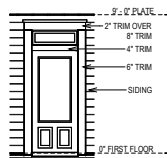


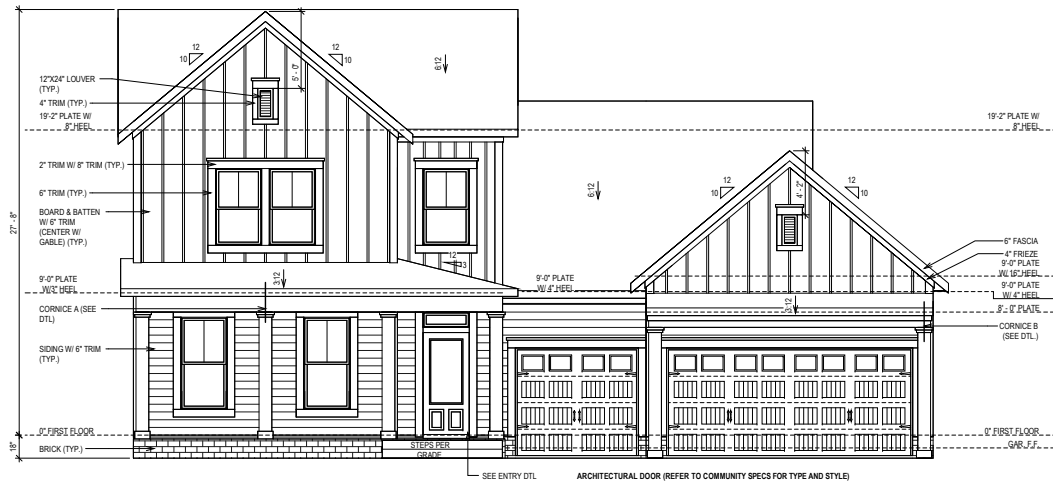
**CORNICE DETAIL "A"**

SCALE: 1" = 1'-0"



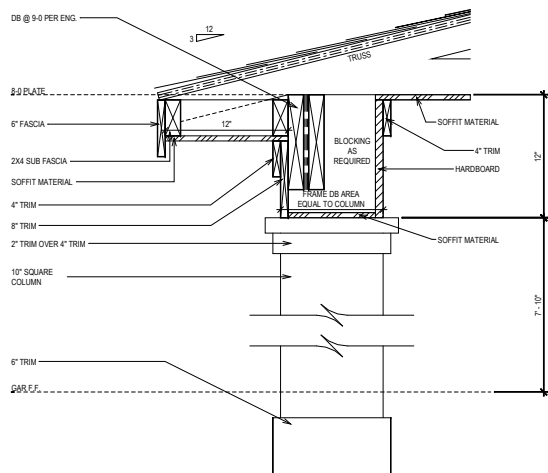
**ENTRY DETAIL**

SCALE: 1/8" = 1'-0"



**FRONT ELEVATION "A"**

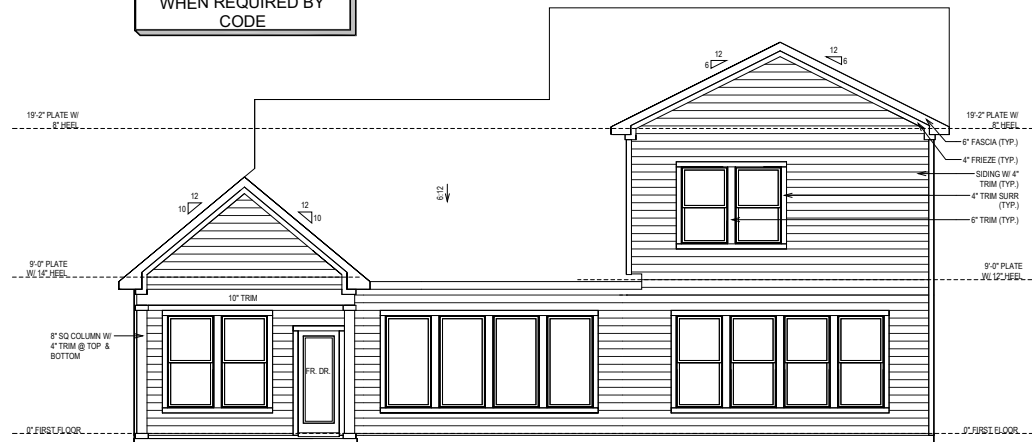
SAME W/ OPT. SUITE



**CORNICE DETAIL "B"**

SCALE: 1" = 1'-0"

PROVIDE HANDRAIL  
WHEN REQUIRED BY  
CODE



**REAR ELEVATION**

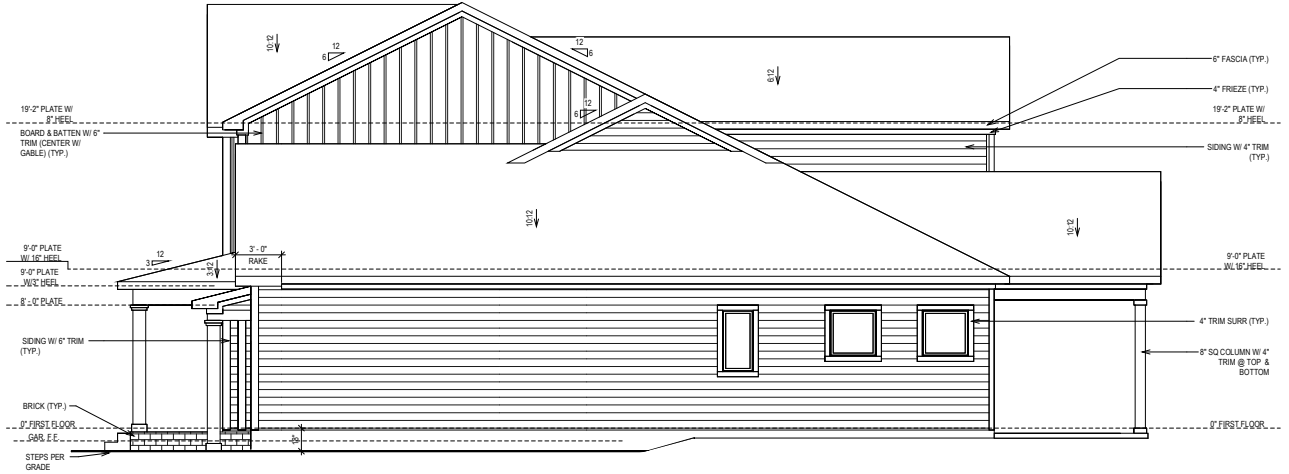
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**David Weekley Homes**  
C/N/NU/IR Scale: 1/8"=1'-0"  
Date: 09/21/2020 Rev: 12/5/23 AM

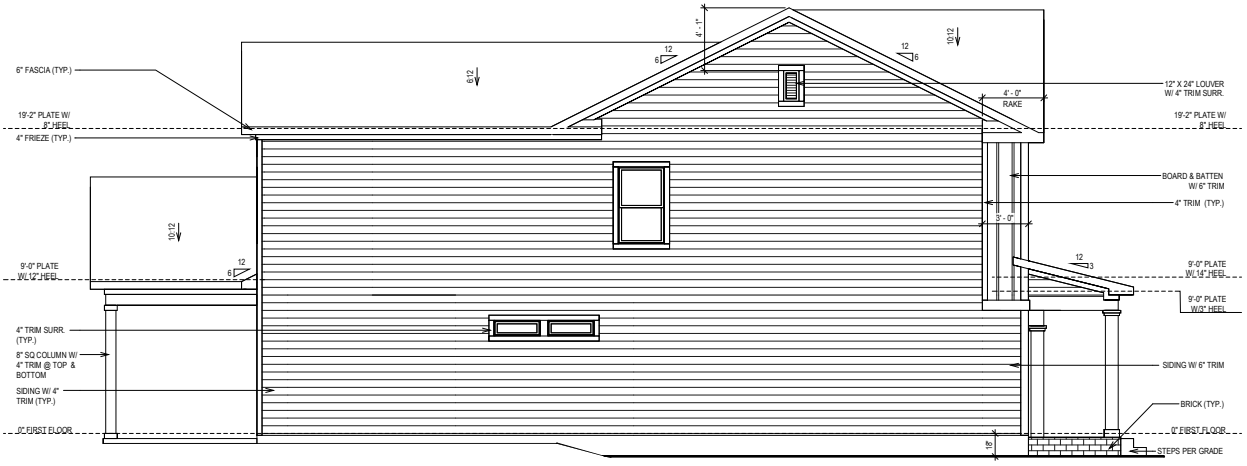
182  
Lot: 3277  
Block: 0182  
Sect:

Proj. No.: 182  
Job No.: 0182  
**SERENITY 65 (IM)**  
762 SERENITY WALK PARKWAY  
FUQUAY VARINA, NC

**NORTH B329-A**  
**ELV-1**  
BUCKHORN  
RALEIGH



**SIDE ELEVATION**



**SIDE ELEVATION**

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182  
 Proj. No.:  
 Lot: 3277  
 Block:  
 Job No.: 0182  
 Sect:

**SERENITY 65 (IM)**  
**762 SERENITY WALK PARKWAY**  
**FUQUAY VARINA, NC**

**NORTH**  
**B329-A**  
**ELV-2**  
**BUCKHORN**  
**RALEIGH**

**SHEET INDEX:**

S-0	COVER SHEET
S-0.1	GENERAL STRUCTURAL NOTES
S-1	MONOLITHIC SLAB FOUNDATION PLAN
S-2	SECOND FLOOR FRAMING PLAN
S-3	ROOF FRAMING PLAN
SD-1	BRACED WALL DETAILS
SD-2	HOLD DOWN DETAILS
SD-3	BRACED WALL NOTES & DETAILS
SD-4	PORTAL FRAME DETAILS
SD-5	MISCELLANEOUS FRAMING DETAILS
SD-6	MISCELLANEOUS FRAMING DETAILS
SD-7	MONOLITHIC SLAB FOUNDATION DETAILS
SD-8	NOT USED
SD-9	NOT USED
SD-10	NOT USED
SD-11	NOT USED
SD-12	ADVANCED FRAMING DETAILS & NOTES



**1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951**  
**www.kse-eng.com (215) 804-4449**

**B329 BUCKHORN**  
**SERENITY, LOT #182**

**RALEIGH, NORTH CAROLINA**

THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. THIS COORDINATION IS NOT THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER OF RECORD (SER). SHOULD ANY DISCREPANCIES BECOME APPARENT, THE CONTRACTOR SHALL NOTIFY KSE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS. IT IS THE INTENT OF THE ENGINEER LISTED ON THESE DOCUMENTS THAT THESE DOCUMENTS BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL OF THE INFORMATION CONTAINED IN THESE DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE DOCUMENTS.

**DESIGN SPECIFICATIONS:**

DESIGN BUILDING CODE (REFERRED TO HEREIN AS "THE BUILDING CODE"):  
 • 2018 NORTH CAROLINA RESIDENTIAL CODE. WALL BRACING PER INTERNATIONAL RESIDENTIAL CODE 2015 EDITION.

DESIGN LIVE LOADS:  
 • ROOF = 20 PSF (LOAD DURATION FACTOR=1.25)  
 • UNINHABITABLE ATTICS WITH LIMITED STORAGE = 20 PSF (WHERE SPECIFIED ON PLANS)  
 • HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS = 30 PSF  
 • FLOOR = 40 PSF  
 • FLOOR (SLEEPING AREAS) = 30 PSF  
 • DECK/BALCONY = 40 PSF  
 • STAIRS = 40 PSF

DESIGN DEAD LOADS:  
 • ROOF TRUSS = 17 PSF (TC=7, BC=10)  
 • FLOOR TRUSS = 15 PSF (TC=10, BC=5)  
 • FLOOR JOIST = 10 PSF  
 • STANDARD BRICK = 40 PSF  
 • QUEEN ANNE BRICK = 25 PSF

\*NOTE: STRUCTURAL FRAMING HAS NOT BEEN DESIGNED FOR TILE, GRANITE, MARBLE OR OTHER MATERIALS HEAVIER THAN THE ABOVE LOADING UNLESS SPECIFICALLY NOTED ON PLANS.\*

DESIGN WIND LOADS:  
 • ULTIMATE WIND SPEED = 115 MPH  
 • EXPOSURE CATEGORY = B

ASSUMED SOIL BEARING CAPACITY = 2000 PSF

ASSUMED LATERAL SOIL PRESSURE = 45 PCF

FROST DEPTH = 12" MINIMUM

SEISMIC DESIGN CATEGORY = B

ENGINEERED LUMBER SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:

- TJI 210 SERIES (SERIES AND SPACING PER PLANS)
- LSL: E=1,550,000 PSI, F<sub>b</sub>=2,325 PSI, F<sub>v</sub>=310 PSI, F<sub>c</sub>=900 PSI
- LVL: E=2,000,000 PSI, F<sub>b</sub>=2,600 PSI, F<sub>v</sub>=285 PSI, F<sub>c</sub>=750 PSI
- PSL: E=2,100,000 PSI, F<sub>b</sub>=2,900 PSI, F<sub>v</sub>=290 PSI, F<sub>c</sub>=625 PSI



