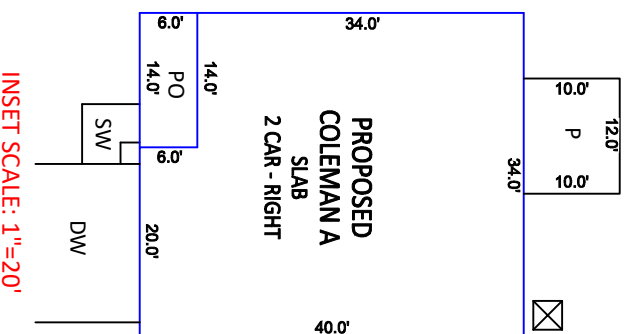


LOT INFORMATION:

PIN: 0693-36-6287.000
 REFERENCE: DB: 4219 PGS. 2746-2750
 BM: 2023, PGS. 563-568
 BM: 2024 PG. 21
 TOTAL LOT AREA = 0.59 AC = 25,214 SF
 MAX. IMPERVIOUS = 5,500 SF
 HOUSE = 1,276 SF
 FRONT PORCH = 84 SF
 SIDEWALK = 33 SF
 DRIVEWAY = 655 SF
 PATIO = 120 SF
 AC = 9 SF
 PROPOSED IMPERVIOUS = 2,177 SF
 PERCENT IMPERVIOUS = 8.63%

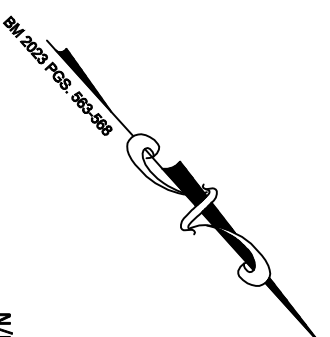
BUILDING SETBACKS

FRONT - .35'
 REAR - .25'
 SIDE - .10'
 SIDE CORNER - .20'



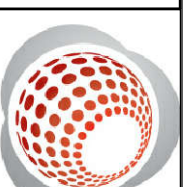
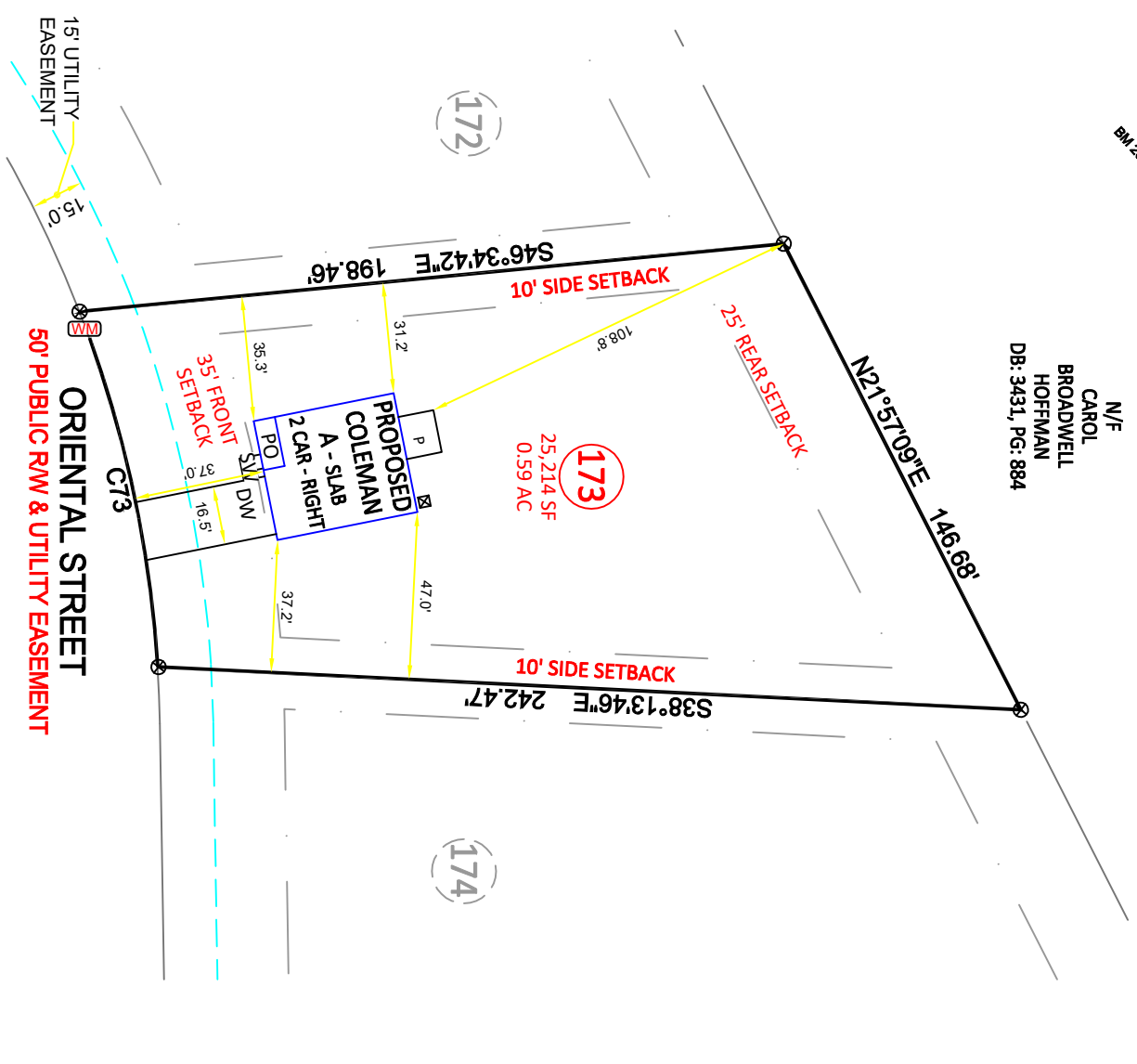
INSET SCALE: 1"=20'

