

GAR.E.F.

CORNICE DETAIL "B" SCALE: 1" = 1'-0"



FRONT ELEVATION "A"
SAME WI OPT. SUITE



REAR ELEVATION

SERENITY 65'(IM) 762 SERENITY WALK PARKWAY FUQUAY VARINA, NC

David Weekley Homes

182

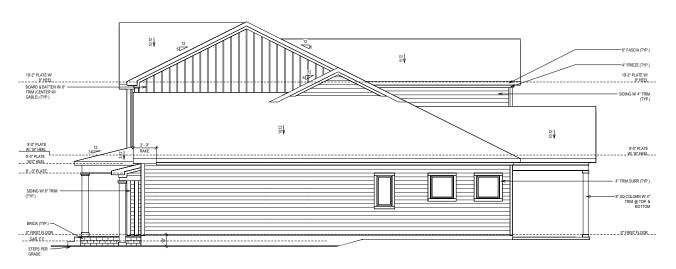
Scale:1/8"=1'-0" Rev: 12/5/23 AM

CN/NU/IR Date: 09/21/2020

Block: Fot

Proj. No.: 3277 Job No.: 0182

NORTH B329-A ELV-1 BUCKHORN RALEIGH



## SIDE ELEVATION



SIDE ELEVATION

Week key Homes L.P. 2020
 The measurement of dimension, and other specifications shown in the optimiser and other specification or year. The optimiser and other shown on year. The optimiser of the control of the completed of automa will look like.

 David Weekley Homes

 CNINUIR
 Scale: 1/8"=1-0"

 Date: 09/21/2020
 Rev: 12/5/23 AM

AY 3277 Lot: 182 Job No.: Block: 0182 Sect.

SERENITY 65'(IM) 762 SERENITY WALK PARKWAY FUQUAY VARINA, NC

NORTH B329-A ELV-2 BUCKHORN RALEIGH

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NOT USED SD-11

ADVANCED FRAMING DETAILS & NOTES



1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951 www.kse-eng.com (215) 804-4449

# **B329 BUCKHORN**

SERENITY, LOT #182

# RALEIGH, NORTH CAROLINA

THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. THIS COORDINATION IS NOT THE RESPONSIBILITY OF THE RECOMMENDAL LELECTIONS, AND PLOMORISERS, SHOULD ANY DISCREPANCIES BECOME APPARENT, THE CONTRACTOR SHALL NOTIFY IS ESPONDALLY DESCRIPTION OF THE ENGINEER LISTED ON THE CONTRACTOR SHALL NOTIFY IS ES DOCUMENTS, THAT THESE DOCUMENTS EACOUNTED BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION, EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL OF THE INFORMATION CONTRACTOR AND COLUMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER IS NOT RESPONSIBLE TO RANT PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE COMMENCE THIS OF CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN TEST DOCUMENTS.

#### DESIGN SPECIFICATIONS:

DESIGN BUILDING CODE (REFERRED TO HEREIN AS 'THE BUILDING CODE'):

• 2018 NORTH CAROLINA RESIDENTIAL CODE, WALL BRACING PER INTERNATIONAL RESIDENTIAL CODE 2015 EDITION.

- \*\* ROOF = 20 PSF (LOAD DURATION FACTOR=1.25)

  \*\*UNINHABITABLE ATTICS WITH LIMITED STORAGE = 20 PSF (WHERE SPECIFIED ON PLANS)
- HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS = 30 PSF
- FLOOR (SLEEPING AREAS) = 30 PSF
- DECK/BALCONY = 40 PSF
   STAIRS = 40 PSF

#### DESIGN DEAD LOADS:

- \*ROOF TRUSS = 17 PSF (TC=7, BC=10)

  \*FLOOR TRUSS = 15 PSF (TC=10, BC=5)
- \*FLOOR JOIST = 10 PSF \*STANDARD BRICK = 40 PSF
- · QUEEN ANNE BRICK = 25 PSF

\*NOTE: STRUCTURAL FRAMING HAS NOT BEEN DESIGNED FOR TILE, GRANITE, MARBLE OR OTHER MATERIALS HEAVIER THAN THE ABOVE LOADING UNLESS SPECIFICALLY NOTED ON PLANS.\*.

DESIGN WIND LOADS:

• ULTIMATE WIND SPEED = 115 MPH

• EXPOSURE CATEGORY = B

ASSUMED SOIL BEARING CAPACITY = 2000 PSF

ASSUMED LATERAL SOIL PRESSURE = 45 PCF

FROST DEPTH = 12" MINIMUM

SEISMIC DESIGN CATEGORY = B

#### ENGINEERED LUMBER SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:

\* TJI 210 SERIES (SERIES AND SPACING PER PLANS)

\* LSL: E=1,550,000 PSI, F<sub>8</sub>=2,325 PSI, F<sub>4</sub>=310 PSI, F<sub>6</sub>=900 PSI

\* LVL: E=2,000,000 PSI, F<sub>8</sub>=2,600 PSI, F<sub>8</sub>=285 PSI, F<sub>8</sub>=750 PSI

\* PSI: E=2,100,000 PSI, F<sub>8</sub>=2,900 PSI, F<sub>9</sub>=290 PSI, F<sub>6</sub>=625 PSI

ENGINEERING
E, SUITE 201, QUAKERTOWN, PA 18951
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David Weekley Homes

Carolina Cover Sheet Serenity, Lot #18 B329 Buckhorn M Serenity Raleigh, North Cc

Project #: 047-20009

Designed By:JPS Checked By: Issue Date: 5/31/24

#182

Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

- THE DESIGN PROFESSIONAL WHOSE SEAL APPEARS ON THESE DRAWINGS IS THE STRUCTURAL ENGINEER OF RECORD (SER) FOR THIS PROJECT, THE SER BEARS THE RESPONSIBILITY OF THE PRIMARY STRUCTURAL ELEMENTS AND THE PERFORMANCE OF THIS STRUCTURE.
  NO OTHER PARTY MAY REVISE, ALTER, OR DELETE ANY STRUCTURAL
  ASPECTS OF THESE CONSTRUCTION DOCUMENTS WITHOUT WRITTEN ASPECTS OF THESE CONSTRUCTION DOCUMENTS WITHOUT WRITTEN CONSENT OF KEE ENGINEERING P.C. OR THE SER. FOR THE PURPOSES OF THESE CONSTRUCTION DOCUMENTS, THE SER AND KSE ENGINEERING SHALL BE CONSIDERED THE SAME ENTITY. THE STRUCTURE IS DONLY STABLE IN ITS COMPLETED FORM. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TEMPORARY BRACKING DURING CONSTRUCTION TO STABILIZE THE STRUCTURE. SO THE STRUCTURE OF THE STRUCTURE OF THE STRUCTURE OF THE STRUCTURE. THE SER IS NOT RESPONSIBLE FOR CONSTRUCTION WITH THE CONSTRUCTION OF THIS STRUCTURE. THE SER WILL NOT BE HELD RESPONSIBLE FOR
- THE CONTRACTOR'S FAILURE TO CONFORM TO THE CONTRACT
- THE CONTRACTOR'S FAILURE TO CONFORM TO THE CONTRACT DOCUMENTS, SHOULD ANY NON-CONFORMITES OCCUR. THE SER DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF GEOMETRY. THE SER ASSUMES NO LUBBILITY FOR CHANGES MADE TO THESE PLANS BY OTHERS, OR FOR CONSTRUCTION METHODS, OR FOR MAY DEVANTION FROM THE PLANS. THE SER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE NOTIFIED PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE NOTIFIED ON THE PLANS. ANY STRUCTURAL ELEMENTS OR DETAILS NOT FULLY DEVELOPED ON THE CONSTRUCTIONS SMALL BE CONSIDERITION.
- THE CONSTRUCTION DEWNINGS SHALL BE COMPLETE LYNDER THE OPPORTUNITY OF THE CONSTRUCTION SHALL BE SUBMITTED TO KEE ENONEERING FOR REVIEW BEFORE ANY CONSTRUCTION BEFORE ANY CONSTRUCTION BEFORE ANY CONSTRUCTION BEFORE ANY CONSTRUCTION BEFORE THE SHOP DRAWNINGS WILL BE REVIEWED FOR OVERALL COMPLIANCE AS IT RELATES TO THE STRUCTURAL DESIGN OF THIS PROJECT, VERRIFICATION OF THE SHOP DRAWINGS FOR DIMENSIONS, OR FOR ACTUAL FIELD CONDITIONS, IS NOT THE RESPONSIBILITY OF THE SER OR KSE ENGINEERING, P.C. VERIFICATION OF ASSUMED FIELD CONDITIONS IS NOT THE
- RESPONSIBILITY OF THE SER. THE CONTRACTOR SHALL VERIFY THE FIELD CONDITIONS FOR ACCURACY AND REPORT ANY DISCREPANCIES TO KSE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS.
  THE SER IS NOT RESPONSIBLE FOR ANY SECONDARY STRUCTURAL
  ELEMENTS OR NON-STRUCTURAL ELEMENTS, EXCEPT FOR THE
- FLEMENTS SPECIFICALLY NOTED ON THE STRUCTURAL DRAWINGS THIS STRUCTURE AND ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE SECTIONS OF THE BUILDING CODE AND ANY LOCAL CODES OR RESTRICTIONS.
- 9. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ALL DIMENSIONS ARE TO EACE OF STUD OR TO EACE OF FRAMING LINLESS OTHERWISE NOTED

#### WATERPROOFING AND FLASHING BY OTHERS

FOUNDATIONS: FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH

CHAPTER 4 OF THE BUILDING CODE.

CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE SUITABILITY

OF THE SITE SOIL CONDITIONS AT THE TIME OF CONSTRUCTION. THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER ON THE STUDY OF THE PROPOSED SITE TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR

CONTRACTOR.

MAXIMUM DEPTH OF UNBALANCED FILL AGAINST MASONRY WALLS TO BE AS SPECIFIED IN THE BUILDING CODE.

THE SER HAS NOT PERFORMED A SUBSURFACE INVESTIGATION. VERIFICATION OF THE ASSUMED VALUE IS THE RESPONSIBILITY OF THE OWNER OR THE CONTRACTOR. SHOULD ANY ADVERSE SOIL CONDITION BE ENCOUNTERED, THE SER MUST BE CONTACTED BEFORE DEPORTED.

THE BOTTOM OF ALL FOOTINGS SHALL EXTEND BELOW THE FROST LINE FOR THE REGION IN WHICH THE STRUCTURE IS TO BE CONSTRUCTED, BUT NOT LESS THAN A MINIMUM OF 12" BELOW GRADE. ALL FOOTINGS TO HAVE A MINIMUM PROJECTION OF 2" ON EACH SIDE OF FOUNDATION WALLS, MAXIMUM FOOTING PROJECTION SHALL NOT EXCEED THE THICKNESS OF THE FOOTING.
WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH

16" ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT, SPACED A MAXIMUM OF 6'-0" O.C. INSTALL MINIMUM 2 ANCHOR BOLTS PER SECTION, 12" MAXIMUM FROM CORNERS. ½" DIAMETER x 8" LONG SIMPSON TITEN HD OR USP SCREW-BOLT+ SCREWS MAY BE SUBSTITUTED ON A 1 FOR 1 BASIS FOR CONCRETE FOUNDATIONS ONLY.