**1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951**  
**www.kse-eng.com (215) 804-4449**

**David Weekley Homes**  
 Raleigh, NC

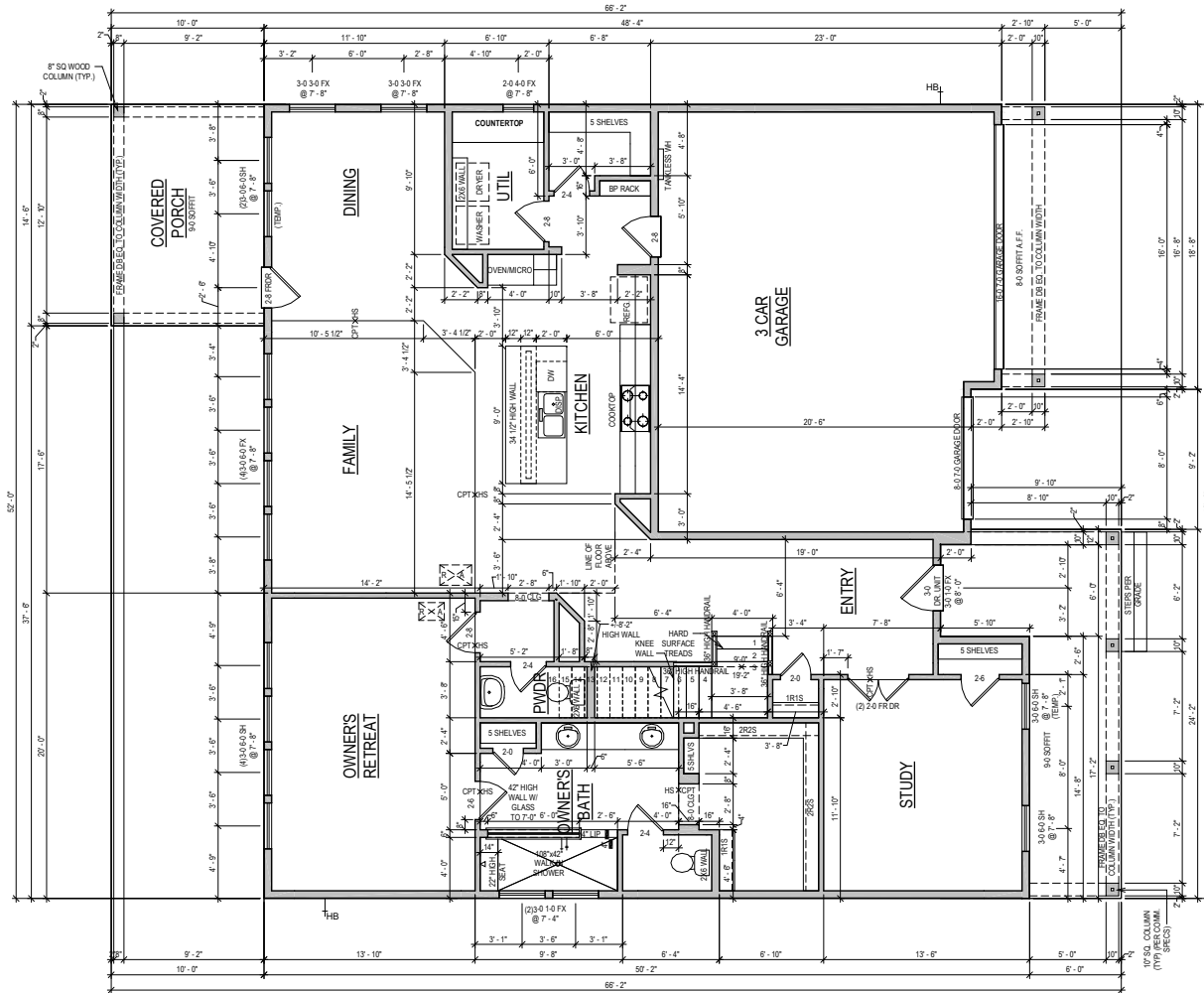
Cover Sheet  
 Serenity, Lot #182  
 B329 Buckhorn Model  
 Serenity  
 Raleigh, North Carolina

Project #: 047-20009  
 Designed By: JPS  
 Checked By:  
 Issue Date: 5/31/24  
 Re-Issue:  
 Scale: 1/8"=1'-0" @ 11x17  
 1/4"=1'-0" @ 22x34



S-0





FIRST FLOOR

**OPTION LIST**

- FRDR'S @ STUDY
- RAILING @ FIRST FLOOR
- SUPER SHOWER @ OWNERS BATH
- SHOWER @ BATH 1
- COVERED PORCH
- COUNTERTOP @ UTILITY
- COOKTOP KITCHEN
- BACKPACK RACK

**GENERAL REQUIREMENTS**

**SLOPED SURFACE REQUIREMENTS**

ALL PATIOS TO SLOPE 1/4" PER FOOT  
 GARAGE FLOOR TO BE SLOPED 1/8" PER FOOT TOWARDS VEHICLE ENTRY DOOR  
 ROOF DECKS AND BALCONIES TO BE SLOPED 1/4" PER FOOT TOWARDS RELIEF POINTS

**RAILING REQUIREMENTS**

FINISHED HANDRAIL REQUIRED AT STAIRS WITH 4 OR MORE RISERS  
 FINISHED HANDRAIL HEIGHT BETWEEN 34" AND 36" MEASURED VERTICALLY ABOVE TREAD NOSING  
 FINISHED GUARDRAILS REQUIRED AT DECKS, BALCONIES AND WALKWAYS THAT ARE 30" OR GREATER ABOVE GRADE AND BE AT A MINIMUM OF 36" IN HEIGHT  
 FINISHED GUARDRAIL AND HANDRAIL SPINDLES MUST BE SPACED SO A 4" SPHERE WILL NOT PASS THROUGH.

NOTE: ALL 1ST FLR. CEILING HEIGHTS  
 9'-0" UNLESS NOTED OTHERWISE

ADVANCED FRAMING: 2X6 EXTERIOR  
 PERIMETER WALLS & ALL INSULATED  
 WALLS UNLESS NOTED OTHERWISE

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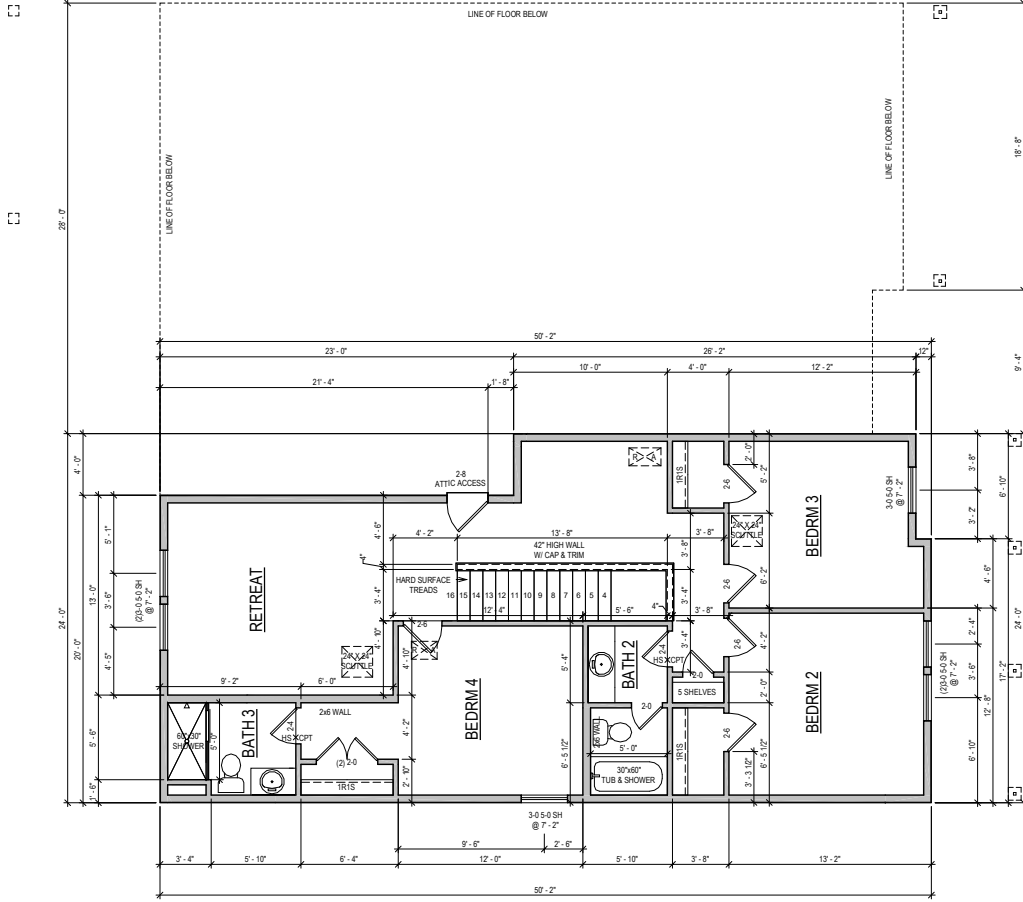
**David Weekly Homes**  
 CN/NU/IR Scale: 1/8"=1'-0"  
 Date: 09/21/2020 Rev: 12/5/23 AM

Proj. No.: 182  
 Lot: 3277  
 Block: 0182  
 Sect:

SERENITY 65 (I/M)  
 762 SERENITY WALK PARKWAY  
 FUYQUAY VARINA, NC

NORTH  
**B329-A**  
**PLN-1**  
 BUCKHORN  
 RALEIGH

PLAN SQFT	
<b>LIVING</b>	
1ST FLOOR	1887 SF
2ND FLOOR	1105 SF
<b>TOTAL LIVING</b>	<b>2992 SF</b>
<b>SLAB</b>	
1ST FLOOR	1887 SF
COVERED PORCH	145 SF
FRONT PORCH	184 SF
GARAGE	613 SF
<b>TOTAL SLAB</b>	<b>2829 SF</b>
<b>FRAMING</b>	
1ST FLOOR	1887 SF
2ND FLOOR	1099 SF
COVERED PORCH	145 SF
FRONT PORCH	184 SF
GARAGE	613 SF
PORTE COCHERE	32 SF
<b>TOTAL FRAMING</b>	<b>3941 SF</b>



**SECOND FLOOR**

NOTE: ALL 2ND FLR. CEILING HEIGHTS  
9'-0" UNLESS NOTED OTHERWISE

ADVANCED FRAMING: 2X6 EXTERIOR  
PERIMETER WALLS & ALL INSULATED  
WALLS UNLESS NOTED OTHERWISE

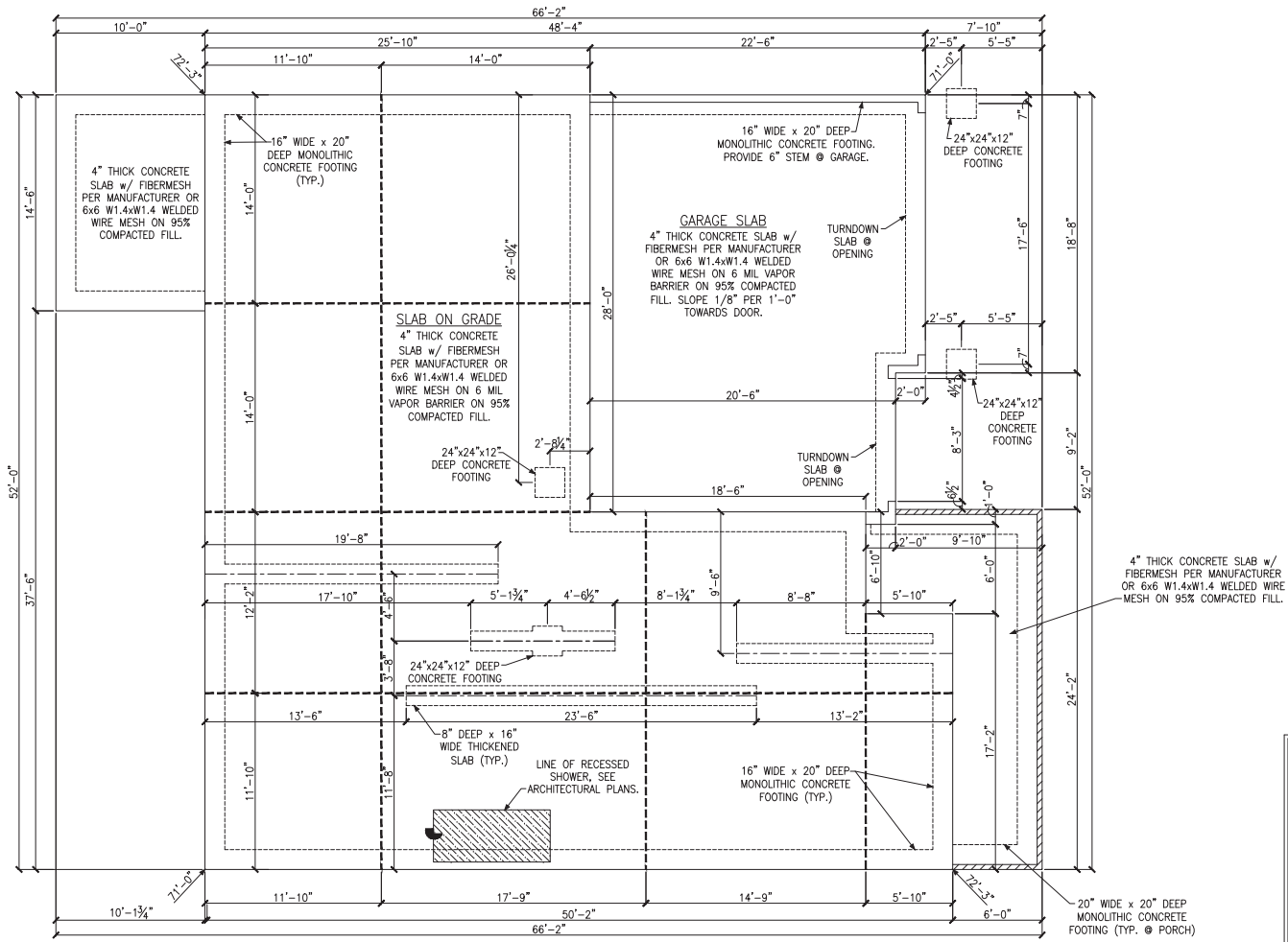
NORTH  
**B329-A**  
**PLN-2**  
BUCKHORN  
RALEIGH

