

House Plan Zone, LLC.

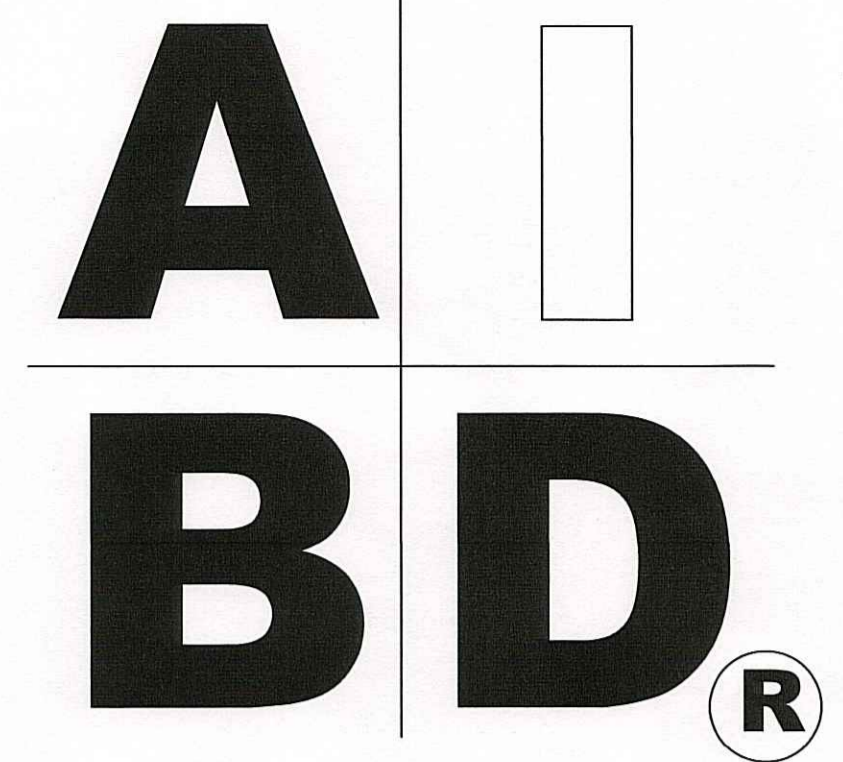


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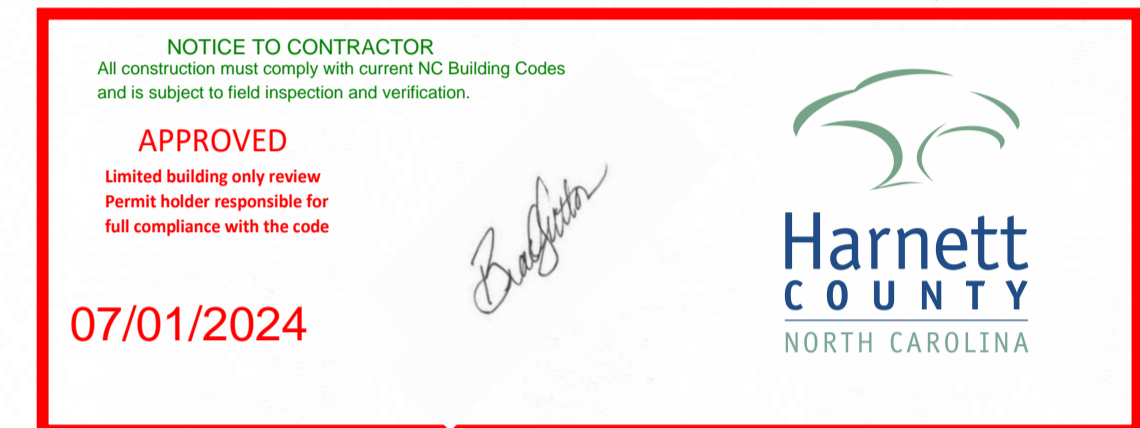
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STANDARD ABBREVIATIONS