ANY FILL SHALL BE PLACED UNDER THE DIRECTION OR

RECOMMENDATION OF A LICENSED PROFESSIONAL ENGINEER, THE RESULTING SOIL SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DRY DENSITY

EXCAVATIONS OF FOOTINGS SHALL BE LINED TEMPORARILY WITH A 6
MIL POLYETHYLENE MEMBRANE IF PLACEMENT OF CONCRETE DOES NOT OCCUR WITHIN 24 HOURS OF EXCAVATION. NO CONCRETE SHALL BE PLACED AGAINST ANY SUBGRADE CONTAINING

WATER, ICE, FROST, OR LOOSE MATERIAL.

PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS (SEE

ARCHITECTURAL PLANS AND DETAILS).

NONE OF THE FOUNDATION DESIGNS IN THESE DOCUMENTS ARE SUITABLE

FOR INSTALLATION IN SHRINK/SWELL CONDITIONS, REFER TO

GEOTECHNICAL ENGINEER FOR APPROPRIATE DESIGN.
LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM
FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST TEN FEET.

WITHIN THE FIRST ITEM FEET.
CRAWL SPACE TO BE GRADED LEVEL AND CLEAR OF ALL DEBRIS.
PROVIDE MINIMUM 6 MIL APPROVED VAPOR BARRIER. ALL JOINTS TO
BE LAPPED MINIMUM 12" AND SEALED.

CONCRETE & REINFORCING

CONCRETE DESIGN BASED ON ACI 318 AND ACI 318.1 OR ACI 332.
CONCRETE SHALL HAVE A NORMAL WEIGHT AGGREGATE AND A MINIMUM
COMPRESSIVE STRENGTH (f'c) = 3,000 PSI MINIMUM AT 28 DAYS PER CODE (VARIES W/ WEATHER), UNLESS OTHERWISE NOTED ON THE PLAN. CONCRETE SHALL BE PROPORTIONED, MIXED, AND PLACED IN

ACCORDANCE WITH THE LATEST EDITIONS OF ACI 318: "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"

AIR ENTRAINED CONCRETE MUST BE USED FOR ALL STRUCTURAL ELEMENTS EXPOSED TO FREEZE/THAW CYCLES AND DEICING CHEMICALS. ARE ENTRAINMENT AMOUNTS (IN PERCENT) SHALL BE WITHIN -1% TO +2% OF 5% FOR FOOTINGS AND EXTERIOR SLABS.

NO ADMIXTURES SHALL BE ADDED TO ANY STRUCTURAL CONCRETE WITHOUT WRITTEN PERMISSION OF THE SER. WATER ADDED TO

CONCRETE ON SITE SHALL NOT EXCEED THAT ALLOWED BY THE MIX

CONCRETE SLABS-ON-GRADE SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 302.1R: "GUIDE FOR CONCRETE SLAB AND SLAB CONSTRUCTION"

CONTROL OR SAW CUT JOINTS (CUT OR TOOLED) SHALL BE SPACED IN INTERIOR SLABS-ON-GRADE AT A MAXIMUM OF 15'-0" O.C. AND IN EXTERIOR SLABS-ON-GRADE AT A MAXIMUM OF 10'-0" UNLESS OTHERWISE NOTED, CARE SHALL BE TAKEN TO AVOID RE-ENTRANT CORNERS

CONTROL OR SAW CUT JOINTS SHALL BE PRODUCED USING CONVENTIONAL CUT OR TOOLED PROCESSES WITHIN 4 TO 12 HOURS AFTER THE SLAB HAS BEEN FINISHED. REINFORCING STEEL MAY EXTEND THROUGH A SAW CUT JOINT

ALL WELDED WIRE FABRIC (W.W.F.) FOR CONCRETE SLABS—ON—GRADE SHALL BE PLACED AT MID—DEPTH OF SLAB. THE W.W.F. SHALL BE SECURELY SUPPORTED DURING THE CONCRETE POUR, FIBROUS CONCRETE REINFORCEMENT, OR POLYPROPYLENE FIRERS MAY BE LISED. CONCRETE REINFORCEMENT, OR POLYPROPYLENE FIBERS MAY BE USED IN LIEU OF WW.F. APPLICATION OF POLYPROPYLENE FIBERS PER CUBIC YARD OF CONCRETE SHALL BE PER MANUFACTURER AND COMPLY WITH ASTM C1116, ANY LOCAL BUILDING CODE REQUIREMENTS AND SHALL MEET OR EXCEED CURRENT INDUSTRY STANDARD.

 POLYPROPYLENE REINFORCING TO BE 100% VIRGIN, CONTAINING NO REPROCESSED OLEFIN MATERIALS AND SPECIFICALLY MANUFACTURED FOR USE AS CONCRETE SECONDARY REINFORCEMENT. 11. STEEL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING

TO ASTM A615, GRADE 60. DETAILING, FABRICATION, AND PLACEMENT OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315: "MANUAL

OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES". HORIZONTAL FOOTING AND WALL REINFORCEMENT SHALL BE CONTINUOUS AND SHALL HAVE 90° BENDS, OR CORNER BARS WITH

THE SAME SIZE/SPACING AS THE HORIZONTAL REINFORCEMENT. 14. PROVIDE REINFORCEMENT LAP AS NOTED BELOW, UNLESS NOTED

OTHERWISE: #4 BARS - 30" LENGTH #5 BARS - 38" LENGTH #6 BARS - 45" LENGTH

WHERE REINFORCING DOWELS ARE REQUIRED. THEY SHALL BE WHERE REPREVENING DOWELS ARE REQUIRED, THEI SHALL BE EQUIVALENT IN SIZE AND SPACING TO THE VERTICAL REINFORCEMENT.
THE DOWEL SHALL EXTEND 50 BAR DIAMETERS VERTICALLY AND 20 BAR DIAMETERS INTO THE FOOTING. SEE KSE FOUNDATION DETAILS.
 WHERE FOOTING BOTTOMS ARE TO BE STEPPED AT SLOPING GRADE

CONDITIONS PROVIDE CONTINUOUS REINFORCING WITH 7 BARS (TO

MATCH FOOTING REINFORCING) AS REQUIRED. 17. BAR SUPPORT ACCESSORIES SHALL BE PROVIDED IN ACCORDANCE WITH THE LATEST ACL MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES, EXCEPT THAT REINFORCING SHALL BE CHAIRED ON THE BOTTOM AND/OR THE SIDES ON BOLSTERS SPACED NOT MORE THAN 4 FEET ON CENTER NO ROCKS CMIL CLAY

SPACED NOT MORE HAM 4 FEET ON CENTER. NO ROCKS, CMU, CLAY TILE, OR BRICK SHALL BE USED TO SUPPORT REINFORCING. FOR GRADE SUPPORTED SLABS, SLAB REINFORCING SHALL BE HELD IN PLACE BY BAR SUPPORTS AND ACCESSORIES AS DESCRIBED IN THE CRSI MANUAL OF STANDARD PRACTICE, BAR SUPPORTS SHALL BE SPACED A MAXIMUM OF 4'-0" O.C. BOTH WAYS IN STRAIGHT LINES ON

#### MASONRY

- ALL MASONRY SHALL CONFORM TO ASTM C-90, F'm=1500 PSI, ALL BRICK SHALL CONFORM TO ASTM C-216, F'm=1500 PSI. ALL MORTAR SHALL BE TYPE 'S' (TYPE 'M' BELOW GRADE) AND CONFORM TO ASTM C-270. COARSE GROUT SHALL CONFORM TO ASTM C-476 WITH A MAXIMUM AGGREGATE SIZE OF 36" AND A MINIMUM COMPRESSIVE STRENGTH OF 2,000
- ALL MASONRY WORK SHALL BE IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" ACI 530/ASCE 5/TUMS 402 AND "SPECIFICATIONS FOR MASONRY STRUCTURES" ACI 530.1/ ASCE 6/TUMS 602.

THE UNSUPPORTED HEIGHT OF SOLID MASONRY PIERS SHALL NOT THE ONSOFPORTED FIGHT OF SOLID MASJOINT PIERS SPALE NOT EXCEED TEN TIMES THER LEAST DIMENSION. UNFILLED HOLLOW PIERS MAY BE USED IF THE UNSUPPORTED HEIGHT IS NOT MORE THAN FOUR TIMES THEIR LEAST DIMENSION. EACH CRAWL SPACE PIER SHALL BEAR IN THE MIDDLE THIRD OF ITS

EACH CRAIL SPACE PIER SHALL BEAR IN THE MIDDLE HIRD OF THE RESPECTIVE FOOTING AND EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS. PILASTERS TO BE BONDED TO PERIMETER FOUNDATION WALL TOP COURSE OF MASONRY SHALL BE GROUTED SOLID.

HORIZONTAL WALL JOINT REINFORCEMENT SHALL BE STANDARD 9 GAGE GALVANIZED LADDER OR TRUSS TYPE SPACED AT 16" O.C., UNLESS SHOWN OTHERWISE ON THE DRAWINGS.

SPLICED WIRE REINFORCEMENT SHALL BE LAPPED AT LEAST 6" AND CONTAIN AT LEAST ONE CROSS WIRE OF EACH PIECE OF REINFORCEMENT WITHIN THE 6". LAP WITH STANDARD 'T' AND 'L' SHAPED PIECES AT INTERSECTIONS AND CORNERS

WOOD FRAMING:

SOLID SAWN WOOD FRAMING MEMBERS SHALL CONFORM TO THE SPECIFICATIONS LISTED IN THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION\* (NDS) LINEESS THERWISE NOTED, ALL WOOD FRAMING MEMBERS ARE DESIGNED TO

SPRUCE-PINE-FIR (SPE) WITH THE FOLLOWING MINIMUM DESIGN

VALUES: E=1,400,000 PSI, F<sub>b</sub>=875 PSI, F<sub>v</sub>=135 PSI

1.1. FRAMING: SPF #2.

1.2. PLATES: SPF #2. 1.3. STUDS: SPF STUD GRADE ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE

SHALL BE PRESERVATIVE TREATED SOUTHERN YELLOW PINE #2 OR ANCHOR SILL PLATES IN ACCORDANCE W/ GENERAL STRUCTURAL NOTES.

ALL BEAMS SPECIFIED ARE MINIMUM SIZES ONLY, LARGER MEMBERS MAY BE SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION. NAILS SHALL BE COMMON WIRE NAILS UNLESS OTHERWISE NOTED.

BOLT HOLES AND LEAD HOLES FOR LAG SCREWS SHALL BE IN ACCORDANCE WITH NDS SPECIFICATIONS INDIVIDUAL STUDS FORMING A COLUMN SHALL BE ATTACHED WITH (2)

ROWS 10d NAILS @ 6" O.C. STAGGERED, THE STUD COLUMN SHALL BE FULLY BLOCKED AT ALL FLOOR LEVELS TO ENSURE PROPER LOAD TRANSFER. WALL SHEATHING SHALL BE NAILED TO EDGE OF EACH STUD. FACE NAIL ALL MULTI-PLY BEAMS AND HEADERS WITH (2) ROWS 16d

COMMON NAILS @ 16" O.C., STAGGERED, OR PER MANUFACTURER'S SPECIFICATIONS FOR ENGINEERED LUMBER. APPLY NAILING FROM BOTH FACES FOR (3) OR MORE PLIES. FASTEN 4-PLY BEAMS WITH (1) 1/2" DIAMETER THROUGH BOLT w/ NUT

WASHERS AT 12" O.C. STAGGERED TOP AND BOTTOM, 16" MINIMUM EDGE DISTANCE, (UNLESS OTHERWISE NOTED) ALL BEAMS AND HEADERS SHALL HAVE (1)2x JACK STUD & (1)2x KING

STUD UNLESS OTHERWISE NOTED, THE NUMBER OF STUDS INDICATED ON PLANS ARE THE TOTAL NUMBER OF JACK STUDS REQUIRED, UNLESS PROVIDE KING STUDS AT EACH END OF HEADERS AS NOTED BELOW.