**SERENITY 65' (IM)**  
762 SERENITY WALK PARKWAY  
FUQUAY VARINA, NC

Proj. No.: 182  
Lot: 3277  
Job No.: 0182  
Block:  
Sect:

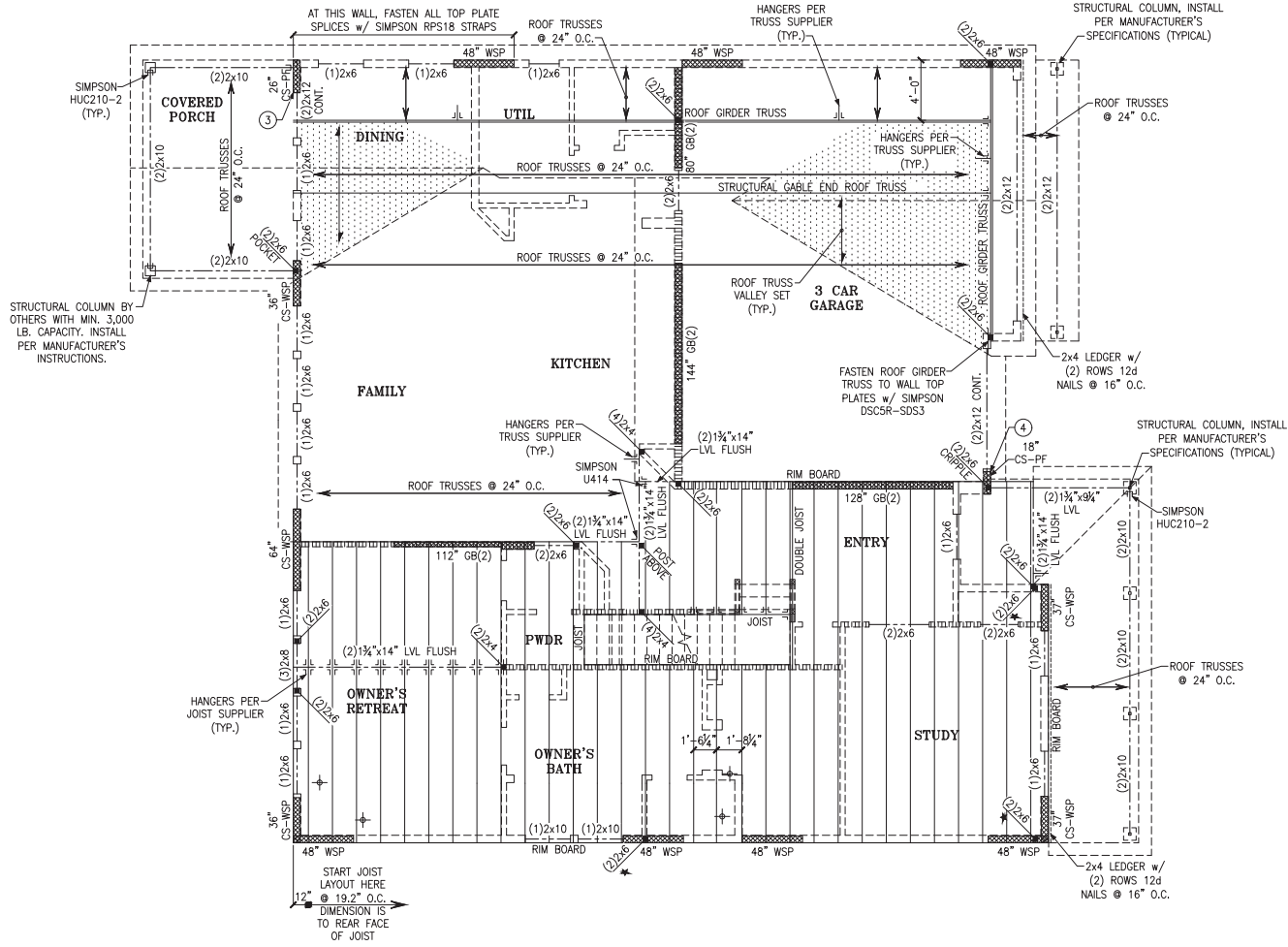
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CN/NU/IR Date: 09/21/2020 Scale: 1/8"=1'-0" Rev: 12/5/23 AM

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MONOLITHIC SLAB FOUNDATION PLAN





SECOND FLOOR FRAMING PLAN

**LEGEND**

- ★ PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- ▤ INTERIOR BEARING WALL
- ▨ BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES, TYPICAL DETAILS AND ADVANCED FRAMING NOTES AND DETAILS

PLAN DESIGNED WITH 9" NOMINAL WALL PLATE HEIGHT

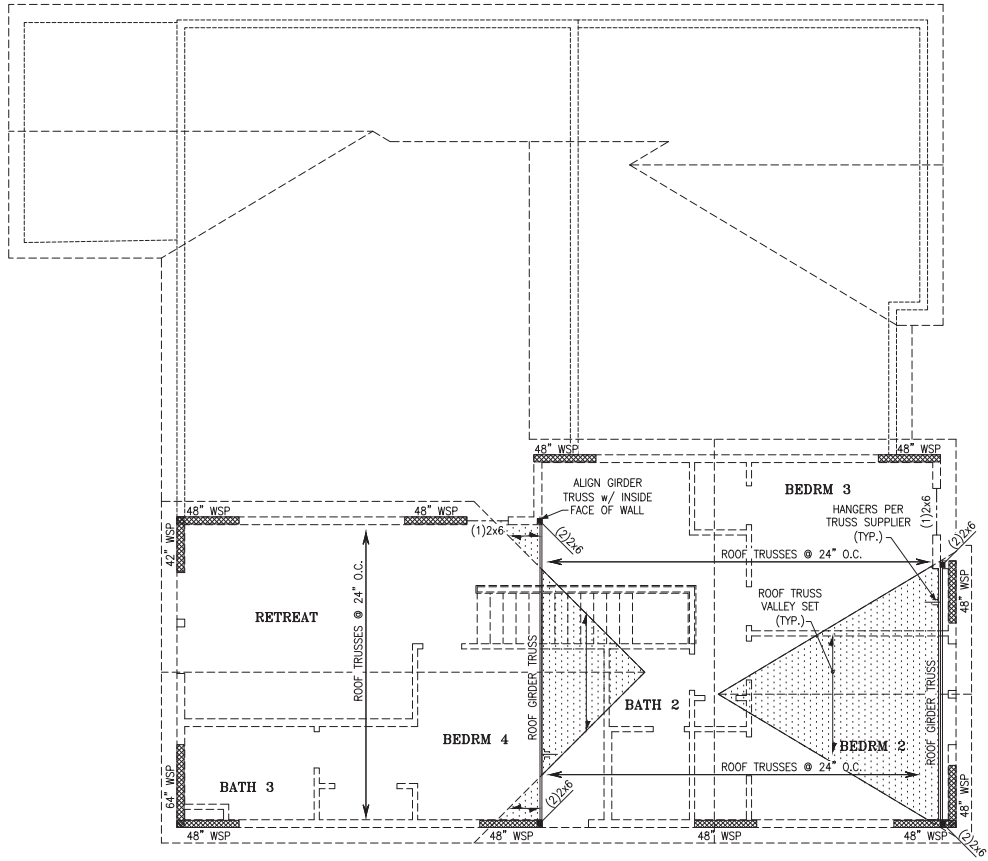
FLOOR FRAMING TO BE 14" DEEP TJI 210 SERIES OR EQUAL, SPACING PER MANUFACTURER.

**KEYNOTES:**

- 3 INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A/SD-3.
- 4 INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.







ROOF FRAMING PLAN

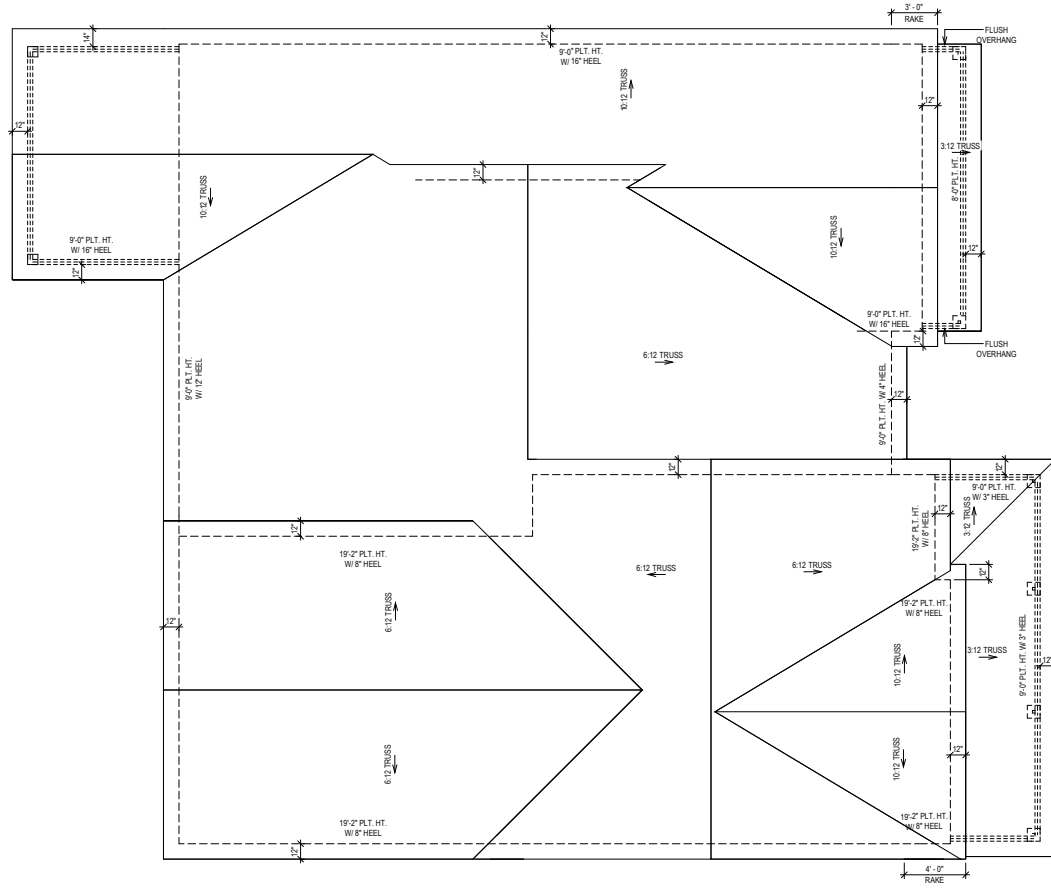
**LEGEND**

- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL
- 48\" WSP (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES, TYPICAL DETAILS AND ADVANCED FRAMING NOTES AND DETAILS

PLAN DESIGNED WITH 9\" NOMINAL WALL PLATE HEIGHT





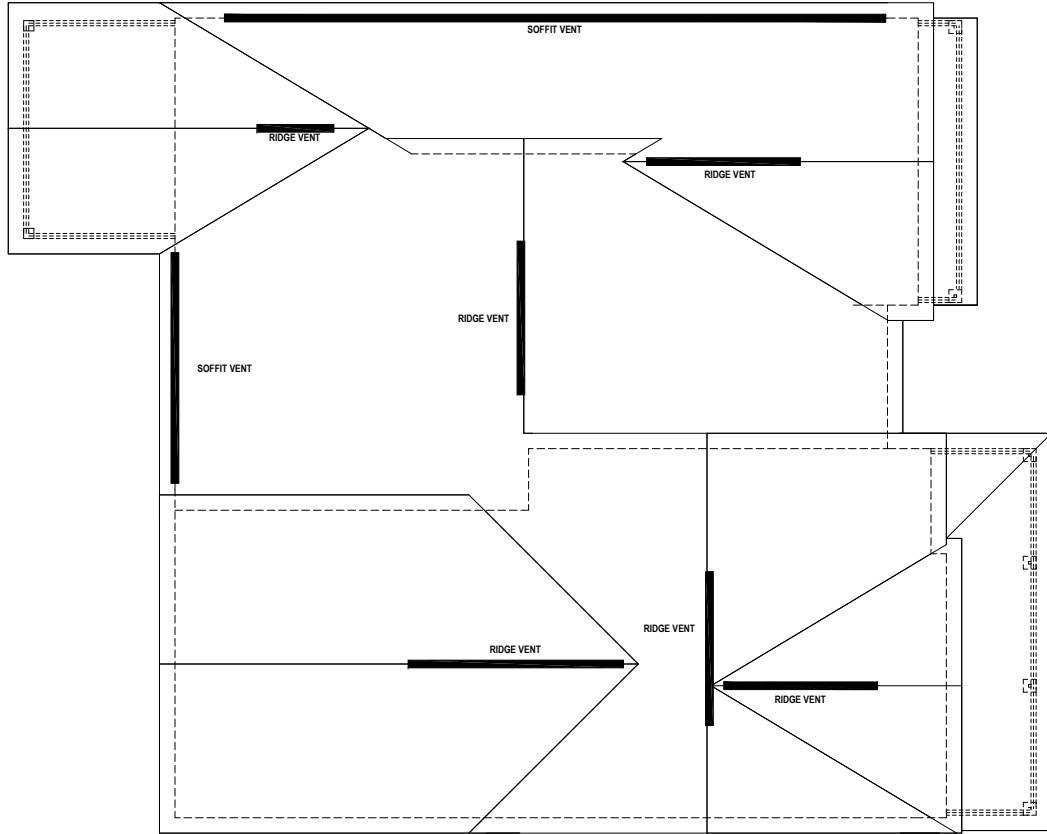
**ROOF PLAN**

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 C/N/NU/IR Date: 09/21/2020 Scale: 1/8"=1'-0" Rev: 12/5/23 AM

**SERENITY 65' (IM)** Proj. No.: 182  
**762 SERENITY WALK PARKWAY** Lot: 3277  
**FUQUAY VARINA, NC** Block: 0182 Sect:   
 Job No.: 0182

NORTH  
**B329-A**  
**RFP-1**  
 BUCKHORN  
 RALEIGH



ROOF PLAN W/COVERED PORCH CALCS

ROOF VENT CALCULATION:  
 ATTIC SPACE: 2829 SQ.FT.  
 REQUIRED VENTILATION: 1358 SQ.IN. REQ.

