
PROJECT ADDRESS:  
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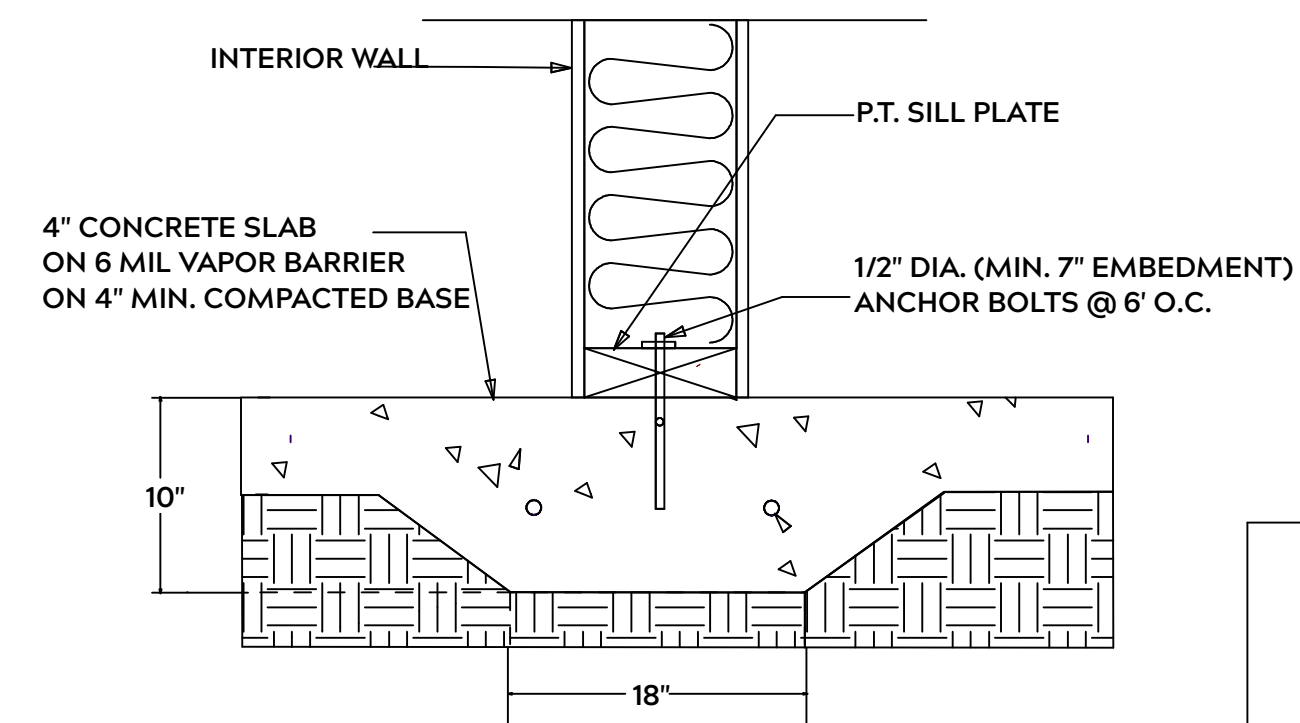
DATE:  
6/17/24

SCALE:  
1/4" = 1'

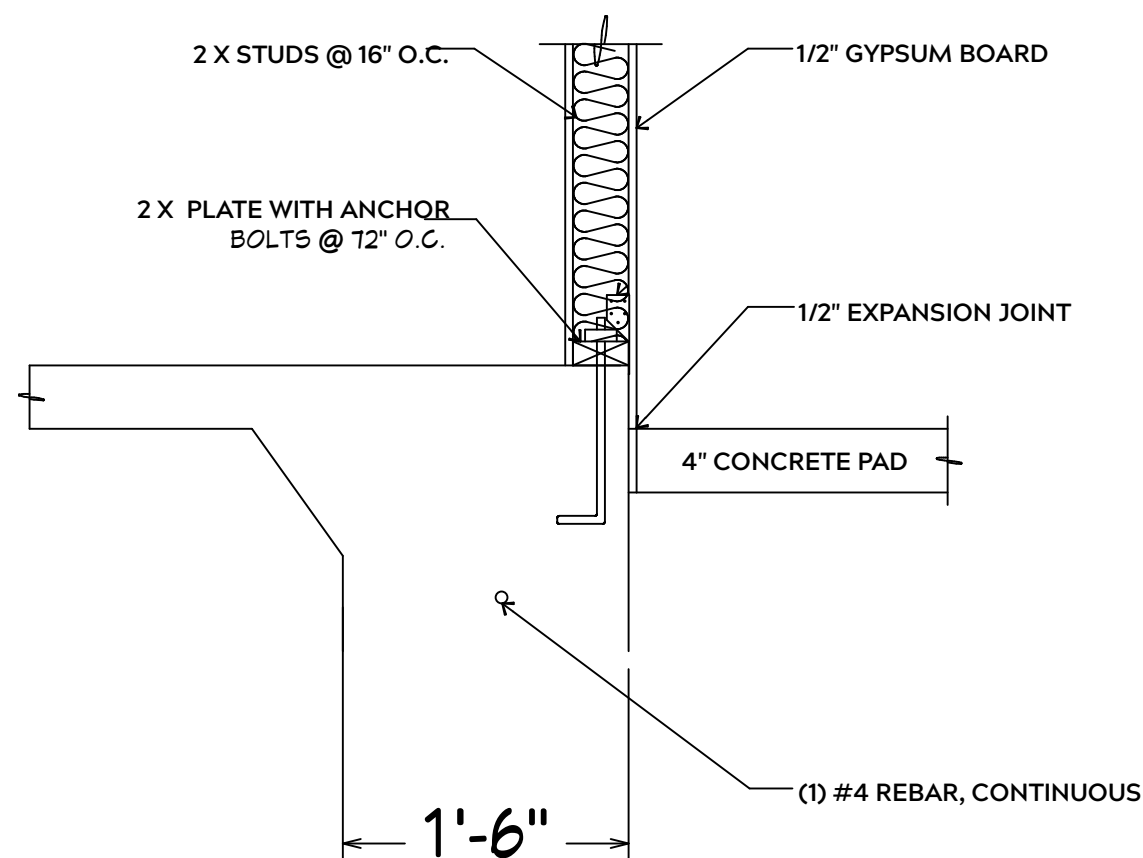
SHEET:  
**A-2**



**MONOLITHIC SLAB**



**LUG FOOTING**



**INTERIOR WALL @ GARAGE STEP DOWN**

**FOUNDATION NOTES:**

ALL FOOTINGS SHALL BEAR ON ORIGINAL UNDISTURBED SOIL  
THE 28 DAY COMPRESSIVE STRENGTH OF ALL FOOTINGS IS 3000 PSI

PROVIDE WATER PROOFING AND PERIMTER DRAINS AS REQUIRED

FOOTING WIDTHS ARE BASED ON A LOAD BEARING SOIL CAPACITY OF 2000 PSI

PROVIDE 6 MIL POLY VAPOR BARRIER TO COVER GROUND IN CRAWL SPACE AND GROUND UNDER POURED CONCRETE

ALL ANCHOR BOLTS TO BE 1/2" X 12" LONG. ANCHOR BOLTS SHALL BE SPACED AT A MAXIMUM OF 6' ON CENTER AND NO MORE THEN 1' FROM EACH CORNER