16" O.C. STUD SPACING: (1) STUD UP TO 3' OPENING 24" O.C. STUD SPACING: (1) STUD UP TO 4' OPENING (2) STUDS UP TO 4' OPENING (2) STUDS UP TO 8' OPENING (3) STUDS UP TO 12' OPENING (5) STUDS UP TO 12' OPENING (4) STUDS UP TO 16' OPENING (6) STUDS UP TO 16' OPENING
ALL BEAMS TO BE CONTINUOUSLY SUPPORTED LATERALLY AND SHALL

BEAR FULL WIDTH ON THE SUPPORTING WALLS OR COLUMNS INDICATED

BENF FOLK WIDTH ON THE SUPPORTING WALLS OF COLOMISS MOUNTED WITH A MINIMUM OF TWO STUDES, ONLESS OTHERWISE NOTED. ALL BEAM SPLICES SHALL OCCUR OVER SUPPORTS.

13. SOLID BLOCKING TO BE PROMIDED AT ALL POINT LOADS THROUGH FLOOR LEVELS TO THE FOUNDATION OR TO OTHER STRUCTURAL COMPONENTS. 14. ALL LUMBER SPECIFIED ON DRAWINGS IS INTENDED FOR DRY USE ONLY

(MOISTURE CONTENT <19%) UNLESS OTHERWISE NOTED.
ALL WATERPROOFING AND FIRE SAFETY SYSTEMS ARE TH

RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE DESIGNED AND DETAILED BY OTHERS DETAILED BY OTHERS.
ANY WOOD FRAME INTERIOR BEARING WALL STUDS THAT HAVE HOLES IN THE CENTER OF THE STUD UP TO 1" DIAMETER SHALL HAVE STUD PROTECTION SHIELDS. ALL HOLES OVER 1" IN DIAMETER FOR PLUMBING

LINES, ETC. SHALL BE REPAIRED WITH SIMPSON HSS2 OR USP STS1 STUD SHOES, TYPICAL, UNLESS OTHERWISE NOTED. BEARING WALLS SHALL BE SHEATHED ON NOT LESS THAN ONE SIDE

WITH OSB OR GYPSUM BOARD. BRIDGING SHALL BE INSTALLED NOT GREATER THAN 4 FEET APART MEASURED VERTICALLY FROM EITHER END OF THE STUD IN LIEU OF SHEATHING.

### EXTERIOR WOOD FRAMED DECKS:

- DECKS ARE TO BE FRAMED IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND AS REFERENCED ON THE STRUCTURAL PLANS.
- EITHER THROUGH CODE REFERENCES OR CONSTRUCTION DETAILS.
  PRESERVATIVE TREATED WOOD FRAMING TO BE SOUTHERN YELLOW PINE #2 OR BETTER. GUARD RAILS AND LATERAL BRACING IS REQUIRED AT DECKS. DESIGN BY
- PROVIDE DECK LATERAL LOAD CONNECTIONS PER BUILDING CODE

#### RAFTER FRAMED ROOF CONSTRUCTION:

PROVIDE 2x4x4"-0" RAFTER TIES AT 50" O.C.
RAFTERS SHALL BE SUPPORTED BY PURLINS AND PURLIN BRACES
AS SHOWN ON THE PLAN. PURLIN BRACES SHALL NOT BEAR ON ANY CELLING JOIST STRONGRACK OR HEADER LINEESS SPECIFICALLY

SHOWN ON PLAN. RAFTERS MAY BE SPLICED AT PURLIN LOCATIONS.
CEILING JOISTS SHALL HAVE LATERAL SUPPORT W/ 1x4 FLAT BRACING ON TOP FOCE OF JOIST AT LOOSE JOIST FNDS (WHERE JOISTS NOT FASTENED TO RAFTERS) OR FULL DEPTH BLOCKING. FASTEN END OF BRACING TO RAFTER OR GABLE END FRAMING.

FASTEN RAFTER AND CEILING JOIST WITH (6) 12d NAILS UNLESS OTHERWISE NOTED.

PROVIDE VERTICAL 2x6 STRONGBACKS AT CEILING JOISTS @ 8'-0" O.C. TIE STRONGBACK ENDS TO GABLE STUDS OR RAFTERS WHERE POSSIBLE. PROVIDE BLOCKING BETWEEN TOP PLATES AND STRONGBACKS. PROVIDE 2x4 FLAT FASTENED TO EACH JOIST WITH (2) 12d NAILS FASTEN STRONGRACK TO 2v4 FLAT WITH 12d NAILS 12" O.C. AND FASTENED TO EACH JOIST WITH (1) 12d TOENAIL.

WOOD TRUSSES (FLOOR & ROOF):

THE WOOD TRUSS MANUFACTURER/FABRICATOR IS RESPONSIBLE FOR THE DESIGN OF THE WOOD TRUSSES. SUBMIT SEALED SHOP DRAWINGS AND SUPPORTING CALCULATIONS TO THE SER FOR REVIEW PRIOR TO FABRICATION. THE SER SHALL HAVE A MINIMUM OF (5) DAYS FOR REVIEW. THE REVIEW BY THE SER SHALL BE FOR OVERALL COMPLIANCE OF THE DESIGN DOCUMENTS. THE SER SHALL ASSUME NO RESPONSIBILITY FOR THE CORRECTNESS OF THE STRUCTURAL DESIGN FOR THE WOOD TRUSSES.

THE WOOD TRUSSES SHALL BE DESIGNED FOR ALL REQUIRED LOADINGS AS SPECIFIED IN THE LOCAL BUILDING CODE THE ASCE STANDARD. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES. (ASCE 7), AND THE LOADING REQUIREMENTS SHOWN ON THESE SPECIFICATIONS. THE TRUSS DRAWINGS SHALL BE COORDINATED WITH ALL OTHER CONSTRUCTION DOCUMENTS AND PROVISIONS PROVIDED FOR LOADS SHOWN ON THESE DRAWINGS INCLUDING BUT NOT LIMITED TO HVAC FOLIPMENT, PIPING, AND ARCHITECTURAL FIXTURES ATTACHED TO THE TRUSSES.

THE TRUSSES SHALL BE DESIGNED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE ANSI/TIP 1: "NATIC DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION"

THE TRUSS MANUFACTURER SHALL PROVIDE ADEQUATE BRACING INFORMATION IN ACCORDANCE WITH "BUILDING COMPONENT SAFETY INFORMATION GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES' (RCI) THIS BRACING BOTH TEMPORARY AND PERMANENT SHALL BE SHOWN ON THE SHOP DRAWINGS. ALSO, THE SHOP DRAWINGS SHALL SHOW THE REQUIRED ATTACHMENTS FOR THE TRUSSES.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING TEMPORARY BRACING THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING TEMPORARY BRADING AND SHORING FOR THE FLOOR AND ROOF TRUSSES AS REQUIRED DURING CONSTRUCTION. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE REQUIREMENTS OF THE LAKEST BIG. THE CONTRACTOR SHALL FOLLOW THE PROJECT AND STIE. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PERMANENT THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PERMANENT

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PERMANENT TRUSS BROAMS FORM IN THE STRUCTURAL DRAWINGS AND IN THE TRUSS BESIONS, ALL CONTINUOUS LATERAL BRACING OF WESS REQUIRES BRACES. REFER TO BOI SUMAINAT SHEET BIS 700 THESE OF DIAGONAL BRACES TO PROVIDE AT EACH CONTINUOUS LATERAL BRACE LINE. SUCH DIAGONAL BRACES SHALL DIS ESPACED MORE THAN 20 FEET OF. DIAGONAL BRACES SHALL BY ASPACED MORE THAN 20 FEET OF. DIAGONAL BRACES SHALL BY ASPACED MORE THAN 20 FEET OF. BRACE LINE. SHALL DIS FASTENED TO EACH TRUSS WEB WITH A MINIMAL OF THOSE DISTANCES OF THE STRUCTURE COORDINATE WITH THE TRUSS SPECIALTY ENGINEER/MANUFACTURER TO DETERMINE WHAT TYPE OF ALTERNATE BRACE (I.E., T OR L BRACE, ETC.) IS REQUIRED

ANY CHORDS OR TRUSS WERS SHOWN ON THESE DRAWINGS HAVE REEN SHOWN AS A REFERENCE ONLY. THE FINAL DESIGN OF THE TRUSSES SHALL BE PER THE MANUFACTURER.
TRUSS LAYOUT AND PLACEMENT BY MANUFACTURER TO COINCIDE WITH

THE SUPPORT LOCATIONS SHOWN ON THE SEALED STRUCTURAL DRAWINGS, TRUSS PROFILES TO BE SEALED BY THE TRUSS
MANUFACTURER, TRUSS PLANS TO BE COORDINATED WITH THE SEALED STRUCTURAL DRAWINGS.

TRUSS MANUFACTURER TO PROVIDE REQUIRED UPLIFT CONNECTORS FOR ALL TRUSSES

PROVIDE SIMPSON H2.5A. USP RT7 OR EQUIVALENT AT EACH TRUSS TO TOP PLATE CONNECTION, UNLESS OTHERWISE NOTED.

WOOD STRUCTURAL PANELS:

1. FABRICATION AND PLACEMENT OF STRUCTURAL WOOD SHEATHING SHALL BE IN ACCORDANCE WITH THE APA DESIGN/CONSTRUCTION GUIDE "RESIDENTIAL AND COMMERCIAL," AND ALL OTHER APPLICABLE APA STANDARDS

STRUCTURALLY REQUIRED WOOD SHEATHING SHALL BEAR THE

AMERICA THE APA.

WOOD WALL SHEATHING SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL BILLIONIC CODES FOR THE APPROPRIATE STATE AS INDICATED ON THESE DRAWNINGS, REFER TO WALL BRACKING NOTES IN PLANT FOR MORE INFORMATION. EXTERIOR WALLS TO BE FULLY SHEATHED THE APPROPRIATE OF THE APPROPRIATE OF THE APPROPRIATE AND THE APPROPRIATE APP LISING 74." OSB OR PLYWOOD MINIMUM AT BRACED WALL PANELS PROVIDE BLOCKING AT HOLIZONTAL JOINTS SHALL NOT BE REQUIRED IN WALL SEETE TEGES NOT FALLING ON STUDS OR PLATES. BLOCKING AT HORIZONTAL JOINTS SHALL NOT BE REQUIRED IN WALL SEGMENTS NOT COUNTED AS BRACED WALL

4 ROOF SHEATHING SHALL BE APA RATED SHEATHING EXPOSLIRE 1 OR ROUP SHEATHING SHALL BE APA KATED SHEATHING EXPOSURE 1 C 2. ROOF SHEATHING SHALL BE CONTINUOUS OVER TWO SUPPORTS MINIMUM AND ATTACHED TO ITS SUPPORTING ROOF FRAMING WITH 8d NAIL AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. IN PANEL OG NAIL AT 6 U.S. AT PANCE EDGES AND AT 12 U.S. IN PANCE FIELD UNLESS OTHERWISE NOTED ON THE PLANS, SHEATHING SHALL BE APPLIED WITH THE LONG DIRECTION PERPENDICULAR TO FRAMING. SHEATHING SHALL HAVE A SPAN RATING CONSISTENT WITH THE FRAMING SPACING, PROVIDE SUITABLE EDGE SUPPORT BY USE OF PLYWOOD CLIPS OR LUMBER BLOCKING LINLESS OTHERWISE NOTED PANEL END JOINTS SHALL OCCUR OVER FRAMING. ROOF SHEATHING TO BE  $\%_6$ " OSB MINIMUM.