SOFFIT VENT PROVIDED: 60 LINEAL FEET  
 RIDGE VENT PROVIDED: 59 LINEAL FEET  
 AIR HAWK VENT PROVIDED: 0 UNITS

PROVIDED VENTILATION: 1362 SQ.IN.

50-80% IN UPPER PORTION: 78%

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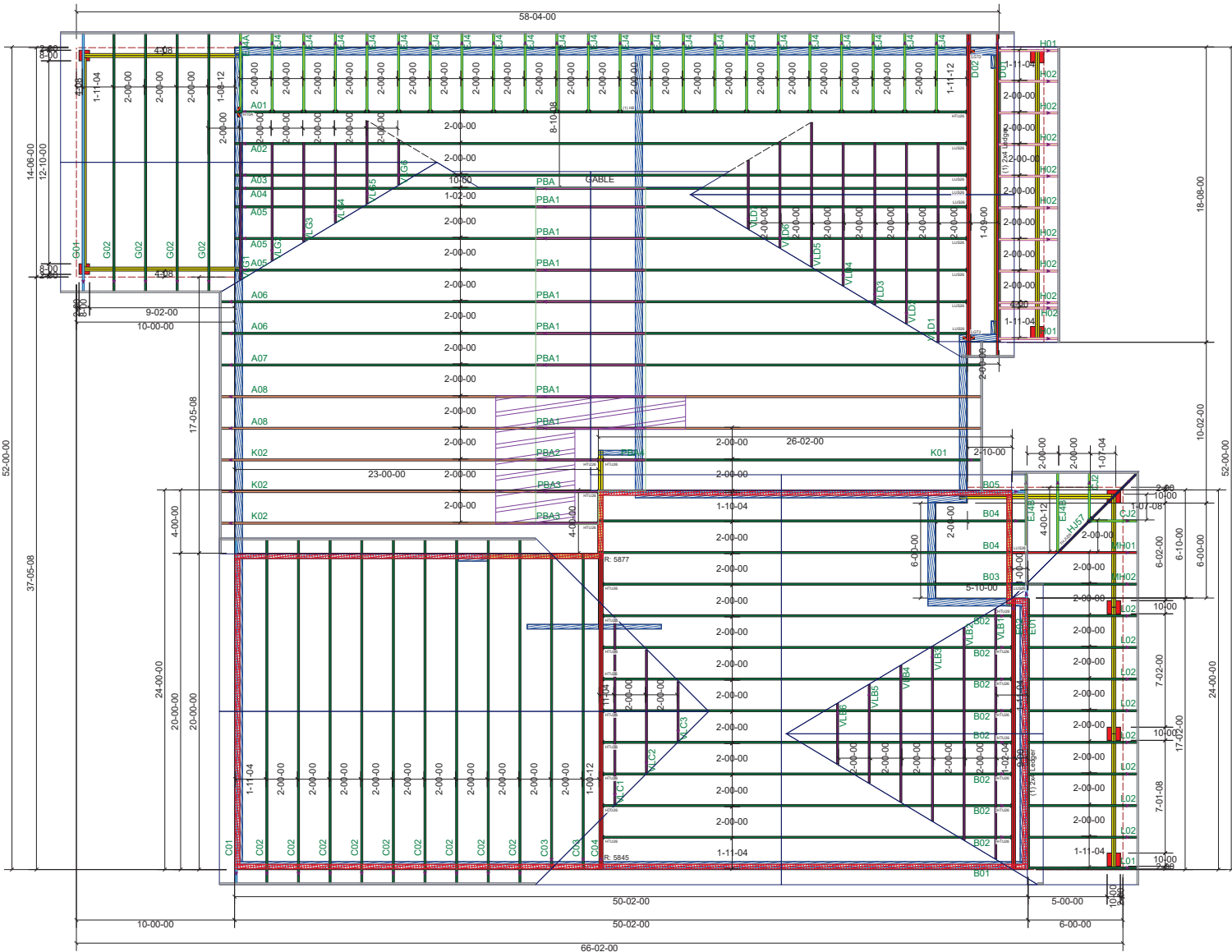
**David Weekley Homes**  
 C/N/NU/IR Date: \_\_\_\_\_  
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**SERENITY 65 (IM)**  
**762 SERENITY WALK PARKWAY**  
**FUQUAY VARINA, NC**

Proj. No.: 182  
 Lot: 3277  
 Block: \_\_\_\_\_  
 Job No.: 0182  
 Sect: \_\_\_\_\_

**NORTH**  
**B329-A**  
**RFP-2**  
 BUCKHORN  
 RALEIGH

**General Notes:** \*\* CUTTING OR DRILLING OF COMPONENTS SHOULD NOT BE DONE WITHOUT CONTACTING COMPONENT SUPPLIER FIRST. CUSTOMER TAKES FULL RESPONSIBILITY FOR COMPONENTS IF CUT BEFORE AUTHORIZATION. \*\* ALL BEARING POINTS MUST BE INSTALLED PRIOR TO SETTING ANY COMPONENTS.



**ALL UPLIFT CONNECTORS ARE ONE H2.5A, UNLESS OTHERWISE NOTED ON LAYOUT.**

Simpson	HUJ06	1
Simpson	HR	10
Simpson	One H2.5A	100
Simpson	LUS26	10
Simpson	LGT2	2
Simpson	HTJ06	22
Simpson	H10A	1
Mantel	Product	Qty
Truss Connection Table Link		

**Hatch Legend**

- 9'-1-1/8" BRG HGT (Lower)
- 9'-1-1/8" BRG HGT (Upper)
- ATTIC ROOM



Revisions	
00/00/00	Name
00/00/00	Name
00/00/00	Name
00/00/00	Name
00/00/00	Name
00/00/00	Name

**THIS IS A TRUSS PLACEMENT PLAN ONLY.** These trusses are designed as individual components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identifier on the placement drawing. The building designer is responsible for the overall design of the structure. The design of the truss support systems and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. "Bracing of Wood Truss" available from the Truss Plate Institute, 583 D'Oro Drive, Madison, WI 53719



**DAVID WEEKLY HOMES**  
182 Serenity / B329 "A" RH  
**ROOF TRUSS**  
**PLACEMENT PLAN**

Scale: NTS  
Date: 6/12/2024  
Designer: ND  
Project Number: 24050248  
Sheet Number: **1/1**

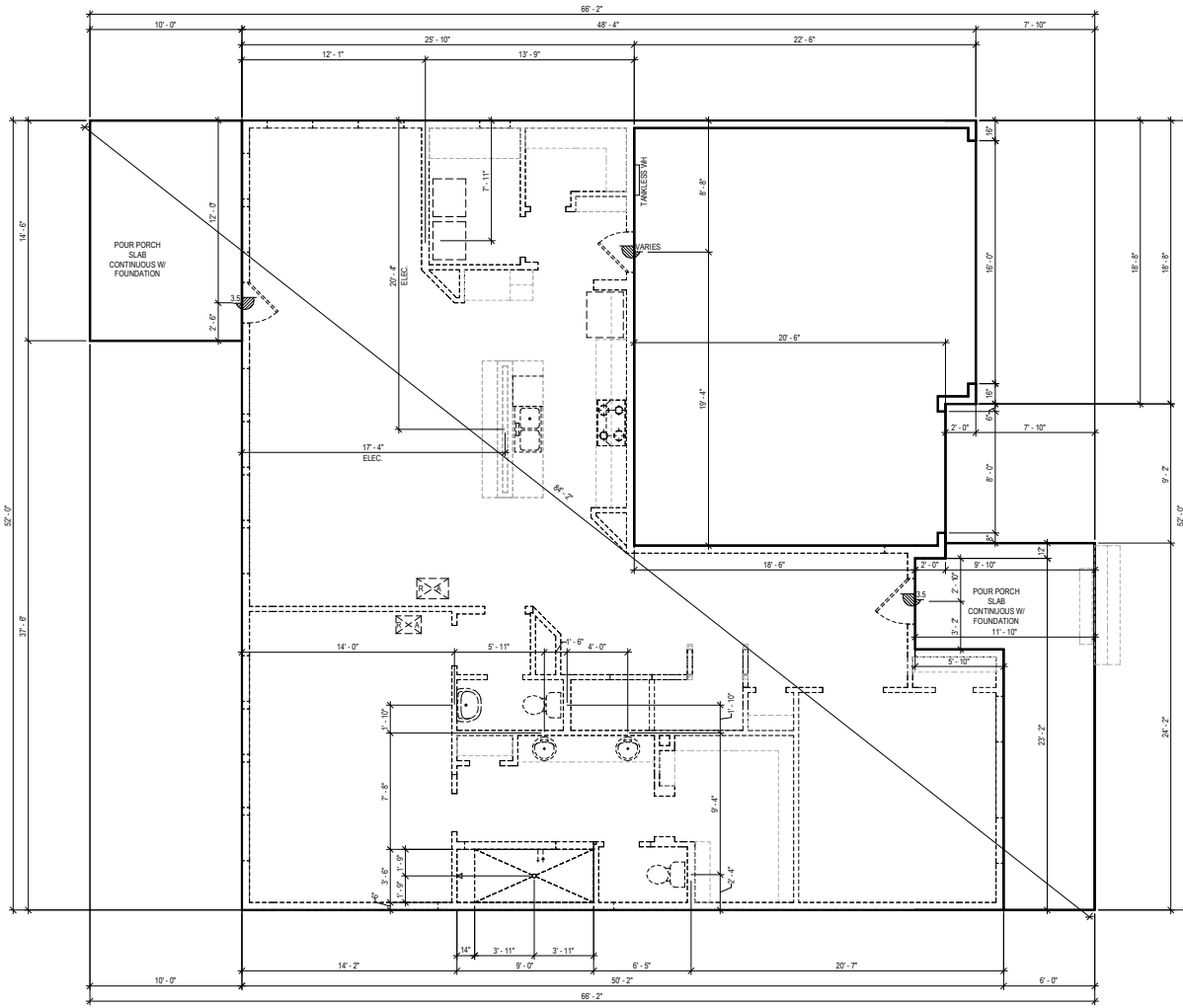
\*\* FRAMER MUST REFER TO PLANS WHILE SETTING COMPONENTS. \*\* DAMAGED COMPONENTS SHOULD NOT BE INSTALLED UNLESS TOLD TO BY THE COMPONENT PLANT.

\*\* SHEDDERS MUST BE FULLY CONNECTED TOGETHER PRIOR TO ADDING ANY LOADS. \*\* DIMENSIONS ARE READ AS: FOOT-INCH-SIXTEENTH. \*\* TRUSS TO TRUSS CONNECTIONS ARE FOC-IN-LED. UNLESS NOTED OTHERWISE.

\*\* TRIANGULAR SYMBOL NEAR END OF TRUSS INDICATES LEFT END OF TRUSS AS SHOWN ON INDIVIDUAL TRUSS DRAWINGS.

\*\* PLUMBING DROPS NOTED ARE IN THE APPROXIMATE LOCATIONS PER PLAN. BUILDER TO VERIFY LOCATIONS BEFORE SETTING TRUSSES.

\*\* REFER TO FINAL TRUSS ENGINEERING SHEETS FOR PLY TO PLY CONNECTIONS.



FIRST FLOOR

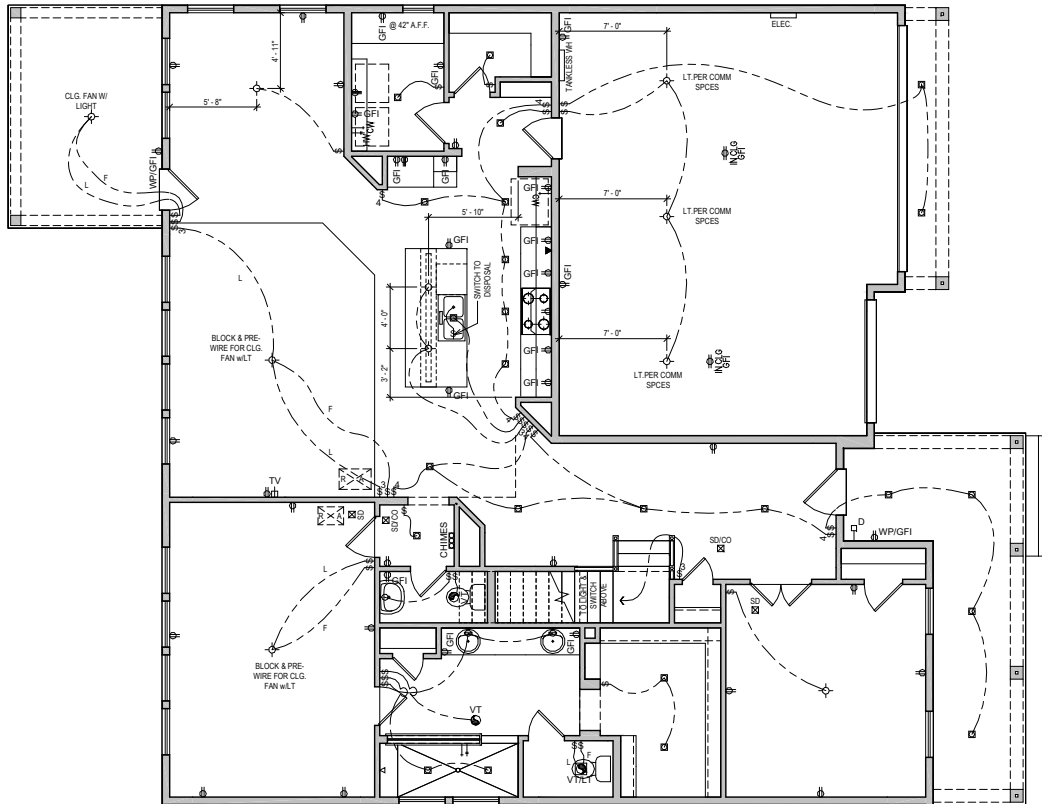
SEE ENGINEERING FOR ANCHOR BOLT REQUIREMENTS

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182  
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 3277 Block:  
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 762 SERENITY WALK PARKWAY  
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NORTH  
**B329-A**  
**FS-1**  
 BUCKHORN  
 RALEIGH



FIRST FLOOR

ALL RECESS CANS SHOWN  
ON PLAN ARE LED PER  
COMMUNITY SPEC.