@	AT	LT.	LIGHT
#	FOUND(S)	LIN.	LINEN
APPROX.	APPROXIMATELY	MANUF.	MANUFACTURER
BASE.	BASEMENT	MAS.	MASONRY
B/T	BETWEEN	MAX.	MAXIMUM
BLK.	BLOCK	MTL.	METAL
BLK'G	BLOCKING	MIN.	MINIMUM
BD.	BOARD	N.I.C.	NOT IN CONTRACT
BRD.	BOARD	O.C.	ON CENTER
BOT.	BOTTOM	O/C	ON CENTER
BLDG.	BUILDING	OFT.	OPTIONAL
CAB.	CABINET	O.S.B.	ORIENTED STRAND BOARD
CLG.	CEILING	OTS	OWNER TO SELECT
CLR.	CLEAR	O.T.S	OWNER TO SELECT
CLOS.	CLOSET	PG.	PAGE
COL.	COLUMN	PAN.	PANTRY
COLS.	COLUMNS	PL.	PLATE
CONC.	CONCRETE	P.	PLATE
CMU	CONCRETE MASONRY UNIT	PLYND	PLYWOOD
C.U.	CONDENSOR UNIT	PLYND	PLYWOOD
CONN.	CONNECTION	POLY.	POLYETHYLENE
CONT.	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
COVERG	COVERING	PRE-FAB	PREFABRICATED
CS	CRAWL SPACE	RE.	REFERENCE
DECO.	DECORATIVE	REF.	REFRIGERATOR
DET.	DETAIL	REINF.	REINFORCED
DIA.	DIAMETER	R	RESISTANCE
DN	DISHWASHER	RA.	RETURN AIR
DBL.	DOUBLE	R.A.G.	RETURN AIR GRILLE
DF	DOUGLAS FIR	REQ'D	REQUIRED
D	DRYER	SCR.	SCREEN
EA.	EACH	SHLYS.	SHELVES
ELEV.	ELEVATION	SHR.	SHOWER
ENG.	ENGINEER	SHWR.	SHOWER
FT.	FEET	SST.	SIMPSON STRONG TIE
F.F.L.	FINISHED FLOOR LINE	SP	SOUTHERN PINE
FIN.	FINISH	SPECS.	SPECIFICATIONS
F.C.	FIRE CODE	SQ.	SQUARE
FLR.	FLOOR	S.F.	SQUARE FOOTAGE
FTG.	FOOTING	STL.	STEEL
FOUND.	FOUNDATION	THK.	THICK
FND.	FOUNDATION	THK.	THICKNESS
FR.	FREEZER	TBD.	TO BE DETERMINED
GA.	GAUGE	TR.	TRANSOM
GALV.	GALVANIZED	TYP.	TYPICAL
GYP.	GYPSON	U.T.C.	UNDER THE COUNTER
HDR.	HEADER	UTIL.	UTILITY
HVAC	HEATING, VENTILATION & AIR CONDITIONING	VAN.	VANITY
HT.	HEIGHT	VERT.	VERTICAL
HTS.	HEIGHTS	WH	WATER HEATER
HORIZ.	HORIZONTAL	W	WASHER
IN.	INCHES	WT.	WEIGHT
INCL.	INCLUDE	WIN.	WINDOW
INSUL.	INSULATION	WM.	WIRE MESH
JT.	JOINT	W	WITH
JST.	JOIST	WD	WOOD
JSTS.	JOISTS	WFCM	WOOD FRAME CONSTRUCTION MANUAL