WOOD FLOOR SHEATHING SHALL BE APA RATED SHEATHING

EXPOSURE 1 OR 2. ATTACH SHEATHING TO ITS SUPPORTING FRAMING WITH (1) 10d NAIL AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. IN PANEL FIELD LINLESS OTHERWISE NOTED ON THE 12 O.C. IN PARCE FIELD UNLESS CHERWISE NOTED ON THE PLANS. SHEATHING SHALL BE APPLIED PERPENDICULAR TO FRAMING. SHEATHING SHALL HAVE A SPAN RATING CONSISTENT WITH THE FRAMING SPACING. PROVIDE SUITABLE EDGE SUPPORT BY USE OF T&G PLYWOOD OR LUMBER BLOCKING UNLESS OTHERWISE NOTED. PANEL END JOINTS SHALL OCCUR OVER FRAMING

SHEATHING SHALL HAVE A 1/8" GAP AT PANEL ENDS AND EDGES AS RECOMMENDED IN ACCORDANCE WITH THE APA.

STRUCTURAL FIBERBOARD PANELS

SHEATHING SHALL BE IN ACCORDANCE WITH THE APPLICABLE ALFA STANDARDS

FIBERBOARD WALL SHEATHING SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL BUILDING CODES FOR THE APPROPRIATE STATE AS INDICATED ON THESE DRAWINGS. REFER TO WALL BRACING NOTES IN PLAN SET FOR MORE INFORMATION

SHEATHING SHALL HAVE A 1/8" GAP AT PANEL ENDS AND EDGES AS RECOMMENDED IN ACCORDANCE WITH THE ALFA.

BUILDINGS AND BRIDGES" AND OF THE MANUAL OF STEEL CONSTRUCTION "LOAD RESISTANCE FACTOR DESIGN" LATEST EDITIONS. ALL STEEL SHALL HAVE A MINIMUM YIELD STRESS (F.) OF 50 KSI

AMERICAN WELDING SOCIETY'S STRUCTURAL WELDING CODE AWA DI.1. ELECTRODES FOR SHOP AND FIELDING WELDING SHALL BE CLASS E70XX. ALL WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER PER THE ABOVE STANDARDS. ALL STEEL BEAMS TO BE SUPPORTED AT EACH END WITH A

MINIMUM BEARING LENGTH OF 38" AND FULL FLANGE WIDTH UNLESS OTHERWISE NOTED. BEAMS MUST BE ATTACHED AT EACH END WITH A MINIMUM OF FOUR 16d NAILS OR (2) 1/2" x 4" LAG SCREWS

UNLESS OTHERWISE NOTED.

INSTALL 2x WOOD PLATE ON TOP OF STEEL BEAMS, RIPPED TO MATCH BEAM WIDTH, FASTEN PLATE TO BEAM w/ HILTI X-DIN 52 P8 PINS AT 12" O.C. STAGGERED OR 1/2" DIAMETER BOLTS AT 24"

MECHANICAL FASTENERS:

PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A 153, G-185,

SELECT APPROPRIATE CONNECTORS THAT WILL RESIST THE APPLICABLE CORROSIVE CHEMICALS.



BRICK VENEER LINTEL SCHEDULE				
SPAN	LINTEL SIZE	END BEARING		
UP TO 3'-0"	3½"×3½"×¼"	4"		
UP TO 6'-3"		8"		
UP TO 9'-6"	6"x3½"x¾6" L.L.V.	12*		
LINTELS ARE NOT DESIGNED TO BE BOLTED TO HEADERS UNLESS SPECIFIED ON UNIT PLANS.  SPANS OVER 4"-0" SHALL BE SHORED UP UNTIL CURED.				



STRUCTURAL FIBERBOARD SHEATHING SHALL ONLY BE USED WHERE SPECIFICALLY NOTED ON THE STRUCTURAL PLANS. FABRICATION AND PLACEMENT OF STRUCTURAL FIBERBOARD

STRUCTURAL STEEL:

1. STRUCTURAL SITEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "CODE OF STANDARD PRACTICE FOR STEEL

UNLESS OTHERWISE NOTED.
WELDING SHALL CONFORM TO THE LATEST EDITION OF THE

ALL METAL HARDWARE AND FASTENERS TO BE SIMPSON STRONG-TIE OR APPROVED EQUIVALENT. ALL HARDWARE AND FASTENERS IN CONTACT WITH PRESERVATIVE

ACCUPOANCE WITH ASIM A 133, G-183.

MANY OF THE NEW PRESSURE TREATED WOODS USE CHEMICALS
THAT ARE CORROSIVE TO STEEL. IT IS THE CONTRACTOR'S
RESPONSIBILITY TO VERIFY THE TYPE OF WOOD TREATMENT AND



Scale: 1/8"=1'-0" @ 11×17

1/4"=1'-0" @ 22x34

Carolina

North

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Serenity Raleigh,

Model

; Lot #182 uckhorn Mod

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Sereni B329

Designed By: JPS

Checked By:

Re-Issue:

Project #: 047-20009

Issue Date: 5/31/24

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Structural

General

ERING
TOWN, PA 18951
(215) 804-4449

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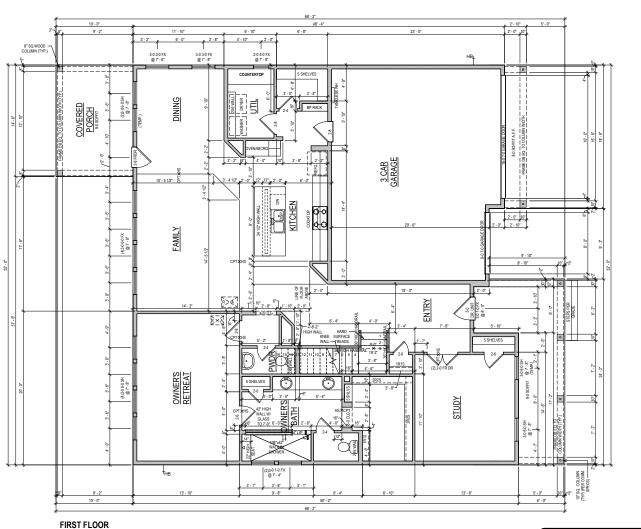
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Homes

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Weekl

David 7



**GENERAL REQUIREMENTS** 

SLOPED SURFACE REQUIREMENTS ALL PATIOS TO SLOPE 1/4" PER FOO

RAILING REQUIREMENTS FINISHED HANDRAIL REQUIRED AT STAIRS WITH 4 OR MORE RISERS

FINISHED GUARDRAILS REQUIRED AT DECKS, BALCONIES AND WALKWAYS THAT ARE 30° OR GREATER ABOVE GRADE AND BE AT A MINIMUM OF 36° IN HEIGHT

NOTE: ALL 1ST FLR. CEILING HEIGHTS 9' - 0" UNLESS NOTED OTHERWISE

 Week lay Homes L.P.
The measuments, dimensions, and other gas above on this bostom of the good feelings for control the section of what his committee of the section o ADVANCED FRAMING: 2X6 EXTERIOR
PERIMETER WALLS & ALL INSULATED
WALLS LINLESS NOTED OTHERWISE

David Weekley Homes Scale:1/8"=1'-0" Rev: 12/5/23 AM

CN/NU/IR Date: 09/21/2020 182 Block: Lot:

Proj. No.: 3277 Job No.: 0182

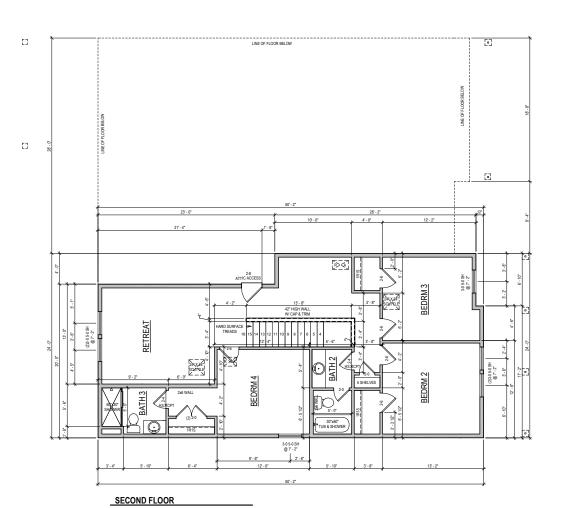
SERENITY 65'(IM) 762 SERENITY WALK PARKWAY FUQUAY VARINA, NC

NORTH **B329-A** PLN-1 BUCKHORN RALEIGH

PLAN SQFT 145 SF 184 SF 613 SF 2829 SF 1887 SF 1060 SF 145 SF 184 SF 613 SF 52 SF 3941 SF

BACKPACK RACK

OPTION LIST OPTION
FRDR'S @ STUDY
RAILING @ FIRST FLOOR
SUPER SHOWER @ OWNER'S BATH
SHOWER @ BATH 3
COVERED PORCH
COUNTERTOP @ UTILITY COOKTOP KITCHEN



NOTE: ALL 2ND FLR. CEILING HEIGHTS 9' - 0" UNLESS NOTED OTHERWISE

ADVANCED FRAMING: 2X6 EXTERIOR PERIMETER WALLS & ALL INSULATED WALLS LINLESS NOTED OTHERWISE David Weekley Homes

Weekley Homes L.P.
The measurements, infernations, and other greaten show on this document are guidelines for con only. The actual specification to the thin inhed away. This document may not be reliated or way. This document may not be reliated or as a reliable to compare the property.

Scale:1/8"=1'-0" Rev: 12/5/23 AM CN/NU/IR Date: 09/21/2020 182 Block: Lot:

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SERENITY 65'(IM) 762 SERENITY WALK PARKWAY FUQUAY VARINA, NC

B329-A PLN-2 BUCKHORN RALEIGH



ENGINEERING E, SUITE 201, QUAKERTOWN, PA 18951 COM (215) 804-4449

KSE







Carolina

Project #: 047-20009 Designed By: JPS

Checked By: Issue Date: 5/31/24

Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

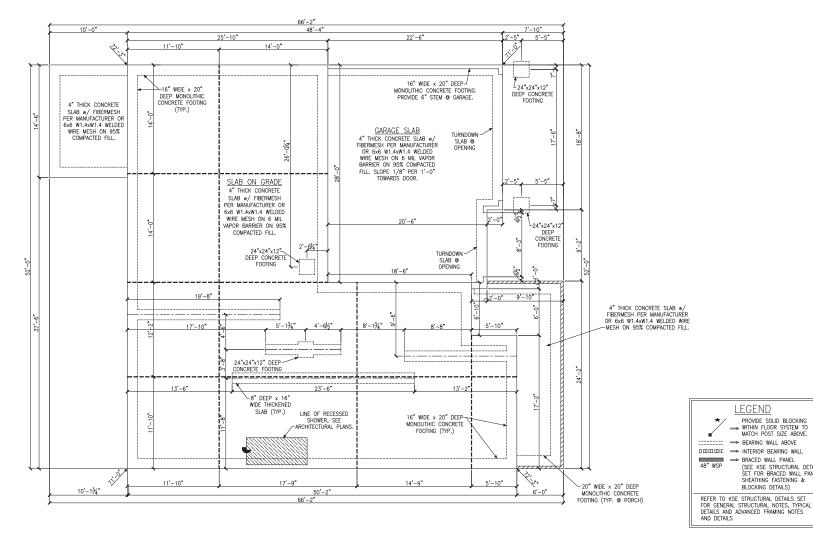


**LEGEND** 

PROVIDE SOLID BLOCKING → WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE. ⇒ BEARING WALL ABOVE

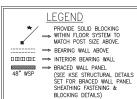
⇒ INTERIOR BEARING WALL ⇒ BRACED WALL PANEL

BLOCKING DETAILS)









REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES, TYPICAL DETAILS AND ADVANCED FRAMING NOTES AND DETAILS

PLAN DESIGNED WITH 9' NOMINAL WALL PLATE HEIGHT

FLOOR FRAMING TO BE 14" DEEP TJI 210 SERIES OR EQUAL, SPACING PER MANUFACTURER.