**GENERAL FRAMING NOTES:**

ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALLE BE PRESSURE TREATED

FRAMING LUMBER SHALL BE SYP #2 GRADE AND / OR SPRUCE PINE FIR #1 AND / OR KILN DRIED

WHERE PRE-ENGINEERED JOISTS AND TRUSSES ARE USED, MANUFACTURER SHALL PROVIDE DRAWINGS / SCHEMATICS, WHICH SHALL BEAR OF A N.C. ENGINEER

STUDS AND JOISTS SHALL NOT BE CUT TO INSTALL PLUMBING OR WIRING WITHOUT ADDING METAL OR WOOD SIDE PANELS TO STRENGTHEN MEMBER TO ITS ORIGINAL CAPACITY

NAIL MULTIPLE MEMBERS WITH 2 ROWS OF 16d NAILS STAGGERED 32" O.C. AND USE 3 X 16d NAILS 2" IN AT EACH END.

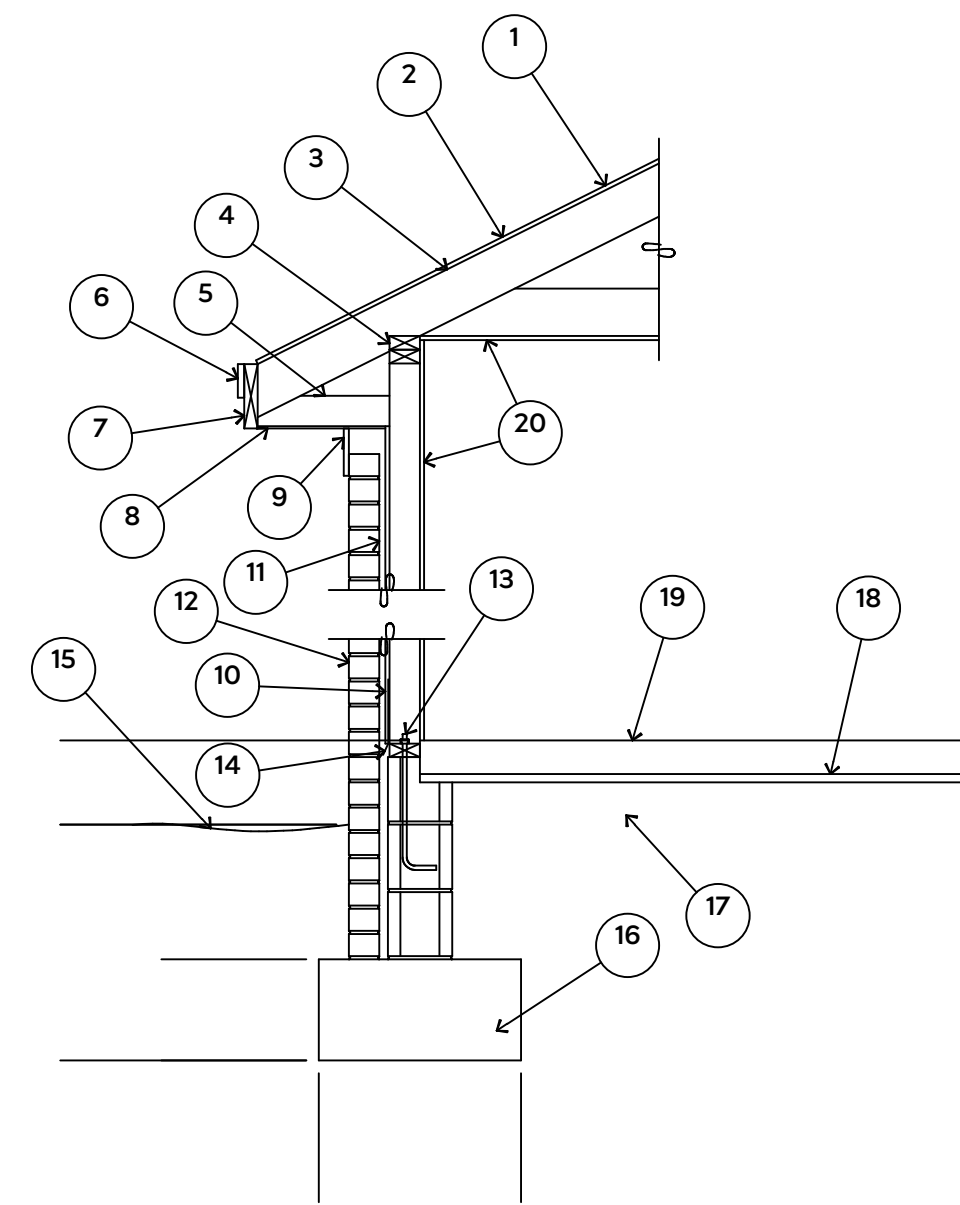
NAIL FLOOR JOISTS TO SILL PLATE WITH WITH 8d TOE NAILS

ALL EXPOSED FRAMING ON PORCHES OR DECKS SHALL BE PRESSURE TREATED

PROVIDE WATERPROOFING AND DRAINS AS REQUIRED

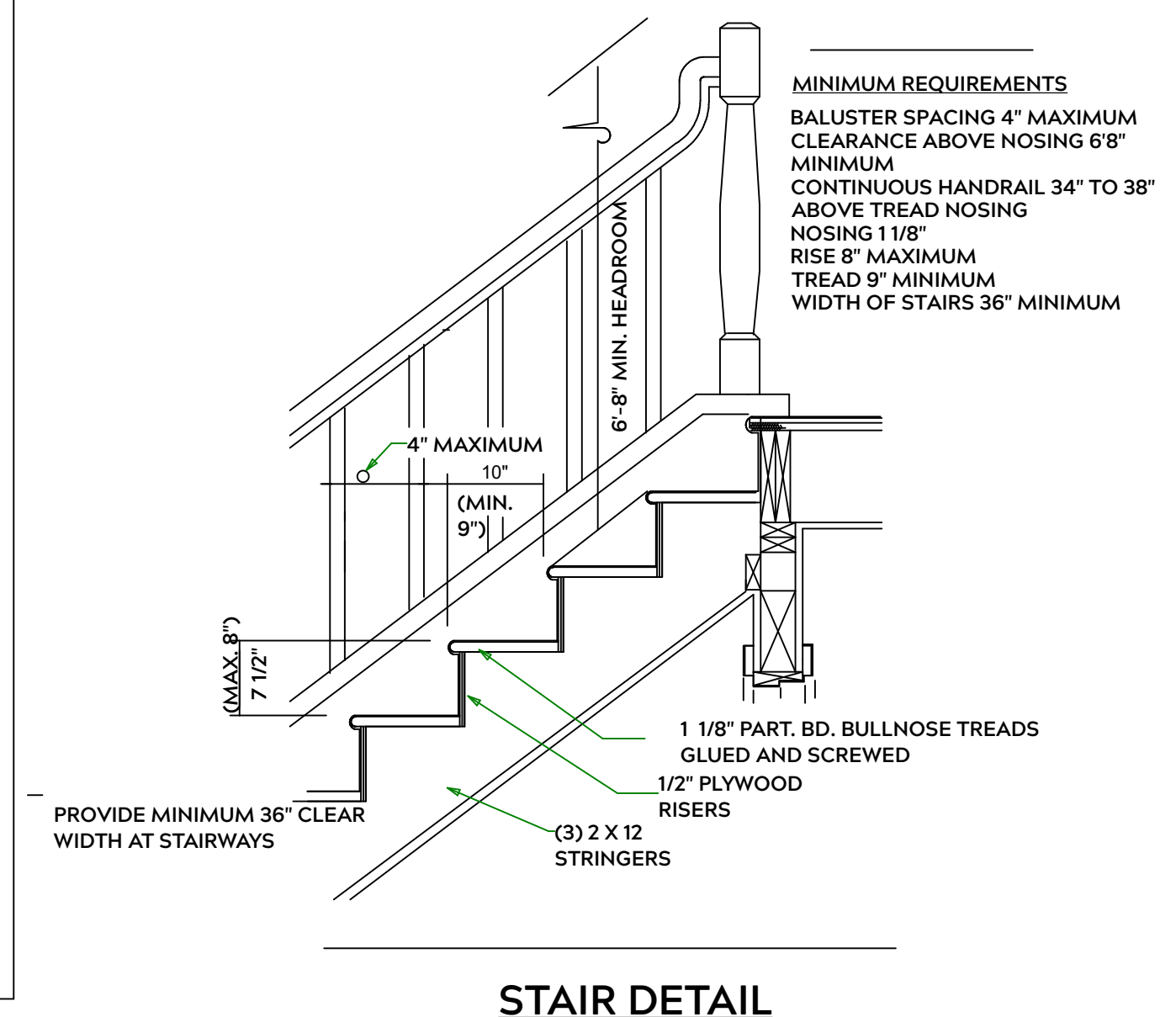
ALL FRAMING TO BE 16" O.C. WALL FRAMING DIMENSIONS ARE BASED ON 2X4 OR 2X6 EXTERIOR WALLS AND 2X4 INTERIOR WALLS. DOULBE / TRIPLE JACK STUDS AS NECESSARY UNDER HEADERS AS REQUIRED

