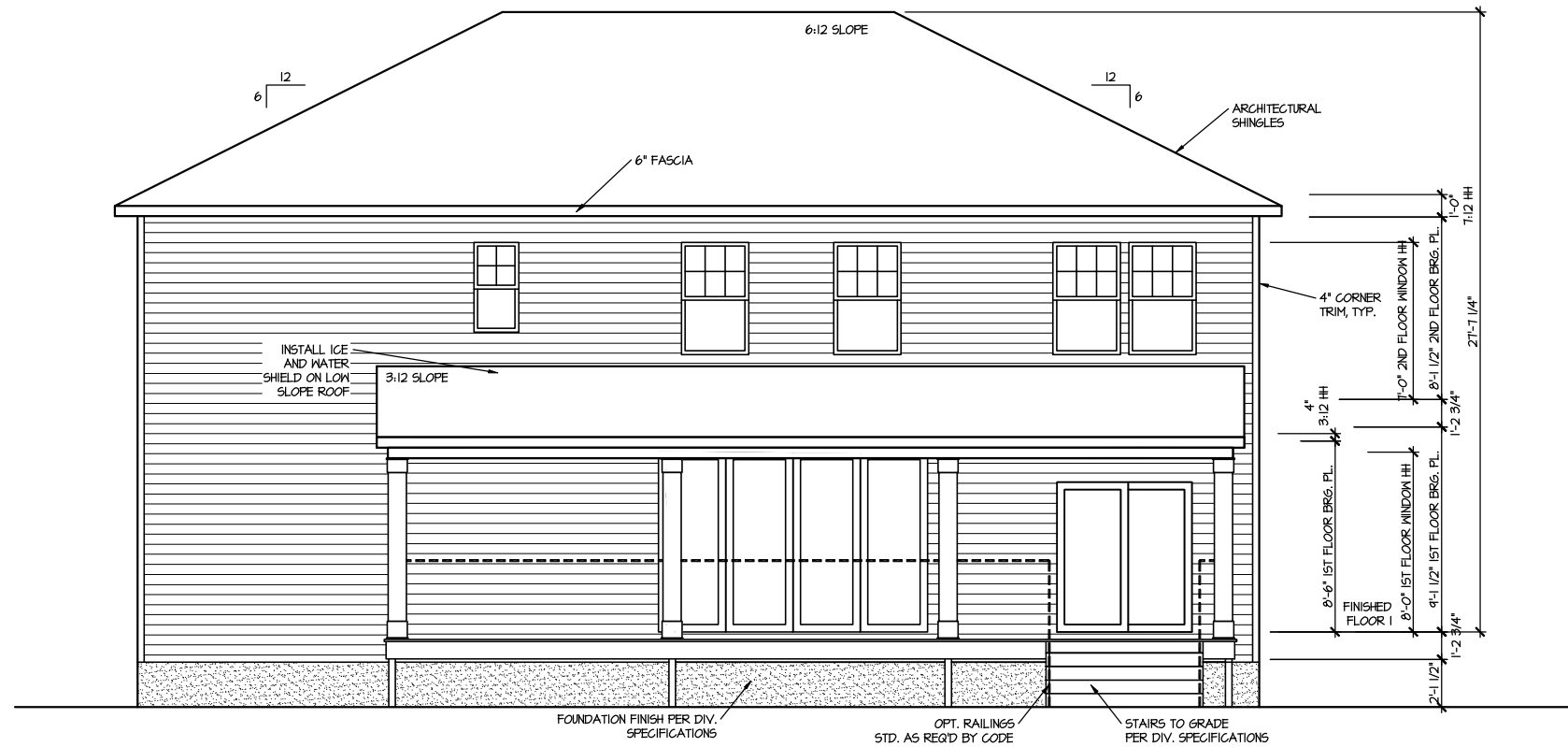


FRONT ELEVATION 3
SCALE: 1/8" = 1'-0"



REAR ELEVATION 3
SCALE: 1/8" = 1'-0"



FILE: Lot_00.0109.dwg DATE: 5/31/2024 5:00 PM

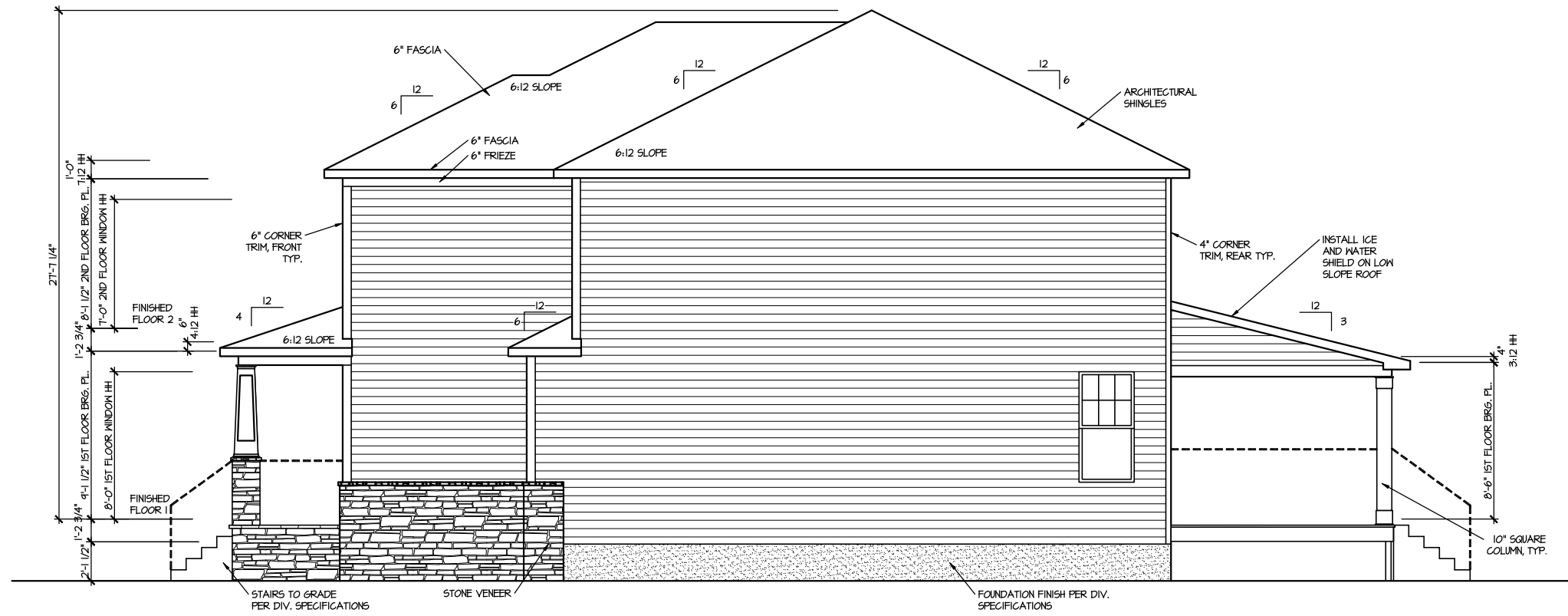
MASTER PLAN INFORMATION	
DATE	12-11-2023
REVISION	1-RALE
UPDATED DATE	04-19-2024

DRAWN BY: ITS
DATE: 05/31/2024
PLAN NO. 3501

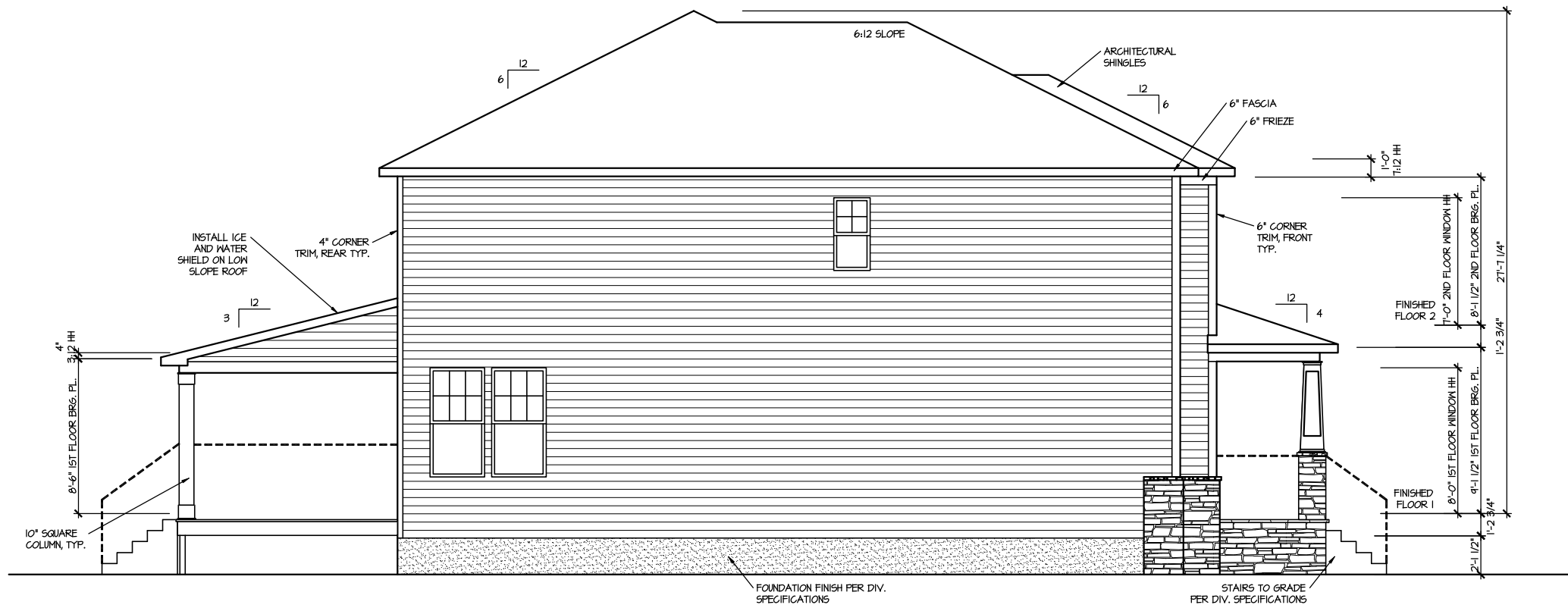


HOUSE NAME: TOWNSEND
DRAWING TITLE: FRONT & REAR ELEVATIONS

SHEET No. A.1



RIGHT ELEVATION 3
SCALE: 1/8" = 1'-0"



LEFT ELEVATION 3
SCALE: 1/8" = 1'-0"

FILE: Lot_00.0109.dwg DATE: 5/31/2024 5:00 PM

MASTER PLAN INFORMATION
DATE 12-11-2023
REVISION 1-RALE

UPDATED DATE 04-19-2024

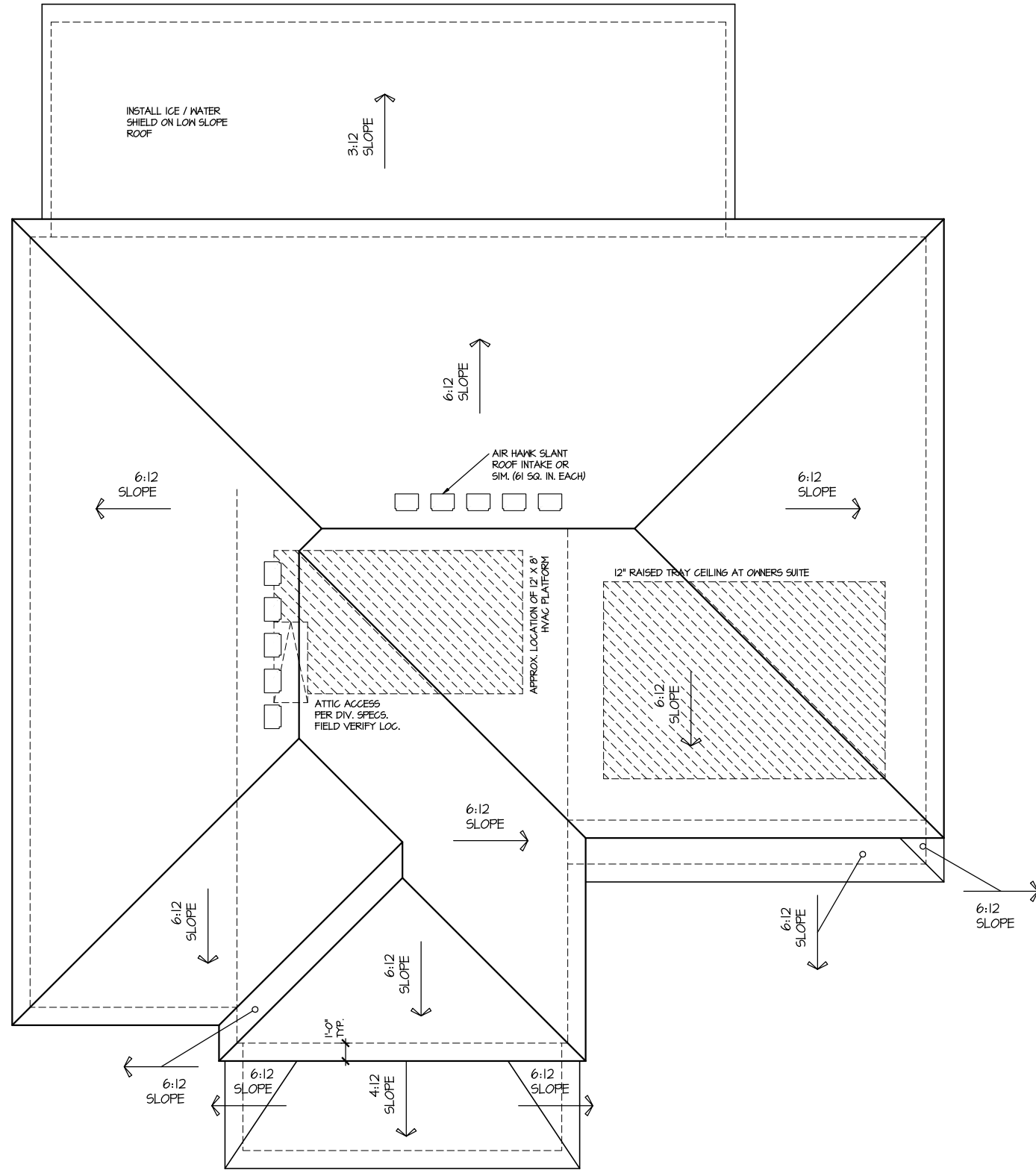
DRAWN BY: ITS
DATE: 05/31/2024
PLAN NO. 3501



HOUSE NAME: TOWNSEND
DRAWING TITLE: RIGHT & LEFT ELEVATIONS

SHEET No. A1.2

UPPER ROOF VENTILATION CALCULATIONS:
 ROOF AREA = 2711 SQ. FT.
 OVERALL REQUIRED VENTILATION:
 1 TO 150 = 14.41 SQ. FT.
 1 TO 300 = 7.24 SQ. FT.
 50-80% IN TOP THIRD = 3.62 - 5.71 SQ. FT. (1 TO 300)
 NET FREE AREA OF VENTED SOFFIT = 5.1 SQ. IN. / LINEAR FT.
 NET FREE AREA OF RIDGE VENT = 18 SQ. IN. / LINEAR FT.
 LOWER VENTING (BOTTOM 2/3 RISE)
 184 LINEAR FEET OF SOFFIT X 1.68 SQ. IN. = 306 SQ. FT.
 UPPER VENTING (TOP 1/3 RISE)
 10 AIR HAWK INTAKES X 61 SQ. IN. = 424 SQ. FT.
 424 SQ. FT. BETWEEN 50% - 80%
 (1 TO 300 ALLOWED)
 TOTAL ROOF VENTILATION: 1142 SQ. FT. > 124 SQ. FT. (REQD)



ROOF PLAN ELEV. 3
 SCALE: 1/8" = 1'-0"

FILE: Lot_00.0109.dwg DATE: 5/31/2024 5:00 PM

MASTER PLAN INFORMATION	
REVISION	DATE
1-RALE	12-11-2023
	UPDATED DATE
	04-19-2024

DRAWN BY:
ITS
 DATE:
05/31/2024
 PLAN NO.
3501



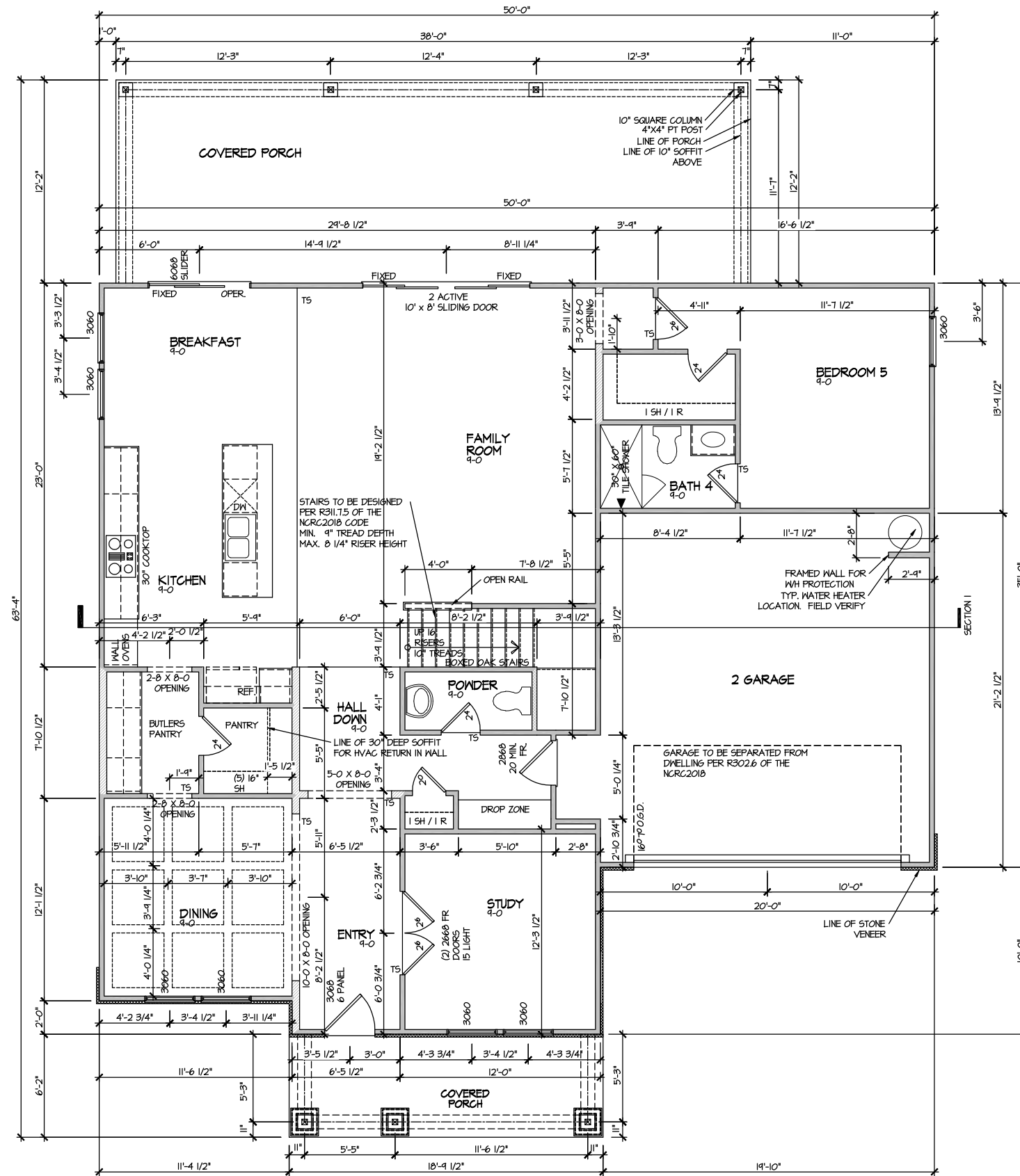
HOUSE NAME:
TOWNSEND
 DRAWING TITLE
ROOF PLAN