CITY SPECIFIC  
RECESSED CAN/ EXHAUST  
VENT COMBO

UTILITY LEGEND	
110V OUTLET	ELEVATOR CALL BUTTON
12" A.F.F. (U.N.O.)	RECESS CAN LIGHT (EYEBALL AS NOTED)
GROUND FAULT INTERRUPTOR (WEATHER PROOF AS NOTED)	EXHAUST VENT
1/2" HALF HOT OUTLET	SMOKE DETECTOR (CARBON MONOXIDE AS NOTED)
220V OUTLET (30" A.F.F. @ UTILITY)	PHONE LINE
PHONE LINE	DOOR BELL
CABLE TELEVISION	CHIMES
STANDARD SWITCH (3 OR 4 WAY AS NOTED)	DOOR BELL CHIMES PANELBOARD W/ CIRCUIT BREAKERS
SURFACE MOUNTED LIGHT	HOSE BIB
SURFACE MOUNTED LED DISC LIGHT	GAS TAP
WALL MOUNTED LIGHT	CW, HW COLD/HOT WATER SUPPLY

IN ALL HABITABLE ROOMS  
LIGHT BOXES MUST BE FAN  
RATED

**MID-ATLANTIC General Notes**

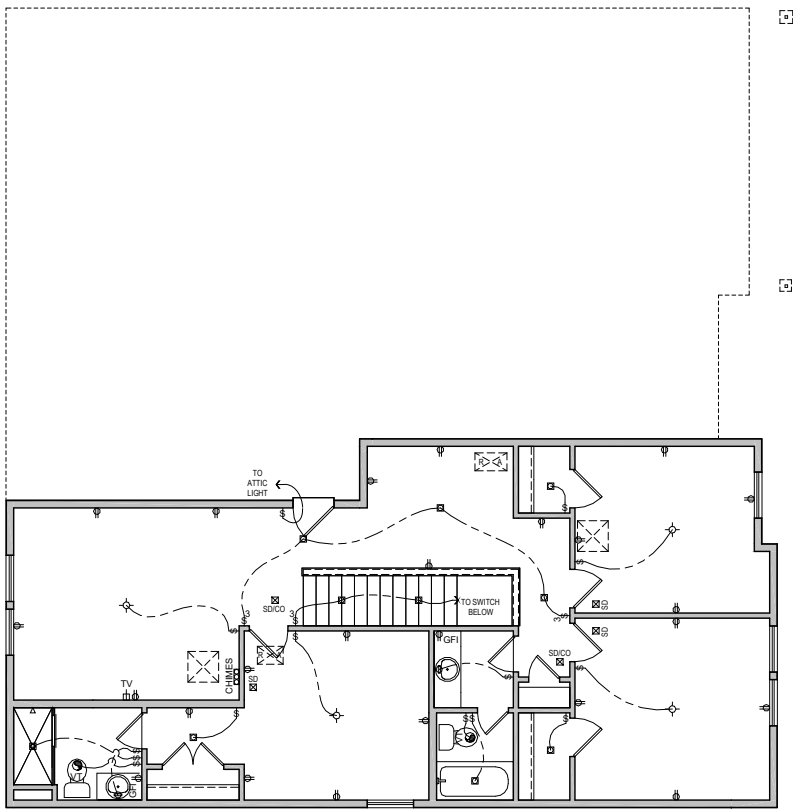
- ALL ELECTRICAL PLUGS TO BE 9" TO TOP FROM FLOOR IN ROOMS WITH WALL MOLDINGS.
- SWITCH FOR ATTIC LIGHT TO BE LOCATED OUTSIDE OF ATTIC SPACE, 12 INCHES FROM CEILING.
- DO NOT RUN WIRES ON TOP OF JOISTS IN AREAS LIKELY TO HAVE DECKING IN ATTIC. (near disappearing items)
- PROVIDE SMOKE DETECTORS IN EVERY BEDROOM. SEE SPECS FOR REQUIRED TYPE AND WIRING.
- PROVIDE GAS AT APPLIANCES PER COMMUNITY REQUIREMENTS.
- LOCATE ELECTRICAL PANEL IN LOCATION CLOSEST TO SERVICE.

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**ELE-1**  
BUCKHORN  
RALEIGH



**SECOND FLOOR**

UTILITY LEGEND	
⊕	110V OUTLET (12" A.F.F. @ MIN.)
⊕	GROUND FAULT INTERRUPTOR (WEATHER PROOF AS NOTED)
1/2 ⊕	HALF HOT OUTLET
⊕	220V OUTLET (30" A.F.F. @ UTILITY)
▽	PHONE LINE
TV ⊕	CABLE TELEVISION
⊕	STANDARD SWITCH (3 OR 4 WAY AS NOTED)
⊕	SURFACE MOUNTED LIGHT
⊕	SURFACE MOUNTED LED LIGHT
⊕	WALL MOUNTED LIGHT
E	ELEVATOR CALL BUTTON
□	RECESS CAN LIGHT (EYEBALL AS NOTED)
VT	EXHAUST VENT
⊕	SMOKE DETECTOR (CARBON MONOXIDE AS NOTED)
D	DOOR BELL
CHIMES	DOOR BELL CHIMES
ELEC.	PANELBOARD W/ CIRCUIT BREAKERS
HB	HOSE BIB
GAS	GAS TAP
CW HW	COLD/HOT WATER SUPPLY

**ALL RECESS CANS SHOWN ON PLAN ARE LED PER COMMUNITY SPEC.**

**MID-ATLANTIC General Notes**

1. ALL ELECTRICAL PLUSSES TO BE 9" TO TOP FROM FLOOR IN ROOMS WITH WALL MOUNDINGS.
2. SWITCH FOR ATTIC LIGHT TO BE LOCATED OUTSIDE OF ATTIC SPACE, 12 INCHES FROM CEILING.
3. DO NOT RUN WIRES ON TOP OF JOISTS IN AREAS LIKELY TO HAVE DECKING IN ATTIC. (near disappearing stairs)
4. PROVIDE SMOKE DETECTORS IN EVERY BEDROOM. SEE SPECS FOR REQUIRED TYPE AND WIRING.
5. PROVIDE GAS AT APPLIANCES PER COMMUNITY REQUIREMENTS.
6. LOCATE ELECTRICAL PANEL IN LOCATION CLOSEST TO SERVICE.

**IN ALL HABITABLE ROOMS LIGHT BOXES MUST BE FAN RATED**

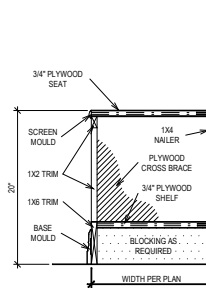
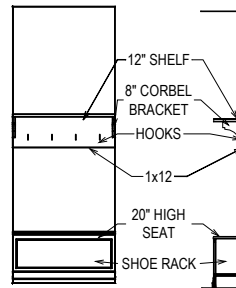
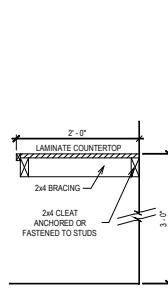
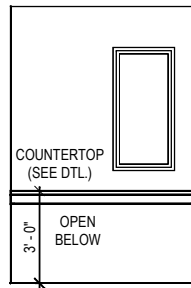
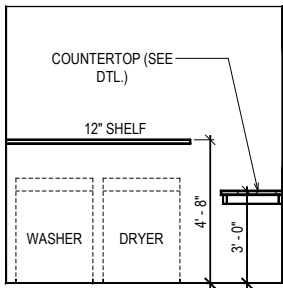
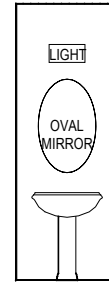
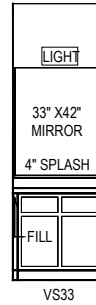
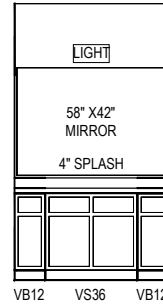
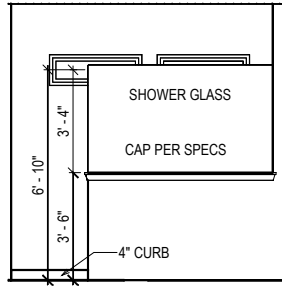
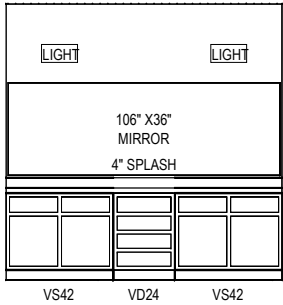
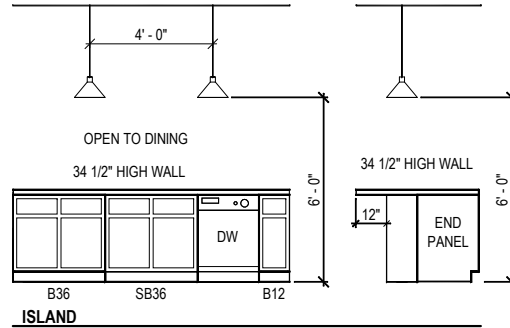
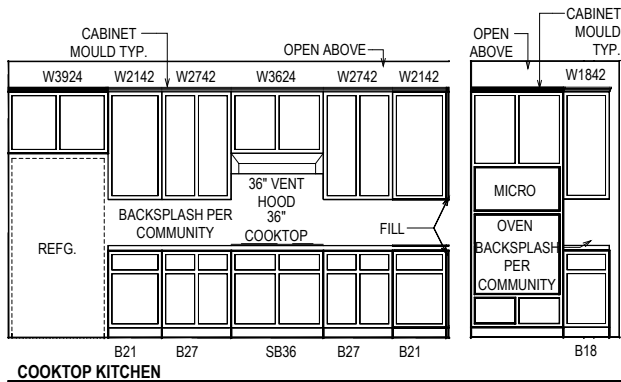
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**David Weekley Homes**  
 Date: 09/21/2020 Scale: 1/8"=1'-0"  
 Rev: 12/5/23 AM

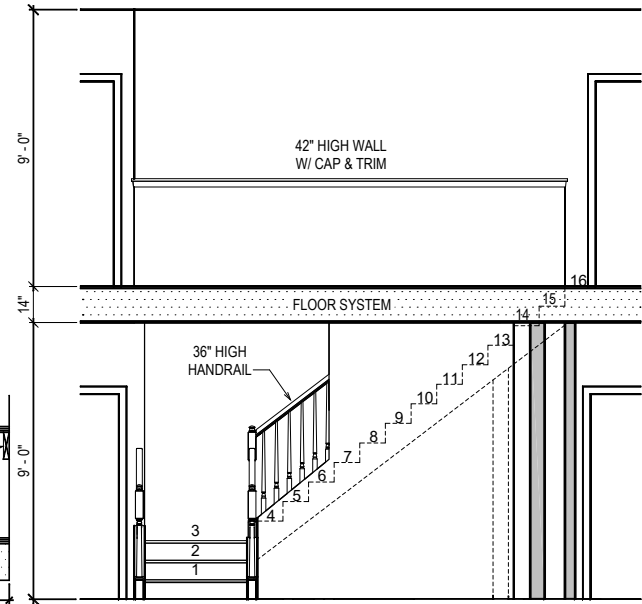
182  
 Lot: 3277  
 Block: 0182  
 Sect:

Proj. No.: 182  
 Job No.: 0182  
**SERENITY 65 (IM)**  
**762 SERENITY WALK PARKWAY**  
**FUQUAY VARINA, NC**

**NORTH**  
**B329-A**  
**ELE-2**  
**BUCKHORN**  
**RALEIGH**



SCALE: 3/4" = 1'-0"



**STAIR SECTION W/RAILING**

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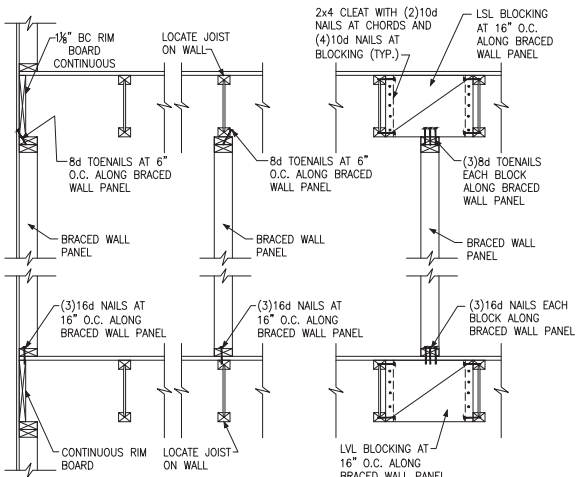
**David Weekley Homes**  
CN/NU/IR Date: 09/21/2020 Scale: 1/4"=1'-0" Rev: 12/5/23 AM