LVL'S TO BE SIZED BY OTHERS (TRUSS MANUFACTURER)



1. 15# FELT UNDERLAYMENT UNDER COMPOSITION SHINGLES.
2. ROOF DECKING.
3. 2 X RAFTERS / ENGINEERED TRUSSES
4. DOUBLE TOP PLATE.
5. 2 X 4 RETURN.
6. 3/4" FASCIA OR PVC TRIM COIL
7. 2 X FASCIA
8. 1/4" PLYWOOD OR VINYL SOFFIT
9. 1 X FREIZE BOARD (TO BE USED WITH BRICK VENEERS)
10. INSULATION BOARD OR HOUSE WRAP
11. AIR SPACE.
12. BRICK WITH BRICK TIES PER MANUFACTURER'S SPECIFICATIONS.
13. 1/2" X 12" ANCHOR BOLTS, 6'-0" O.C., 12" FROM CORNERS.
14. FLASHING WITH WEEP HOLES @ 48" O.C.
15. FINISHED GRADE.
16. FOOTING
17. COMPACTED EARTH FILL.
18. 6 MIL. VAPOR BARRIER
19. 4" CONCRETE SLAB, 3,000 P.S.I. WITH 6" X 6" 10 GA. X 10 GA. WELDED WIRE FABRIC.
20. 1/2" GYPSUM BOARD.

**EXTERIOR WALL SECTION**



**STAIR DETAIL**

PLAN:  
Menger w/  
Porch

SHEET TITLE:  
**DETAIL SHEETS**

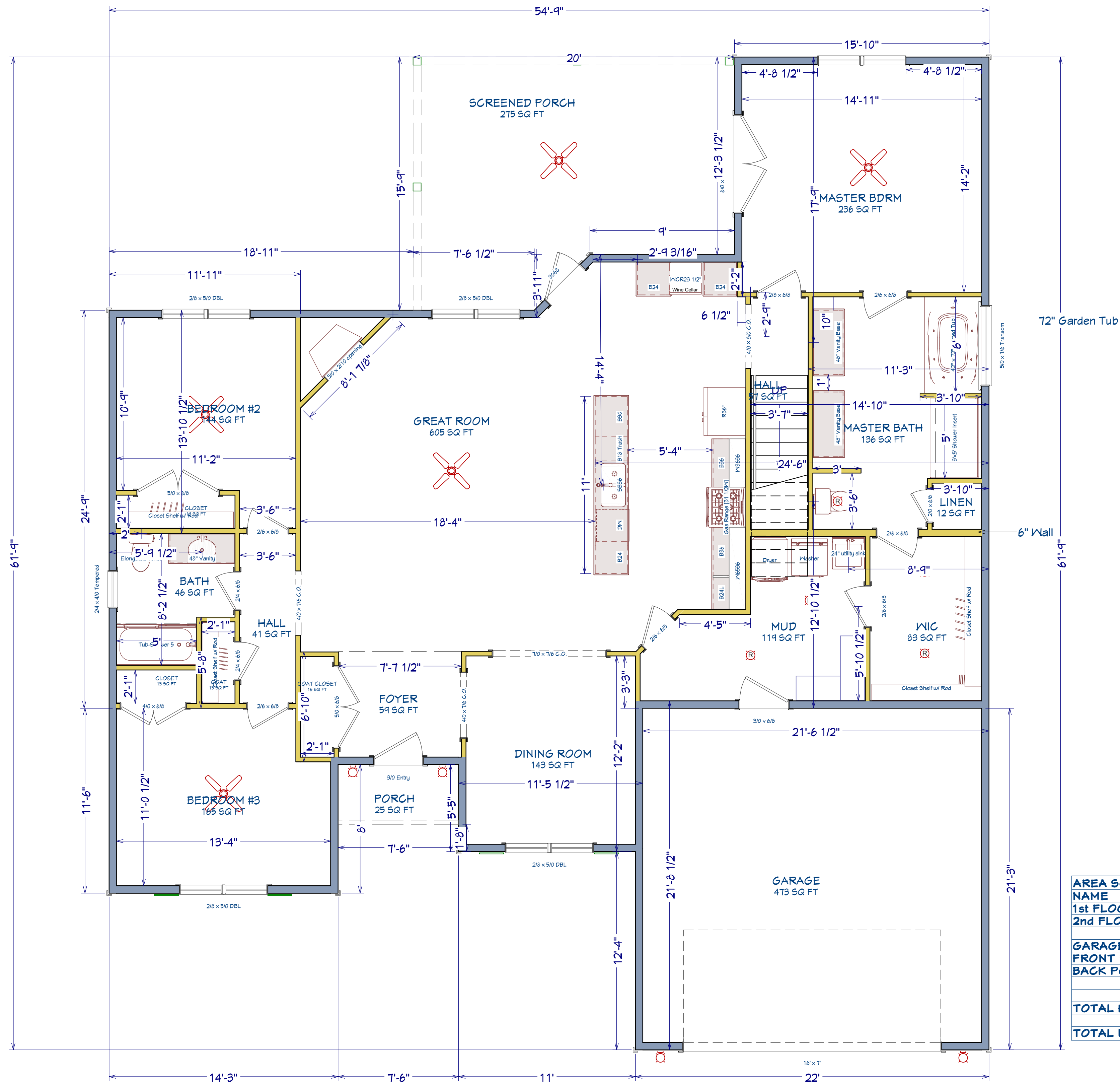
PROJECT ADDRESS:  
**184 Edes Ct.  
Liberty Meadows Lot 22**