SHEET No.
A.3

FILE: Lot_00.0109.dwg DATE: 5/31/2024 5:00 PM

ELEVATION 3 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



MASTER PLAN INFORMATION	
REVISION	DATE
1-RALE	12-11-2023
	UPDATED DATE
	04-19-2024

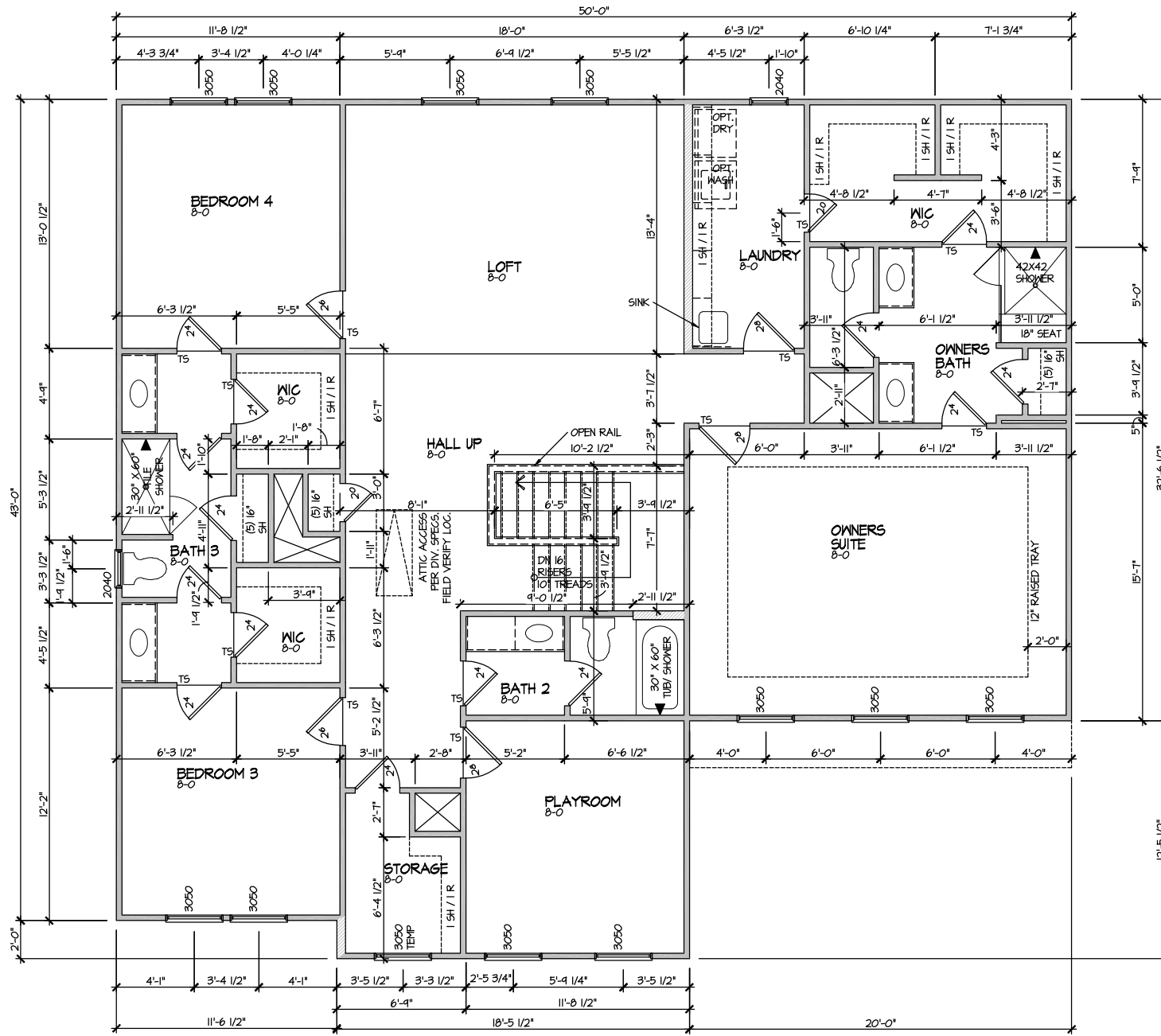
DRAWN BY:	ITS
DATE:	05/31/2024
PLAN NO.	3501



HOUSE NAME:
TOWNSEND
DRAWING TITLE
FIRST FLOOR PLAN

SHEET No.
A3.1

ELEVATION 3
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



UPDATED DATE
04-19-2024

MASTER PLAN INFORMATION	
REVISION	DATE
1-RALE	12-11-2023

DRAWN BY:
ITS
DATE:
05/31/2024
PLAN NO.
3501



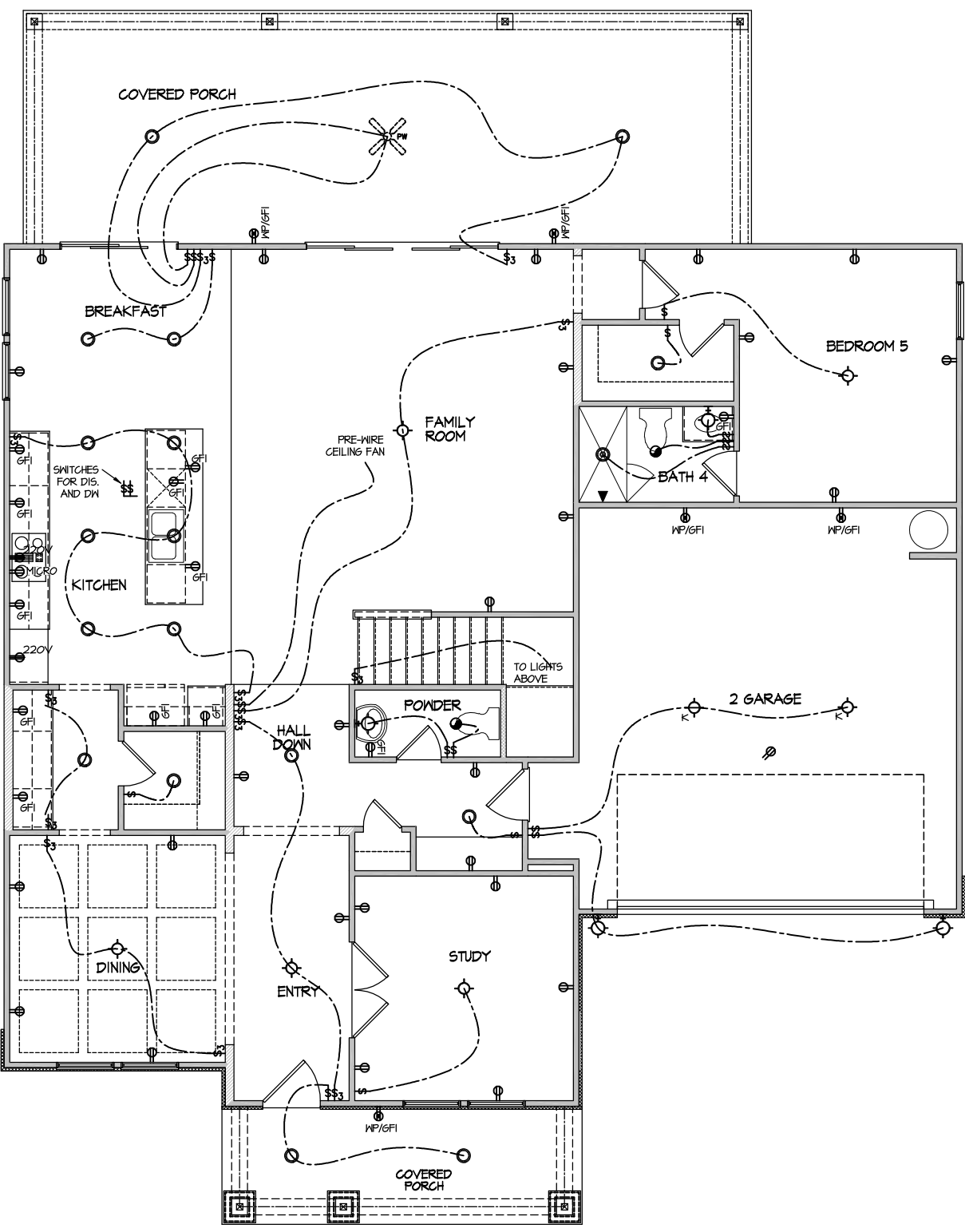
HOUSE NAME:
TOWNSEND
DRAWING TITLE
SECOND FLOOR PLAN

SHEET No.
A3.2

ELECTRICAL LEGEND

- ⊕ SINGLE POLE SWITCH
- ⊕₃ THREE WAY SWITCH
- ⊕₄ FOUR WAY SWITCH
- ⊕-⊕ DUPLEX AFCI RECEPTACLE
- ⊕-⊕ DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
- ⊕-⊕ DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
- 220V ⊕ RECEPTACLE - 220V
- GFI ⊕ DUPLEX AFCI RECEPTACLE - GFI
- WP/GFI ⊕ DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
- ⊕ SMOKE DETECTOR - WIRED IN SERIES
- ⊕ EXHAUST FAN MOTOR
- ⊕ TV JACK
- ⊕ TV JACK
- ⊕ CO / SMOKE DETECTOR
- ⊕ DOOR CHIME
- ⊕ LIGHT FIXTURE - WALL MOUNTED
- ⊕ LIGHT FIXTURE - CEILING MOUNTED
- ⊕ LIGHT FIXTURE - SURFACE MOUNTED LED
- ⊕ FULLCHAIN LAMPHOLDER
- ⊕ KEYLESS LAMPHOLDER
- ⊕ MOTION SENSOR FLOOD LIGHT

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



**ELECTRICAL PLAN
FIRST FLOOR - ELEV. 3**
SCALE: 1/8" = 1'-0"

FILE: Lot_00.0109.dwg DATE: 5/31/2024 5:00 PM

MASTER PLAN INFORMATION

REVISION	DATE	UPDATED DATE
1-RALE	12-11-2023	04-19-2024

DRAWN BY: ITS
DATE: 05/31/2024
PLAN NO. 3501



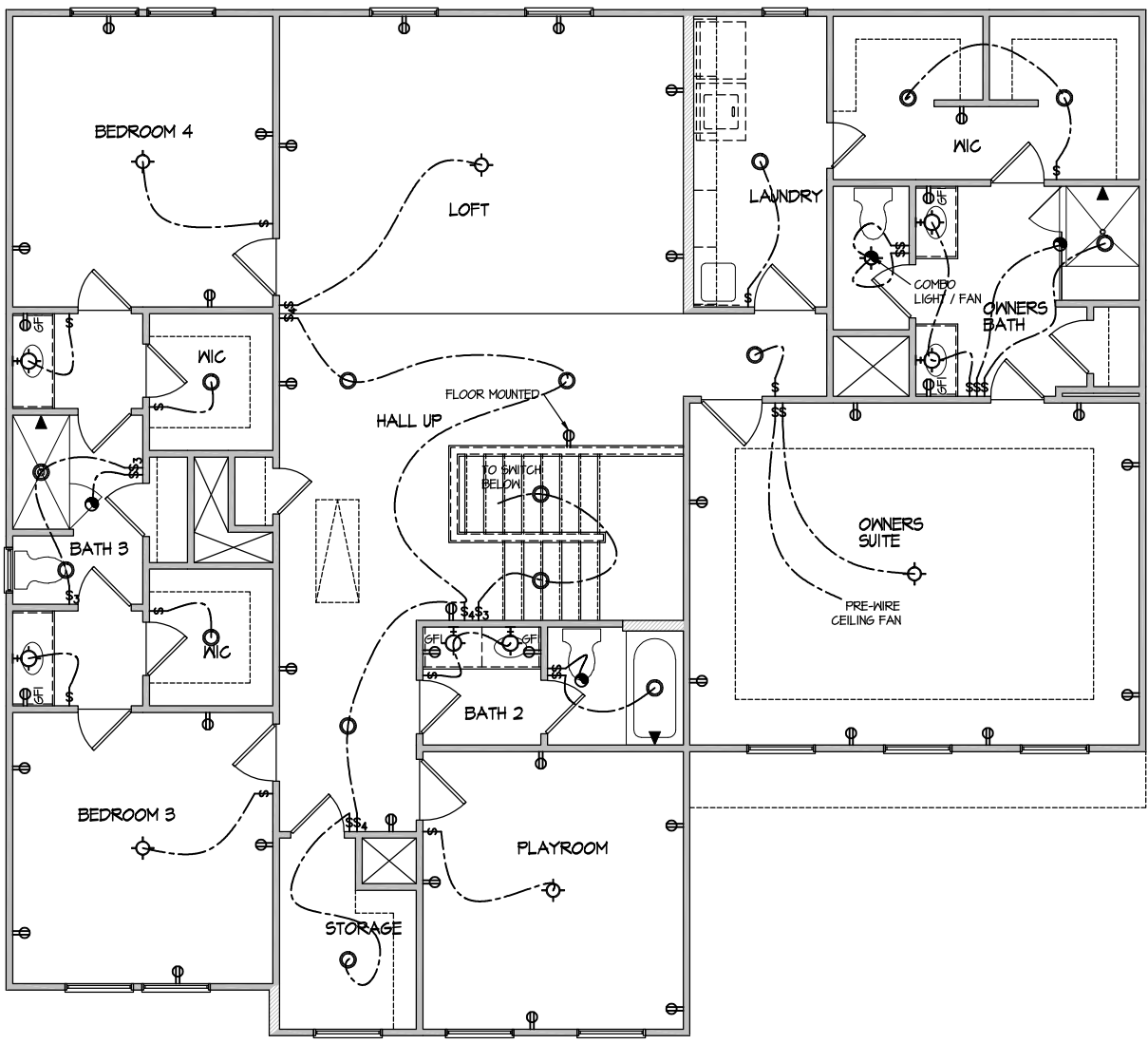
HOUSE NAME: TOWNSEND
DRAWING TITLE: FIRST FLOOR ELECTRICAL

SHEET No. 1

ELECTRICAL LEGEND

- ⊕ SINGLE POLE SWITCH
- ⊕₃ THREE WAY SWITCH
- ⊕₄ FOUR WAY SWITCH
- ⊕-⊕ DUPLEX AFCI RECEPTACLE
- ⊕-⊕₃ DUPLEX AFCI RECEPTACLE - BOTTOM HALF SWITCHED
- ⊕-⊕₄ DUPLEX AFCI RECEPTACLE - FLOOR MOUNTED
- 220V ⊕ RECEPTACLE - 220V
- GFI ⊕ DUPLEX AFCI RECEPTACLE - GFI
- WP/GFI ⊕ DUPLEX AFCI RECEPTACLE - WATERPROOF GFI
- ⊕-⊕ SMOKE DETECTOR - WIRED IN SERIES
- ⊕ EXHAUST FAN MOTOR
- TV JACK
- ⊕ TV JACK
- ⊕ CO / SMOKE DETECTOR
- ⊕ DOOR CHIME
- ⊕ LIGHT FIXTURE - WALL MOUNTED
- ⊕ LIGHT FIXTURE - CEILING MOUNTED
- ⊕ LIGHT FIXTURE - SURFACE MOUNTED LED
- ⊕_P FULLCHAIN LAMPHOLDER
- ⊕_K KEYLESS LAMPHOLDER
- ⊕ MOTION SENSOR FLOOD LIGHT

NOTE: ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND TO ALL APPLICABLE LOCAL REGULATIONS.



ELECTRICAL PLAN
SECOND FLOOR - ELEV. 3
 SCALE: 1/8" = 1'-0"

FILE: Lot_00.0109.dwg DATE: 5/31/2024 5:00 PM

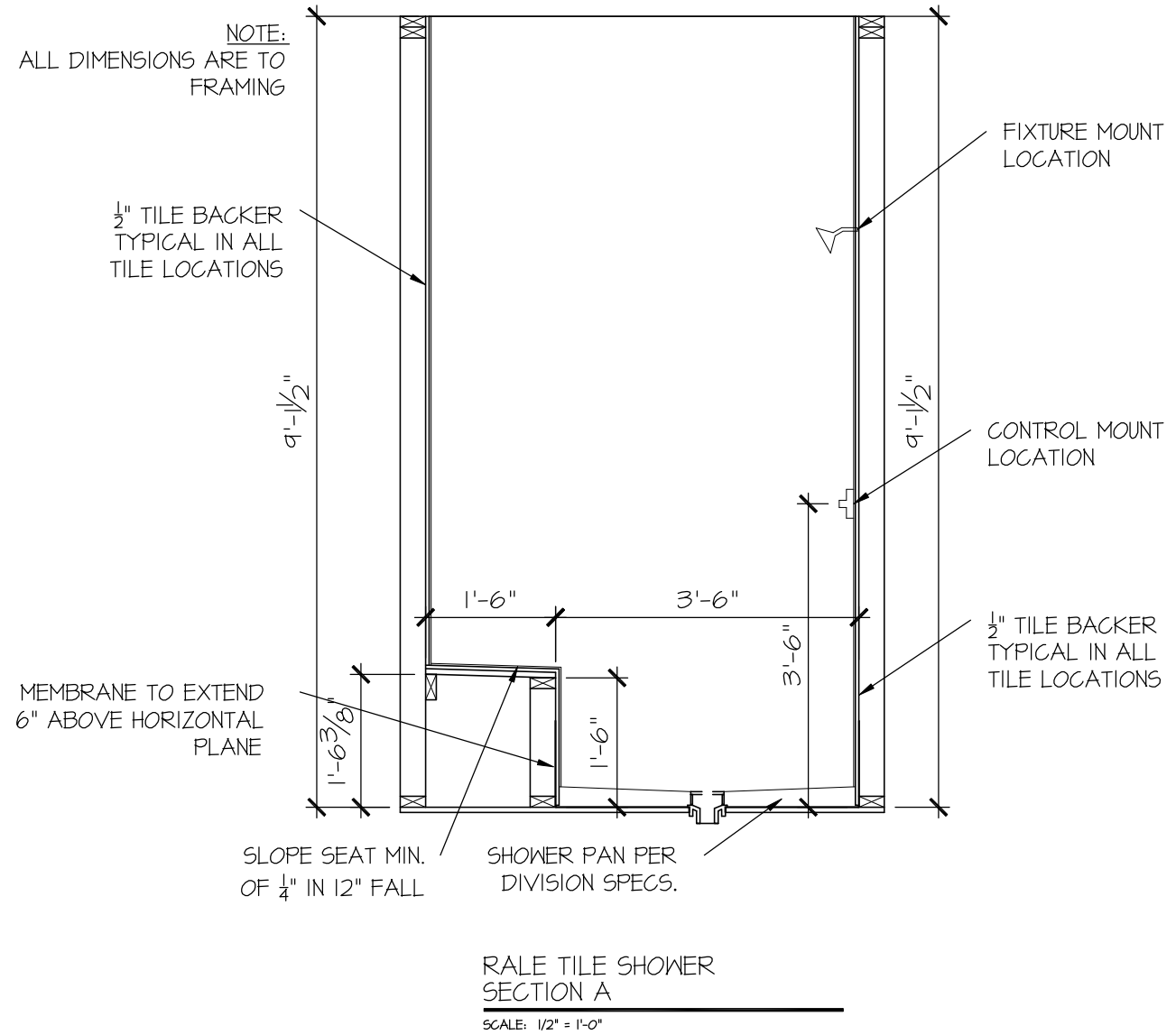
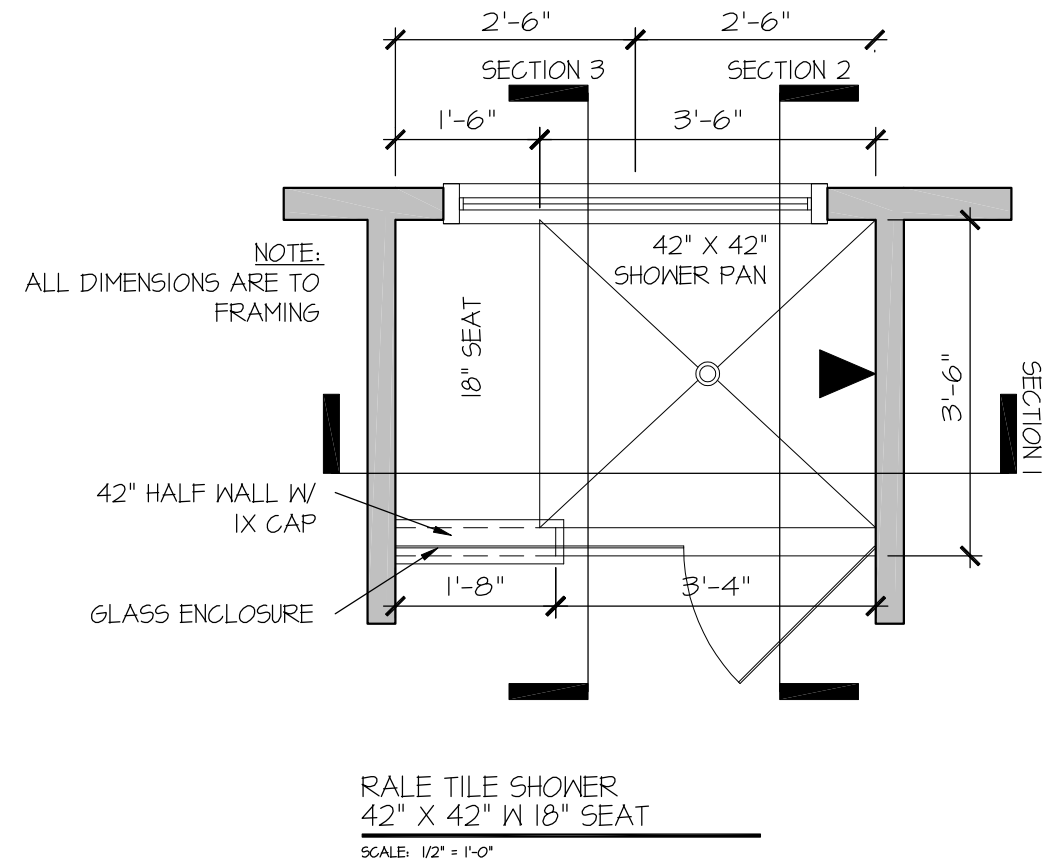
MASTER PLAN INFORMATION	
REVISION	DATE
1-RALE	12-11-2023
UPDATED DATE	04-19-2024