(3) INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A/SD-3.

(4) INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.

Buckhorn North Floor Second Fl Serenity, 1 B329 Buc Serenity Raleigh, Project #: 047-20009

Model

Carolina

Plan

Framing

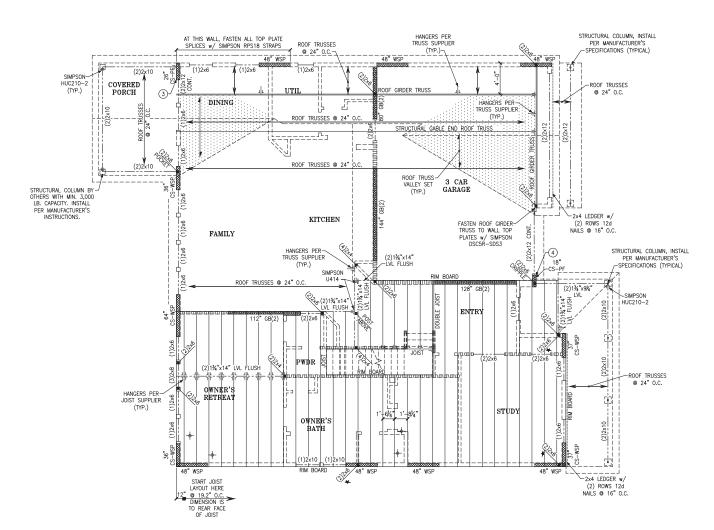
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Lot

Designed By: JPS Checked By: Issue Date: 5/31/24

Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

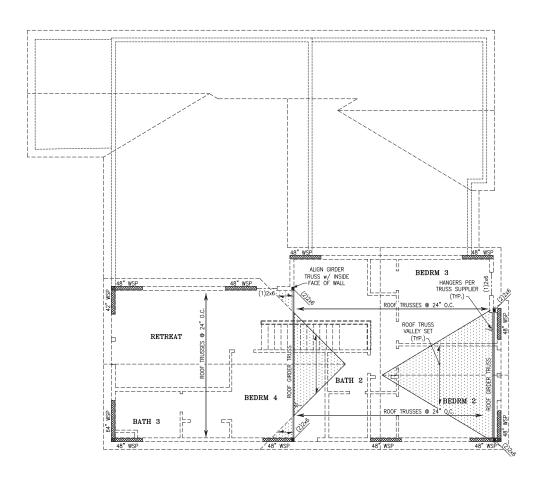




SECOND FLOOR FRAMING PLAN

ENGINEERING
E, SUITE 201, QUAKERTOWN, PA 18951
com (215) 804--4449

KSE



ROOF FRAMING PLAN



48" WSP

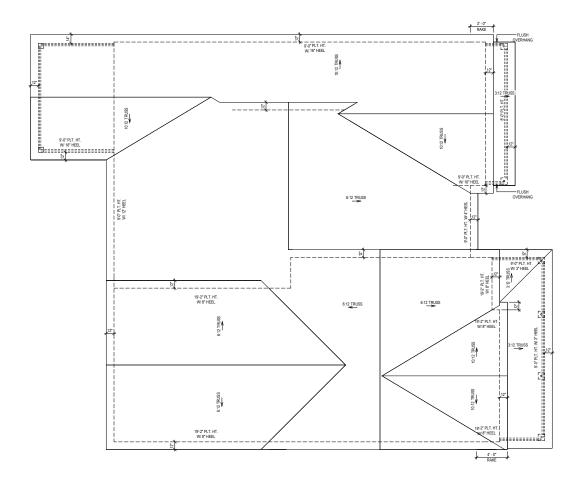
□□□□□□□ → INTERIOR BEARING WALL ⇒ BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES, TYPICAL DETAILS AND ADVANCED FRAMING NOTES AND DETAILS

PLAN DESIGNED WITH 9' NOMINAL WALL PLATE HEIGHT



Roof Framing Plan
Serenity, Lot #182
B329 Buckhorn Model
Serenity
Raleigh, North Carolina Project #: 047-20009 Project #: 047-20009
Designed By:JPS
Checked By:
Issue Date: 5/31/24
Re-Issue:
Scale: 1/8"=1'-0" ● 11x17
1/4"=1'-0" ● 22x34



ROOF PLAN

Week key Homes L.P. 2020
The measurement, dimension, and other specifications shown on this document are aguidelinest for contraction on the document are aguidelinest for contraction of the Thinke Structure may vary. This document may not be related on as a representation of what the completed structure will look like.

 David Weekley Homes

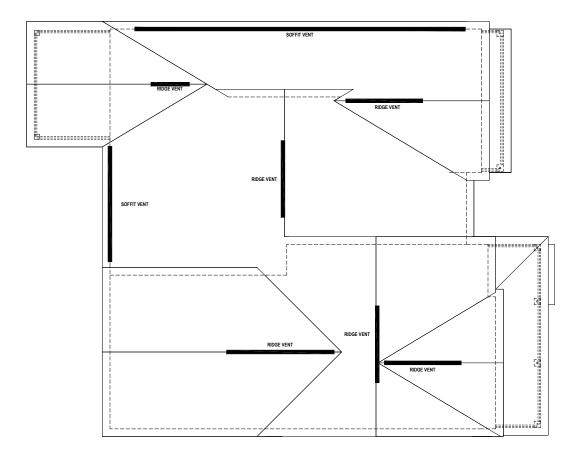
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 Scale: 1/8"=1-0"

 Date: 09/21/2020
 Rev: 12/5/23 AM

3277 Lot: 182 Job No.: Block: 0182 Sact:

SERENITY 65'(IM) 762 SERENITY WALK PARKWAY FUQUAY VARINA, NC

NORTH
B329-A
RFP-1
BUCKHORN
RALEIGH



ROOF PLAN W/COVERED PORCH CALCS

ROOF VENT CALCULATION: ATTIC SPACE: 2829 SQ.FT.

REQUIRED VENTILATION: 1358 SQ.IN. REQ.

SOFFIT VENT PROVIDED: 60 LINEAL FEET RIDGE VENT PROVIDED: 59 LINEAL FEET AIR HAWK VENT PROVIDED: 0 UNITS

PROVIDED VENTILATION: 1362 SQ.IN.

50-80% IN UPPER PORTION: 78%

Weekky Homes LP. 2020
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David Weekley Homes

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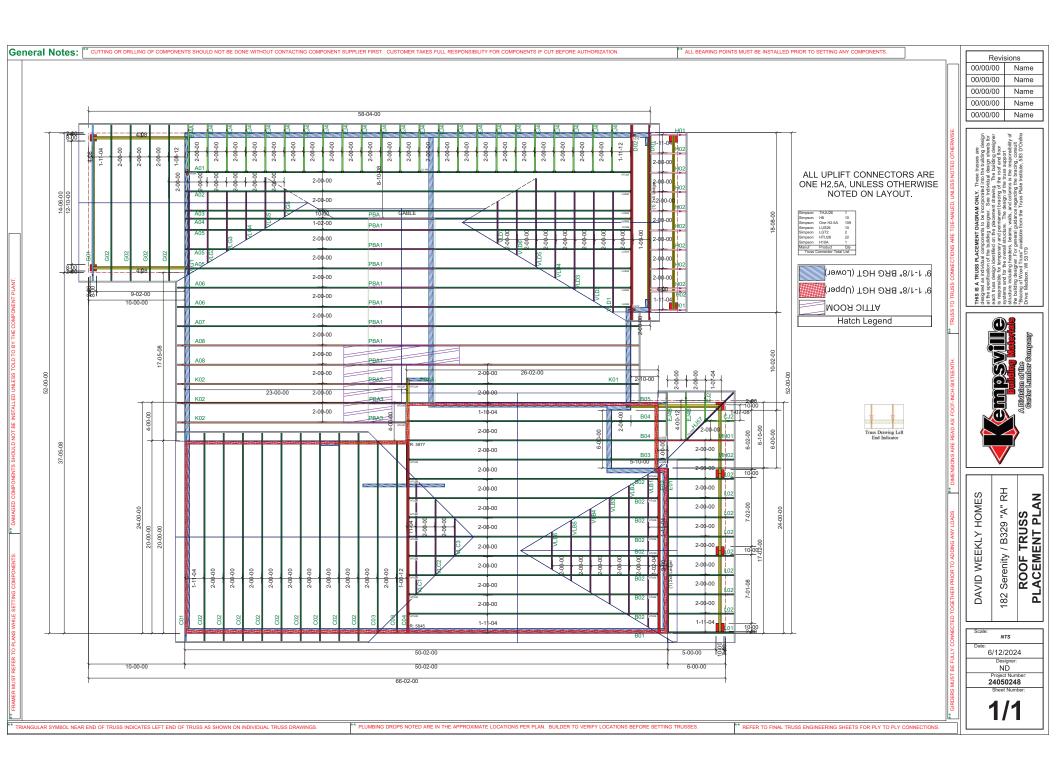
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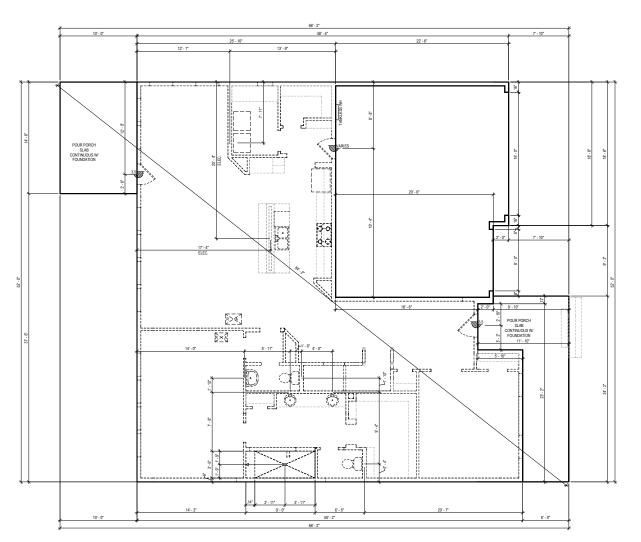
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AY 3277 Job No.: 0182

SERENITY 65'(IM) 762 SERENITY WALK PARKWAY FUQUAY VARINA, NC

NORTH
B329-A
RFP-2
BUCKHORN
RALEIGH





FIRST FLOOR

SEE ENGINEERING FOR ANCHOR BOLT REQUIREMENTS

Week key Homes L.P. 2020
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 David Weekley Homes

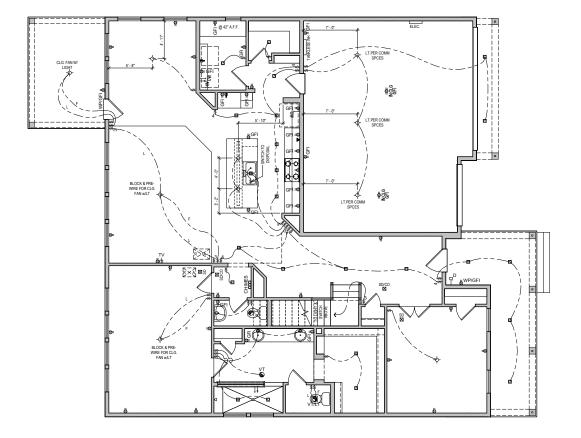
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 Date: 09/21/2020
 Rev: 12/5/23 AM

3277 Lot: 182 Job No.: Block:

SERENITY 65'(IM) 762 SERENITY WALK PARKWAY FUQUAY VARINA, NC

NORTH
B329-A
FS-1
BUCKHORN
RALEIGH



FIRST FLOOR

ALL RECESS CANS SHOWN ON PLAN ARE **LED** PER COMMUNITY SPEC.