DESIGNED BY:  
Precision Custom Homes  
Rae ford, NC  
Shaun@PrecisionCustomHomesNC.com

DATE:  
**6/17/24**

SCALE:  
**1/4" = 1'**

SHEET:  
**A-3**



AREA SCHEDULE	
NAME	AREA
1st FLOOR	1,950 SF
2nd FLOOR	424 SF
GARAGE	467 SF
FRONT PORCH	28 SF
BACK PORCH	275 SF
TOTAL HEATED	2,374 SF
TOTAL UNDER ROOF	3,144 SF

PLAN:  
Menger w/  
Porch

SHEET TITLE:  
**1st FLOOR**

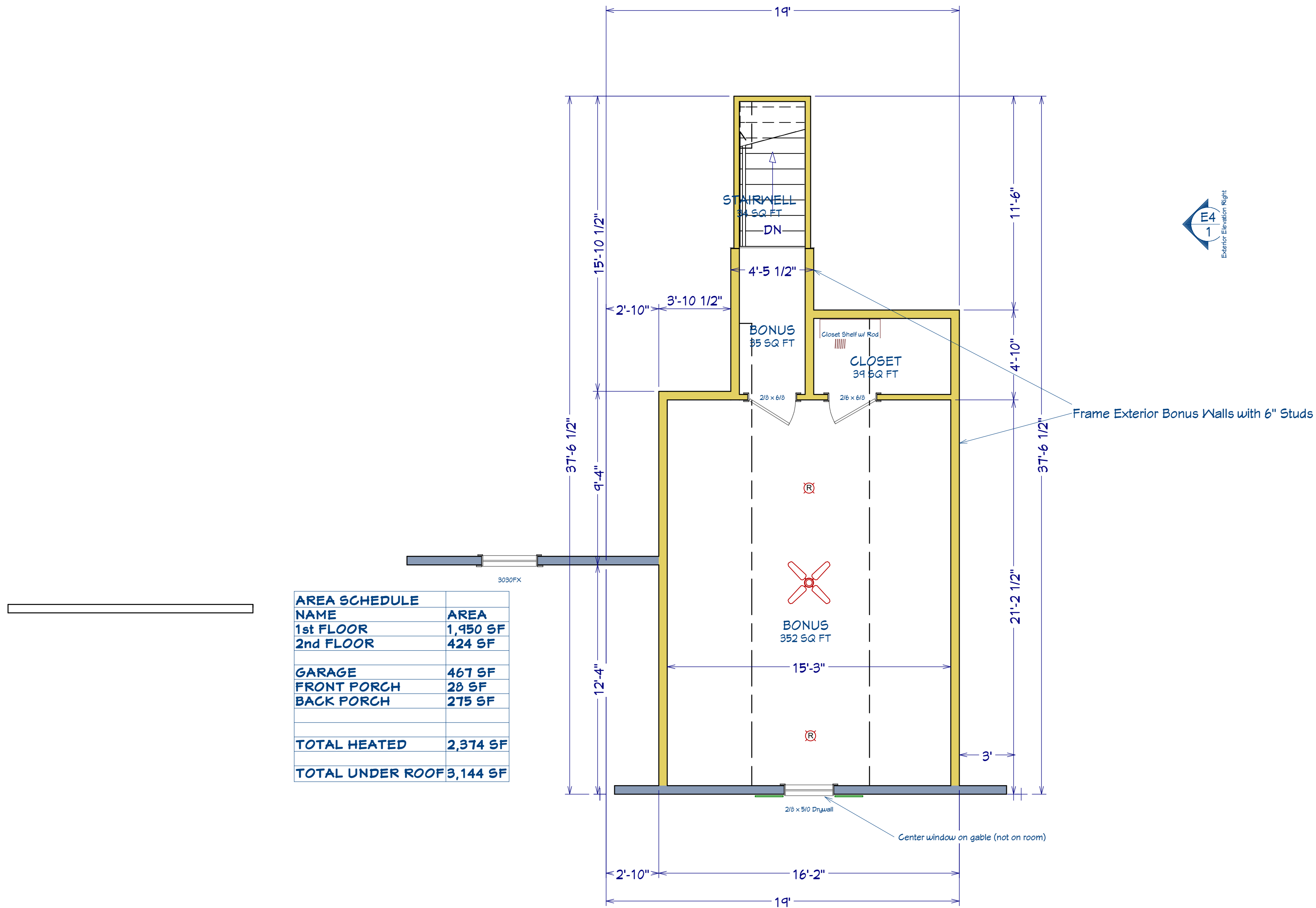
PROJECT ADDRESS:  
184 Edes Ct.  
Liberty Meadows Lot 22

DESIGNED BY:  
Precision Custom Homes  
Rae ford, NC  
Shaun@PrecisionCustomHomesNC.com

DATE:  
6/17/24

SCALE:  
1/4" = 1'