DRAWN BY:	ITS
DATE:	05/31/2024
PLAN NO.	3501



HOUSE NAME:	TOWNSEND
DRAWING TITLE	SECOND FLOOR ELECTRICAL

SHEET No.	1.2
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GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE, RESIDENTIAL CODE.
FOOTING DESIGN - 2,000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED.
FASTEN 2x4/6 SILL PLATES TO FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:
1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C., 1" MIN. EMBEDMENT (CONC.), 15" MIN. EMBEDMENT (CMU)
SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C. (CONC.)
SIMPSON MAB23 ANCHOR STRAPS @ 2'-8" O.C. (CMU)
(REFER TO DETAILS FOR 10' TALL WALL ANCHOR REQUIREMENTS)
ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR CMU SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
BASEMENT INTERIOR BEARING WALLS & EXTERIOR WALK-OUT BASEMENT WALLS SHALL BE 2x6 @ 16" O.C. SFP OR SYP, "STUD" GRADE OR BETTER.
CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, UNO.:
Fc = 4,000 psi. FOUNDATION WALLS
2,500 psi. FOOTINGS & INTERIOR SLABS ON GRADE
3,000 psi. GARAGE & EXTERIOR SLABS ON GRADE
fy = 60,000 psi
BASEMENT FOUNDATION WALL DESIGN BASED ON:
9' OR 10' HEIGHT (AS NOTED ON PLANS)
TALLER WALLS MUST BE ENGINEERED.
NOMINAL WIDTH (1/2") FOR 10" THICK WALL.
BASEMENT WALL DESIGN IS BASED ON 60 PCF BACKFILL SOIL TYPE CLASSIFICATIONS (SC, ML-CL, OR CL).
BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.
PROVIDE (2) #5 BARS AROUND ALL SIDES OF OPENINGS IN CONCRETE BMT. FND. WALL WITH 2" CLEAR. REINFORCEMENT SHALL EXTEND 12" PAST CORNER OF OPENING IN ALL DIRECTIONS.
FOR OPENINGS UP TO 36", PROVIDE MINIMUM 10" CONCRETE DEPTH OVER OPENING OR (3)2x10 W/ (2)2x6 JACK STUDS, UNO.
LARGER OPENINGS SHALL BE PER PLAN.
ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
ALL FOOTINGS SHALL BEAR AT LEAST 12" BELOW FINISH GRADE.
FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.
JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (1:1 RATIO), WITH A MAXIMUM OF 1:1.5 RATIO
CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL SLABS
CONCRETE MASONRY UNITS (CMU) SHALL BE ASTM C90 WITH A MIN. COMPRESSIVE STRENGTH OF 1900 psi (Fm=1500 psi). MORTAR SHALL BE ASTM C270, TYPE S. CMU DESIGN PER ACI 530 & 530J.
CMU FOUNDATION WALLS SHALL HAVE DUR-O-WALL' HORIZONTAL JOINT REINFORCEMENT (OR EQUAL) - 9 GA. MINIMUM @ 16" O.C.
PROVIDE 2x8 x 16" LONG P.T. PLATE ON TOP OF ALL CRAWL SPACE PIERS. ALL PIERS SHALL BE GROUTED SOLID.
PROVIDE 2x6 P.T. PLATE ON INTERIOR CRAWL SPACE WALLS, FASTENED PER ANCHORAGE SPECIFICATION NOTED ABOVE.
DIMENSIONS BY OTHERS, BUILDER TO VERIFY.
BUILDER TO VERIFY THAT MODEL HAS BEEN ADEQUATELY TREATED BY A LICENSED AND BONDED PEST CONTROL COMPANY FOR SUBTERRANEAN TERMITES. METHOD AND TYPE OF TREATMENT TO BE DETERMINED BY PEST CONTROL COMPANY.

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NORTH CAROLINA STATE BUILDING CODE, RESIDENTIAL CODE.
WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.
DESIGN LOADS:
ROOF DEAD = 7 PSF T.C., 10 PSF B.C.
LIVE = 16 PSF
LOAD DURATION FACTOR = 1.25
FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS)
DEAD = 10 PSF (1-JOISTS & SOLID SAMN)
10 PSF T.C., 5 PSF B.C. (TRUSSES)
(ADD'L 10 PSF @ TILE)
LATERAL 120 MPH, EXPOSURE B. SEISMIC A/B.
SOIL 2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
REFER TO FASTENING SCHEDULE TABLE R602.3(1) FOR ALL CONNECTIONS, TYP. UNO.
EXT. & INT. BRG WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SFP OR SYP "STUD" GRADE LUMBER, OR BETTER, UNO.
WALLS OVER 12' TALL SHALL BE PER PLAN.
ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SYP) LUMBER, OR BETTER (KILN-DRIED). ALL HEADERS HAVE BEEN DESIGNED BASED ON CALCULATED LOADS & SIZED ACCORDINGLY. CODE TABLES HAVE NOT BEEN USED.
ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x "STUD" GRADE MEMBERS SPACED @ 16" O.C. (MAX. UNO.)
HEADERS IN NON-LOAD BEARING WALLS SHALL BE:
(1)2x4/6 FLAT @ OPENINGS UP TO 4'; (2)2x4/6 FLAT UP TO 8'.
ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:
L5L' - Fb=2325 psi; Fv=310 psi; E=1.55x10^6 psi
LVL' - Fb=2600 psi; Fv=285 psi; E=2.0x10^6 psi
PSL' - Fb=2900 psi; Fv=290 psi; E=2.0x10^6 psi
M&K SHALL BE FULLY INDEMNIFIED FOR ANY AND ALL ISSUES RESULTING FROM OR RELATED TO ANY BUILDING COMPONENT IF THE OWNER DOES NOT SUBMIT THE COMPONENT SHOP DRAWINGS TO M&K FOR STRUCTURAL REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.
FOR 2 & 3 PLY BEAMS OF EQUAL WIDTH, FASTEN PLYS TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS 1/2"x3/8" SIMPSON SDS SCREWS (OR 3/8" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 3 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3/8" OR 5/4" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
FOR 4 PLY BEAMS OF EQUAL WIDTH, FASTEN PLYS TOGETHER WITH 3 ROWS OF 1/2"x6" SIMPSON SDS SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE. A SOLID 7" BEAM IS ACCEPTABLE.
ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD @ (1)2x KING STUD, MINIMUM.
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, UNO.
ALL MULTI-PLY STUDS TO BE FASTENED TOGETHER W/ 3"x0.131" NAILS @ 24" O.C. (MIN), EACH PLY.
PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND/BEARING. BLOCKING TO MATCH POST ABOVE.
FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS WITH P.A.F.'s (HILT' X-CF PINS OR EQUAL) @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C. STAGGERED.
ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE SIMPSON BC52-2/4 CAP & ABM44Z BASE, UNO.

FLOOR FRAMING

- 1-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES MARBLE FLOORS - CONTACT MKK FOR MARBLE FLOOR DESIGNS)
AT 1-JOIST FLOORS, PROVIDE 1 1/8" MIN. OSB RIM BOARD.
METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, UNO.

- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-1-FLOOR' 24" O.C. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND
2 1/2" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES @ 12" O.C. FIELD.
2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES @ 8" O.C. FIELD.
2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES @ 6" O.C. IN FIELD.
6 x 2" MIN. SCREWS @ 6" O.C. @ PANEL EDGES @ 12" O.C. FIELD.

ROOF FRAMING

- BAY WINDOWS & SHED ROOFS (UP TO 6' SPAN) CAN BE 2x4 OR 2x6 RAFTERS & CEILING JOISTS @ 16/24" O.C.

- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ SIMPSON H25T CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) H25T CLIPS AT 2-PLY GIRDER TRUSSES, (3) H25T CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.

- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, UNO.

- ERECT AND INSTALL ROOF TRUSSES PER MTGA & TPI'S BCSI 1-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."

- SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (MAX 1' SPAN) W/ 2x4 LEDGER FASTENED TO:
RIM BOARD W/ (2) 3"x0.131" NAILS @ 16" O.C. MAX. (1-JOISTS)
TRUSS VERTICALS W/ (3) 3"x0.131" NAILS @ 12" O.C. MAX. (FLOOR TRUSSES)

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
W/ 2 1/2" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES @ 12" O.C. FIELD.
W/ 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES @ 8" O.C. FIELD.
W/ 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES @ 6" O.C. FIELD.

HOLD-DOWN SCHEDULE

Table with 2 columns: SYMBOL, SPECIFICATION. Includes HR-1, HD-2, HD-3.

ALTERNATIVE TO S5TB24 ANCHOR BOLT SPECIFICATION:
UTILIZE SIMPSON "SET" EPOXY SYSTEM TO FASTEN 3/8" DIA. THREADED ROD INTO CONCRETE FOUNDATION. PROVIDE 12" MIN. EMBEDMENT INTO CONCRETE. INSTALL PER MANUF. RECOMMENDATIONS. DO NOT LOCATE ANCHORS WITHIN 1 3/4" @ EDGE OF FOUNDATION.

LEGEND

- INTERIOR BEARING WALL
BEARING WALL ABOVE
BEAM / HEADER
INDICATES SHEAR WALL @ EXTENT
EXTENT OF OVERFRAMING
METAL HANGER
INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

NON-BEARING HEADER SCHEDULE

Table with 3 columns: SPAN, 2x4 NON-BEARING PARTITION WALL, 2x6 NON-BEARING PARTITION WALL. Includes UP TO 3'-0", UP TO 6'-0", UP TO 8'-0".

NOTES:
ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x "STUD" GRADE MEMBERS SPACED @ 24" O.C. (MAX)

LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:
120 MPH WIND IN 2018 NCSBGC:RC
(120 MPH WIND SPEED IN ASCE 7-10 WIND MAP, PER IRC R301.2.1.1)
EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 IBC (SECTION 1609) & ASCE 7-10, AS PERMITTED BY R301.3 OF THE 2018 NCSBGC:RC, OR THE SIMPLIFIED PRESCRIPTIVE PROCEDURE IN ACCORDANCE WITH THE 2015 IRC IF THE PARAMETERS OF SECTION R602.12 COMPLY. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7-10 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBGC:RC SECTION R802.11.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 & R802.11.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
FASTEN SHEATHING W/ 2 3/8" x 0.113" NAILS @ 6" O.C. AT EDGES @ 12" O.C. IN THE PANEL FIELD. TYP. UNO.
HORIZONTAL BLOCKING OF EXT. WALL/SHEAR WALL PANEL EDGES IS NOT REQUIRED BY THIS DESIGN EXCEPT FOR THOSE AREAS SPECIFICALLY NOTED.
ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
ALT. STAPLE CONNECTION SPEC: 1 1/2" 16 GA STAPLES (1/8" CROWN) @ 3" O.C. AT EDGES @ 6" O.C. IN FIELD.

BLOCKED PANEL EDGES

- AT DESIGNATED AREAS - FASTEN SHEATHING W/ 2 3/8" x 0.113" NAILS @ 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN THE PANEL FIELD OR 1 3/4" 16 GA STAPLES (1/8" CROWN) @ 3" O.C. AT EDGES @ 6" O.C. IN FIELD. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENINGS.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W/ 8d NAILS @ 3" O.C. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED AND INSTALLED FULL HEIGHT OF SHEAR WALL OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES & 3" O.C. EDGE FASTENINGS.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, UNO.
ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORINGS, SHEETING, TEMPORARY BRACINGS, GUTS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO, FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

- ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN.
TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSH BEAMS DO NOT EXCEED THE FOLLOWING:
A. ROOF TRUSSES:
1/4" DEAD LOAD
B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:
1/8" DEAD LOAD
C. FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS:
LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD. (NOT DIFFERENTIAL DEFLECTION)

VENEER LINTEL SCHEDULE

Table with 3 columns: SPAN (MAX), HEIGHT OF VENEER ABOVE LINTEL, STEEL ANGLE SIZE. Includes 3'-0", 6'-0", 8'-0", 9'-6", 16'-0".

ALL LINTELS:
SHALL SUPPORT 2 3/4" x 5 1/2" VENEER W/ 40 psf MAXIMUM HEIGHT
16" SHALL HAVE 4" MIN BEARING
18" SHALL HAVE 6" MIN BEARING
10" SHALL NOT BE FASTENED BACK TO HEADER.
16" SHALL BE FASTENED BACK TO WOOD HEADER IN WALL @ 48" O.C. W/ 1/2" DIA. x 3 1/2" LONG LAG SCREWS IN 2" LONG VERTICALLY SLOTTED HOLES
MAX VENEER HT. APPLIES TO ANY PORTION OF BRG OVER THE OPENING
ALL LINTELS SHALL BE LONG LEG VERTICAL.
WHEN SUPPORTING VENEER < 3" WIDE THE EXTERIOR TCE OF THE HORIZONTAL LEG MAY BE CUT IN THE FIELD TO BE 5/8" WIDE OVER THE BEARING LENGTH ONLY. THIS IS TO ALLOW FOR MORTAR JOINT FINISHING.
SEE STRUCTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE ABOVE PARAMETERS
FOR GREEN VENEER USE L4x4x1/2"
FOR 3/2" VENEER ONLY SEE PLAN FOR VENEER SUPPORT IF VENEER < 3/2" THICK.

SD2.1 REFERS TO SD2.1A FOR LVL/PSL/LSL BEAMS OR SD2.1B FOR FLITCH BEAMS OR SD2.1C FOR STEEL BEAMS

ENGINEERED BEAM MATERIAL SCHEDULE

Table with 6 columns: BEAM NUMBER, LVL OPTION, PSL OPTION, LSL OPTION, FLITCH OPTION, STEEL OPTION. Includes rows 001 through 020.

- BEAM NOTATION:
"FT" INDICATES FLUSH BEAM
"FT" INDICATES FLUSH TOP BEAM
"FB" INDICATES FLUSH BOTTOM BEAM
"D" INDICATES DROPPED BEAM
"H" INDICATES DROPPED OPENING HEADER
REFER TO DETAIL D/SD2.0 FOR TYPICAL FLITCH BEAM CONNECTIONS
REFER TO DETAIL E/SD2.0 FOR TYPICAL STEEL BEAM CONNECTIONS
FOR FLUSH TOP BEAMS PROVIDE 2x STACKED PLATES BENEATH BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.
FOR FLUSH BOTTOM BEAMS PROVIDE 2x STACKED PLATES ATOP BEAM AS REQ'D. FASTEN PLATES IN SUCCESSION W/ (2) 3"x0.120" NAILS @ 8" O.C.

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

Table with 3 columns: DESCRIPTION OF BLDG. ELEMENT, 3"x0.131" NAILS, 3"x0.120" NAILS. Includes JOIST TO SOLE PLATE, SOLE PLATE TO JOIST/BLK'G, STUD TO SOLE PLATE, TOP OR SOLE PLATE TO STUD, RIM TO TOP PLATE, BLK'G. BTWN. JOISTS TO TOP PL., DOUBLE STUD, DOUBLE TOP PLATE, DOUBLE TOP PLATE LAP SPLICE, TOP PLATE LAP @ CORNERS & INTERSECTING WALLS.

* 3/8"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE * ARE SHOWN)



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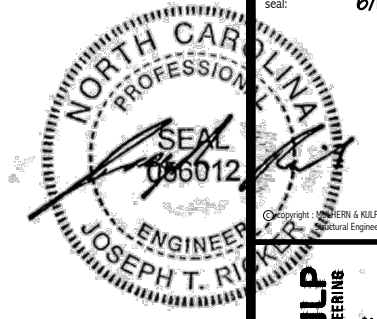


M&K project number: 126-23061
project mgr: JTR
drawn by: GTK
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STRUCTURAL NOTES
BLAKE POND COMMUNITY
LOT 109 - TOWNSEND 3
RALEIGH, NC

sheet: S0.0



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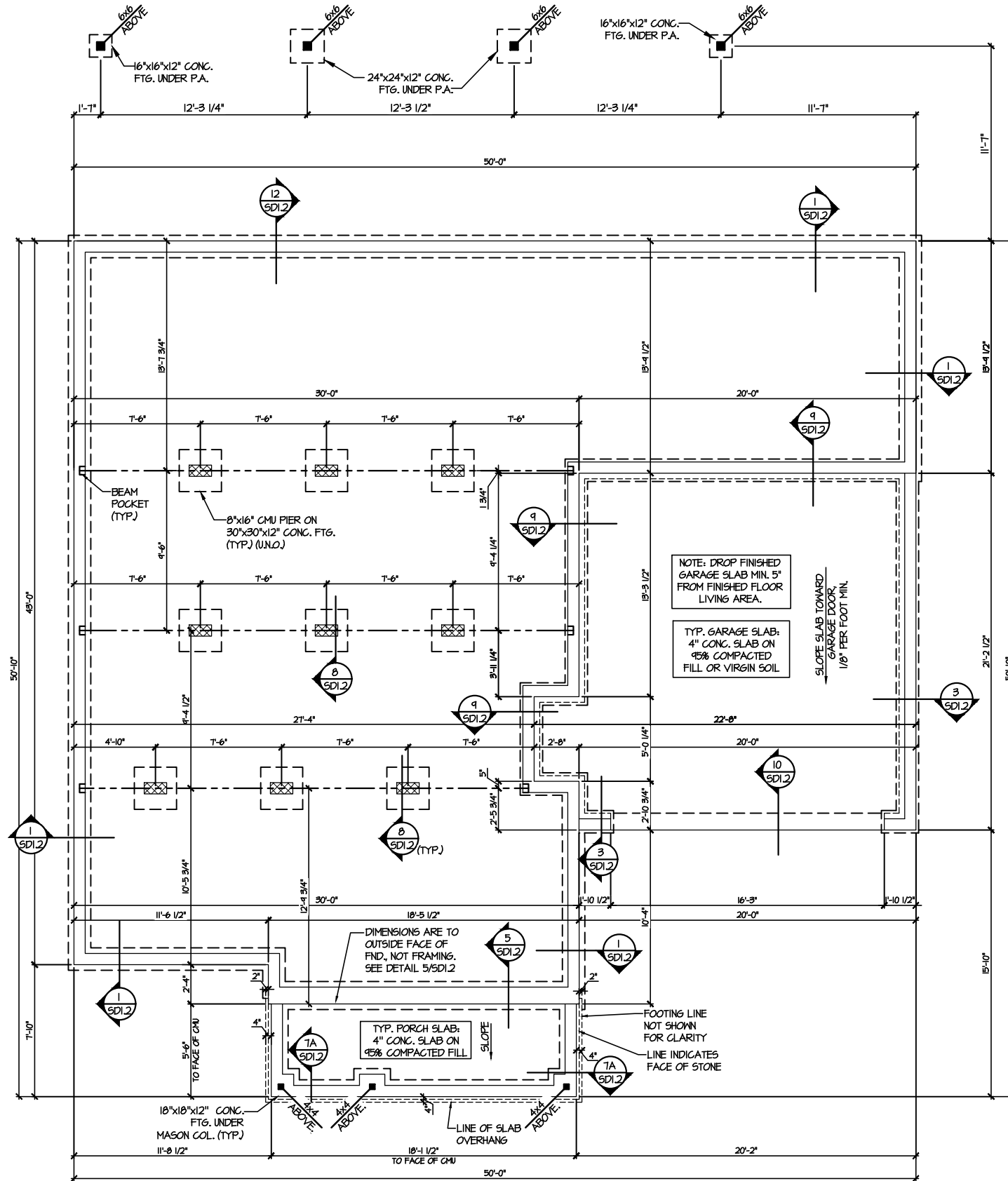
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FOUNDATION PLANS
BLAKE POND COMMUNITY
LOT 109 - TOWNSEND 3
RALEIGH, NC

sheet:
S1.0



NOTE: DROP FINISHED GARAGE SLAB MIN. 5" FROM FINISHED FLOOR LIVING AREA.
TYP. GARAGE SLAB: 4" CONC. SLAB ON 95% COMPACTED FILL OR VIRGIN SOIL.
SLOPE SLAB TOWARD GARAGE DOOR 1/8" PER FOOT MIN.