**UTILITY LEGEND** tilov outlet
12' AFF. (U.N.O.)

GFI GROUND FAULT INTERRUPTOR
(WEATHER PROOF AS NOTED) ELEVATOR CALL BUTTON RECESS CAN LIGHT (EYEBALL AS NOTED) VT EXHAUST VENT 1/2 HALF HOT OUTLET SD SMOKE DETECTOR (CARBON MONOXIDE AS D NOTED)

DOOR BELL ▼ PHONE LINE CHIMES DOOR BELL CHIMES
ELEC PANELBOARD W/ CIRCUIT
HB. BREAKERS HOSE BIB CABLE TELEVISION \$ STANDARD SWITCH (3 OR 4 WAY AS NOTED) - SURFACE MOUNTED LIGHT GAS GAS TAP SURFACE MOUNTED LED DISC LIGHT CW\_HW COLD/HOT WATER SUPPLY Q WALL MOUNTED LIGHT

> IN ALL HABITABLE ROOMS LIGHT BOXES MUST BE FAN RATED

David Weekley Homes	Scale: 1/8"=1'-0"	Rev: 12/5/23 AM
David W	CN/NU/IR	Date: 09/21/2020

Weekkey Homes LP. 2020
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Proj. No.: 3277 Job No.: 0182

SERENITY 65'(IM) 762 SERENITY WALK PARKWAY FUQUAY VARINA, NC

MID-ATLANTIC General Notes

ALL ELECTRICAL PLUGS TO BE 9" TO TOP FROM FLOOR IN ROOMS WITH WALL MOULDINGS.

2. SWITCH FOR ATTIC LIGHT TO BE LOCATED OUTSIDE OF ATTIC SPACE, 12 INCHES FROM CEILING.

3. DO NOT RUN WIRES ON TOP OF JOISTS IN AREAS LIKELY TO HAVE DECKING IN ATTIC. (near disappearing stairs)

PROVIDE SMOKE DETECTORS IN EVERY BEDROOM. SEE SPECS FOR REQUIRED TYPE AND WIRING.

5. PROVIDE GAS AT APPLIANCES PER COMMUNITY REQUIREMENTS.

6. LOCATE ELECTRICAL PANEL IN LOCATION CLOSEST TO SERVICE.



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SECOND FLOOR

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David Weekley Homes Scale:1/8"=1'-0" Rev: 12/5/23 AM

CN/NU/IR Date: 09/21/2020 182 Lot:

Proj. No.: 3277 Job No.: 0182

SERENITY 65'(IM) 762 SERENITY WALK PARKWAY FUQUAY VARINA, NC

NORTH B329-A ELE-2 BUCKHORN

RALEIGH

UTILITY LEGEND 6 110V OUTLET 12" A.F.F. (U.N.O.) GFI GROUND FAULT INTERRUPTOR (WEATHER PROOF AS NOTED) RECESS CAN LIGHT (EYEBALL AS NOTED) VT EXHAUST VENT HALF HOT OUTLET SD SMOKE DETECTOR
(CARBON MONOXIDE AS
D NOTED)
DOOR BELL ▼ PHONE LINE CHIMES DOOR BELL CHIMES
ELEC. PANELBOARD W/ CIRCUIT
HB. BREAKERS
HOSE BIB CABLE TELEVISION \$ STANDARD SWITCH (3 OR 4 WAY AS NOTED) GAS GAS TAP -C- SURFACE MOUNTED LED DISC LIGHT CW HW COLD/HOT WATER SUPPLY Q WALL MOUNTED LIGHT

# ALL RECESS CANS SHOWN ON PLAN ARE **LED** PER COMMUNITY SPEC.

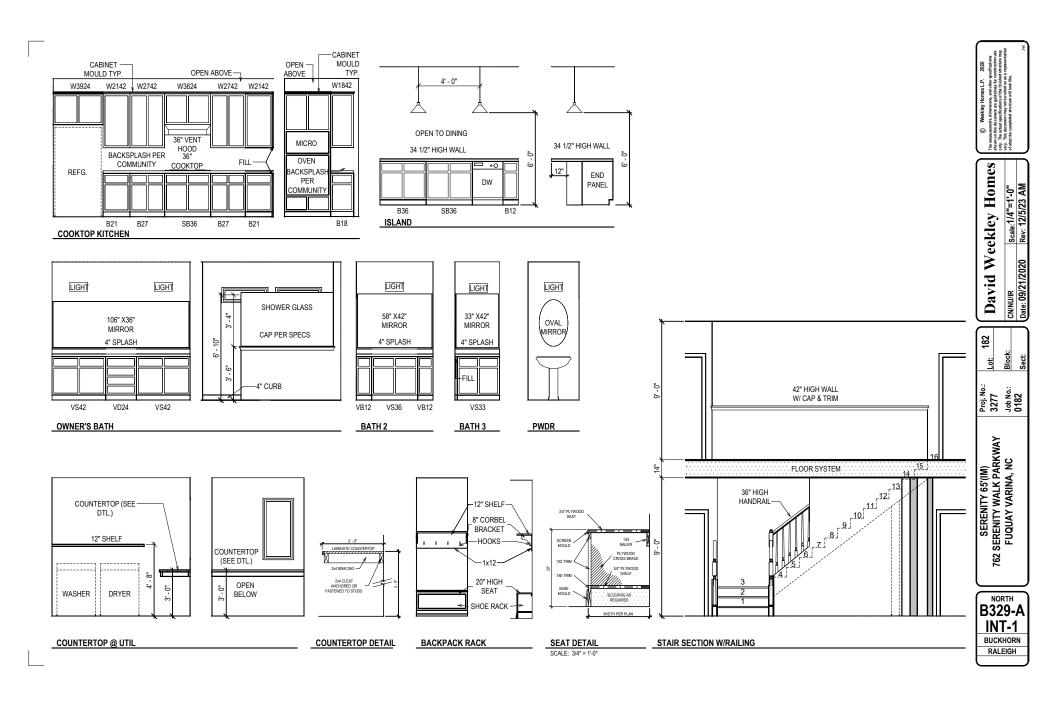
## MID-ATLANTIC General Notes

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4. PROVIDE SMOKE DETECTORS IN EVERY BEDROOM. SEE SPECS FOR REQUIRED TYPE AND WIRING.

6. LOCATE ELECTRICAL PANEL IN LOCATION CLOSEST TO SERVICE.

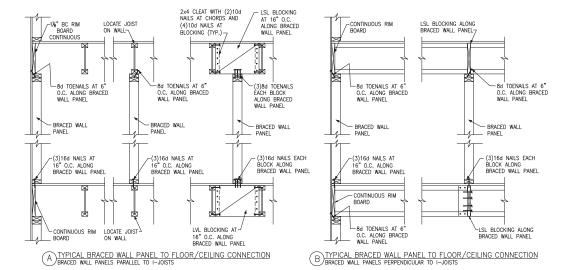
IN ALL HABITABLE ROOMS LIGHT BOXES MUST BE FAN RATED

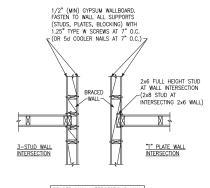


iity, Lot #182 Buckhorn Model

Details

Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34





BRACED WALL INTERSECTIONS MAY BE FRAMED USING EITHER THE 3-STUD OR THE T-PLATE METHOD

© METHOD GB(1) AND GB(2) INTERSECTION DETAILS

- 8d NAIL @ 6" O.C. AT ALL EDGES AND 12" O.C. TYPICAL AT ALL OTHER EXTERIOR GYPSUM BOARD SHEATHING MEMBERS 16d NAIL ~16d NAIL @ 12" O.C. @ 12" 0.0 EXTERIOR SHEATHING--GYPSUM BOARD OUTSIDE CORNER PLAN VIEW INSIDE CORNER PLAN VIEW

" MAX. OPEN 3 SOLID BLOCKING BETWEEN ROOF TRUSSES ATTACHED TO TOP PLATES WITH 8d NAILS 6" O.C. ALONG LENGTH OF BRACED WALL PANELS.

2x BLOCKING BETWEEN -TRUSSES ALONG LENGTH OF BRACED WALL PANELS. LAP MIN 2" WITH OSB. -2x4 BLOCKING BETWEEN ROOF TRUSSES ATTACHED TO TOP PLATES WITH 8d NAILS NAIL OSB SHEATHING TO-BLOCKING, WALL PLATES AND TRUSS WEB WITH 8d NAILS AT 6" O.C. TYPICAL. @ 6" O.C. ALONG LENGTH OF BRACED WALL PANELS.

HEEL HEIGHT GREATER THAN 91/4" AND LESS THAN 151/4"

HEEL HEIGHT GREATER 15"

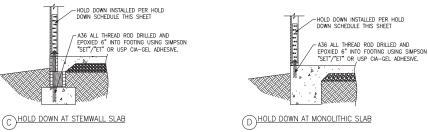
D TYPICAL EXTERIOR CORNER WALL FRAMING

NOTE: A THIRD STUD AND/OR PARTITION INTERSECTION BACKING STUDS SHALL BE PERMITTED TO BE OMITTED THROUGH THE USE OF WOOD BACKUP CLEATS, METAL DRYWALL CLIPS OR OTHER APPROVED DEVICES THAT WILL SERVE AS ADEQUATE BACKING FOR THE FACING MATERIALS.

