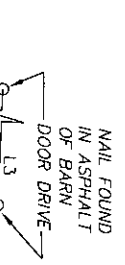
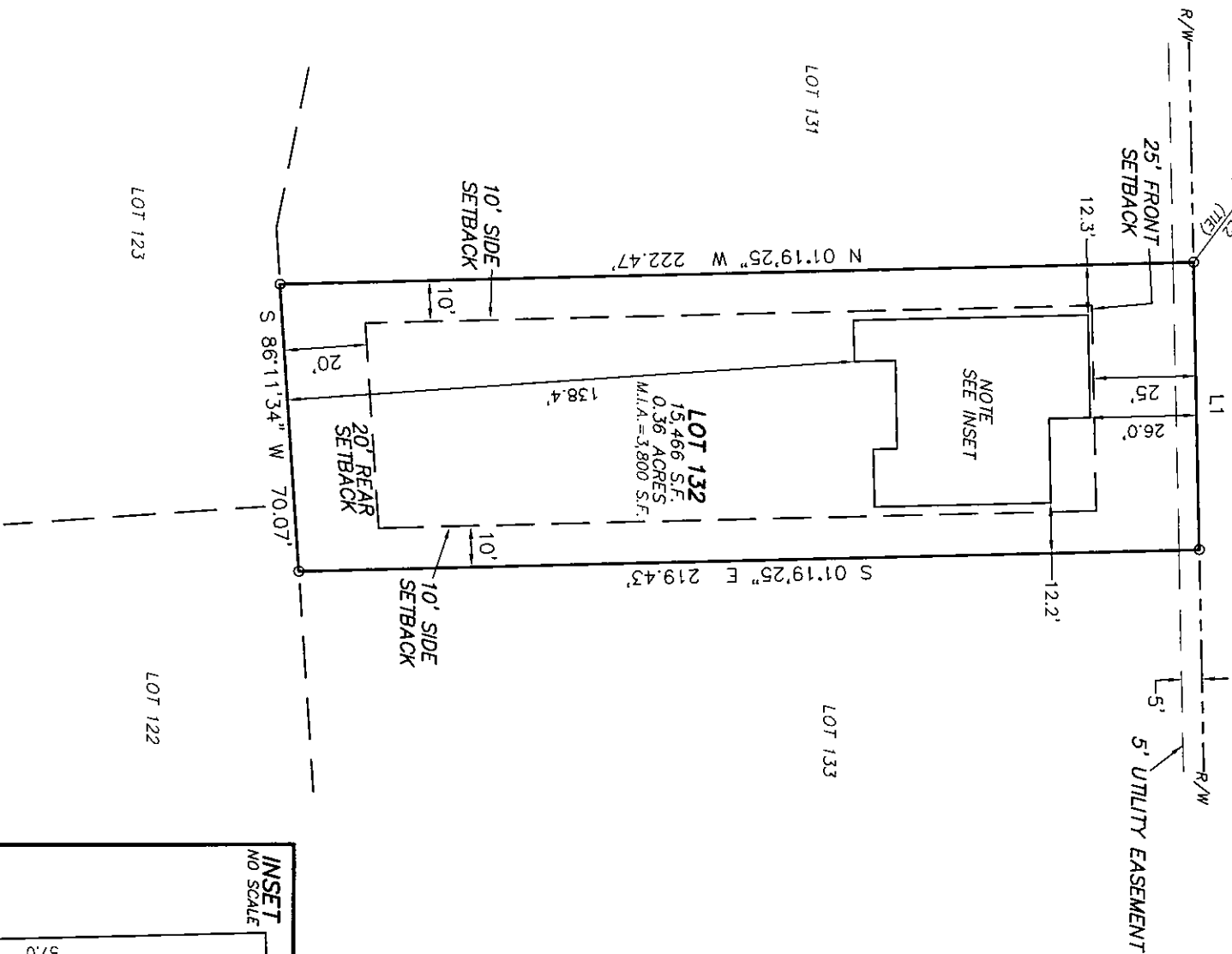


LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 88°40'35" E	70.00'
L2	N 53°17'04" W	63.79'
L3	N 87°33'23" W	239.18'