DIMENSIONS ARE TO OUTSIDE FACE OF FND, NOT FRAMING. SEE DETAIL 5/SO1.2

TYP. PORCH SLAB: 4" CONC. SLAB ON 95% COMPACTED FILL

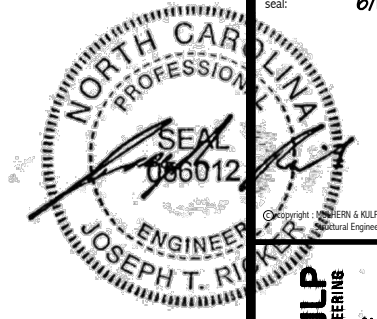
FOOTING LINE NOT SHOWN FOR CLARITY
LINE INDICATES FACE OF STONE

1 CRAWL SPACE FOUNDATION PLAN
SCALE: 1/8"=1'-0"

LEGEND

- Interior bearing wall
- Bearing wall above
- Beam / header
- Indicates shear wall & extent
- Extent of overframing
- J.L. METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO 50.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES



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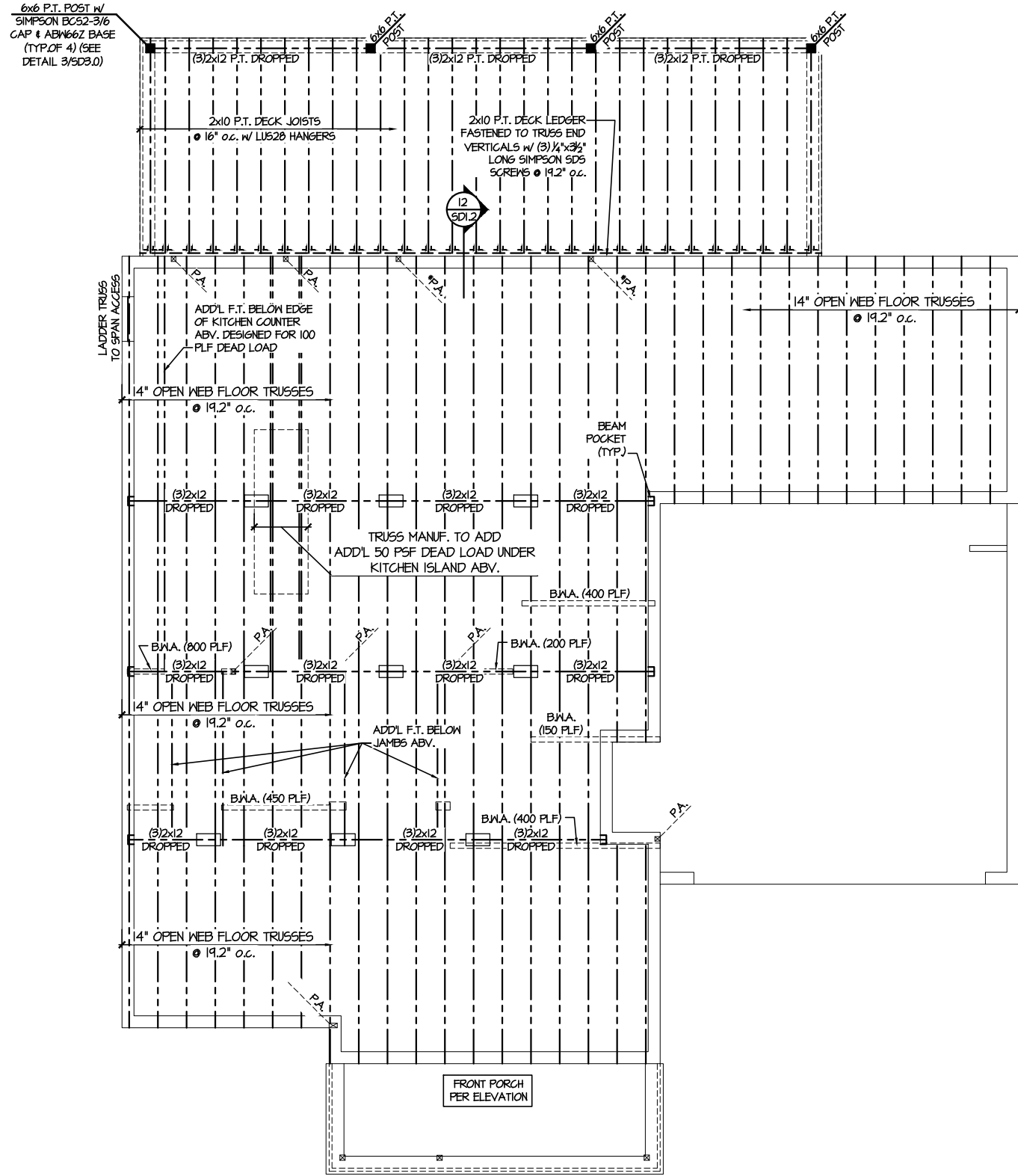
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FLOOR FRAMING PLANS
BLAKE POND COMMUNITY
LOT 109 - TOWNSEND 3
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sheet:
S2.0

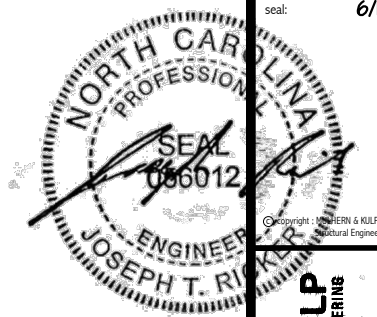


SEE 50.0 FOR BEAM SCHEDULE

LEGEND	
	INTERIOR BEARING WALL
	BEARING WALL ABOVE
	BEAM / HEADER
	INDICATES SHEAR WALL & EXTENT
	EXTENT OF OVERFRAMING
	HL METAL HANGER
	* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
	▶ INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO 50.0 FOR
TYPICAL STRUCTURAL NOTES
& SCHEDULES

1 1ST FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"



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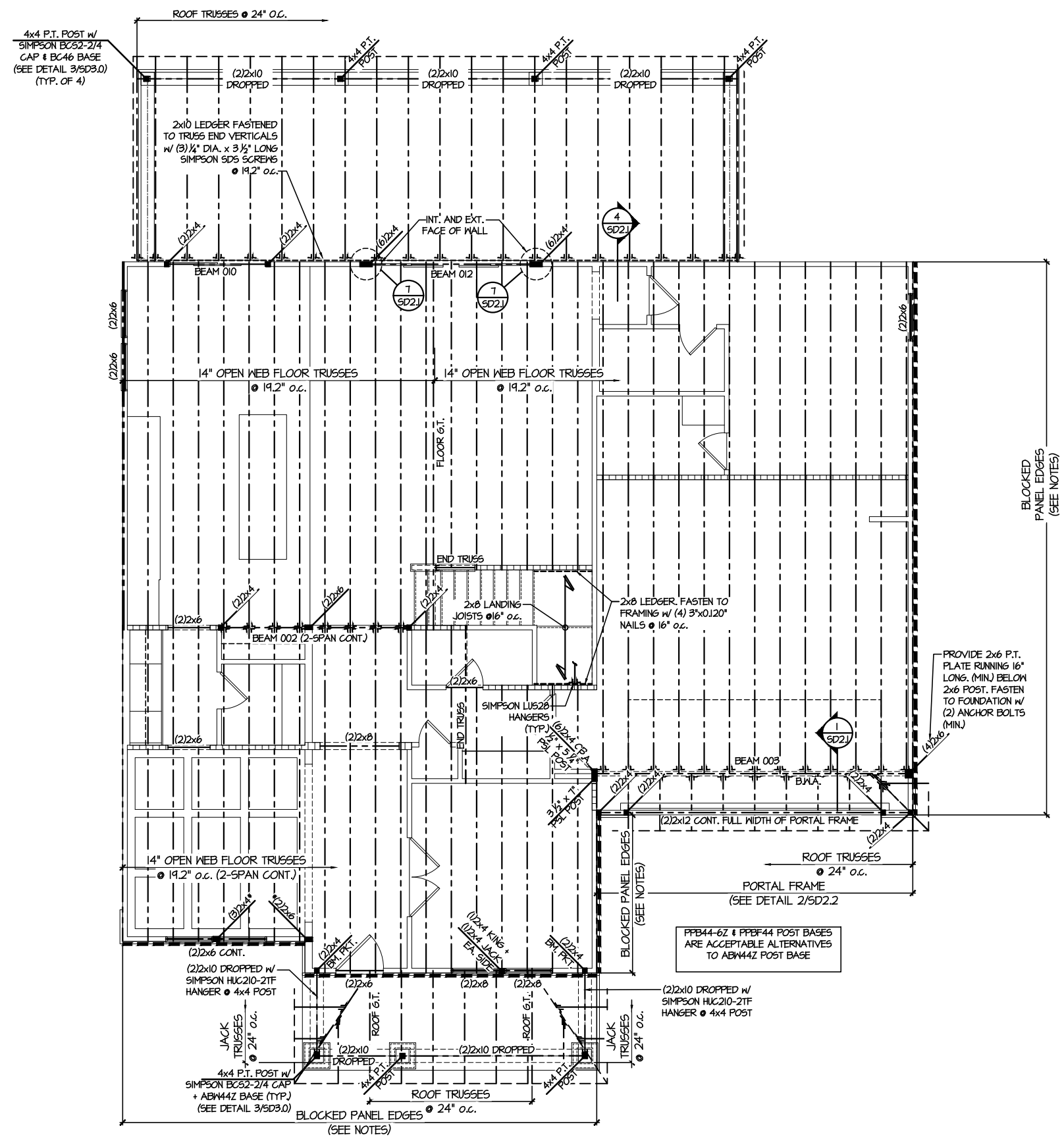
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FLOOR FRAMING PLANS
BLAKE POND COMMUNITY
LOT 109 - TOWNSEND 3
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sheet:
S3.0



2ND FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"

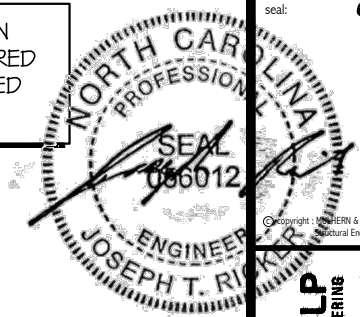
SEE 50.0 FOR BEAM SCHEDULE

SD2.1 REFERS TO SD2.1A FOR LVL/PSL/LSL BEAMS OR SD2.1B FOR FLITCH BEAMS OR SD2.1C FOR STEEL BEAMS

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- INDICATES SHEAR WALL & EXTENT
- EXTENT OF OVERFRAMING
- L METAL HANGER
- INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLD-DOWN OR STRAP. REFER TO SCHEDULE.

REFER TO 50.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES



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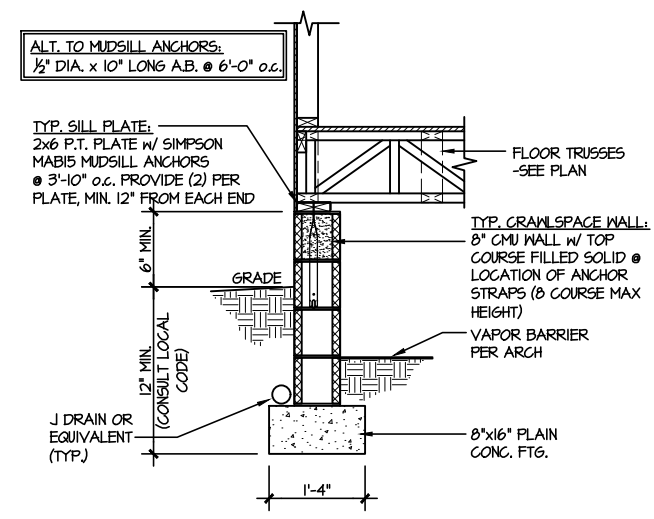
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LOT 109 - TOWNSEND 3
RALEIGH, NC

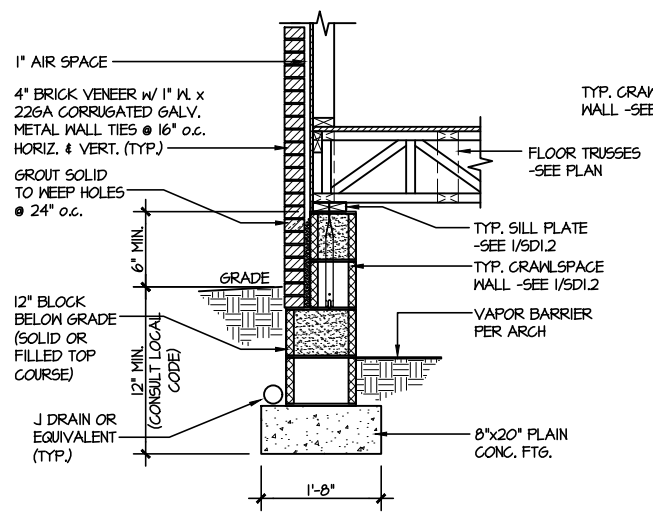
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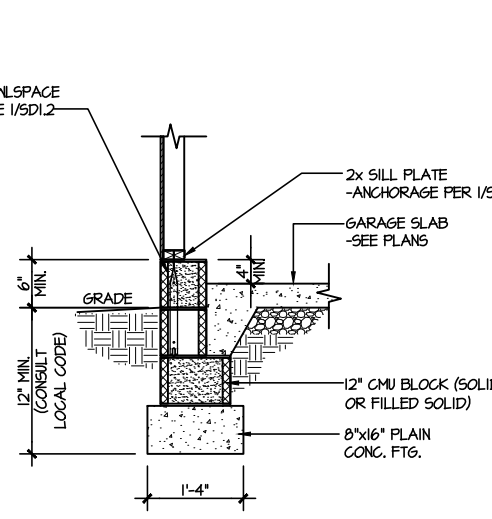
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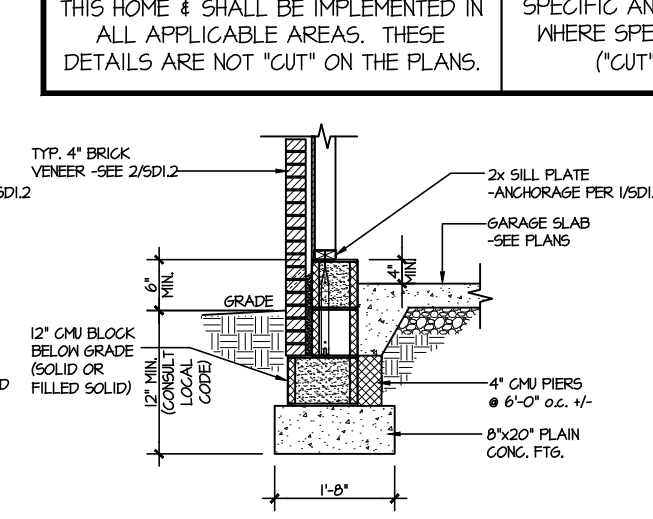
1 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/8"=1'-0"



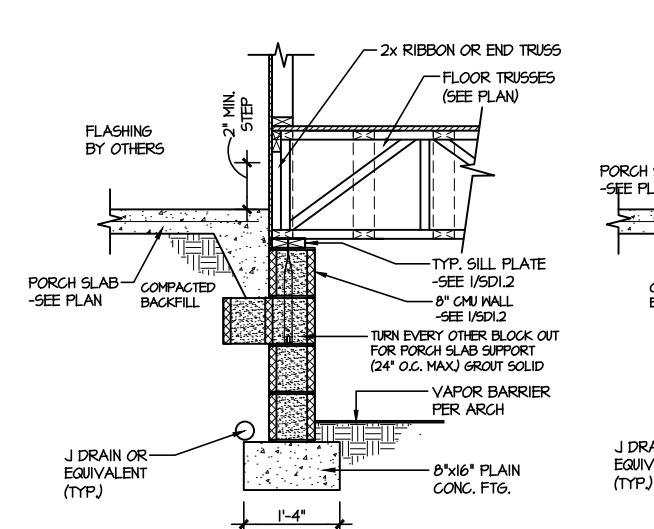
2 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/8"=1'-0" w/ BRICK VENEER



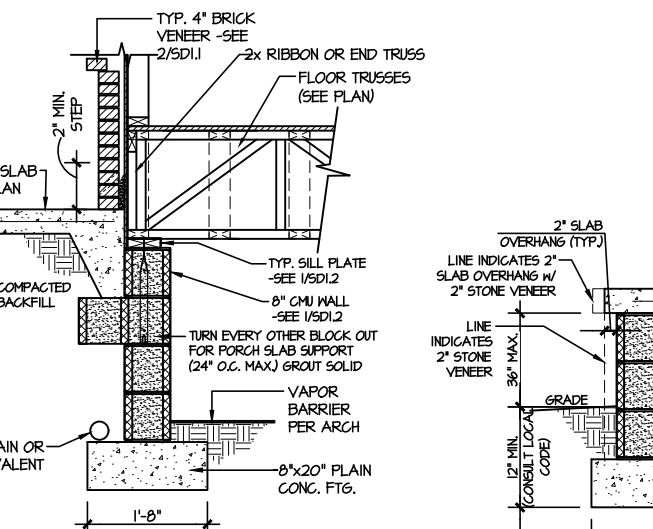
3 TYPICAL GARAGE FOUNDATION
SCALE: 3/8"=1'-0"



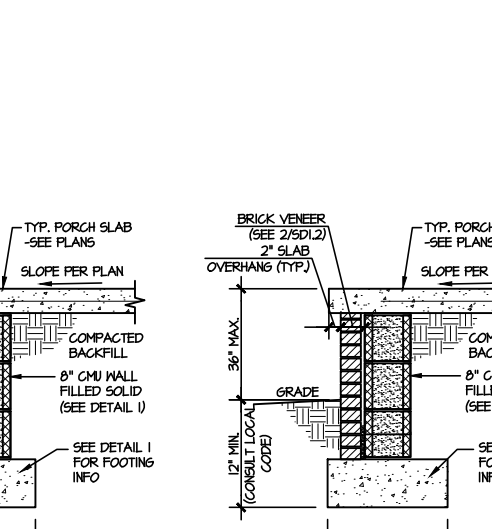
4 TYPICAL GARAGE FOUNDATION
SCALE: 3/8"=1'-0" w/ BRICK VENEER



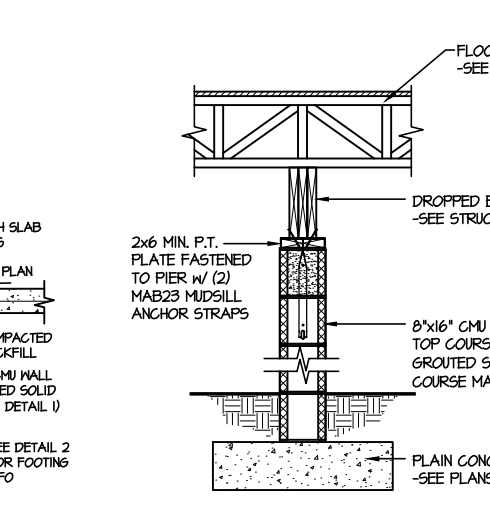
5 TYPICAL CRAWLSPACE FOUNDATION @ PORCH/PATIO SLAB
SCALE: 3/8"=1'-0"
(REFER TO DETAIL 12 FOR WOOD PORCH OPTION)



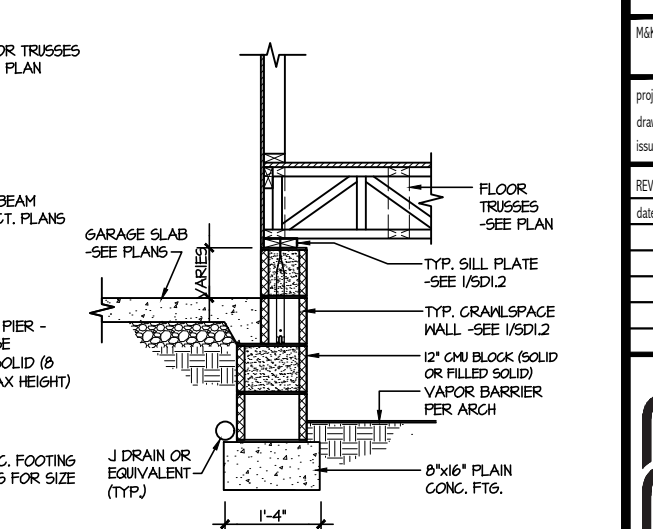
6 TYPICAL CRAWLSPACE FOUNDATION @ PORCH/PATIO SLAB
SCALE: 3/8"=1'-0" w/ BRICK VENEER