182  
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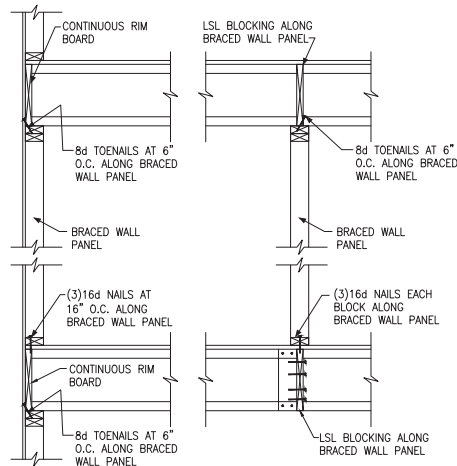
SERENITY 65 (IM)  
762 SERENITY WALK PARKWAY  
FUQUAY VARINA, NC

NORTH  
**B329-A**  
**INT-1**  
BUCKHORN  
RALEIGH

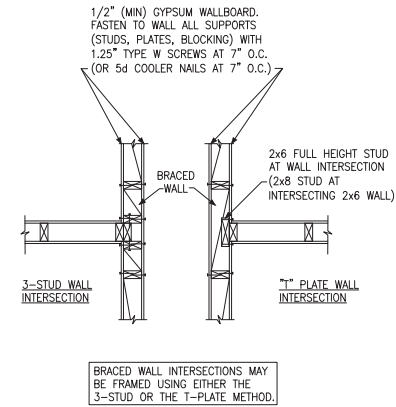




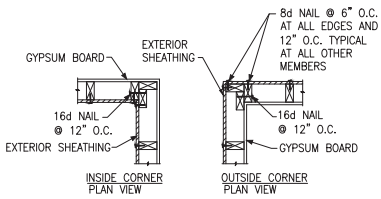
**A** TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION  
BRACED WALL PANELS PARALLEL TO I-JOISTS



**B** TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION  
BRACED WALL PANELS PERPENDICULAR TO I-JOISTS

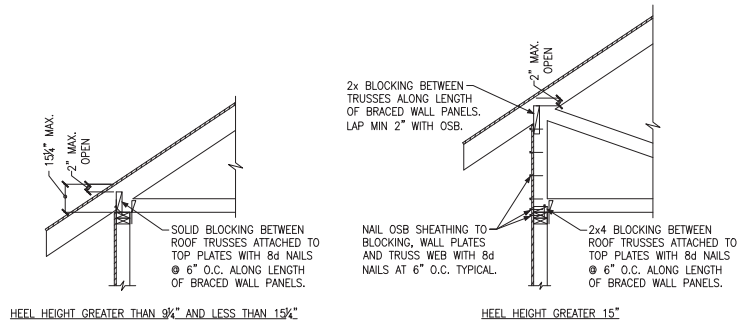


**C** METHOD GB(1) AND GB(2) INTERSECTION DETAILS



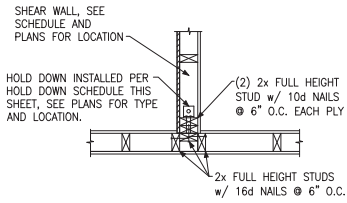
**D** TYPICAL EXTERIOR CORNER WALL FRAMING

NOTE: A THIRD STUD AND/OR PARTITION INTERSECTION BACKING STUDS SHALL BE PERMITTED TO BE OMITTED THROUGH THE USE OF WOOD BACKUP CLEATS, METAL DRYWALL CLIPS OR OTHER APPROVED DEVICES THAT WILL SERVE AS ADEQUATE BACKING FOR THE FACING MATERIALS.

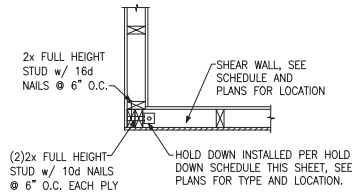


**E** ROOF TRUSS BEARING/BLOCKING AT BRACED WALL PANELS  
ONLY REQUIRED AT BRACED WALL PANELS

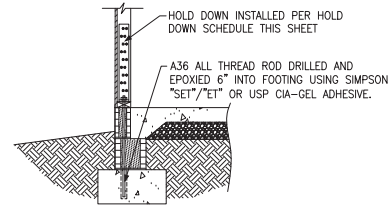




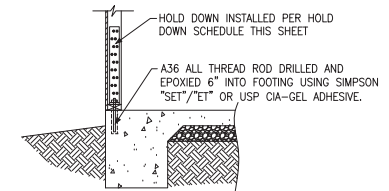
(A) TYPICAL HOLD DOWN DETAIL



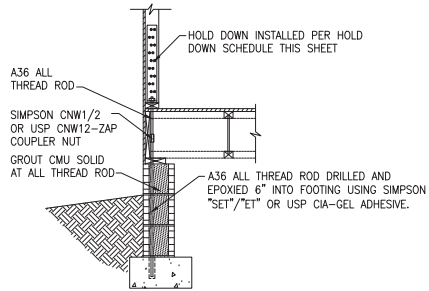
(B) TYPICAL HOLD DOWN DETAIL



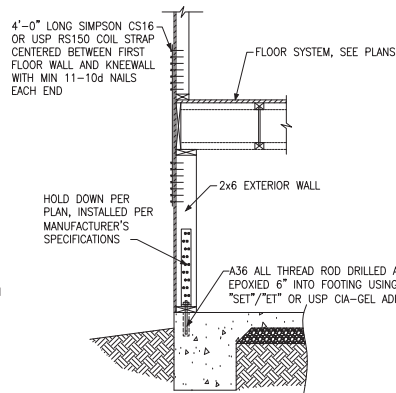
(C) HOLD DOWN AT STEMWALL SLAB



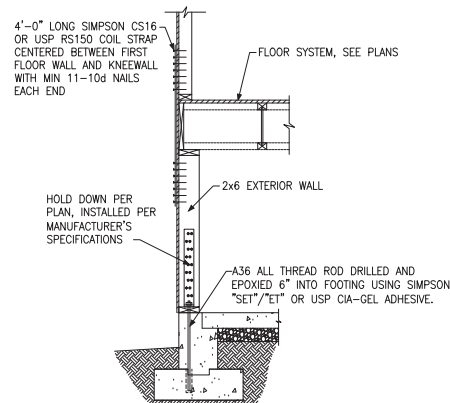
(D) HOLD DOWN AT MONOLITHIC SLAB



(E) HOLD DOWN AT CRAWL FOUNDATION



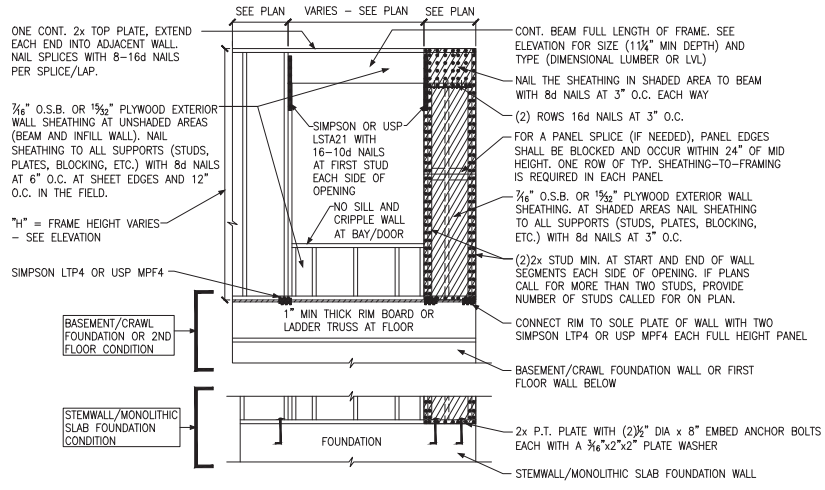
(F) HOLD DOWN AT FOUNDATION MONOLITHIC TURN-DOWN



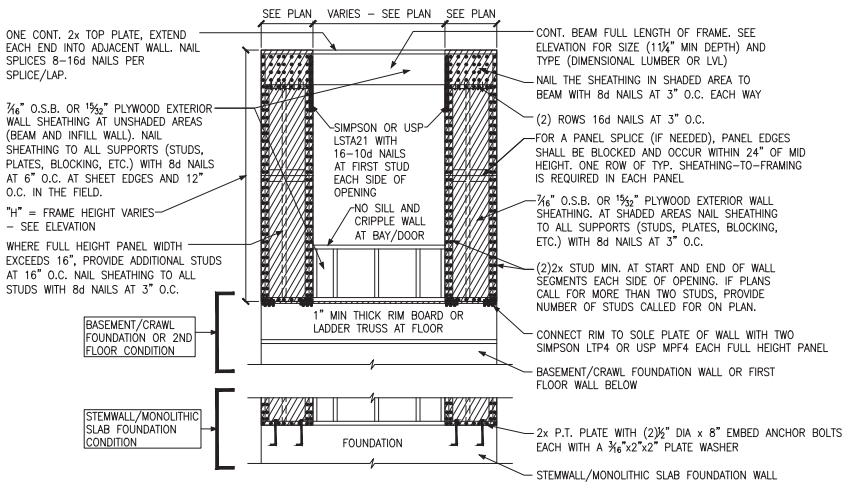
(G) HOLD DOWN AT FOUNDATION STEM WALL

HOLD DOWN SCHEDULE			
HOLD DOWN		ALL TREAD ROD	FASTENERS
SIMPSON	USP		
LTP2	LTS20B	½" DIA.	(10)10d NAILS
HTT4	HTT16	¾" DIA.	(18)16dx2½" LONG NAILS
HTT5	HTT45	¾" DIA.	(26)16dx2½" LONG NAILS

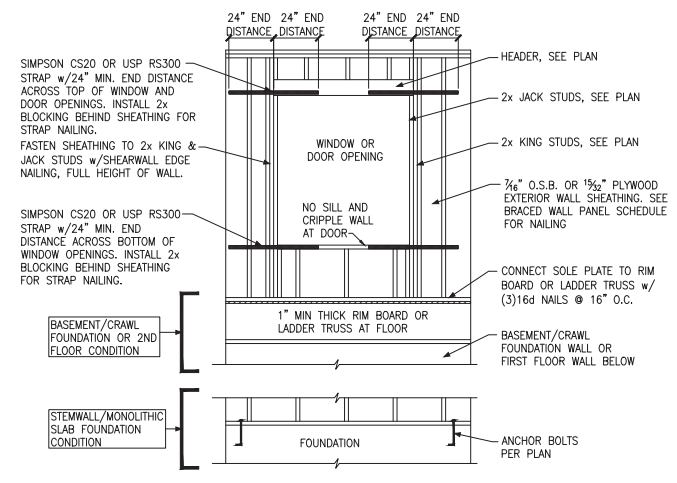




**A** METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION  
ONE BRACED WALL SEGMENT



**B** METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION  
TWO BRACED WALL SEGMENTS



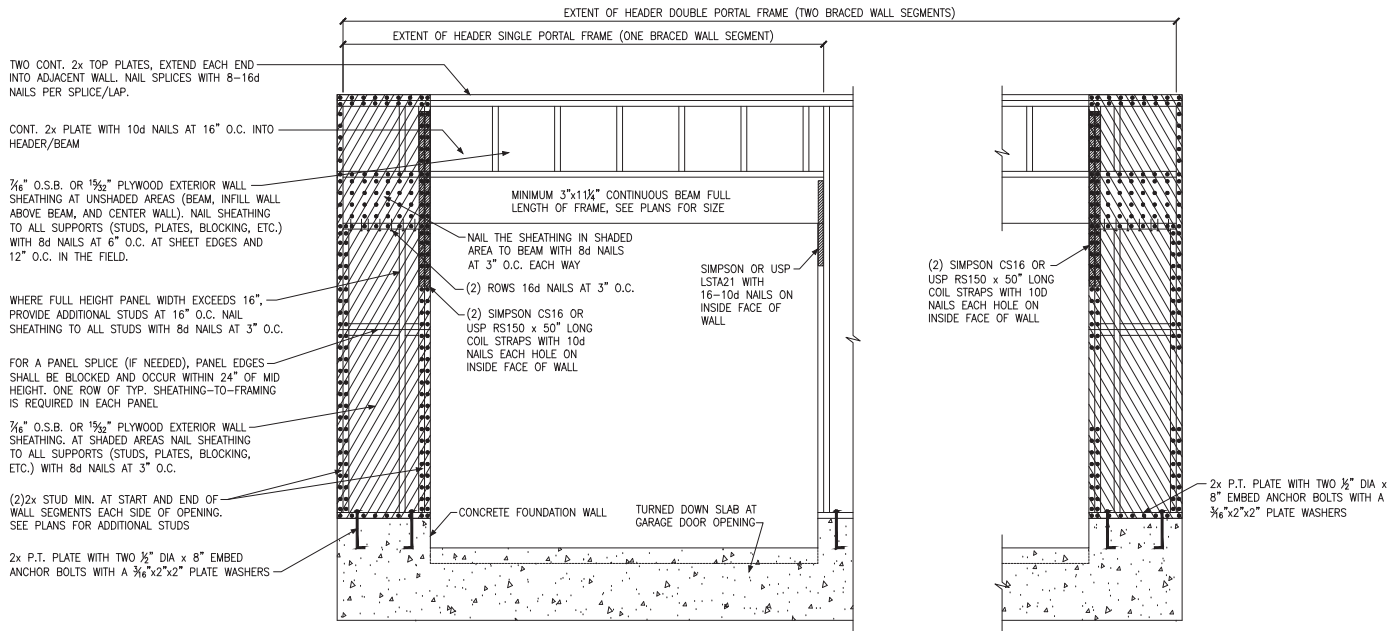
**C** WINDOW OR DOOR REINFORCEMENT IN ENGINEERED SHEAR WALL  
ONLY REQUIRED WHERE SPECIFIED ON PLANS