**BARN DOOR DRIVE**  
**50' R/W (PUBLIC & UTILITY ACCESS)**



**SETBACKS**  
FRONT-25'  
SIDE-10'  
REAR-20'  
CORNER SIDE-20'

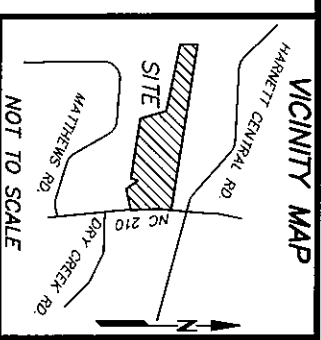
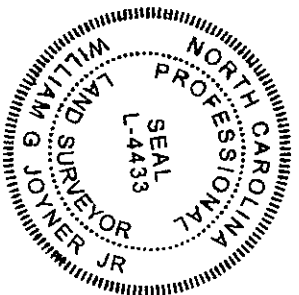
- NOTES:
1. ALL EASEMENTS, RIGHTS OF WAY AND BOUNDARY INFORMATION TAKEN FROM P.B. 2022, PG 203-205 UNLESS OTHERWISE NOTED.
  2. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.
  3. THE PROJECT IS WITHIN THE WS IV WATERSHED. THE MAXIMUM IMPERVIOUS AREA PER LOT IS 3,800 SF.

NOTE:  
RATIO OF PRECISION IS 1:10,000+, MISCLOSEURE WAS DISTRIBUTED BY THE COMPASS METHOD. THE DISTANCES ON THIS MAP ARE ADJUSTED HORIZONTAL GROUND UNLESS NOTED OTHERWISE. ALL AREAS ARE CALCULATED BY COORDINATE COMPUTATION.

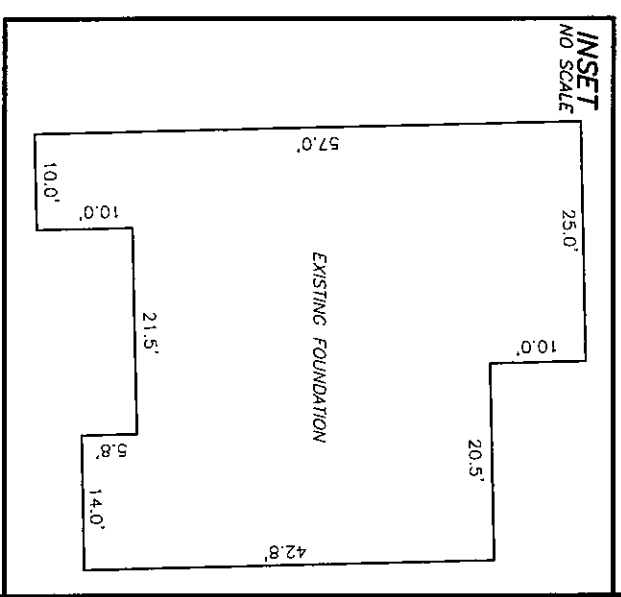
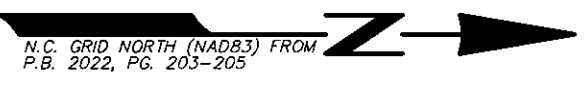
**LOT 132 THE FARM AT NEILLS CREEK**  
**PHASE 1**  
**107 BARN DOOR DR**  
**HARNETT COUNTY**  
**LILLINGTON, N.C. 27546**

REFERENCE: PLAT BOOK 2022 PAGE 203-205.

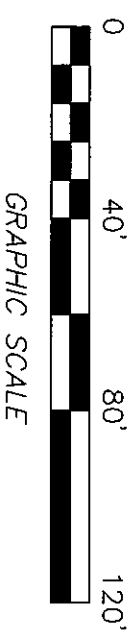
I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION. DESCRIPTION RECORDED IN REFERENCES AS SHOWN. THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN THIS MAP MEET THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.16000). THIS 2ND DAY OF OCTOBER, 2024.  
*William G Joyner Jr*  
PROFESSIONAL LAND SURVEYOR L-4433



- REFERENCES:  
1. D.B. 4188, PG. 96  
PIN 0662-00-1277.000  
PID 110662 0027 61  
RESTRICTIVE COVENANTS:  
2. D.B. 4072, PG. 220



FOUNDATION SURVEY FOR  
**CHESAPEAKE HOMES**



FILE: FNCL07132PD

**ROBINSON & PLANTE PC**  
LAND SURVEYING  
C-2687  
970 TRINITY ROAD  
RALEIGH NC, 27607  
PHONE (919) 859-6030  
FAX (919) 859-6032

DATE: 10-1-24 SCALE: 1"=40'