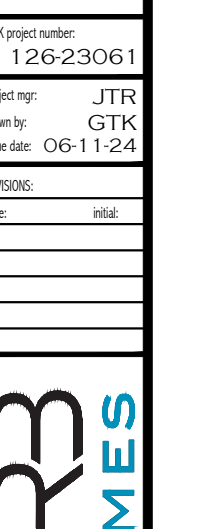
7A TYP. FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0"



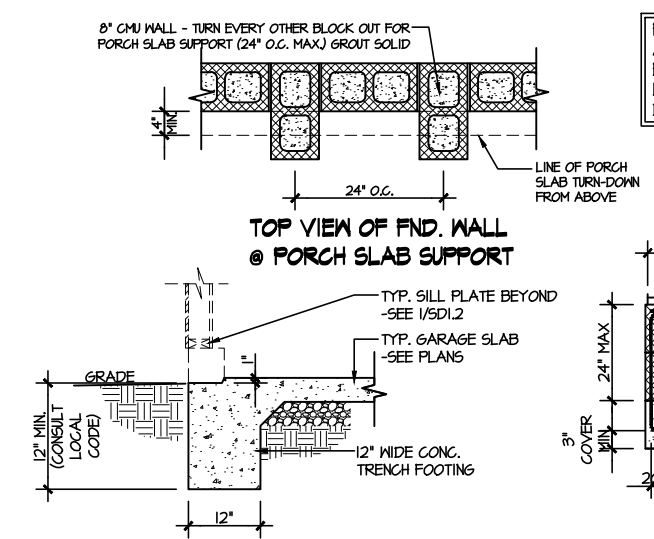
7B TYP. FOOTING @ PORCH SLAB
SCALE: 3/8"=1'-0" w/ BRICK VENEER



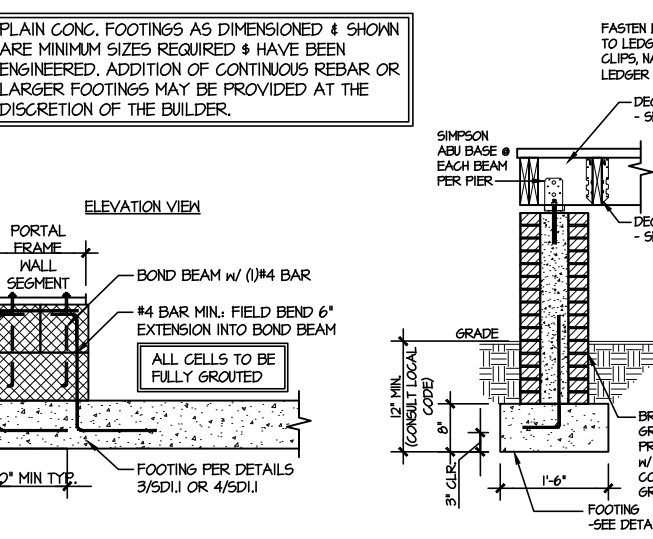
8 TYPICAL CRAWLSPACE FND. @ INTERIOR PIER
SCALE: 3/8"=1'-0"



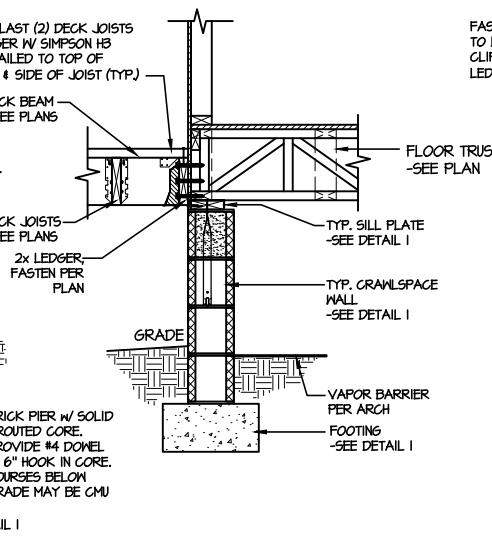
9 TYPICAL CRAWLSPACE FOUNDATION @ GARAGE
SCALE: 3/8"=1'-0"



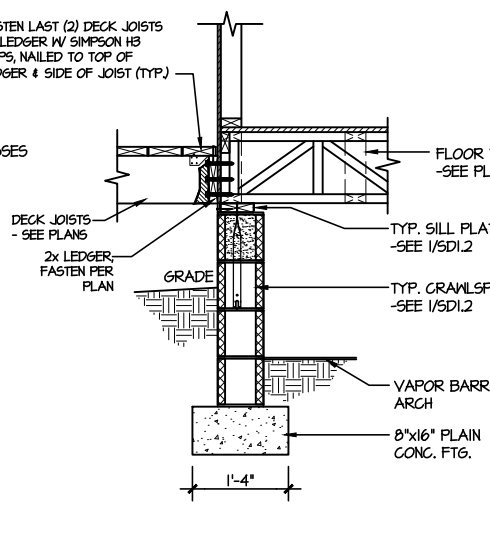
10 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING
SCALE: 3/8"=1'-0"



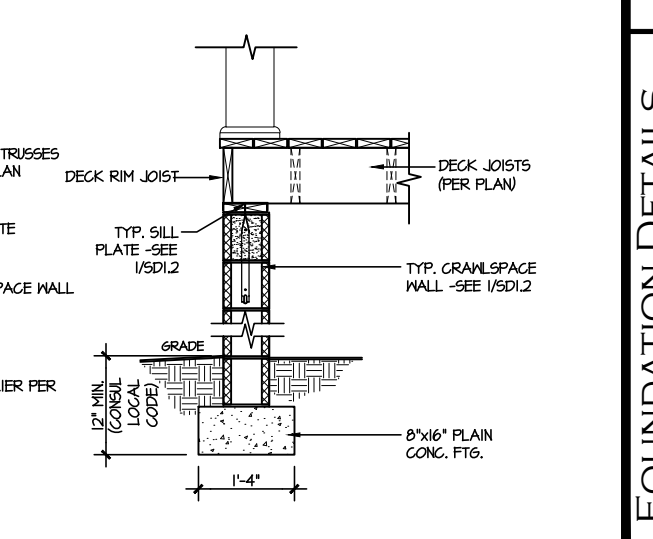
A GARAGE PORTAL FRAME STEM WALL REINFORCEMENT
SCALE: 3/8"=1'-0"



11 TYPICAL CRAWLSPACE FOUNDATION @ WOOD PORCH/DECK w/ PIERS
SCALE: 3/8"=1'-0"

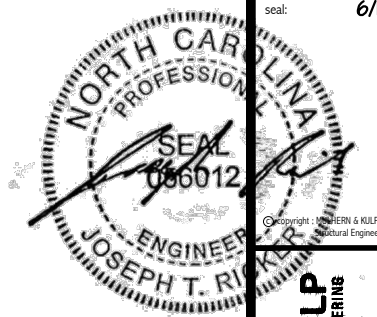


12 TYPICAL CRAWLSPACE FOUNDATION @ WOOD PORCH/DECK
SCALE: 3/8"=1'-0"



13 TYPICAL CRAWLSPACE FOUNDATION @ WOOD PORCH/DECK PERIMETER
SCALE: 3/8"=1'-0"

PLAIN CONC. FOOTINGS AS DIMENSIONED & SHOWN ARE MINIMUM SIZES REQUIRED & HAVE BEEN ENGINEERED. ADDITION OF CONTINUOUS REBAR OR LARGER FOOTINGS MAY BE PROVIDED AT THE DISCRETION OF THE BUILDER.



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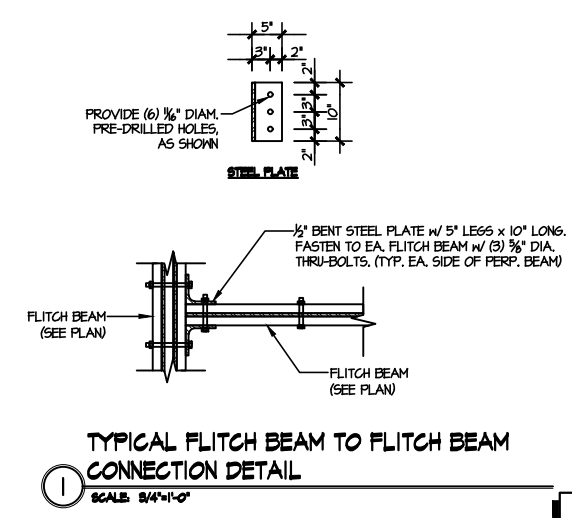
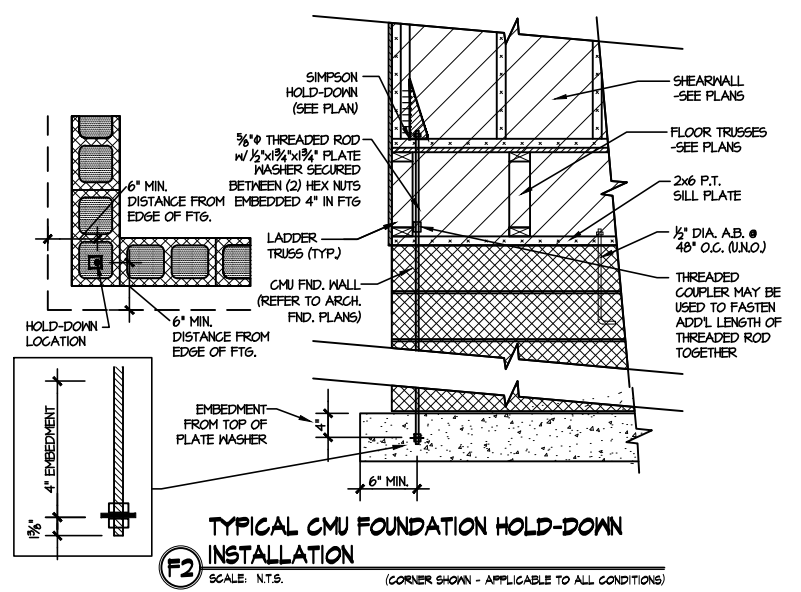
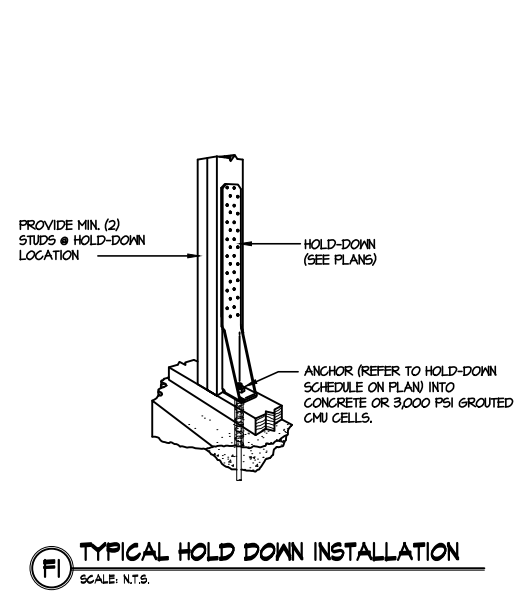
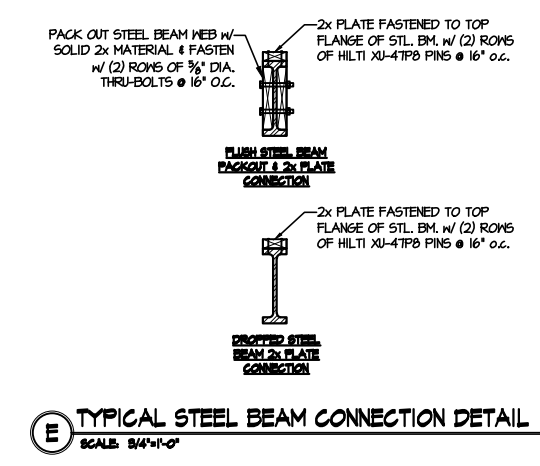
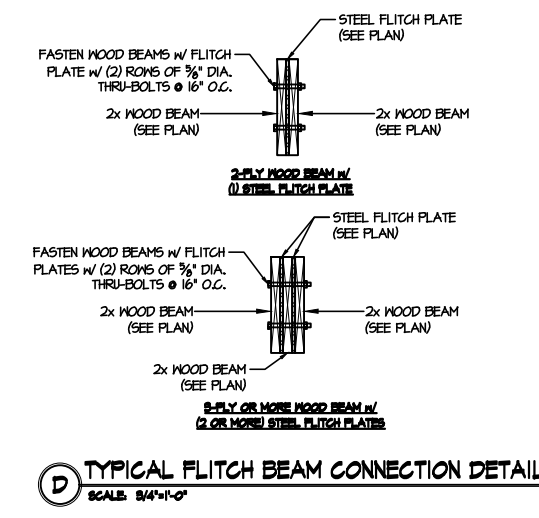
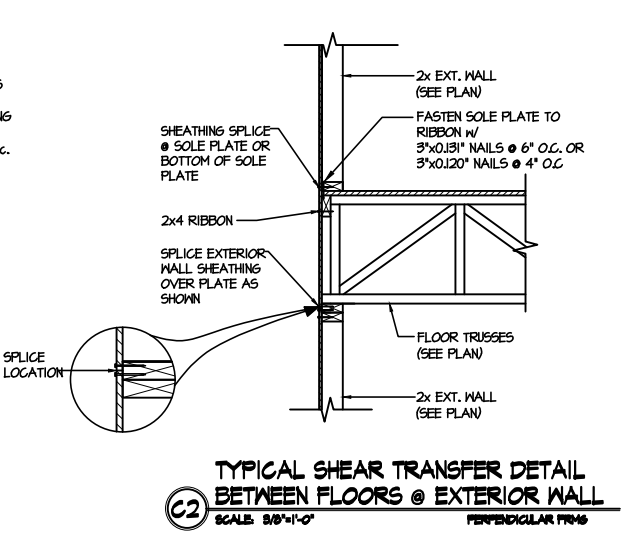
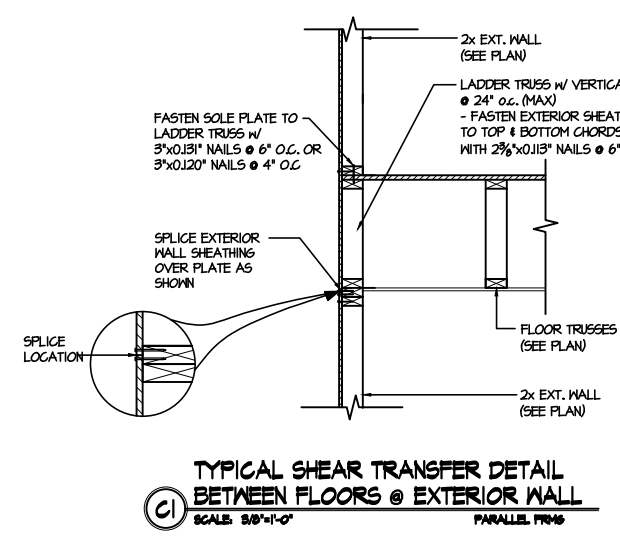
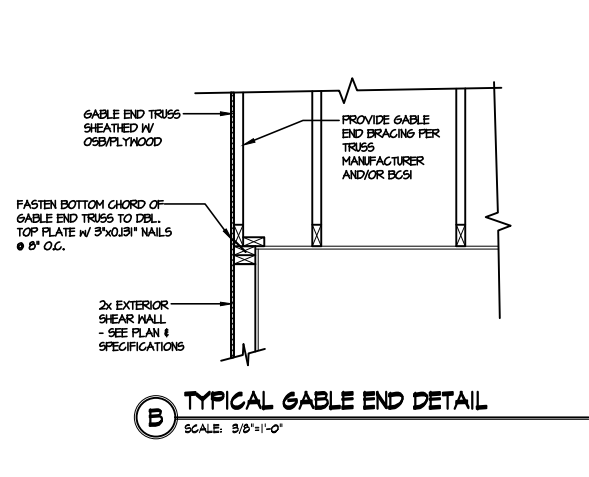
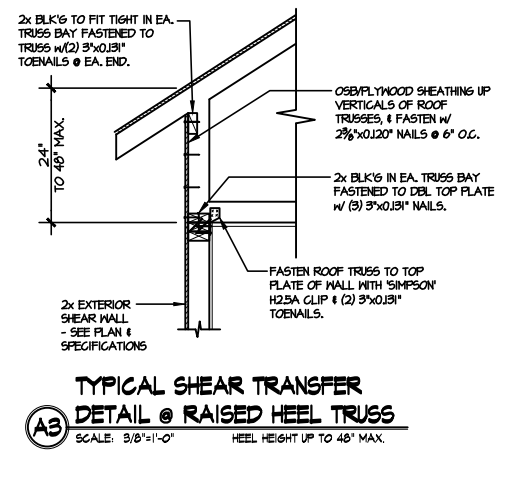
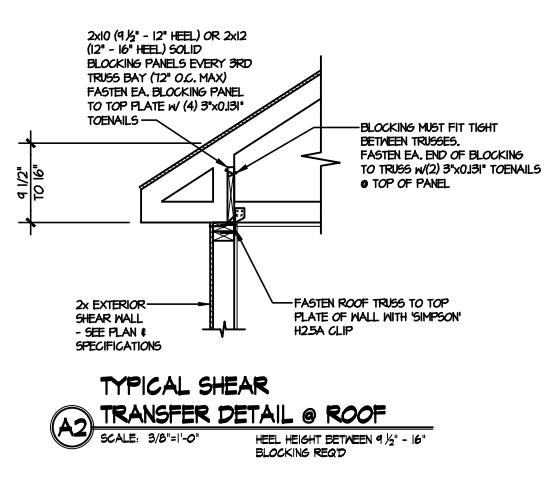
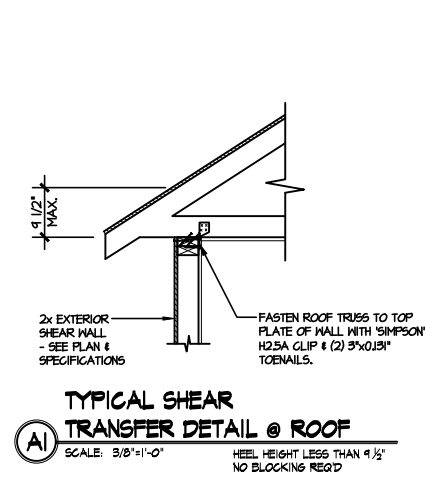
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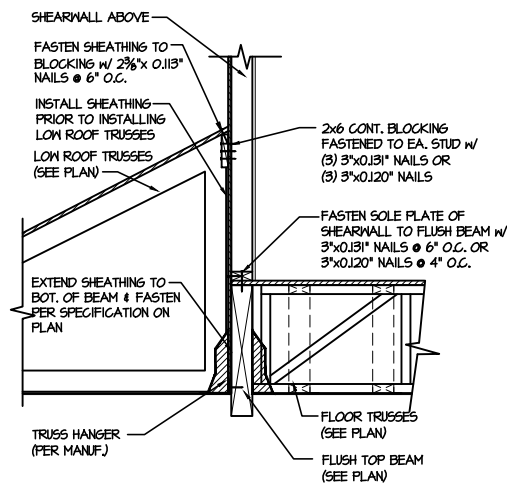
FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 109 - TOWNSEND 3
RALEIGH, NC