SHEET:  
**A-4**

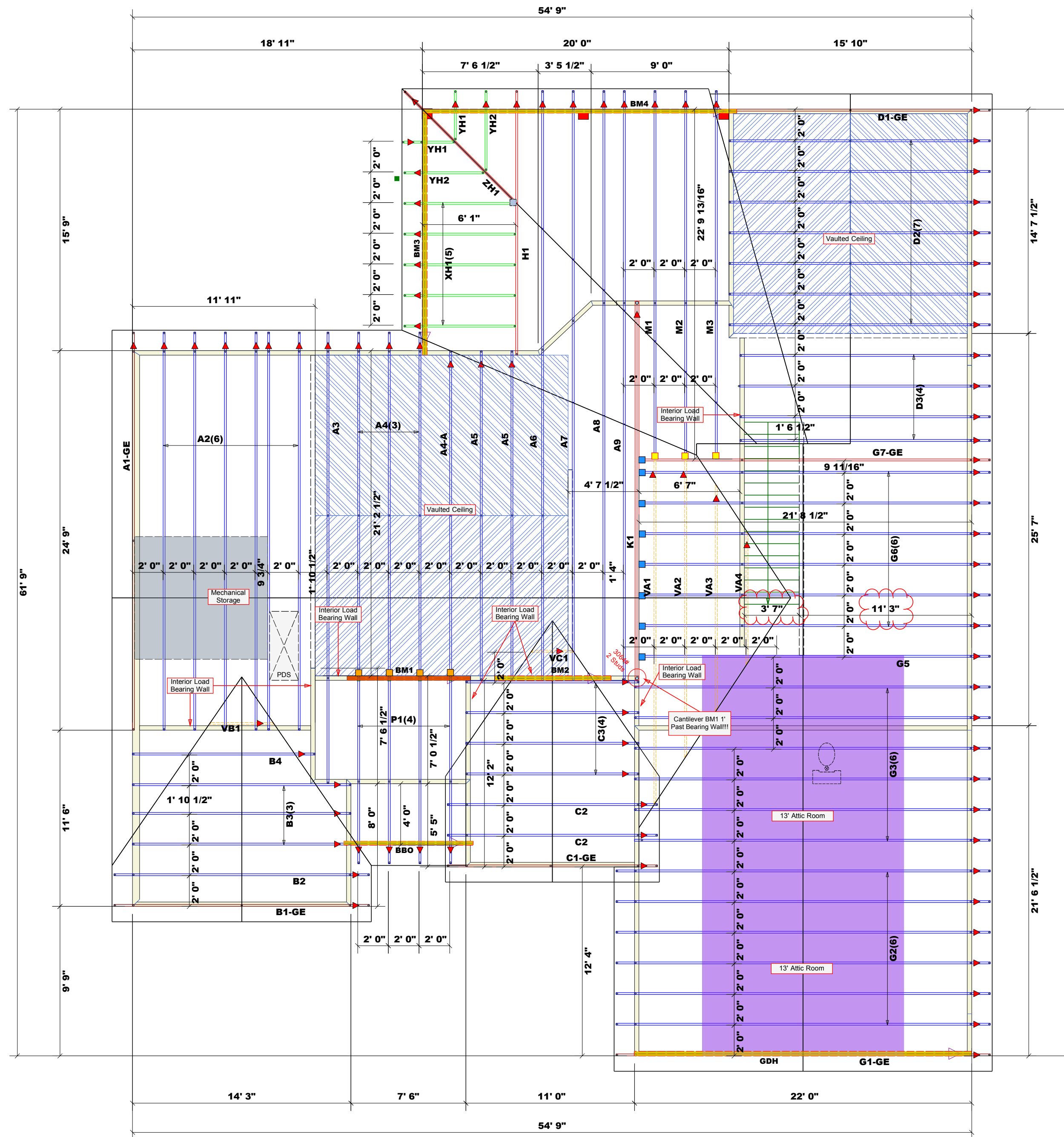


AREA SCHEDULE	
NAME	AREA
1st FLOOR	1,950 SF
2nd FLOOR	424 SF
GARAGE	467 SF
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TOTAL HEATED	2,374 SF
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LIVING AREA  
425 SQ FT



2nd Floor



Hatch Legend	
[Grey Hatch]	Padded HVAC
[Blue Hatch]	Vaulted Ceiling
[Orange Hatch]	Flush Beam
[Yellow Hatch]	Drop Beam

- Dimension Notes**
- All exterior wall to wall dimensions are to face of stud unless noted otherwise
  - All interior wall dimensions are to face of stud unless noted otherwise
  - All exterior wall to truss dimensions are to face of stud unless noted otherwise

Roof Area = 3933.66 sq.ft.  
 Ridge Line = 141.05 ft.  
 Hip Line = 33.43 ft.  
 Horiz. OH = 228.43 ft.  
 Raked OH = 185.86 ft.  
 Decking = 135 sheets

All Walls Shown Are Considered Load Bearing

▲ = Indicates Left End of Truss  
 (Reference Engineered Truss Drawing)  
 Do Not Erect Trusses Backwards

1 Truss Placement Plan  
 Scale: 3/16"=1'

PlotID	Length	Product	Products		
			Piles	Net Qty	Fab Type
BM1	9' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2	FF
BM2	8' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2	FF
GDH	22' 0"	1-3/4"x 11-7/8" LVL Kerto-S	2	2	FF
BM3	16' 0"	1-3/4"x 11-7/8" LVL Kerto-S	2	2	FF
BM4	22' 0"	2x12 SP No.2	2	2	FF

Connector Information					Nail Information	
Sym	Product	Manuf	Qty	Supported Member	Header	Truss
[Blue]	HJC26	USP	1	Varies	16d/3-1/2"	10d/3"
[Blue]	HUS26	USP	8	Varies	16d/3-1/2"	16d/3-1/2"
[Yellow]	JUS24	USP	3	Varies	10d/3"	10d/3"
[Yellow]	LSSH210	USP	4	Varies	Per Manufacturer	Per Manufacturer

All Truss Reactions are Less than 3,000 lbs. Unless Noted Otherwise.

○ -- Denotes Reaction Greater than 3,000 lbs. Reaction / # of Studs

LOAD CHART FOR JACK STUDS		
(BASED ON TABLES R202.5(1) & (2))		
NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADERS		
IR REACTION (UP TO)	IR REACTION (UP TO)	IR REACTION (UP TO)
1700	2550	3400
3400	5100	6800
5100	7650	10200
6800	10200	13600
8500	12750	17000
10200	15300	
11900		
13600		
15300		

<b>BUILDER</b>	Precision Custom Homes	<b>COUNTY</b>	Harnett
<b>JOB NAME</b>	Lot 22 Liberty Meadows	<b>ADDRESS</b>	184 Edes Ct., Cameron, NC
<b>PLAN</b>	Menger w/Bonus Bath	<b>MODEL</b>	Roof
<b>SEAL DATE</b>	6/17/2024	<b>DATE REV.</b>	6/20/204
<b>QUOTE #</b>	N/A	<b>DRAWN BY</b>	Neil Baggett
<b>JOB #</b>	J0524-3226	<b>SALESMAN</b>	Neil Baggett

**THIS IS A TRUSS PLACEMENT DIAGRAM ONLY.**  
 These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCS-81 and BCS-83 provided with the truss delivery package or online @ sbcondustry.com.