BRACED WALL PANEL AND ENGINEERED SHEAR WALL SCHEDULE			
PANEL TYPES	PANEL TYPE	MATERIAL	FASTENERS
WSP	INTERMITTENT WOOD STRUCTURAL PANEL	7/16" OSB	6d or 8d COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS
GB(1)	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GAL. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
GB(1)-4	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GAL. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 4" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
GB(2)	INTERMITTENT GYPSUM BOARD (SHEATHING BOTH FACES OF WALL)	1/2" GYPSUM	1.5" LONG GAL. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.
CS-WSP	CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL	7/16" OSB	6d or 8d COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS
CS-PF	CONTINUOUS SHEATHED PORTAL FRAME	7/16" OSB	NAILING PER DETAIL
CS-EPF	PORTAL FRAME WITH HOLD DOWNS	7/16" OSB	NAILING PER DETAIL
CS-ESW(1)	ENGINEERED SHEAR WALL, TYPE 1	7/16" OSB	8d COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS
CS-ESW(2)	ENGINEERED SHEAR WALL, TYPE 2	7/16" OSB	8d COMMON NAILS AT 4" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS
CS-ESW(3)	ENGINEERED SHEAR WALL, TYPE 3	7/16" OSB	8d COMMON NAILS AT 3" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS

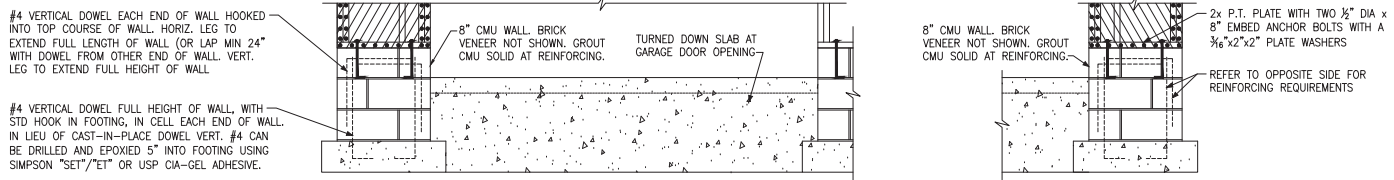
**BRACED WALL PANEL NOTES:**

- ALL BRACED WALL PANELS SHALL HAVE 2x BLOCKING BETWEEN WALL STUDS AT ALL HORIZONTAL SHEET EDGES, EXCEPT INTERMITTENT GYPSUM BOARD PANEL TYPES INSTALLED HORIZONTALLY.
- PROVIDE NAILING/BLOCKING ABOVE AND BELOW ALL BRACED WALL PANELS PER KSE BRACED WALL DETAILS.
- SHEATH ALL EXTERIOR WALLS OF THE HOUSE WITH 7/16" O.S.B. OR 1/2" PLYWOOD, FASTENED PER IRC. AT EXTERIOR CORNERS, SHEATHING SHALL BE FASTENED PER KSE BRACED WALL DETAILS. AT INTERIOR WALL INTERSECTIONS, FASTEN STUDS & WALL BRACING PER KSE BRACED WALL DETAILS.
- BRACED WALL PANELS AND ENGINEERED SHEAR WALLS ARE PROVIDED PER IRC. PANEL LENGTHS SHOWN ON PLANS ARE THE MINIMUM LENGTH REQUIRED.

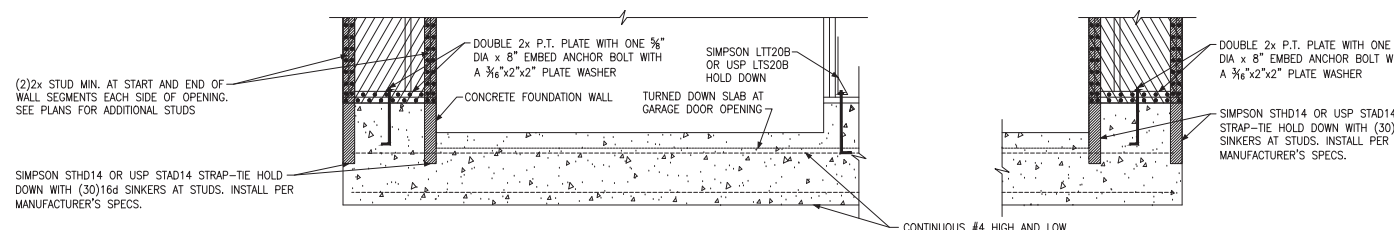




**(A) METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION**  
MONOLITHIC SLAB OR BASEMENT FOUNDATION



**(B) METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION**  
STEMWALL SLAB OR CRAWL SPACE FOUNDATION



**(C) METHOD CS-EPF: ENGINEERED PORTAL FRAME WITH HOLD-DOWNS**

TWO CONT. 2x TOP PLATES, EXTEND EACH END INTO ADJACENT WALL. NAIL SPLICES WITH 8-16d NAILS PER SPLICE/LAP.

CONT. 2x PLATE WITH 10d NAILS AT 16" O.C. INTO HEADER/BEAM

3/4" O.S.B. OR 1 1/2" PLYWOOD EXTERIOR WALL SHEATHING AT UNSHADED AREAS (BEAM, INFILL WALL ABOVE BEAM, AND CENTER WALL). NAIL SHEATHING TO ALL SUPPORTS (STUDS, PLATES, BLOCKING, ETC.) WITH 8d NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. IN THE FIELD.

WHERE FULL HEIGHT PANEL WIDTH EXCEEDS 16", PROVIDE ADDITIONAL STUDS AT 16" O.C. NAIL SHEATHING TO ALL STUDS WITH 8d NAILS AT 3" O.C.

FOR A PANEL SPLICE (IF NEEDED), PANEL EDGES SHALL BE BLOCKED AND OCCUR WITHIN 24" OF MID HEIGHT. ONE ROW OF TYP. SHEATHING-TO-FRAMING IS REQUIRED IN EACH PANEL

3/4" O.S.B. OR 1 1/2" PLYWOOD EXTERIOR WALL SHEATHING. AT SHADED AREAS NAIL SHEATHING TO ALL SUPPORTS (STUDS, PLATES, BLOCKING, ETC.) WITH 8d NAILS AT 3" O.C.

(2)2x STUD MIN. AT START AND END OF WALL SEGMENTS EACH SIDE OF OPENING. SEE PLANS FOR ADDITIONAL STUDS

2x P.T. PLATE WITH TWO 1/2" DIA x 8" EMBED ANCHOR BOLTS WITH A 3/16"x2"x2" PLATE WASHERS

MINIMUM 3"x1 1/4" CONTINUOUS BEAM FULL LENGTH OF FRAME, SEE PLANS FOR SIZE

NAIL THE SHEATHING IN SHADED AREA TO BEAM WITH 8d NAILS AT 3" O.C. EACH WAY

(2) ROWS 16d NAILS AT 3" O.C.

(2) SIMPSON CS16 OR USP RS150 x 50" LONG COIL STRAPS WITH 10d NAILS EACH HOLE ON INSIDE FACE OF WALL

SIMPSON OR USP LSTA21 WITH 16-10d NAILS ON INSIDE FACE OF WALL

(2) SIMPSON CS16 OR USP RS150 x 50" LONG COIL STRAPS WITH 10d NAILS EACH HOLE ON INSIDE FACE OF WALL

2x P.T. PLATE WITH TWO 1/2" DIA x 8" EMBED ANCHOR BOLTS WITH A 3/16"x2"x2" PLATE WASHERS

#4 VERTICAL DOWEL EACH END OF WALL HOOKED INTO TOP COURSE OF WALL. HORIZ. LEG TO EXTEND FULL LENGTH OF WALL (OR LAP MIN 24" WITH DOWEL FROM OTHER END OF WALL. VERT. LEG TO EXTEND FULL HEIGHT OF WALL.

#4 VERTICAL DOWEL FULL HEIGHT OF WALL, WITH STD HOOK IN FOOTING, IN CELL EACH END OF WALL. IN LIEU OF CAST-IN-PLACE DOWEL VERT. #4 CAN BE DRILLED AND EPOXIED 5" INTO FOOTING USING SIMPSON "SET"/"ET" OR USP CIA-GEL ADHESIVE.

8" CMU WALL, BRICK VENEER NOT SHOWN. GROUT CMU SOLID AT REINFORCING.

2x P.T. PLATE WITH TWO 1/2" DIA x 8" EMBED ANCHOR BOLTS WITH A 3/16"x2"x2" PLATE WASHERS

REFER TO OPPOSITE SIDE FOR REINFORCING REQUIREMENTS

(2)2x STUD MIN. AT START AND END OF WALL SEGMENTS EACH SIDE OF OPENING. SEE PLANS FOR ADDITIONAL STUDS

SIMPSON STH14 OR USP STAD14 STRAP-TIE HOLD DOWN WITH (30)16d SINKERS AT STUDS. INSTALL PER MANUFACTURER'S SPECS.

DOUBLE 2x P.T. PLATE WITH ONE 1/2" DIA x 8" EMBED ANCHOR BOLT WITH A 3/16"x2"x2" PLATE WASHER

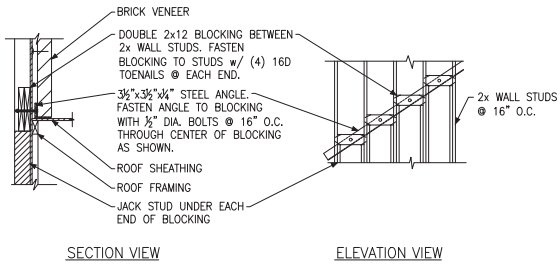
SIMPSON LTT20B OR USP LTS20B HOLD DOWN

DOUBLE 2x P.T. PLATE WITH ONE 1/2" DIA x 8" EMBED ANCHOR BOLT WITH A 3/16"x2"x2" PLATE WASHER

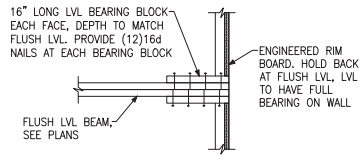
SIMPSON STH14 OR USP STAD14 STRAP-TIE HOLD DOWN WITH (30)16d SINKERS AT STUDS. INSTALL PER MANUFACTURER'S SPECS.

CONTINUOUS #4 HIGH AND LOW. PROVIDE MIN 24" LAPS WHERE SPLICED.

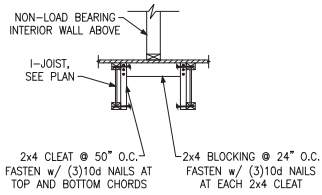




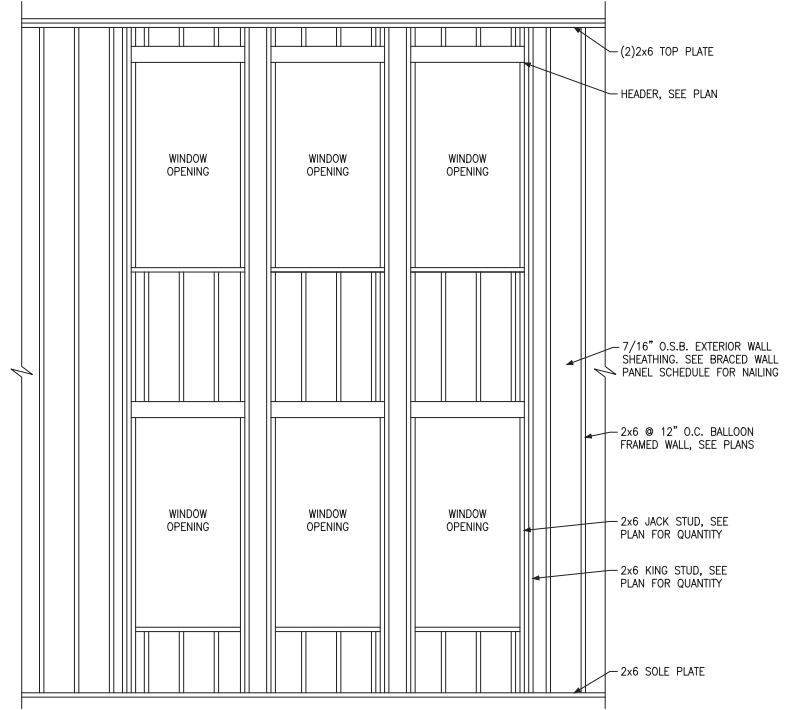
(A) BRICK LEDGER CONNECTION DETAIL



(B) BEARING ENHANCER FLUSH LVL



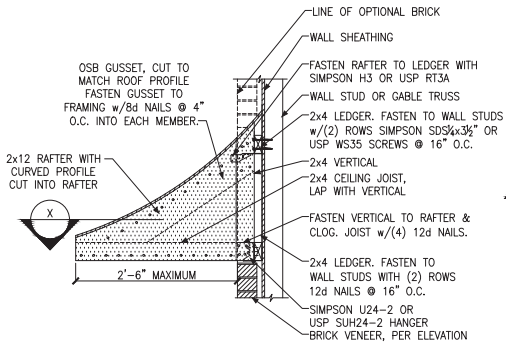
(C) I-JOIST LADDER BLOCKING AS REQUIRED @ PARALLEL WALLS



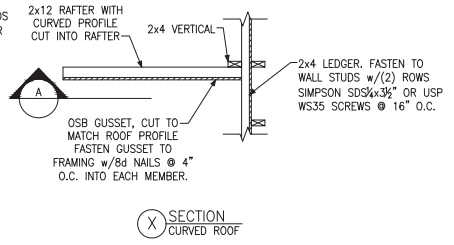
(D) BALLOON FRAMED WALL DETAIL N.T.S.