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SD2.0

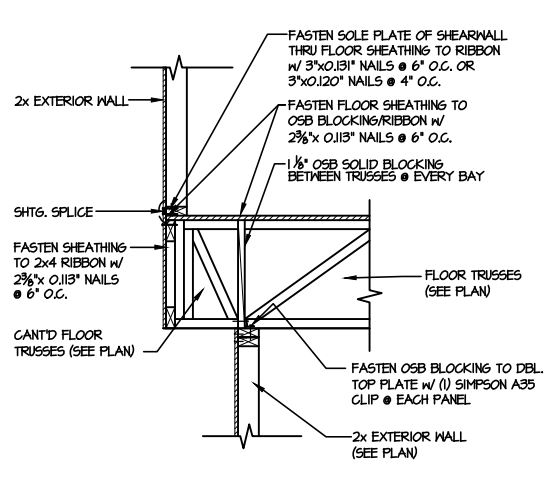


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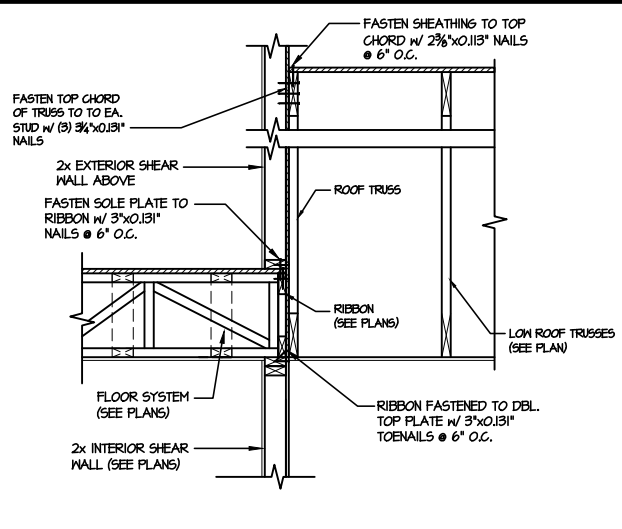
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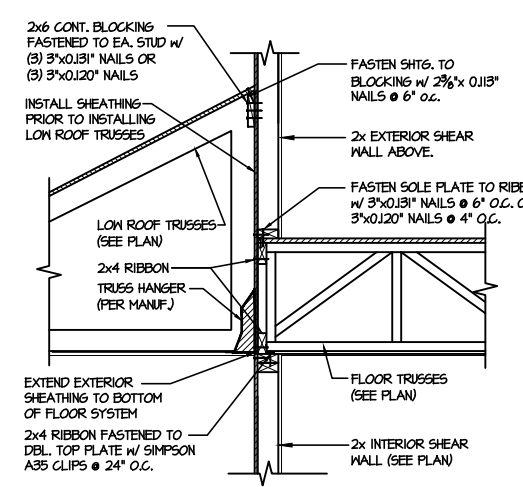
1 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



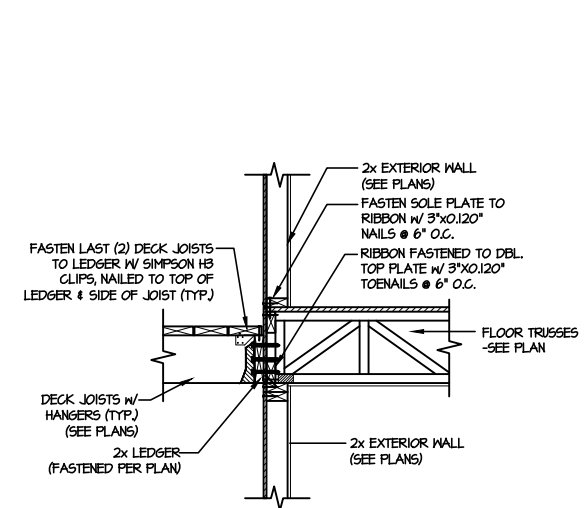
2 SHEAR TRANSFER DETAIL BETWEEN FLOORS @ CANT'D EXT. WALL



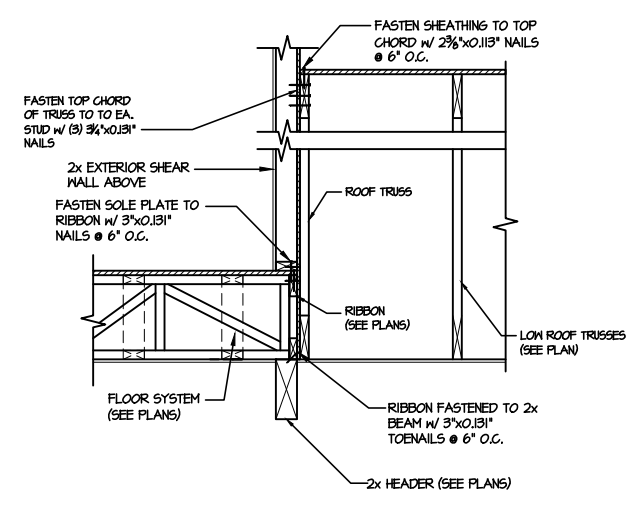
3 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



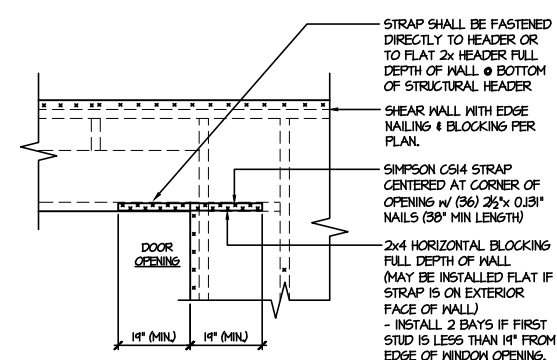
4 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



5 DECK LEDGER CONNECTION DETAIL
SCALE: 3/4"=1'-0"

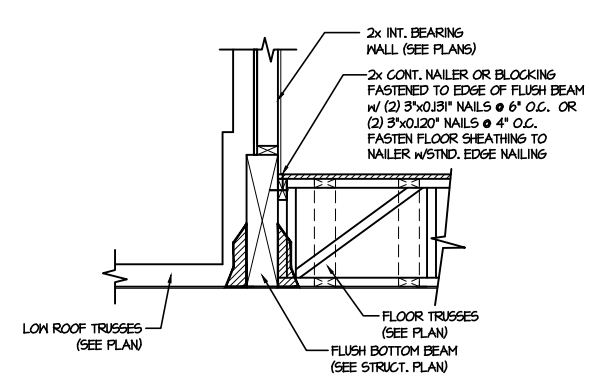


6 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"

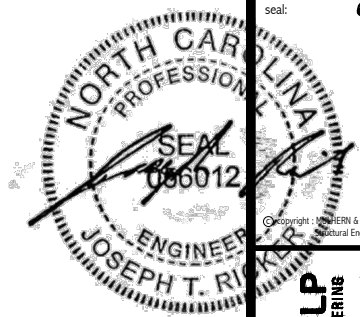


7 TYPICAL EXT. WALL & INT. SHEARWALL OPENING ELEVATION
SCALE: NTS

- STRAPS MAY BE INSTALLED ON EXTERIOR OR INTERIOR FACE OF WALL
- WHEN INSTALLED ON THE EXTERIOR FACE OF THE WALL, STRAPS TO BE INSTALLED ON EXTERIOR FACE OF SHGT. & MAY BE MOVED 1/2" FROM EDGE TO ALLOW FOR DOOR NAILING
- REQUIRED ONLY @ OPENINGS WHERE SPECIFIED ON PLAN



8 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



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P: 718-998-8881 • m.mulhern@mkulpe.com

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NC LIC. #C-3825

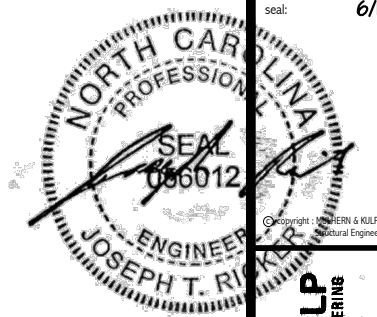
M&K project number:
126-23061

project mgr: JTR
drawn by: GTK
issue date: 06-11-24

REVISIONS:
date: initial:

DRB HOMES

FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 109 - TOWNSEND 3
RALEIGH, NC



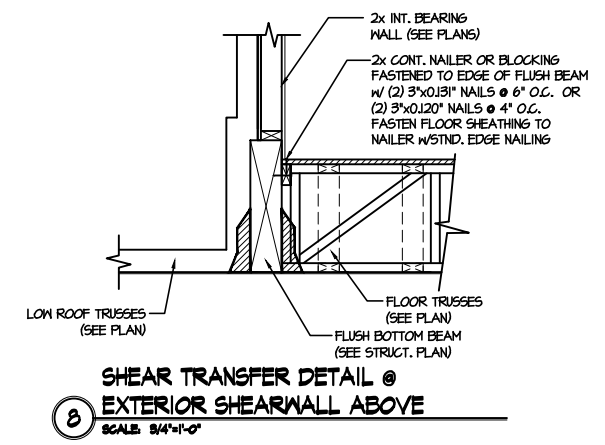
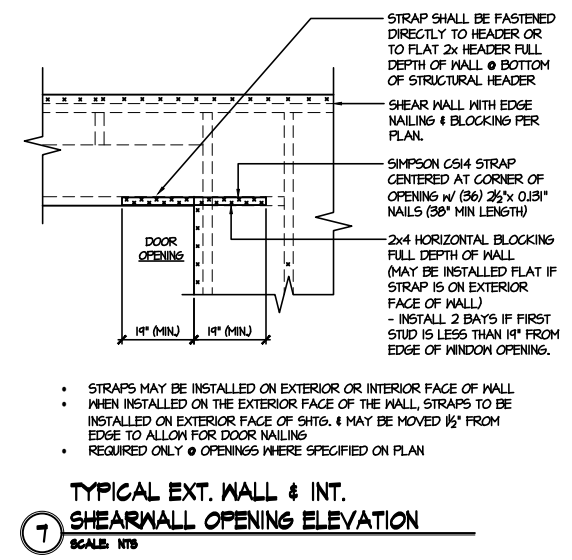
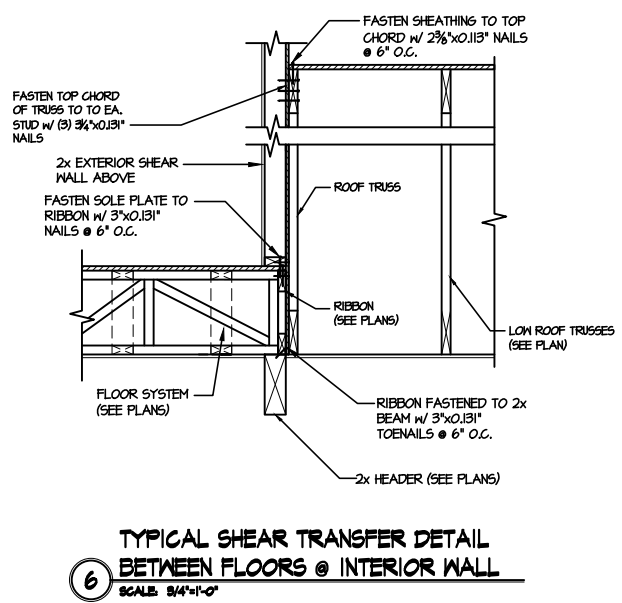
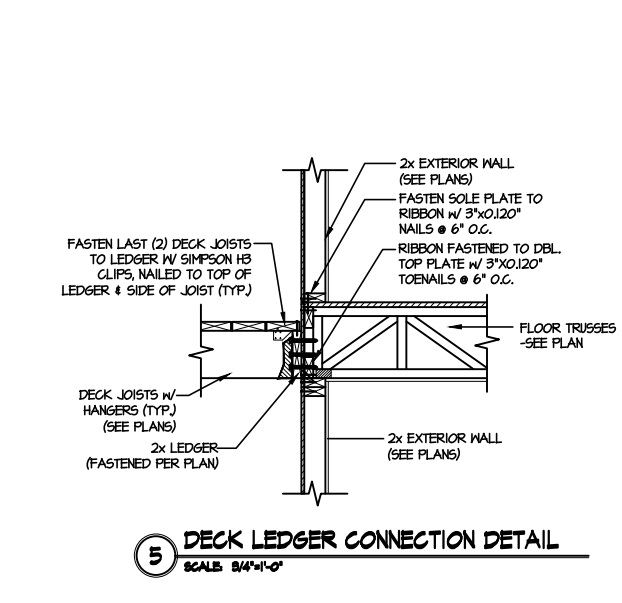
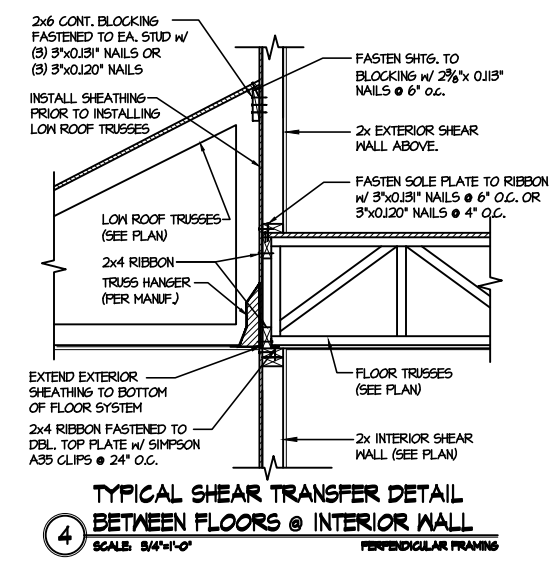
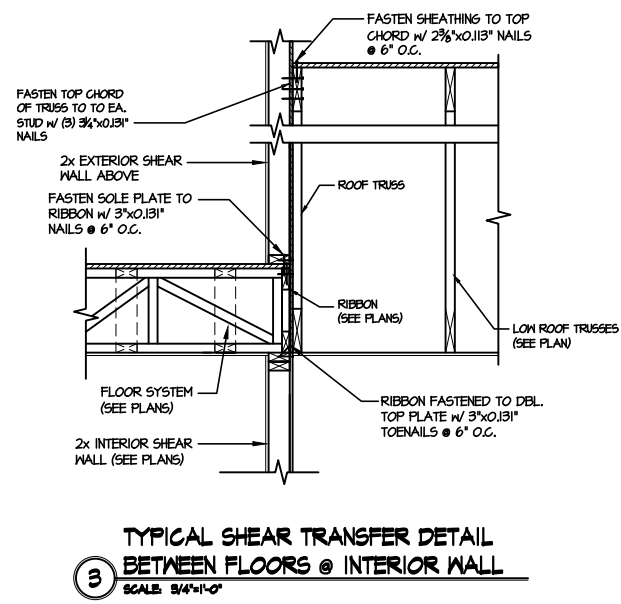
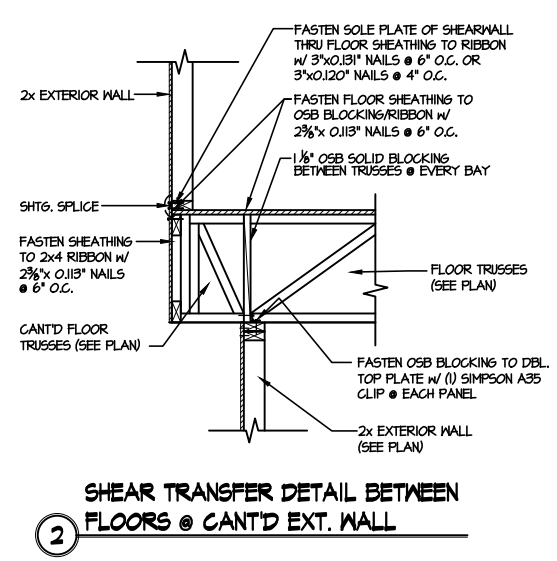
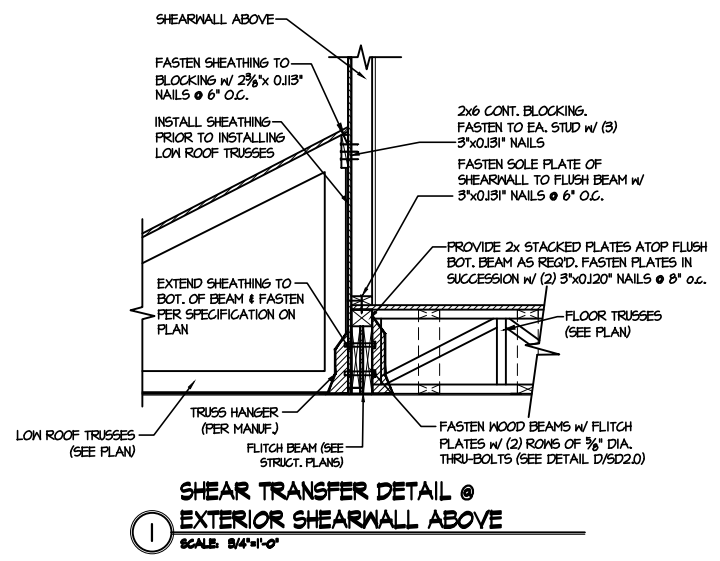
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P: 717-398-8381 • m.kulps@mulhernkulp.com
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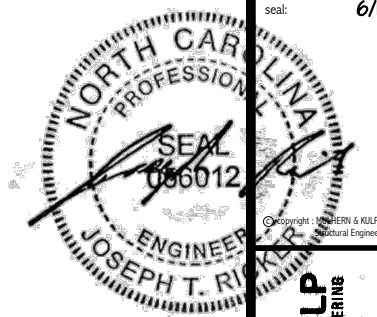
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126-23061
project mgr: JTR
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issue date: 06-11-24

REVISIONS:
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DRB
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FRAMING DETAILS
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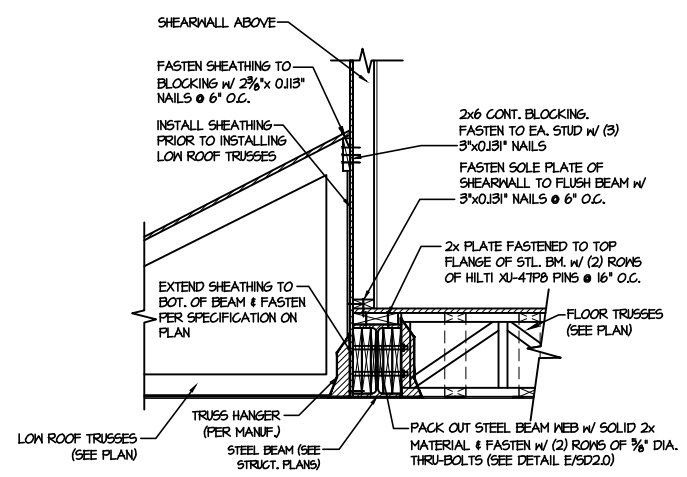
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126-23061
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issue date: 06-11-24

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date: initial:

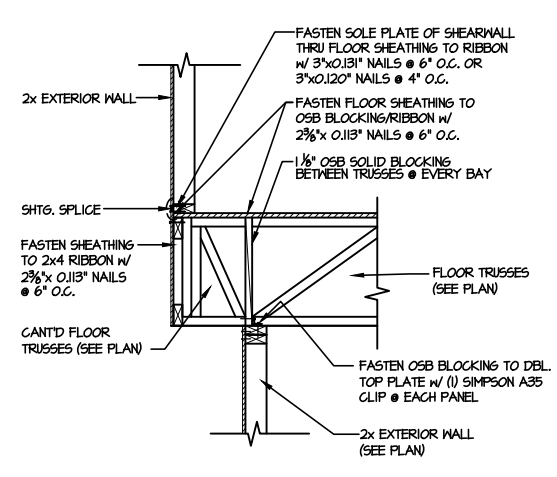
DRB
HOMES

FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 109 - TOWNSEND 3
RALEIGH, NC

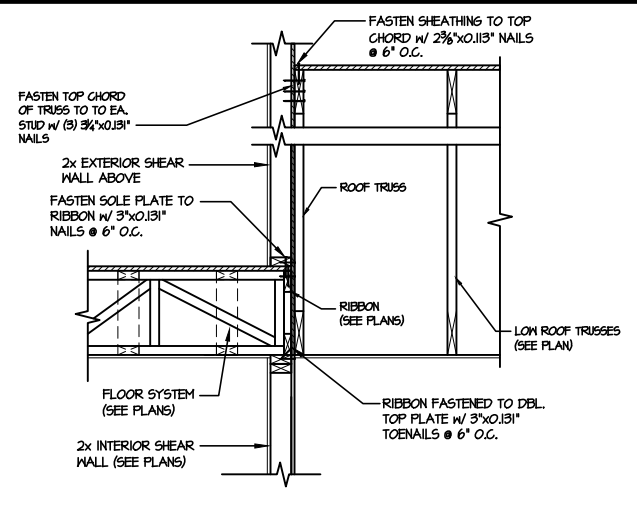
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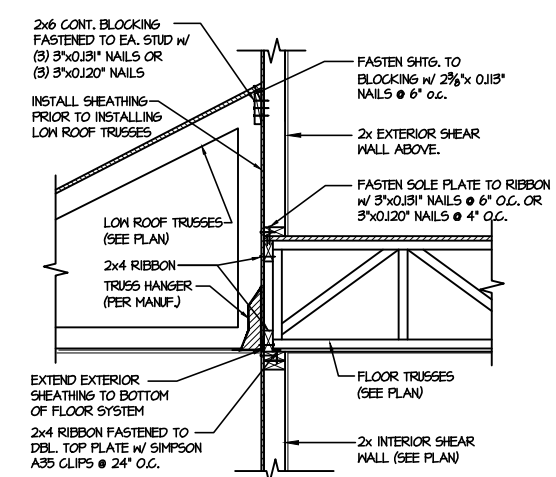
1 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