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables ( derived from the prescriptive Code requirements ) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature: **Neil Baggett**

**comTECH**

**ROOF & FLOOR TRUSSES & BEAMS**

Reilly Road Industrial Park  
 Fayetteville, N.C. 28309  
 Phone: (910) 864-8787  
 Fax: (910) 864-4444

# North Carolina 2018 - R402.1.5 Total UA



**Property**  
368 Solomon Dr  
Cameron, NC 28326  
Community: Liberty Meadows

**Organization**  
Southern Energy Manager  
Justin Smith

**Inspection Status**  
Results are projected

Template - SMG Precision - Liberty Meadows Lot 31 - CZ 4 slab - Liberty Meadows Lot 31

**Builder**  
SMG Precision Properties

**This report is based on a proposed design and does not confirm field enforcement of design elements.**

## Building UA

Elements	NC Reference	As Designed
Ceilings	71.2	67.6
Above-Grade Walls	195.4	145.1
Windows, Doors and Skylights	82.0	72.1
Slab Floor:	108.6	141.9
Framed Floors	16.4	17.8
Foundation Walls	0.0	0.0
Rim Joists	1.7	1.4
<b>Overall UA (Design must be equal or lower):</b>	<b>475.3</b>	<b>445.9</b>

## Requirements

✓	R402.1.5	Total UA alternative compliance passes by 6.2%. The proposed home meets the UA requirement by 6.2%
✓	402.3.2	Average SHGC: 0.28 Max SHGC: 0.30 Average SHGC of 0.28 is greater than the maximum of 0.30.
✓	R402.4.2.2	Air Leakage Testing Air sealing is 0.22 CFM50 / ft² Shell Area. It must not exceed 0.30 CFM50 / ft² Shell Area.
✓	R402.5	Area-weighted average fenestration SHGC Area-weighted average fenestration SHGC is 0.28. The maximum allowed value is [No Limit].
✓	R402.5	Area-weighted average fenestration U-Factor
✓	R404.1	Lighting Equipment At least 75.0% of fixtures shall be high-efficacy lamps, currently 100.0% are high-efficacy.
✓	Mandatory Checklist	Mandatory code requirements that are not checked by Ekotrope must be met. 2015 IECC Mandatory Checklist must be checked as complete.
✓	R403.3.1	Duct Insulation Duct insulation meets the requirements specified in North Carolina 2018 Code Section 403.3.1.
✓	403.3.3	Duct Testing

**Design exceeds requirements for North Carolina 2018 Prescriptive compliance by 6.2%.**

Name: Justin Smith Signature: Justin Smith  
 Organization: Southern Energy Management Digitally signed: 3/2/23 at 3:00 PM

### Ekotrope RATER - Version 4.1.0.3108

North Carolina 2018 Prescriptive compliance results calculated using Ekotrope RATER's energy and code compliance algorithm, including appropriate amendments. Ekotrope RATER is a RESNET Accredited HERS Rating Tool. All results are based on data entered by Ekotrope users. Ekotrope disclaims all liability for the information shown on this report.

# Building Summary



**Property**  
 368 Solomon Dr  
 Cameron, NC 28326  
 Community: Liberty Meadows

**Organization**  
 Southern Energy Management  
 Justin Smith

**Inspection Status**  
 Results are projected

Template - SMG Precision - Liberty Meadows Lot 31  
 - CZ 4 slab - ecoSelect  
 Liberty Meadows Lot 31

**Builder**  
 SMG Precision Properties

## General Building Information

Number Of Bedrooms	3
Number Of Floors	2
Conditioned Floor Area [sq. ft.]	2,374
Has Electric Vehicle Ready Space	No
Unconditioned, attached garage?	Yes
Conditioned Volume [cu. ft.]	20,942
Total Units in Building	1
Residence Type	Single family detached
Number of Floors in Building	-
Floor Number	-
Model	
Community	Liberty Meadows
RESNET/IECC 2006-2018 Climate Zone	4A
IECC 2021 Climate Zone	3A

## Foundation Wall

None Present

## Foundation Wall Library List

None Present

## Slab

Name	Library Type	Perimeter	Floor Grade	Carpet R	Exposed Masonry Area	Surface Area	Location	Enclosing
slab	Uninsulated	223	On Grade	1	0	1,950.0 ft²	Exposed Exterior	Conditioned Space

## Slab Library List

Name	Wall Construction Type	Slab Completely Insulated?	Underslab Insulation Width [ft]	Perimeter Insulation Depth [ft]	Perimeter Insulation R Value	Thermal Break	Effective R-value
Uninsulated	Wood Frame / Other	No	0	0	0	No	0.00



# Building Summary



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 Southern Energy Management  
 Justin Smith

**Inspection Status**  
 Results are projected

**SOUTHERN ENERGY MANAGEMENT**  
 ENERGY EFFICIENCY & SOLAR POWER

Template - SMG Precision - Liberty Meadows Lot 31  
 - CZ 4 slab - ecoSelect  
 Liberty Meadows Lot 31

**Builder**  
 SMG Precision Properties

## Framed Floor

Name	Library Type	Carpet R	Floor Grade	Surface Area	Location
over garage	R 19, 16"OC G1 Carpet	0	Above Grade	348.0 ft <sup>2</sup>	Unconditioned, attached garage

## Framed Floor Library List

Name	Effective R-value
R 19, 16"OC G1 Carpet	19.566

## Rim Joist

Name	Library Type	Surface Area	Location
1st floor garage	R 19 G1, 16"OC	31.0 ft <sup>2</sup>	Unconditioned, attached garage

## Rim Joist Library List

Name	Effective Insulation R-value
R 19 G1, 16"OC	17.30

## Wall

Name	Library Type	Surface Color	Surface Area	Location
1st floor ambient	R 19 Adv. Framing G1 16" O.C	Medium	1,732.0 ft <sup>2</sup>	Exposed Exterior
1st floor garage	R 19 Adv. Framing G1 16" O.C	Medium	275.0 ft <sup>2</sup>	Unconditioned, attached garage
2nd floor ambient	R 19 Adv. Framing G1 16" O.C	Medium	128.0 ft <sup>2</sup>	Exposed Exterior
2nd floor attic	R 19 Adv. Framing G1 16" O.C	Medium	637.0 ft <sup>2</sup>	Attic

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 SMG Precision Properties

## Wall Library List

Name	Effective R-value
R 19 Adv. Framing G1 16" O.C	17.492

## Glazing

Name	Library Type	Wall Assignment	Foundation Wall Assignment	Is Operable	Overhang Depth	Overhang Ft To Top	Overhang Ft To Bottom	Orientation	Surface Area
front 2nd unshaded	33/28	2nd floor ambient		Yes	0	0	0	West	13.5 ft <sup>2</sup>
front unshaded	33/28	1st floor ambient		Yes	0	0	0	West	54.0 ft <sup>2</sup>
left unshaded	33/28	1st floor ambient		Yes	0	0	0	North	7.5 ft <sup>2</sup>
rear shaded	33/28	1st floor ambient		Yes	10	2	9	East	56.0 ft <sup>2</sup>
rear unshaded	33/28	1st floor ambient		Yes	0	0	0	East	54.0 ft <sup>2</sup>
right unshaded	33/28	1st floor ambient		Yes	0	0	0	South	9.2 ft <sup>2</sup>

## Glazing Library List

Name	Shgc	U-factor
33/28	0.28	0.330

## Skylight

None Present

## Skylight Library List

None Present

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**Builder**  
 SMG Precision Properties