E ROOF TRUSS BEARING/BLOCKING AT BRACED WALL PANELS ONLY REQUIRED AT BRACED WALL PANELS

iity, Lot #182 Buckhorn Model

Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34





A TYPICAL HOLD DOWN DETAIL B TYPICAL HOLD DOWN DETAIL

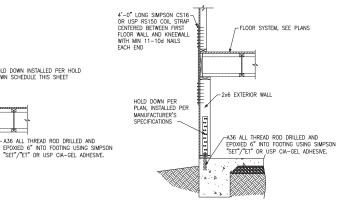
-HOLD DOWN INSTALLED PER HOLD DOWN SCHEDULE THIS SHEET

E HOLD DOWN AT CRAWL FOUNDATION

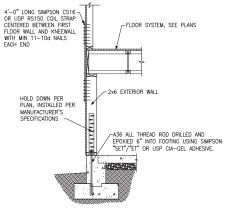
A36 ALL THREAD ROD-

SIMPSON CNW1/2 OR USP CNW12-ZAP COUPLER NUT

GROUT CMU SOLID AT ALL THREAD ROD-







G HOLD DOWN AT FOUNDATION STEM WALL

HOLD DOWN SCHEDULE				
HOLD DOWN SIMPSON USP		ALL TREAD ROD	FASTENERS	
LTTP2	LTS20B	½" DIA.	(10)10d NAILS	
HTT4	HTT16	%" DIA.	(18)16dx2½" LONG NAILS	
HTT5	HTT45	%" DIA.	(26)16dx2½" LONG NAILS	

Detail

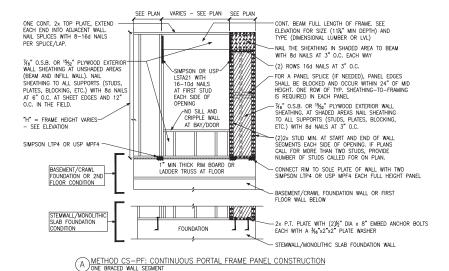
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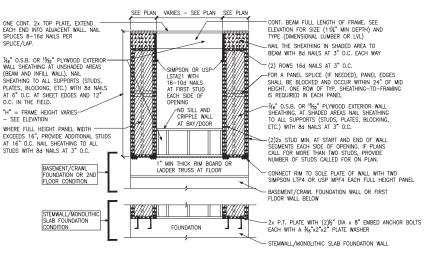
Notes

Wall

Re-Issue:

1/4"=1'-0" @ 22x34



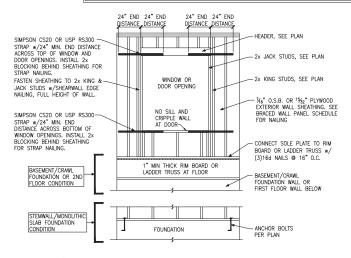


B METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION TWO BRACED WALL SEGMENTS

	BRACED WALL PANEL AND ENGINEERED SHEAR WALL SCHEDULE				
PANEL TYPES	PANEL TYPE	MATERIAL	FASTENERS		
WSP	INTERMITTENT WOOD STRUCTURAL PANEL	7/16" OSB	6d or 8d common nails at 6" o.c. at sheet edges and 12" o.c. at intermediate supports. <u>Engineered Alternative</u> : 16 <u>Gage By 1.75" long Staples at 3" o.c. at sheet edges and 6" o.c. at intermediate suppor</u>		
GB(1)	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GAL. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.		
GB(1)-4	INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)	1/2" GYPSUM	1.5" LONG GAL. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 4" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.		
GB(2)	INTERMITTENT GYPSUM BOARD (SHEATHING BOTH FACES OF WALL)	1/2" GYPSUM	1.5" LONG GAL. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.		
CS-WSP	CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL	7/16" OSB	6d or 8d common nails at 6" o.c. at sheet edges and 12" o.c. at intermediate supports. <u>Engineered alternative</u> : 16 <u>Gage By 1.75" long</u> <u>STAPLES AT 3" o.c. at sheet edges and 6" o.c. at intermediate suppor</u>		
CS-PF	CONTINUOUS SHEATHED PORTAL FRAME	7/16" OSB	NAILING PER DETAIL		
CS-EPF	PORTAL FRAME WITH HOLD DOWNS	7/16" OSB	NAILING PER DETAIL		
CS-ESW(1)	ENGINEERED SHEAR WALL, TYPE 1	7/16" OSB	8d COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS		
CS-ESW(2)	ENGINEERED SHEAR WALL, TYPE 2	7/16" OSB	8d COMMON NAILS AT 4" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS		
CS-ESW(3)	ENGINEERED SHEAR WALL, TYPE 3	7/16" OSB	8d COMMON NAILS AT 3" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS		

#### BRACED WALL PANEL NOTES:

- ALL BRACED WALL PANELS SHALL HAVE 2x BLOCKING BETWEEN WALL STUDS AT ALL HORIZONTAL SHEET EDGES, EXCEPT INTERMITTENT GYPSUM BOARD PANEL TYPES INSTALLED HORIZONTALLY.
- PROVIDE NAILING/BLOCKING ABOVE AND BELOW ALL BRACED WALL PANELS PER KSE BRACED WALL DETAILS.
- SHEATH ALL EXTERIOR WALLS OF THE HOUSE WITH  $\frac{7}{16}$ " O.S.B., OR  $\frac{15}{22}$ " PLYWOOD, FASTENED PER IRC. AT EXTERIOR CORNERS, SHEATHING SHALL BE FASTENED PER KSE BRACED WALL DETAILS. AT INTERIOR WALL INTERSECTIONS, FASTEN STUDS & WALL BRACING PER KSE
- BRACED WALL PANELS AND ENGINEERED SHEAR WALLS ARE PROVIDED PER IRC. PANEL LENGTHS SHOWN ON PLANS ARE THE MINIMUM



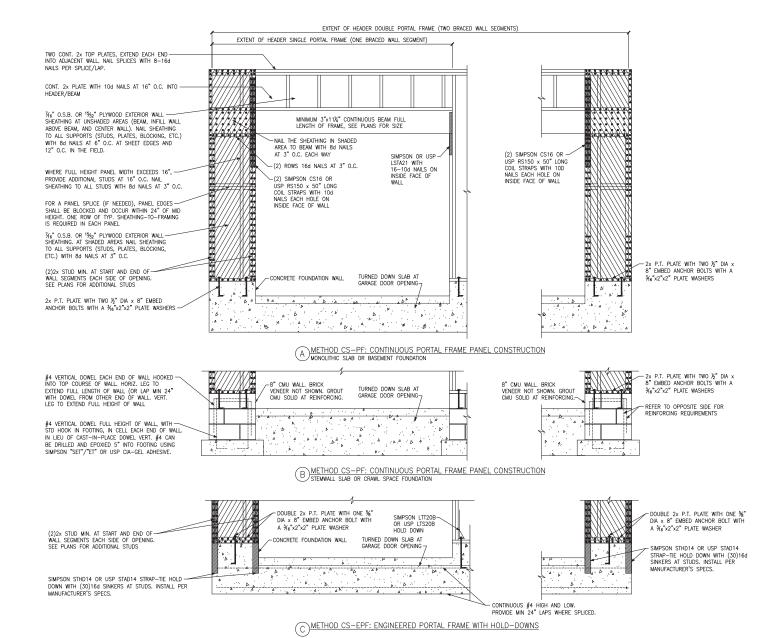
WINDOW OR DOOR REINFORCEMENT IN ENGINEERED SHEAR WALL ONLY REQUIRED WHERE SPECIFIED ON PLANS

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ENGINE

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Model Details ity, Lot #182 Buckhorn Moc Frame Serenity, B329 Bud Serenity Raleigh, Portal Project #: 047-20009

Carolina

North

Designed By: JPS Checked By: Issue Date: 5/31/24

Re-Issue: 1/4"=1'-0" @ 22x34





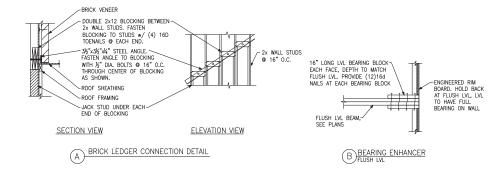


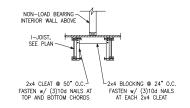


Details Miscellaneous Framing De Serenity, Lot #182 8329 Buckhorn Model Serenity Raleigh, North Carolina

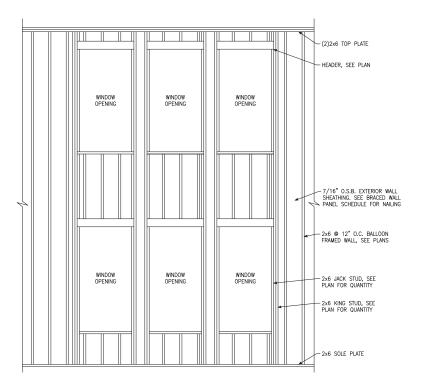
Project #: 047-20009
Designed By: JPS
Checked By:
Issue Date: 5/31/24

Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34





C I-JOIST LADDER BLOCKING
AS REQUIRED @ PARALLEL WALLS



# DBALLOON FRAMED WALL DETAIL N.T.S.

WALL STUD SIZE, HEIGHT & SPACING SCHEDULE						
BEARING WALLS				NONBEARING WALLS		
STUD SIZE	LATERALLY UNSUPPORTED STUD HEIGHT	MAXIMUM SPACING WHEN SUPPORTING A ROOF-CEILING ASSEMBLY OR A HABITABLE ATTIC ASSEMBLY, ONLY	MAXIMUM SPACING WHEN SUPPORTING ONE FLOOR, PLUS A ROOF-CEILING ASSEMBLY OR A HABITABLE ATTIC ASSEMBLY	MAXIMUM SPACING WHEN SUPPORTING TWO FLOORS, PLUS A ROOF-CEILING ASSEMBLY OR A HABITABLE ATTIC ASSEMBLY	LATERALLY UNSUPPORTED STUD HEIGHT	MAXIMUM SPACING
2x4	10'-0"	24"	16"	-	14'-0"	24"
2x6	10'-0"	24"	24"	16"	20'-0"	24"

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Framing iity, Lot #182 Buckhorn Model Miscellaneous I Serenity, Lot # B329 Buckhorr

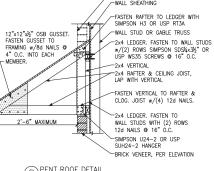
Detail

Project #: 047-20009

Re-Issue: Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

Designed By: JPS Checked By: Issue Date: 5/31/24

Serenity Raleigh,



LINE OF OPTIONAL BRICK

B PENT ROOF DETAIL

BRICK VENEER, PER ELEVATION 2x4 BLOCKING BETWEEN TRUSSES WITH SIMPSON U24 OR USP JL24 EACH END

X SECTION CURVED ROOF

OSB GUSSET, CUT TO-MATCH ROOF PROFILE

FASTEN GUSSET TO FRAMING w/8d NAILS @ 4"

O.C. INTO EACH MEMBER.

2x4 VERTICAL

SLOPING L3½"x3½"x¾" BRICK ANGLE WITH HORIZ. PL3x,3x½ PLATES AT 24" O.C. (MIN TWO PER ANGLE. NAIL TO GIRDER TRUSS WITH 16d NAILS AT 9" O.C. THROUGH PRE-DRILLED -HOLES.

A PENT ROOF DETAIL

OSB GUSSET, CUT TO MATCH ROOF PROFILE FASTEN GUSSET TO

FRAMING w/8d NAILS @ 4" O.C. INTO EACH MEMBER.

2'-6" MAXIMUM

2x12 RAFTER WITH

CURVED PROFILE CUT INTO RAFTER

BRICK VENEER -

2x WALL STUDS,

-LINE OF OPTIONAL BRICK

FASTEN RAFTER TO LEDGER WITH SIMPSON H3 OR USP RT3A

-2x4 LEDGER. FASTEN TO WALL STUDS

w/(2) ROWS SIMPSON SDS¼x3½" OR USP WS35 SCREWS @ 16" O.C.

FASTEN VERTICAL TO RAFTER &

CLOG. JOIST w/(4) 12d NAILS.

WALL STUDS WITH (2) ROWS

-2x4 LEDGER. FASTEN TO

12d NAILS @ 16" O.C.