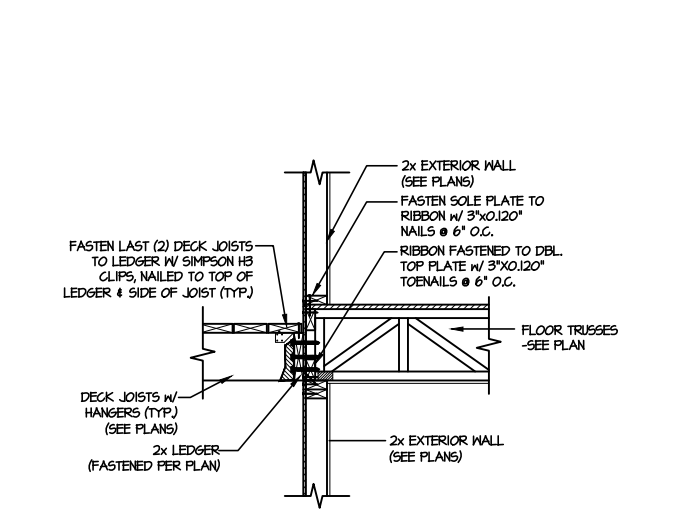
2 SHEAR TRANSFER DETAIL BETWEEN FLOORS @ CANT'D EXT. WALL



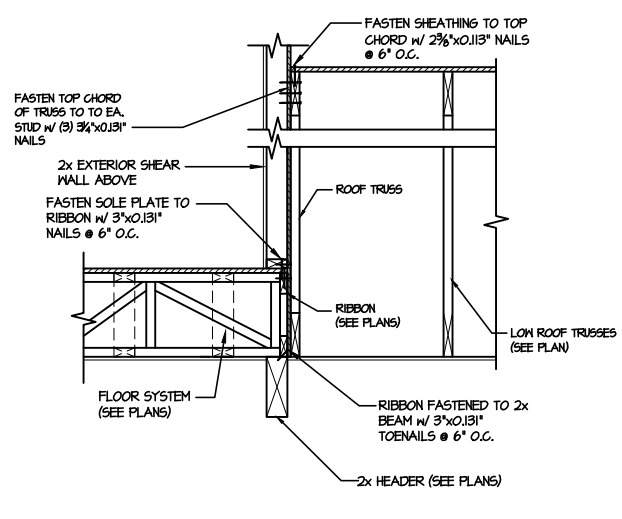
3 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"



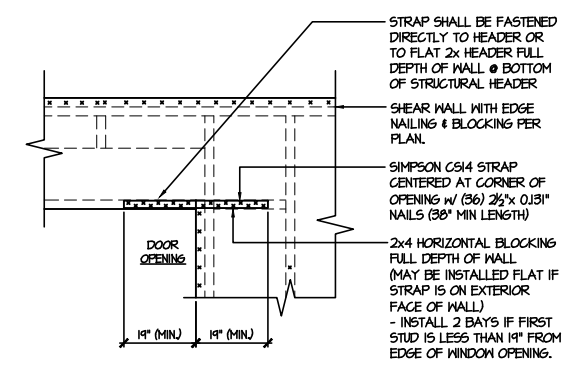
4 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



5 DECK LEDGER CONNECTION DETAIL
SCALE: 3/4"=1'-0"

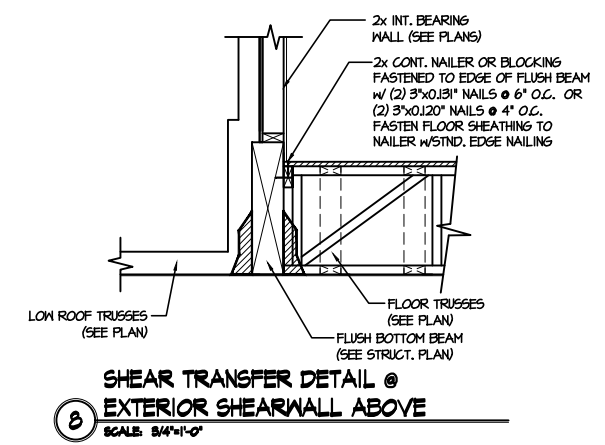


6 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL
SCALE: 3/4"=1'-0"

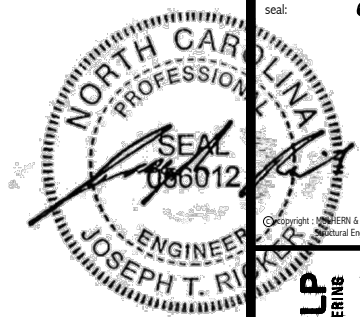


7 TYPICAL EXT. WALL & INT. SHEARWALL OPENING ELEVATION
SCALE: NTS

- STRAPS MAY BE INSTALLED ON EXTERIOR OR INTERIOR FACE OF WALL
- WHEN INSTALLED ON THE EXTERIOR FACE OF THE WALL, STRAPS TO BE INSTALLED ON EXTERIOR FACE OF SHTG. & MAY BE MOVED 1/2" FROM EDGE TO ALLOW FOR DOOR NAILING
- REQUIRED ONLY @ OPENINGS WHERE SPECIFIED ON PLAN



8 SHEAR TRANSFER DETAIL @ EXTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



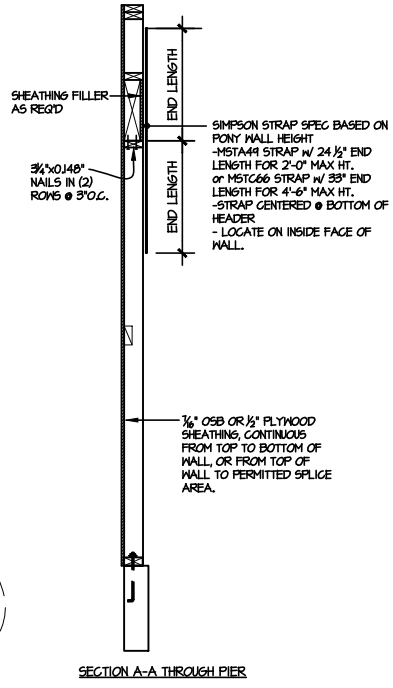
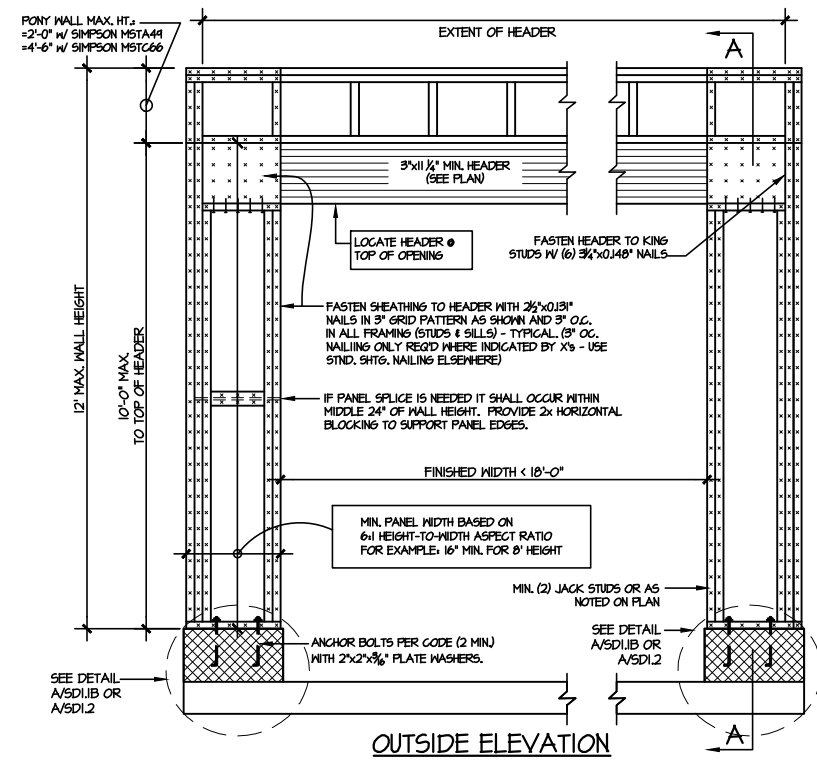
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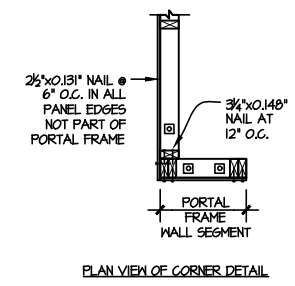
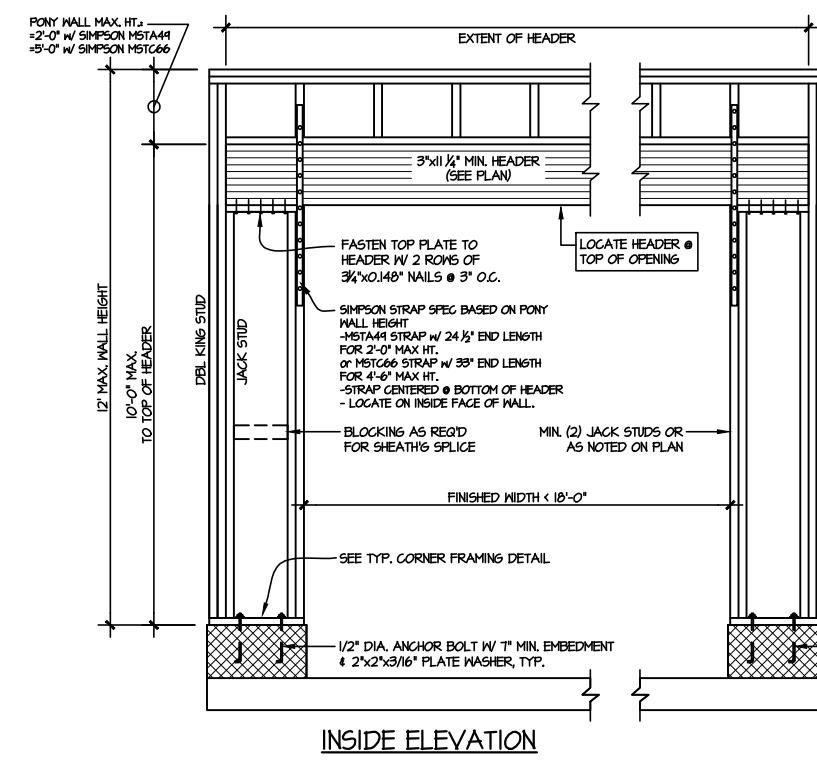
M&K project number:
126-23061
project mgr: JTR
drawn by: GTK
issue date: 06-11-24
REVISIONS:
date: initial:



FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 109 - TOWNSEND 3
RALEIGH, NC

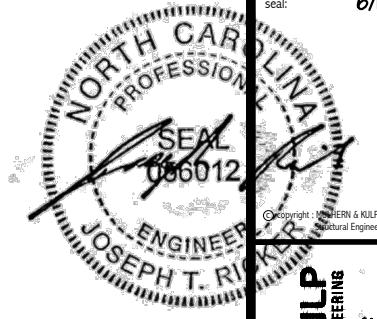


NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 1/4" OSB



ALTERNATIVE TO 1/2" DIA. ANCHOR BOLT:
1) 1/2" DIA. THREADED ROD EPOXY SET W/ 4 1/2" EMBED. (MIN UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL))

② TWO SIDED GARAGE PORTAL FRAME BRACING ELEVATION ON CMU STEM
SCALE: N.T.S.



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p 718-308-8381 • m.k@mulhernkulp.com



M&K project number:
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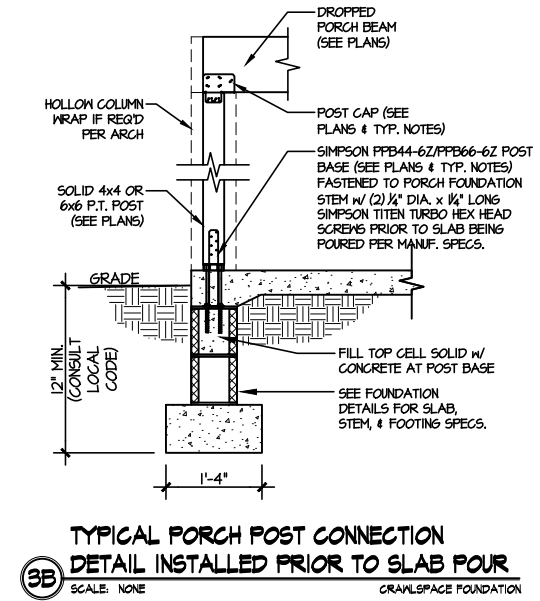
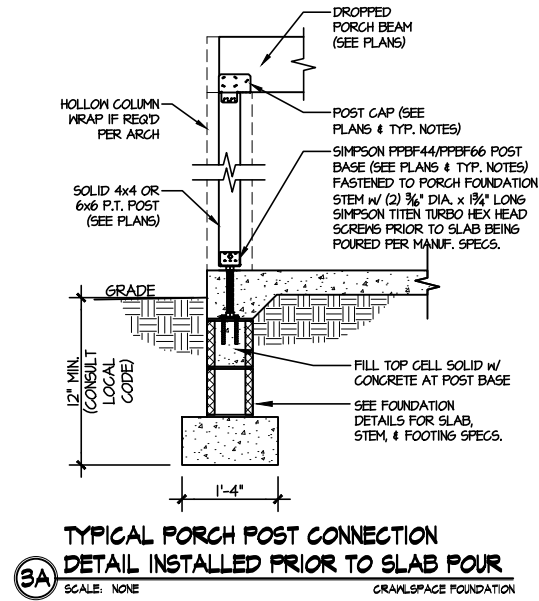
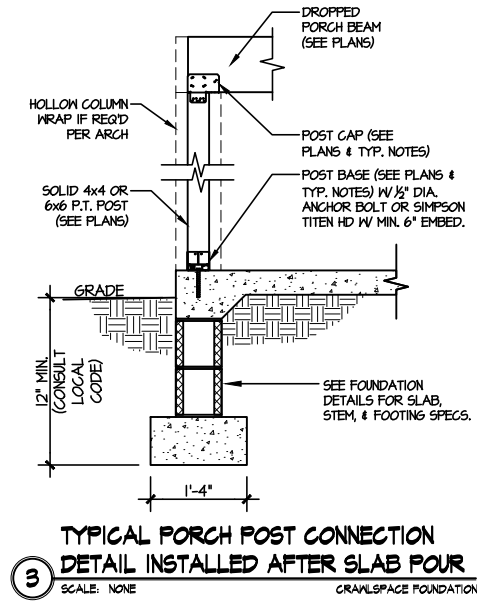
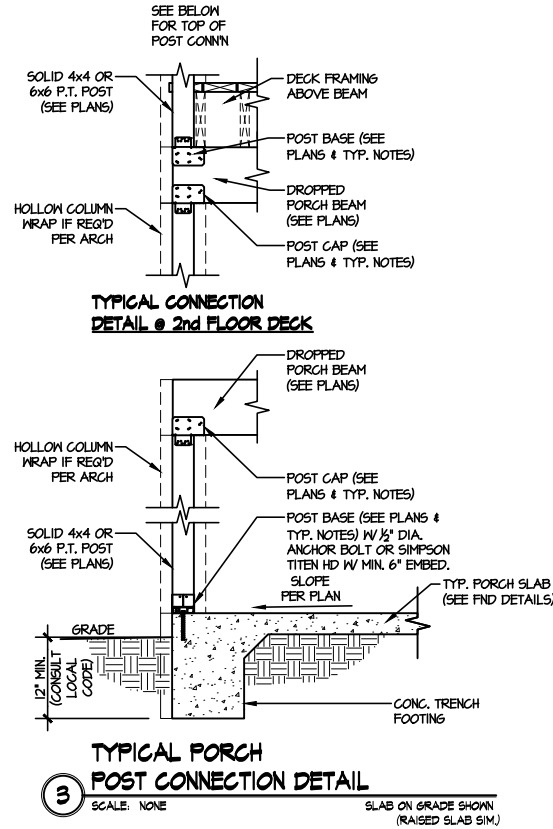
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drawn by: GTK
issue date: 06-11-24

REVISIONS:
date: initial:



FRAMING DETAILS
BLAKE POND COMMUNITY
LOT 109 - TOWNSEND 3
RALEIGH, NC

sheet:
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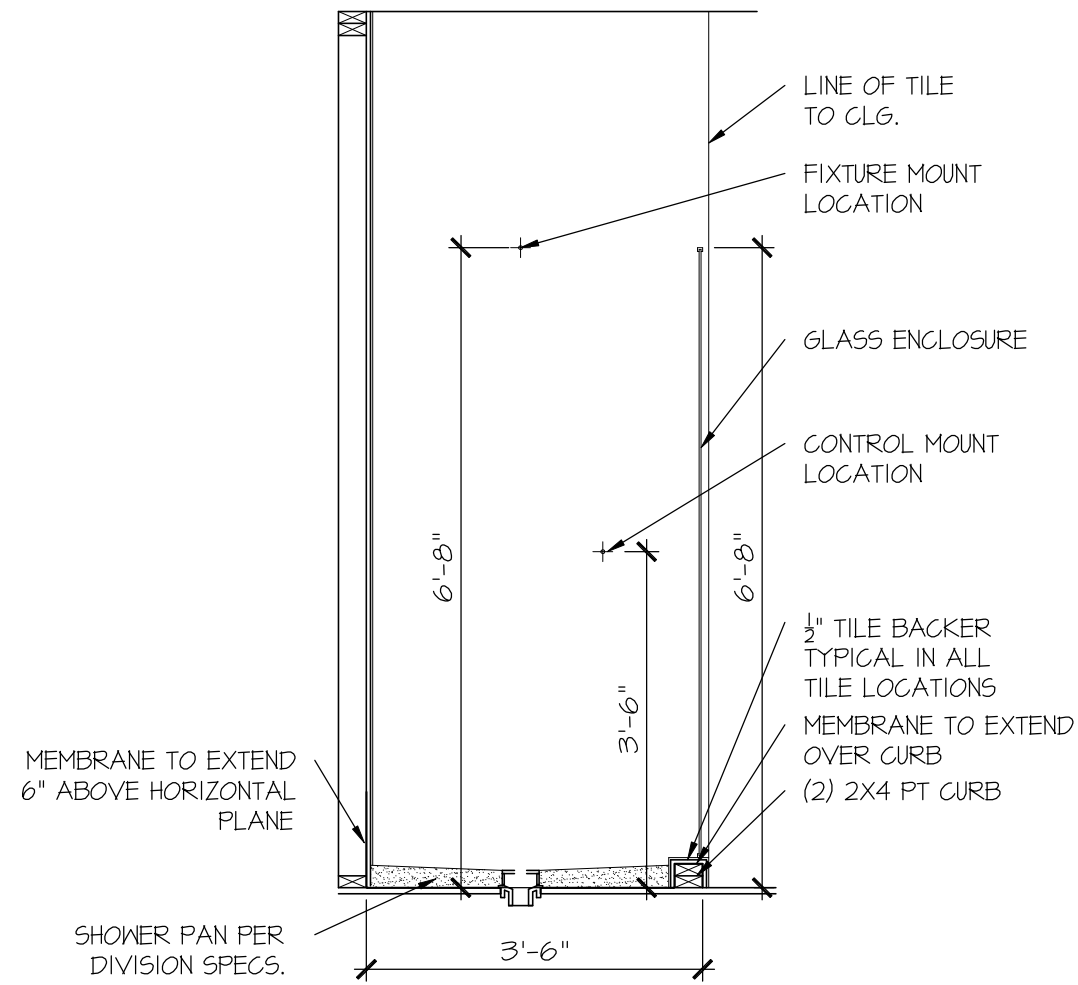