WALL STUD SIZE, HEIGHT & SPACING SCHEDULE						
STUD SIZE	BEARING WALLS				NONBEARING WALLS	
	LATERALLY UNSUPPORTED STUD HEIGHT	MAXIMUM SPACING WHEN SUPPORTING A ROOF-CEILING ASSEMBLY OR A HABITABLE ATTIC ASSEMBLY, ONLY	MAXIMUM SPACING WHEN SUPPORTING ONE FLOOR, PLUS A ROOF-CEILING ASSEMBLY OR A HABITABLE ATTIC ASSEMBLY	MAXIMUM SPACING WHEN SUPPORTING TWO FLOORS, PLUS A ROOF-CEILING ASSEMBLY OR A HABITABLE ATTIC ASSEMBLY	LATERALLY UNSUPPORTED STUD HEIGHT	MAXIMUM SPACING
2x4	10'-0"	24"	16"	-	14'-0"	24"
2x6	10'-0"	24"	24"	16"	20'-0"	24"

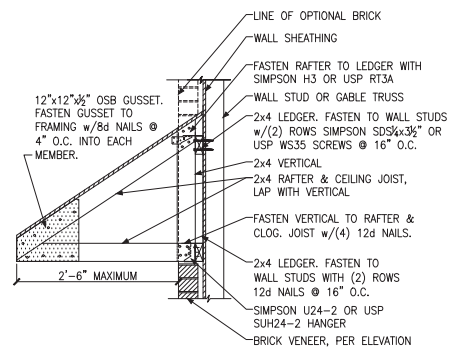




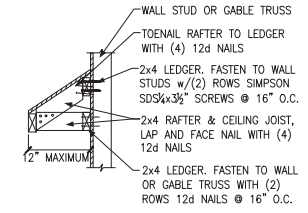
**A** PENT ROOF DETAIL  
CURVED ROOF



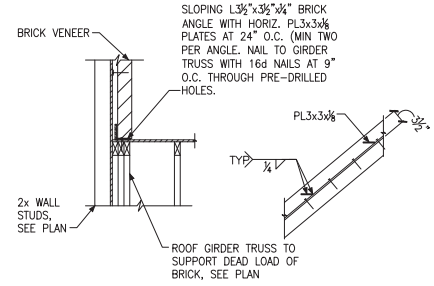
**X** SECTION  
CURVED ROOF



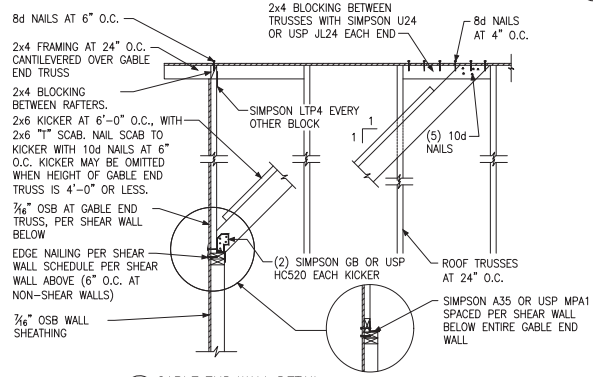
**B** PENT ROOF DETAIL  
STRAIGHT ROOF



**C** EYEBROW ROOF DETAIL  
STRAIGHT ROOF

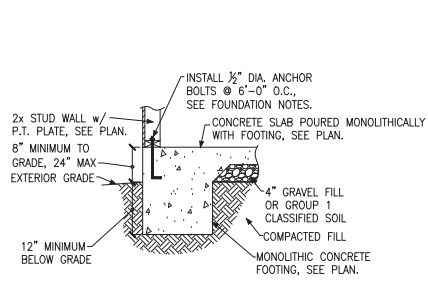


**D** TRUSS DETAIL

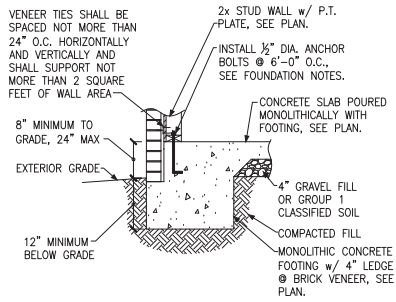


**E** GABLE END WALL DETAIL

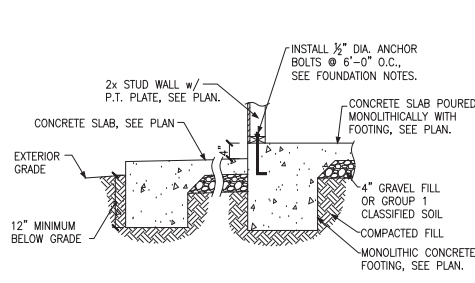




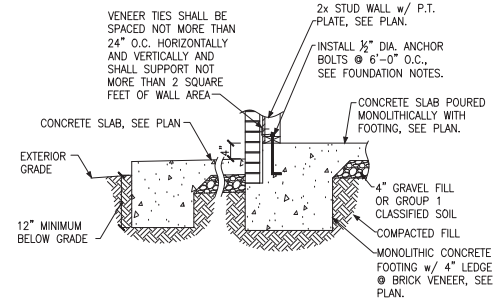
**A** FOUNDATION SECTION  
EXTERIOR WALL



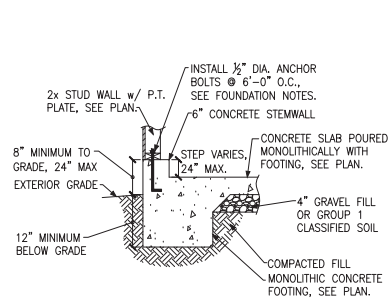
**B** FOUNDATION SECTION  
EXTERIOR WALL @ BRICK VENEER



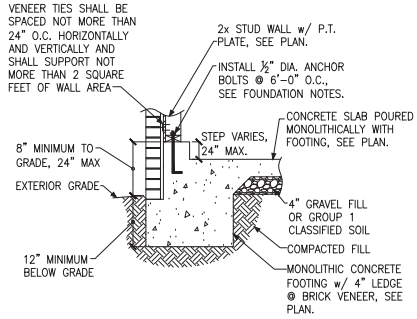
**C** FOUNDATION SECTION  
EXTERIOR WALL AT PORCH



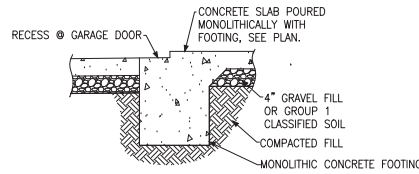
**D** FOUNDATION SECTION  
EXTERIOR WALL AT PORCH w/ BRICK VENEER



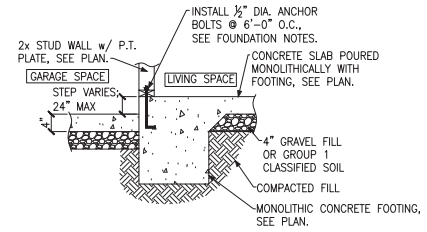
**E** FOUNDATION SECTION  
EXTERIOR GARAGE WALL



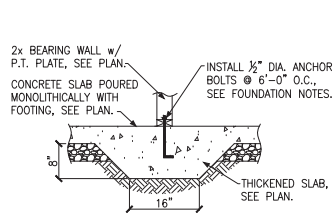
**F** FOUNDATION SECTION  
EXTERIOR GARAGE WALL @ BRICK VENEER



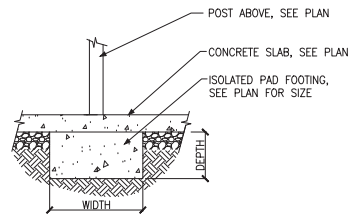
**G** GARAGE DOOR SECTION  
GARAGE DOOR



**H** THICKENED SLAB  
AT GARAGE

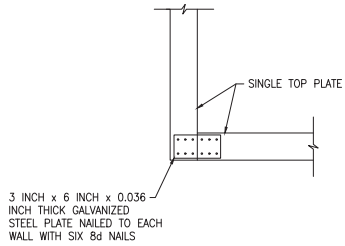


**J** THICKENED SLAB SECTION  
INTERIOR BEARING WALL

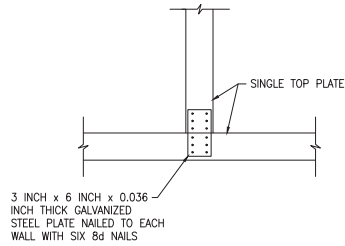


**K** ISOLATED PAD FOOTING  
INTERIOR COLUMN

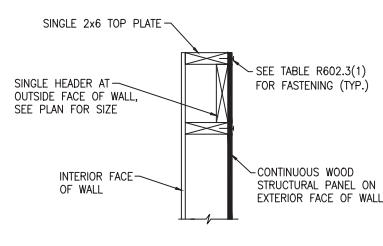




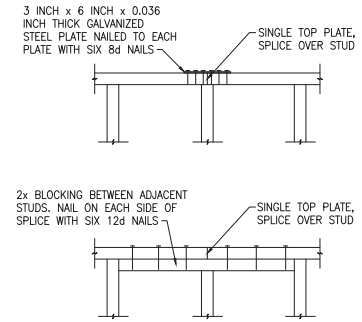
**A** SINGLE TOP PLATE SPLICE WALL INTERSECTION



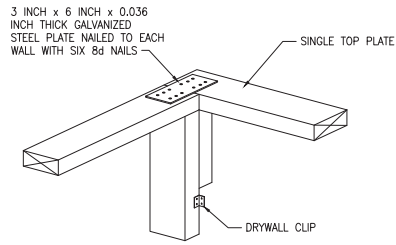
**B** SINGLE TOP PLATE SPLICE WALL INTERSECTION



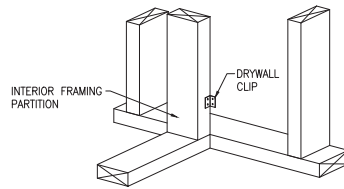
**C** SINGLE LOAD BEARING HEADER EXTERIOR WALL



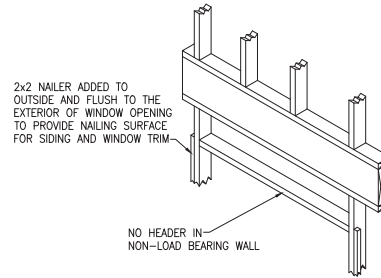
**D** SINGLE TOP PLATE SPLICE INTERIOR OR EXTERIOR WALL



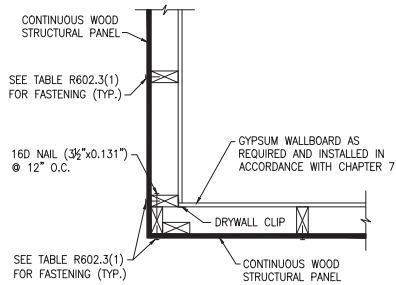
**E** SINGLE TOP PLATE SPLICE WALL INTERSECTION



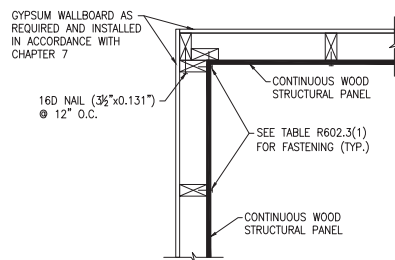
**F** SINGLE TOP PLATE SPLICE WALL INTERSECTION



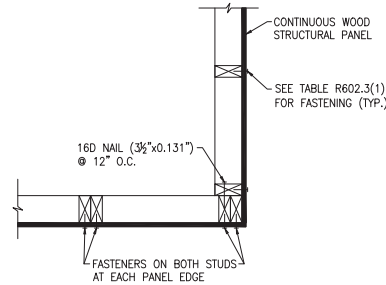
**G** NON-LOAD BEARING HEADER EXTERIOR WALL



**H** TYPICAL EXTERIOR CORNER FRAMING OUTSIDE CORNER DETAIL



**J** TYPICAL EXTERIOR CORNER FRAMING INSIDE CORNER DETAIL



**K** TYPICAL EXTERIOR CORNER FRAMING GARAGE DOOR CORNER DETAIL

**ADVANCED FRAMING NOTES**

- 1.) EXTERIOR WALLS TO BE 2x6 S.P.F. STUDS @ 24" O.C. WITH SINGLE TOP PLATE. TOP PLATE TO BE SPLICED PER NC RESIDENTIAL CODE.
- 2.) INTERIOR BEARING WALLS TO BE PER NC RESIDENTIAL CODE.
- 3.) ROOF TRUSSES AND FLOOR JOISTS ARE TO BE STACKED AND CENTERED OVER STUDS WITH A TOLERANCE OF NO MORE THAN 1 INCH. ADDITIONAL STUDS ARE TO BE ADDED WHERE THE ROOF TRUSSES AND FLOOR JOISTS ARE NOT STACKED OVER STUDS WITHIN 1" TOLERANCE.
- 4.) INTERIOR NON-LOAD BEARING WALLS TO BE 2x4 S.P.F. STUDS @ 24" O.C. WITH SINGLE TOP PLATE. TOP PLATE TO BE SPLICED PER NC RESIDENTIAL CODE.
- 5.) LOAD-BEARING HEADERS ARE NOT REQUIRED IN INTERIOR OR EXTERIOR NONBEARING WALLS. A SINGLE FLAT 2x MEMBER MAY BE USED AS A HEADER IN INTERIOR OR EXTERIOR NONBEARING WALLS FOR OPENINGS UP TO 8 FEET IN WIDTH IF THE VERTICAL DISTANCE TO THE PARALLEL NAILING SURFACE IS NOT MORE THAN 24 INCHES. FOR SUCH NONBEARING HEADERS, NO CRIPPLES OR BLOCKING ARE REQUIRED ABOVE THE HEADER.