CURVE TABLE			
CURVE	RADIUS	LENGTH	CHORD DIRECTION
C73	335.00'	102.43'	S36°31'38"W
			102.03'



N/F
 CAROL
 BROADWELL
 HOFFMAN
 DB: 3431, PG: 884

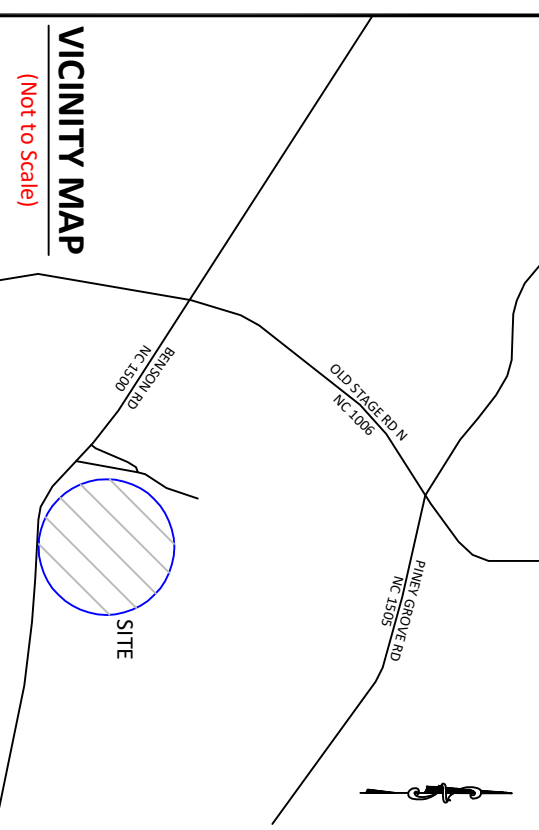
- NOTES:**
- THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
 - THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
 - PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
 - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
 - THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
 - THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
 - NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL FLOOD ZONES, WETLANDS, FLOOD ZONES OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM. ALL LINES SHOWN, IF ANY, ARE SCALED FROM THE RECORDED PLAT.
 - SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - ZONING: RA-30
 - PROPERTY OWNER: SMITH DOUGLAS HOMES
2520 RELIANCE AVENUE
APEX, NC 27539



Bateman Civil Survey Company

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 2524 Reliance Avenue, Apex, NC 27539 Pk: 919.577.1080 Fax: 919.577.1081
 www.batemancivilsurvey.com info@batemancivilsurvey.com
 NCBELS Firm No. C-2378

VICINITY MAP
(Not to Scale)



LEGEND

PO = FRONT COVERED PORCH
 CP = COVERED PORCH/PATIO
 SP = SCREENED PORCH
 SW = SIDEWALK
 DW = CONC DRIVEWAY
 P = CONCRETE PATIO
 ⊗ = COMPUTED POINT
 ○ = IRON PIPE FOUND (IPF)
 ● = IRON PIPE SET (IPS)
 ● = DRILL HOLE FOUND
 (TM) = WATER METER
 CO = CLEAN OUT
 AC = AIR CONDITIONER PAD
 ⊕ = CABLE BOX
 ⊖ = SEWER MANOLE
 T = TELEPHONE PEDESTAL
 CB = CATCH BASIN
 ☼ = LIGHT POLE
 ⚡ = HAND HOLE
 EEB = ELECTRIC BOX
 ⚡ = FIRE HYDRANT
 YI = YARD INLET
 G = GAS METER
 E = ELECTRIC METER
 LW = LEAD WALK

This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

PRELIMINARY

BUILDER TO VERIFY HOUSE LOCATION
 DIMENSIONS AND REVIEW TOTAL
 IMPERVIOUS NOTED ON THIS PLOT PLAN
PRELIMINARY PLOT PLAN
 FOR
SMITH DOUGLAS HOMES

TOBACCO ROAD - PHASE 1 & 3 - LOT 173
 248 ORIENTAL STREET, ANGLIER, NC
 BLACK RIVER TOWNSHIP, HARNETT COUNTY

DATE: 6/14/24 DRAWN BY: SLA CHECKED BY: SPC

REFERENCE: BM 2023 PGS. 651-656

BCS# 230801

SCALE: 1" = 50'