DRAWN BY:
L. BEAVERS
DATE: 9/1/22
PLAN NO.
11 X 17 SCALE
24 X 36 SCALE

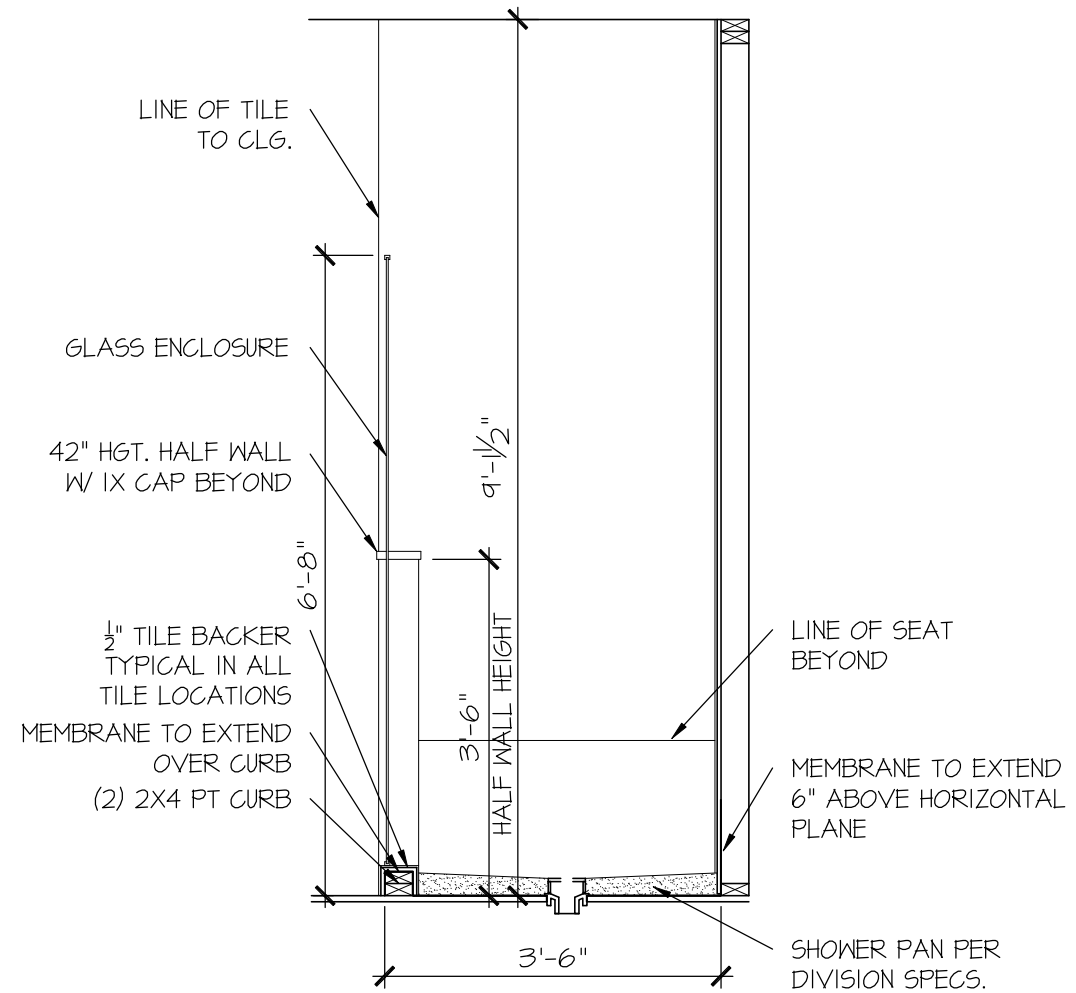


HOUSE NAME:
DRAWING TITLE
RALE TILE SHOWER DETAIL

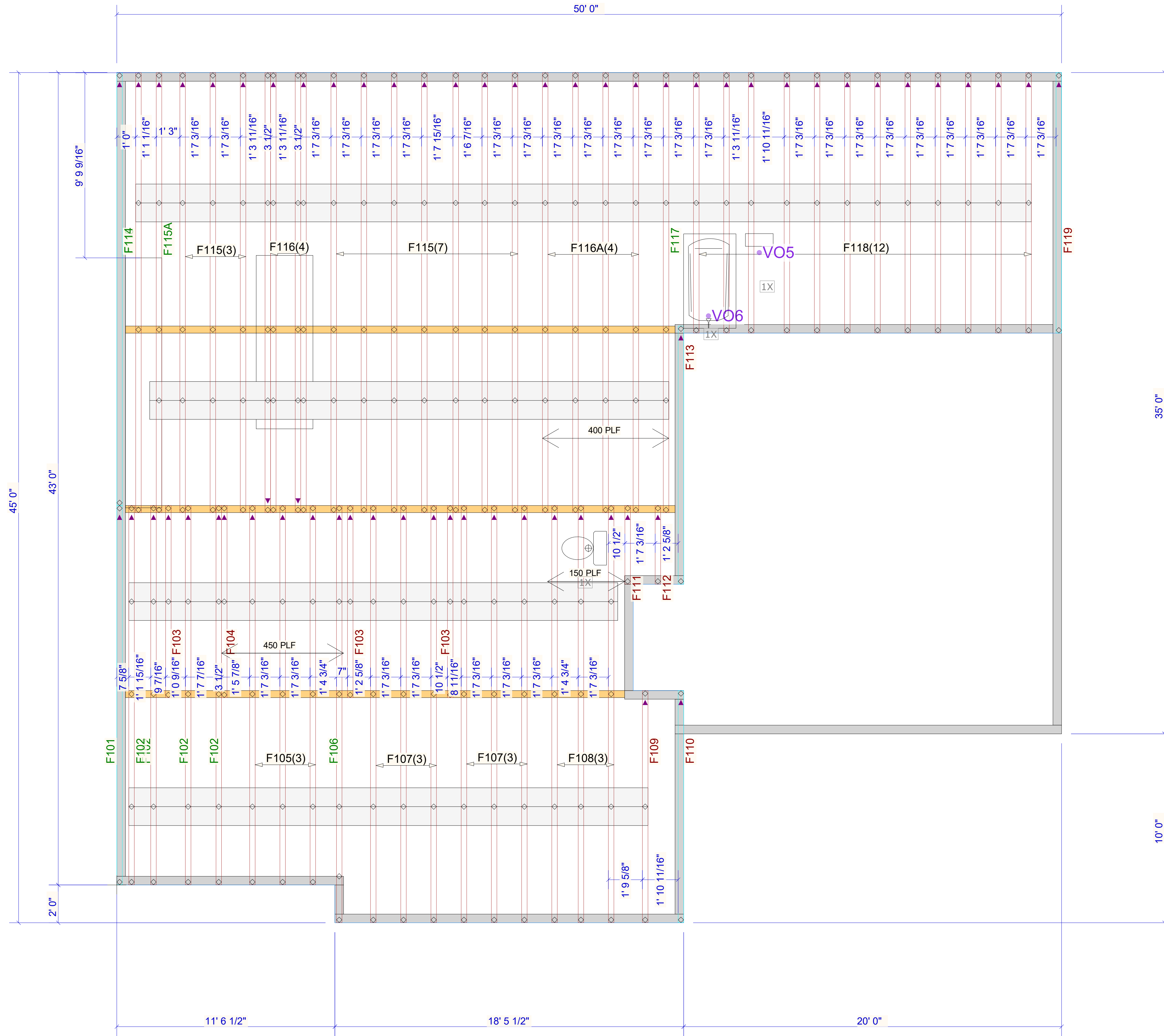
SHEET No.
01.12



RALE TILE SHOWER
SECTION B
SCALE: 1/2" = 1'-0"



RALE TILE SHOWER
SECTION C
SCALE: 1/2" = 1'-0"



▲ = LEFT END OF TRUSS

FOR PERMIT

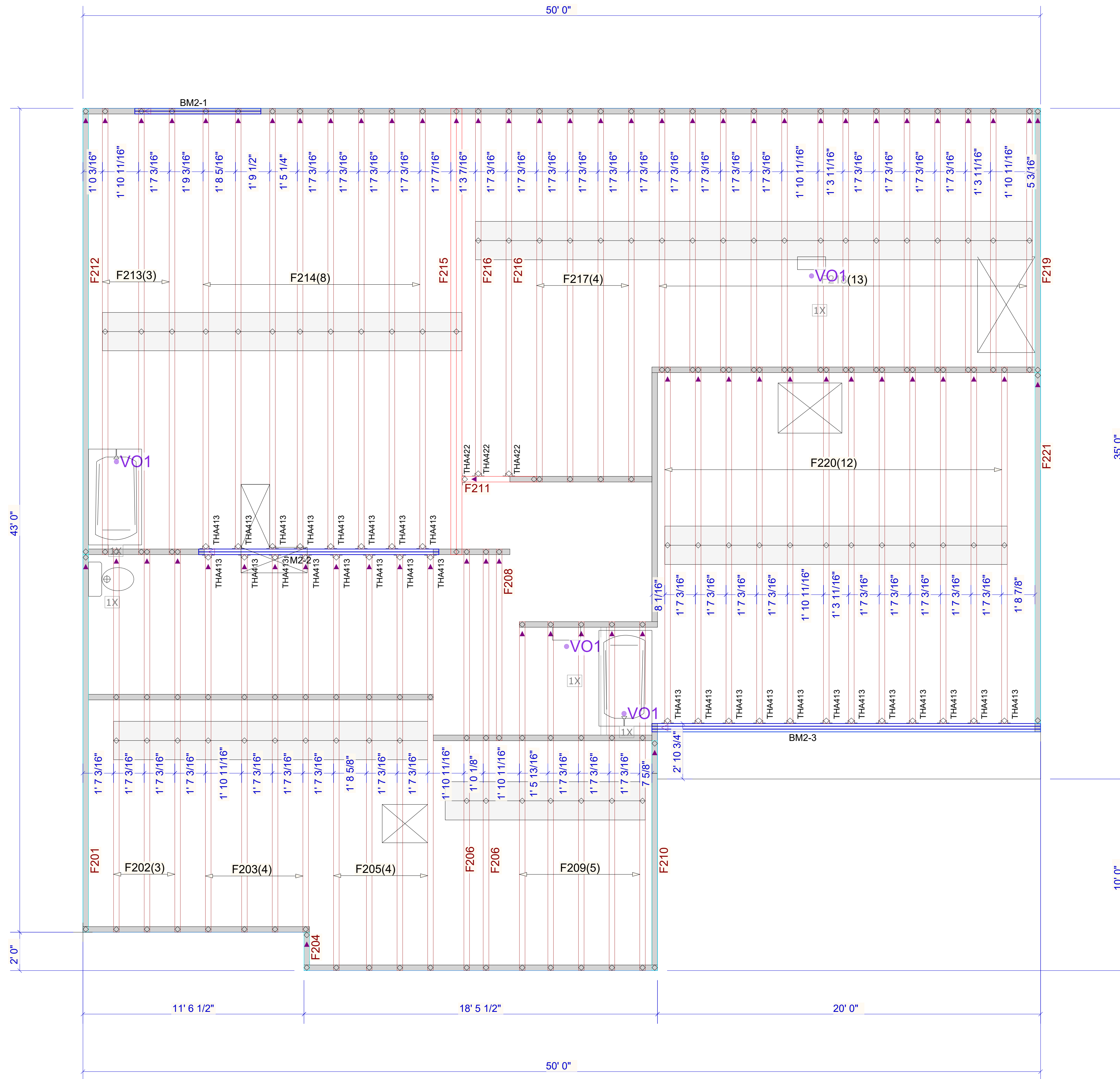
Moncks Corner/Easley, SC (800) 475-3999
 Sparta, NC (336) 372-2226

REVISIONS:

Client:	DRB GROUP-RALEIGH
Job:	LOT 0.0109 BLAKE POND
Plan Information:	TOWNSEND-3
NOT TO SCALE	Date: 06/05/24
Drawn By: AAV	Job #: 24-5147-F01
	Sales Rep: KYLE GIBSON
	Phone: 864-304-3282

FLOOR

WARNING! Long span trusses, 60' or greater in length, require extreme care and experience for proper and safe handling and installation. For general handling and installation guidance, see the "Guide to Good Practice for Handling, Installing, Restraining & Bracing of Metal Plate Connected Wood Trusses ("BCSI"), JOINTLY PRODUCED BY SBCA and TPI. For project specific guidance, consult with a registered design professional. ATLANTIC assumes no responsibility for the handling, installation or bracing of trusses.



Products				
PlotID	Length	Product	Plies	Net Qty
BM2-1	8' 0"	1-3/4" x 9-1/2" VERSA-LAM® 2.0 3100 SP	2	2
BM2-2	14' 0"	1-3/4" x 14" VERSA-LAM® 2.0 3100 SP	2	2
BM2-3	22' 0"	1-3/4" x 18" VERSA-LAM® 2.0 3100 SP	3	3

Connector Summary			
Qty	Manuf	Product	Flange
	Simpson	THA413	28
		THA422	3

Truss Connector Total List		
Manuf	Product	Qty
Simpson	THA413	28
	THA422	3

▲ = LEFT END OF TRUSS

FOR PERMIT

Client: DRB GROUP-RALEIGH
 Job: LOT 0.0109 BLAKE POND
 Plan Information: TOWNSEND-3

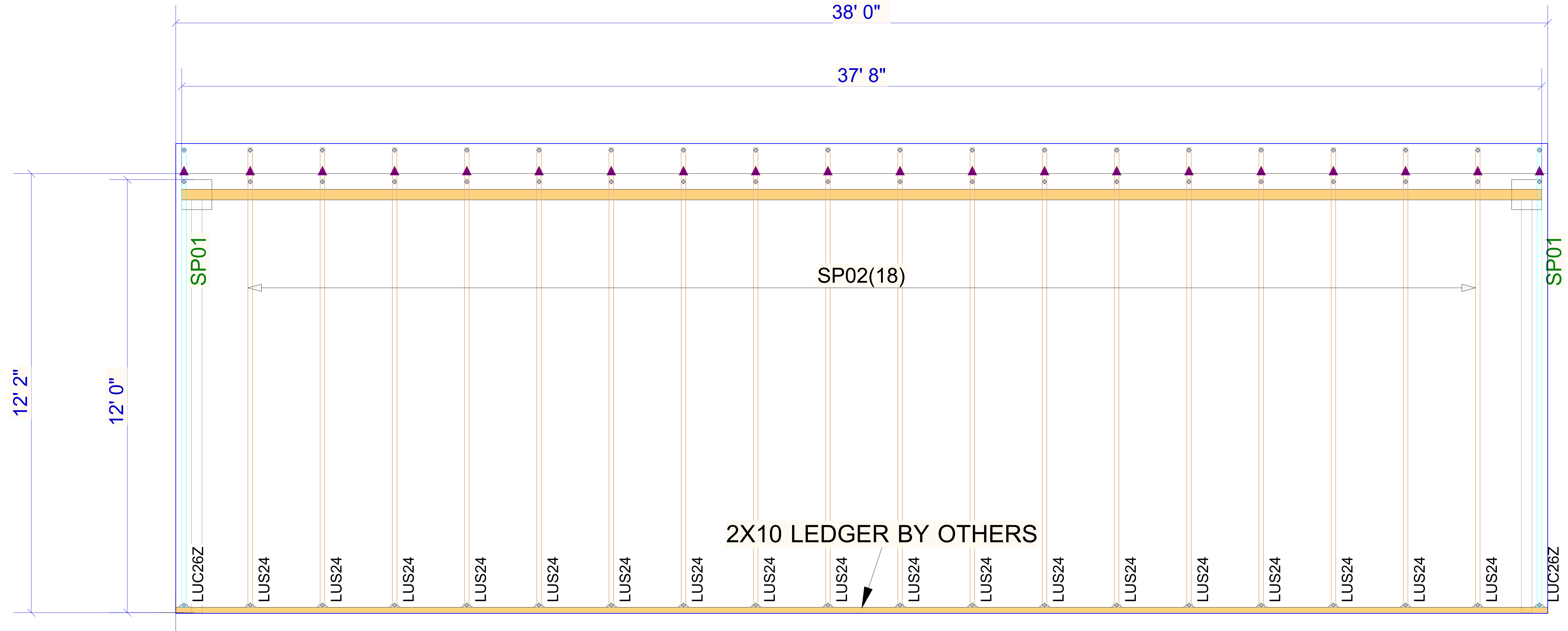
NOT TO SCALE
 Drawn By: AAV
 Date: 06/05/24
 Job #: 24-5147-F02
 Sales Rep: KYLE GIBSON
 Phone: 864-304-3282

REVISIONS:



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 Sparta, NC (336) 372-2226

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2X10 LEDGER BY OTHERS

Truss Connector Total List		
Manuf	Product	Qty
Simpson	LUC26Z	2
Simpson	LUS24	18

▲ = LEFT END OF TRUSS

FOR PERMIT

Client: DRB GROUP-RALEIGH
 Job: LOT 0.0109 BLAKE POND
 Plan Information: TOWNSEND-3

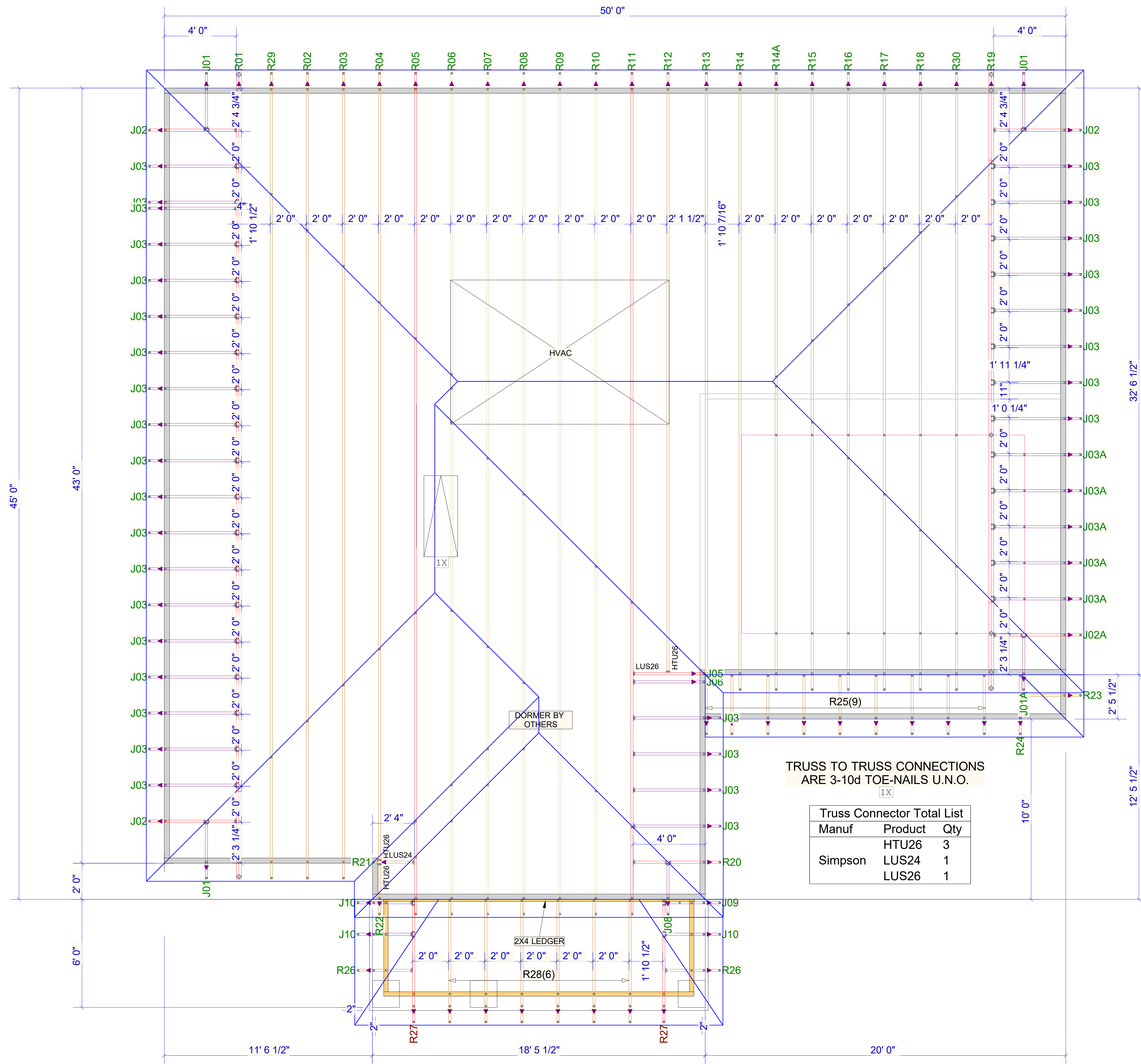
NOT TO SCALE
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 Drawn By: AAV
 Sales Rep: KYLE GIBSON
 Job #: 24-5147-R01
 Phone:

REVISIONS:



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TRUSS TO TRUSS CONNECTIONS ARE 3-10d TOE-NAILS U.N.O.

Truss Connector Total List		
Manuf	Product	Qty
Simpson	HTU26	3
Simpson	LUS24	1
Simpson	LUS26	1

FOR PERMIT

Client: DRB GROUP-RALEIGH
 Job: LOT 0.0109 BLAKE POND
 Plan Information: TOWNSEND-3

NOT TO SCALE
 Date: 06/05/24
 Job #: 24-5147-R01
 Sales Rep: KYLE GIBSON
 Drawn By: AAV
 Phone: 864-304-3282

▲ = LEFT END OF TRUSS

REVISIONS:



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