## Opaque Door

Name	Library Type	Wall Assignment	Foundation Wall Assignment	Emittance	Solar Absorbance	Surface Color	Surface Area	Location
front entry	Fiberglass R-5	1st floor ambient		0.9	0.75	Medium	20.0 ft <sup>2</sup>	Exposed Exterior
garage entry	Fiberglass R-5	1st floor garage		0.9	0.75	Medium	20.0 ft <sup>2</sup>	Unconditioned, attached garage

## Opaque Door Library List

Name	Effective U-factor
Fiberglass R-5	0.200

## Roof Insulation

Name	Library Type	Attic Exterior Area [ft <sup>2</sup> ]	Clay or Concrete Roof Tiles	Surface Color	Surface Area	Location
attic	R 38 Attic BLOWN FG G1 2x10 24"OC NO Radiant Barrier	3,489.78	No	Dark	2,374.0 ft <sup>2</sup>	Attic

## Roof Insulation Library List

Name	Has Radiant Barrier	Effective R-value
R 38 Attic BLOWN FG G1 2x10 24"OC NO Radiant Barrier	No	35.115

## Whole House Infiltration

Infiltration	Measurement Type	Shelter Class
1675 CFM at 50 Pa	Blower-door tested	4

## Mechanical Ventilation

None Present

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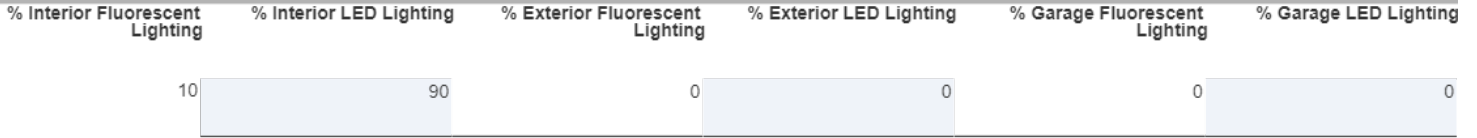
**Organization**  
Southern Energy Management  
Justin Smith

**Inspection Status**  
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Template - SMG Precision - Liberty Meadows Lot 31  
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Liberty Meadows Lot 31

**Builder**  
SMG Precision Properties

## Lighting



## Onsite Generation

None Present

## Onsite Generation Library List

None Present

## Solar Generation

None Present

## Dehumidifier

None Present

## Dehumidifier Library List

None Present

## Whole House Fan

None Present

# Building Summary



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**Builder**  
 SMG Precision Properties

## Whole House Fan Library List

None Present

## Conditioning Equipment

Name	Library Type	Serial Number	Heating Percent Load	Cooling Percent Load	Hot Water Percent Load	Location
1st floor heat pump	z 24k 14 SEER 8.2hspf		100%	100%	0%	Attic
Water Heating	z 50 gal. 0.95 EF Elec		0%	0%	100%	Unconditioned Garage

### Equipment Type: z 24k 14 SEER 8.2hspf

Equipment Type	Air Source Heat Pump
Fuel Type	Electric
Distribution Type	Forced Air
Motor Type	PSC (Single Speed)
Heating Efficiency	8.2 HSPF
Heating Capacity [kBtu/h]	24
Backup Fuel Type	Electric
Switchover Temperature [°F]	0
Backup Heating Efficiency	1 COP
Use default Supplemental Heat	Yes
Cooling Efficiency	14 SEER
Cooling Capacity [kBtu/h]	24

### Equipment Type: z 50 gal. 0.95 EF Elec

Equipment Type	Residential Water Heater
Fuel Type	Electric
Distribution Type	Hydronic Delivery (Radiant)
Hot Water Efficiency	0.95 Energy Factor
Tank Capacity (gal.)	50
Hot Water Capacity [kBtu/h]	40
Recovery Efficiency	0.98

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**Builder**  
 SMG Precision Properties

## Distribution System

Distribution Type	Forced Air
Heating Equipment	1st floor heat pump
Cooling Equipment	1st floor heat pump
Sq. Feet Served	2,374
# Return Grilles	3
Supply Duct R Value	8
Return Duct R Value	8
Supply Duct Area [ft <sup>2</sup> ]	640.98
Return Duct Area [ft <sup>2</sup> ]	356.1
Leakage to Outdoors	94 CFM @ 25Pa (3.96 / 100 ft <sup>2</sup> )
Total Leakage	94 CFM25
Total Leakage Duct Test Conditions	Post-Construction
Use Default Flow Rate	Yes
Duct 1	
Duct Location	Attic (well vented)
Percent Supply Area	100
Percent Return Area	100
Duct 2	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 3	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 4	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 5	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0
Duct 6	
Duct Location	Conditioned Space
Percent Supply Area	0
Percent Return Area	0

## HVAC Grading

HVAC Grading Not Conducted

## Ceiling Fan

Has Ceiling Fan	No
Cfm Per Watt	100

# Building Summary



**Property**  
368 Solomon Dr  
Cameron, NC 28326  
Community: Liberty Meadows

**Organization**  
Southern Energy Management  
Justin Smith

**Inspection Status**  
Results are projected

Template - SMG Precision - Liberty Meadows Lot 31  
- CZ 4 slab - ecoSelect  
Liberty Meadows Lot 31

**Builder**  
SMG Precision Properties

## Water Distribution

Water Fixture Type	Low-flow
Use Default Hot Water Pipe Length	No
Hot Water Pipe Length [ft]	89
At Least R3 Pipe Insulation?	No
Hot Water Recirculation System?	No
Recirculation System Pipe Loop Length [ft]	20
Drain Water Heat Recovery?	No

## Clothes Dryer

Cef	3.01
Fuel Type	Electric
Field Utilization	Timer Controls
Is Outside Conditioned Space	No
Clothes Dryer Available	Yes
Defaults Type	HERS Reference

## Clothes Washer

Label Energy Rating	153 kWh/Year
Annual Gas Cost	\$12.00
Electric Rate	\$0.11/kWh
Gas Rate	\$1.22/Therm
Capacity	3.31
Imef	2.1547
Defaults Type	Custom
Load Type	Front-load
Loads Per Week	6
Is Outside Conditioned Space	No
Clothes Washer Available	Yes

## Dishwasher

Dishwasher Efficiency	270 kWh
Dishwasher Size	Standard
Annual Gas Cost	\$22.23
Electric Rate	\$0.12/kWh
Gas Rate	\$1.09/Therm
Is Outside Conditioned Space	No

# Building Summary

**Property**  
368 Solomon Dr  
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Results are projected



Template - SMG Precision - Liberty Meadows Lot 31  
- CZ 4 slab - ecoSelect  
Liberty Meadows Lot 31