-SIMPSON U24-2 OR USP SUH24-2 HANGER

-WALL STUD OR GABLE TRUSS

-WALL SHEATHING

-2x4 VERTICAL

-2x4 CEILING JOIST, LAP WITH VERTICAL

TYP KV

ROOF GIRDER TRUSS TO SUPPORT DEAD LOAD OF BRICK, SEE PLAN

(E) GABLE END WALL DETAIL

2x4 BLOCKING BETWEEN RAFTERS. -SIMPSON LTP4 EVERY 2x6 KICKER AT 6'-0" O.C., WITH-2x6 "T" SCAB. NAIL SCAB TO

KICKER WITH 10d NAILS AT 6"
O.C. KICKER MAY BE OMITTED
WHEN HEIGHT OF GABLE END
TRUSS IS 4'-0" OR LESS.

8d NAILS AT 6" O.C.

END TRUSS

2x4 FRAMING AT 24" O.C. -CANTILEVERED OVER GABLE

2x12 RAFTER WITH

CURVED PROFILE CUT INTO RAFTER

7/6" OSB AT GABLE END TRUSS, PER SHEAR WALL

BELOW

EDGE NAILING PER SHEAR — WALL SCHEDULE PER SHEAR

WALL ABOVE (6" O.C. AT NON-SHEAR WALLS)

%6" OSB WALL SHEATHING

AT 4" O.C.

(5) 10d-

ROOF TRUSSES

SIMPSON A35 OR USP MPA1 SPACED PER SHEAR WALL BELOW ENTIRE GABLE END

AT 24" O.C.

NAILS

(2) SIMPSON GB OR USP

HC520 EACH KICKER

2x4 LEDGER. FASTEN TO

WALL STUDS w/(2) ROWS SIMPSON SDS¼x3½" OR USP WS35 SCREWS ⊕ 16" O.C.

-WALL SHEATHING

TOENAIL RAFTER TO LEDGER WITH (4) 12d NAILS 12d NAILS

-2x4 LEDGER, FASTEN TO WALL STUDS w/(2) ROWS SIMPSON SDS1/4×31/2" SCREWS @ 16" O.C. -2x4 RAFTER & CEILING JOIST,

LAP AND FACE NAIL WITH (4) -2x4 LEDGER. FASTEN TO WALL

-WALL STUD OR GABLE TRUSS

OR GABLE TRUSS WITH (2) ROWS 12d NAILS @ 16" O.C.

C EYEBROW ROOF DETAIL STRAIGHT ROOF

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Details

Foundation

Slab

Carolina 182 Buckhorn # Lot Serenity, B329 Bud Serenity

Re-Issue:

Scale: 1/8"=1'-0" @ 11x17 1/4"=1'-0" @ 22x34

Issue Date: 5/31/24

Designed By: JPS Checked By:

Project #: 047-20009

Monolithic

North Raleigh,

H)THICKENED SLAB

FOUNDATION SECTION

EXTERIOR WALL AT PORCH W/ BRICK VENEER

FINSTALL ½" DIA. ANCHOR BOLTS @ 6'-0" O.C., SEE FOUNDATION NOTES.

LIVING SPACE

CONCRETE SLAB POURED MONOLITHICALLY WITH FOOTING, SEE PLAN.

"4" GRAVEL FILL OR GROUP 1 CLASSIFIED SOIL

COMPACTED FILL

MONOLITHIC CONCRETE FOOTING, SEE PLAN.

2x STUD WALL w/ P.T. /PLATE, SEE PLAN.

FINSTALL ½" DIA. ANCHOR BOLTS ⊕ 6'-0" O.C., SEE FOUNDATION NOTES.

CONCRETE SLAB POURED

MONOLITHICALLY WITH FOOTING, SEE PLAN.

4" GRAVEL FILL

CLASSIFIED SOIL

COMPACTED FILL

-MONOLITHIC CONCRETE

FOOTING w/ 4" LEDGE BRICK VENEER, SEE

OR GROUP 1

VENEER TIES SHALL BE SPACED NOT MORE THAN 24" O.C. HORIZONTALLY

AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2 SQUARE FEET OF WALL AREA

CONCRETE SLAB, SEE PLAN

2x STUD WALL w/ P.T. PLATE, SEE PLAN.

STEP VARIES

(aaaaa)

24" MAX

GARAGE SPACE

EXTERIOR

12" MINIMUM

BELOW GRADE

CRADE

VENEER TIES SHALL BE SPACED NOT MORE THAN 24" O.C. HORIZONTALLY 2x STUD WALL w/ P.T. PLATE, SEE PLAN. INSTALL ½" DIA. ANCHOR BOLTS @ 6'-0" O.C., SEE FOUNDATION NOTES. rINSTALL ½" DIA. ANCHOR BOLTS ❷ 6'-0" O.C., AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2 SQUARE SEE FOUNDATION NOTES. 2x STUD WALL w/ — P.T. PLATE, SEE PLAN. FEET OF WALL AREA CONCRETE SLAB POURED CONCRETE SLAB POURED MONOLITHICALLY WITH FOOTING, SEE PLAN. MONOLITHICALLY WITH 8" MINIMUM TO CONCRETE SLAB, SEE PLAN FOOTING, SEE PLAN. GRADE, 24" MAX EXTERIOR EXTERIOR GRADE-GRADE 2 B 4" GRAVEL FILL OR GROUP 1 4" GRAVEL FILL OR GROUP 1 CLASSIFIED SOIL CLASSIFIED SOIL 12" MINIMUM COMPACTED FILL COMPACTED FILL 12" MINIMUM BELOW GRADE MONOLITHIC CONCRETE FOOTING w/ 4" LEDGE BRICK VENEER, SEE MONOLITHIC CONCRETE FOOTING, SEE PLAN. BELOW GRADE

RECESS @ GARAGE DOOR

C FOUNDATION SECTION EXTERIOR WALL AT PORCH

CONCRETE SLAB POURED

4" GRAVEL FILL

OR GROUP 1 CLASSIFIED SOIL

COMPACTED FILL

-MONOLITHIC CONCRETE FOOTING

MONOLITHICALLY WITH FOOTING, SEE PLAN.

G GARAGE DOOR SECTION

B FOUNDATION SECTION
EXTERIOR WALL @ BRICK VENEER

VENEER TIES SHALL BE SPACED NOT MORE THAN

24" O.C. HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2 SQUARE FEET OF WALL AREA

8" MINIMUM TO

GRADE, 24" MAX

EXTERIOR GRADE

12" MINIMUM

BELOW GRADE



2x STUD WALL w/— P.T. PLATE, SEE PLAN.

8" MINIMUM TO

GRADE, 24" MAX

12" MINIMUM~ BELOW GRADE

EXTERIOR GRADE \

rINSTALL ½" DIA. ANCHOR BOLTS @ 6'-0" O.C.,

SEE FOUNDATION NOTES.

CONCRETE SLAB POURED MONOLITHICALLY WITH FOOTING, SEE PLAN.

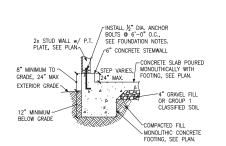
4" GRAVEL FILL OR GROUP 1

CLASSIFIED SOIL

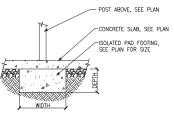
COMPACTED FILL

-MONOLITHIC CONCRETE

FOOTING, SEE PLAN.







2x STUD WALL w/ P.T. PLATE, SEE PLAN.

-INSTALL ½" DIA. ANCHOR BOLTS ⊕ 6'-0" O.C., SEE FOUNDATION NOTES.

STEP VARIES.

]24" MAX.

FOUNDATION SECTION
EXTERIOR GARAGE WALL @ BRICK VENEER

CONCRETE SLAB POURED

MONOLITHICALLY WITH FOOTING, SEE PLAN.

4" GRAVEL FILL

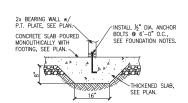
OR GROUP 1 CLASSIFIED SOIL

COMPACTED FILL

MONOLITHIC CONCRETE

FOOTING w/ 4" LEDGE BRICK VENEER, SEE









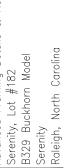
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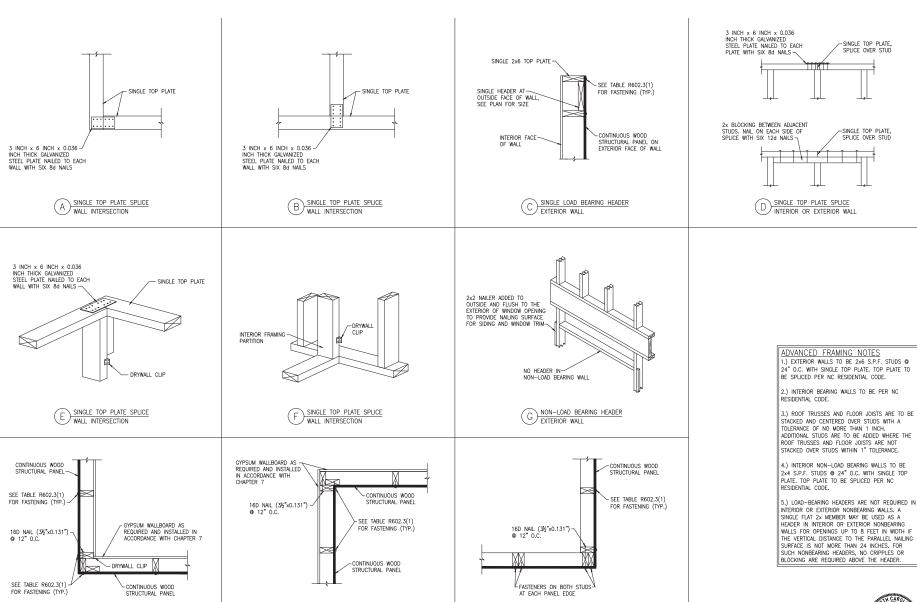


Notes

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Details

Framing



TYPICAL EXTERIOR CORNER FRAMING

INSIDE CORNER DETAIL

TYPICAL EXTERIOR CORNER FRAMING

GARAGE DOOR CORNER DETAIL

TYPICAL EXTERIOR CORNER FRAMING

OUTSIDE CORNER DETAIL

ADVANCED FRAMING NOTES

2.) INTERIOR BEARING WALLS TO BE PER NO

3.) ROOF TRUSSES AND FLOOR JOISTS ARE TO BE STACKED AND CENTERED OVER STUDS WITH A TOLERANCE OF NO MORE THAN 1 INCH. ADDITIONAL STUDS ARE TO BE ADDED WHERE THE ROOF TRUSSES AND FLOOR JOISTS ARE NOT STACKED OVER STUDS WITHIN 1" TOLERANCE.

4.) INTERIOR NON-LOAD BEARING WALLS TO BE 2x4 S.P.F. STUDS @ 24" O.C. WITH SINGLE TOP PLATE, TOP PLATE TO BE SPLICED PER NC

INTERIOR OR EXTERIOR NONBEARING WALLS. A SINGLE FLAT 2x MEMBER MAY BE USED AS A HEADER IN INTERIOR OR EXTERIOR NONBEARING WALLS FOR OPENINGS UP TO 8 FEET IN WIDTH IF THE VERTICAL DISTANCE TO THE PARALLEL NAILING SURFACE IS NOT MORE THAN 24 INCHES. FOR SUCH NONBEARING HEADERS, NO CRIPPLES OR BLOCKING ARE REQUIRED ABOVE THE HEADER.

Advanced Project #: 047-20009 Designed By: JPS

Checked By: Issue Date: 5/31/24 Re-Issue:

1/4"=1'-0" @ 22x34