**Builder**  
SMG Precision Properties

## Appliances and Controls

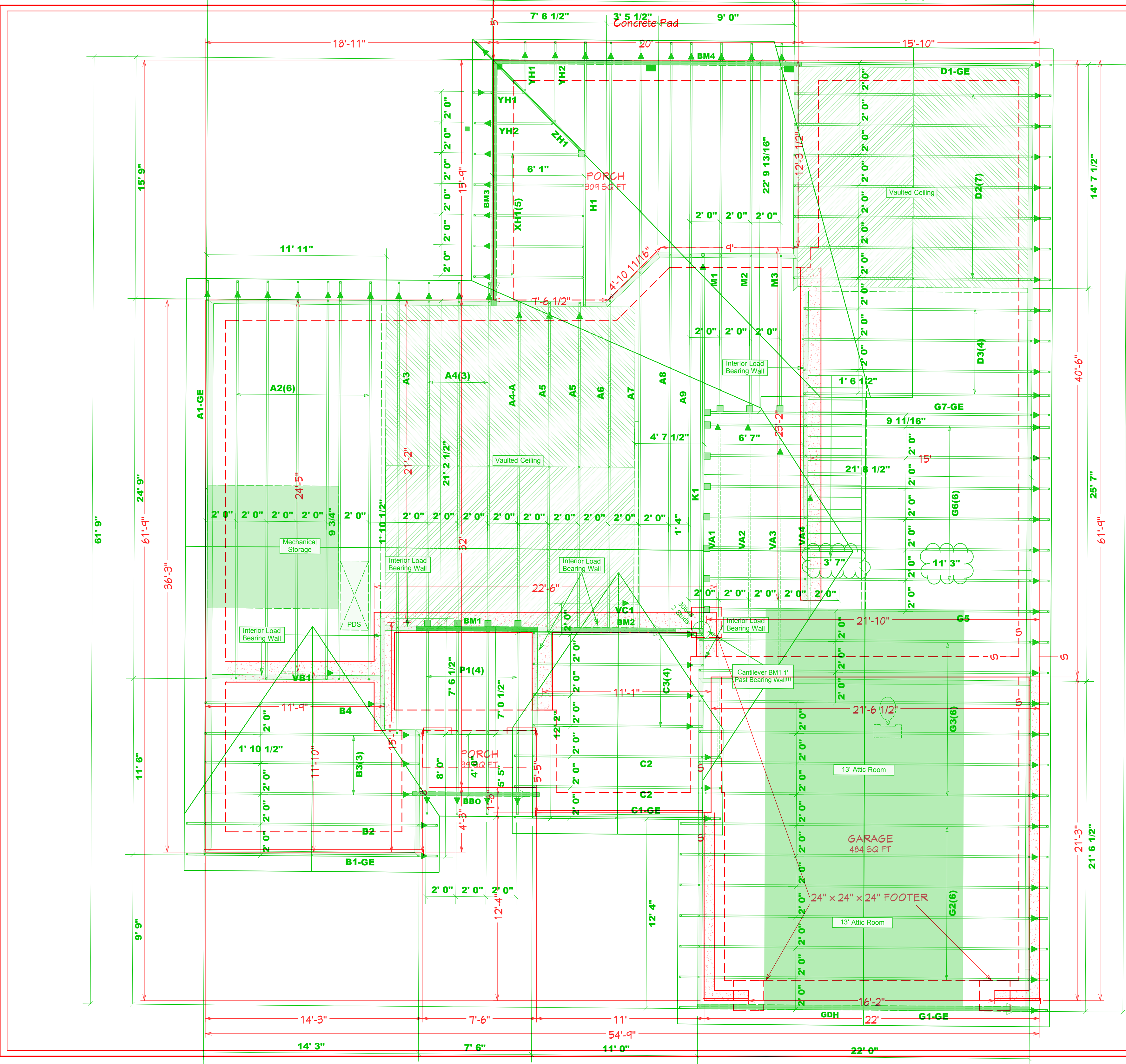
Thermostat Cooling Setpoint	**** 75.0
Thermostat Heating Setpoint	**** 70.0
Range/Oven Fuel	Electric
Convection Oven?	No
Induction Range?	No
Range/Oven Outside Conditioned Space?	No
Refrigerator Consumption	538 kWh/Year
Refrigerator Outside Conditioned Space?	No

## Notes

Initial Inputs \_\_\_\_\_ JS 03/02/22 \_\_\_\_\_

- confirm HVAC specs
- confirm water heater specs
- confirm ventilation entry
- modeled to worst case orientation
- confirm cfl lighting %





PLAN:  
Menger w/  
Porch

Hatch Legend

[Hatched Box]	Padded HVAC
[Diagonal Lines Box]	Vaulted Ceiling
[Solid Green Box]	Flush Beam
[Dotted Green Box]	Drop Beam

Dimension Notes

1. All exterior wall to wall dimensions are to face of stud unless noted otherwise
2. All interior wall dimensions are to face of stud unless noted otherwise
3. All exterior wall to truss dimensions are to face of stud unless noted otherwise

Roof Area = 2933.66 sq.ft  
 Ridge Line = 141.05 ft.  
 Hip Line = 138.43 ft.  
 Horiz. OH = 228.43 ft.  
 Raked OH = 185.86 ft.  
 Decking = 135 sheets

All Walls Shown Are Considered Load Bearing

FOUNDATION

▲ = Indicates Left End of Truss (Reference Engineer's Truss Diagram) Do Not Erect Trusses Backward

1 Truss Placement Plan Scale: 3/16" = 1'-0"



PlotID	Length	Product	Quantity	Notes
BM1	9' 0"	1-3/4" x 9-1/4" LVL Kerto-S	2	
BM2	8' 0"	1-3/4" x 9-1/4" LVL Kerto-S	2	
GDH	22' 0"	1-3/4" x 11-7/8" LVL Kerto-S	2	
BM3	16' 0"	1-3/4" x 11-7/8" LVL Kerto-S	2	
BM4	22' 0"	2x12 SP No.2	2	

Connector Information					
Sym	Product	Manuf	Qty	Supported Member	Notes
[Symbol]	HUC26	USP	1	Varies	18d/3"
[Symbol]	HUS26	USP	8	Varies	18d/3"
[Symbol]	JUS24	USP	3	Varies	10d/3"
[Symbol]	LSSH210	USP	1	Varies	Per Manuf.

AREA SCHEDULE	
NAME	AREA
1st FLOOR	1,950 SF
2nd FLOOR	424 SF
GARAGE	467 SF
FRONT PORCH	28 SF
BACK PORCH	275 SF
<b>TOTAL HEATED</b>	<b>2,374 SF</b>
<b>TOTAL UNDER ROOF</b>	<b>3,144 SF</b>

**FOUNDATION PLAN**  
 Scale: 1/4" = 1'-0"

PROJECT ADDRESS: 184 Edes Ct. Herby Meadows Lot 22

DESIGNED BY: Precision Custom Homes  
 Ratched, LLC  
 Precision Construction

All Truss Reactions are less than 3,000 lbs. Unless Noted Otherwise

Denotes Reaction Greater than 3,000 lbs.

6/17/24  
 SCALE:  
 1/4" = 1'  
 SHEET:  
**A-2**