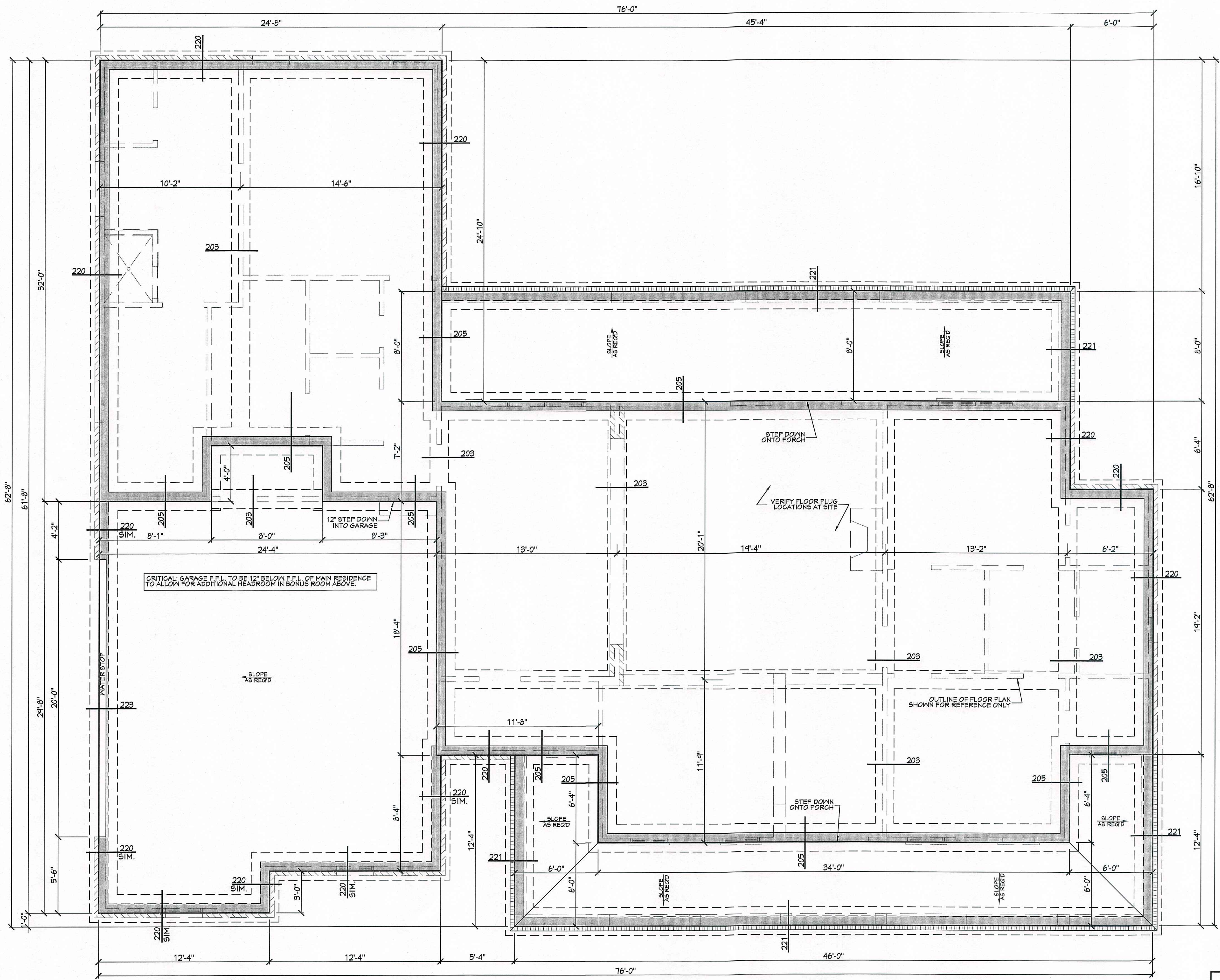
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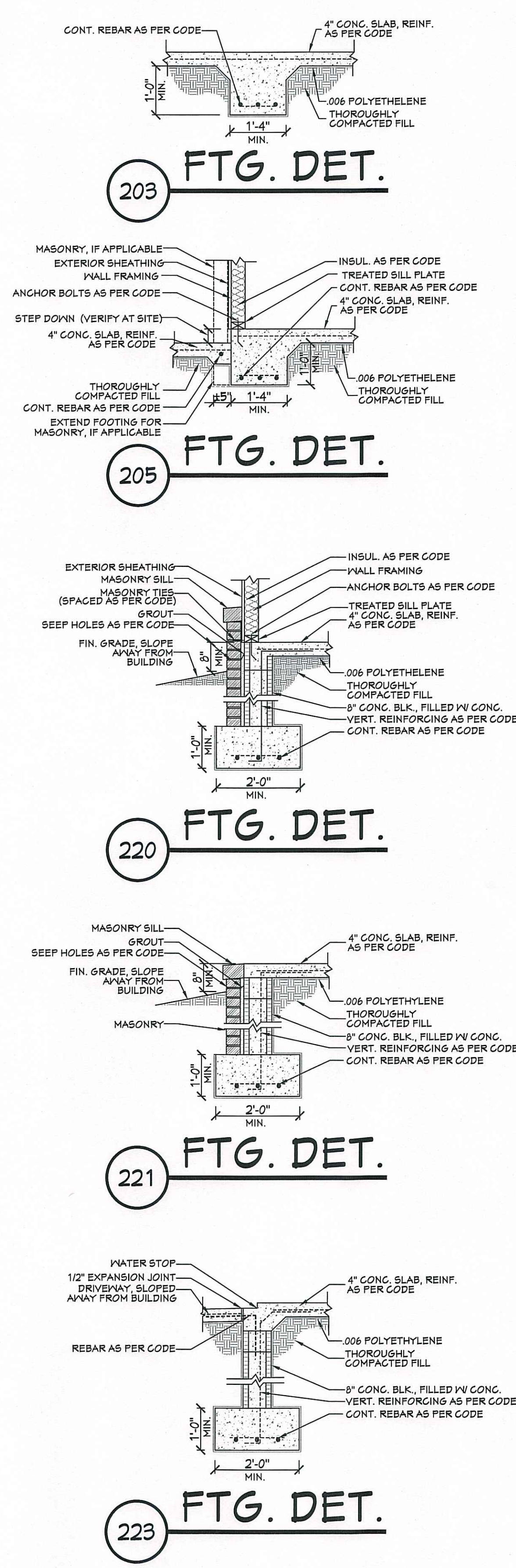
CODE DISCLAIMER:
 1. THESE PLANS WERE DESIGNED TO MEET IRC 2015 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE SOUTH MISSISSIPPI AREA. IT IS HIGHLY RECOMMENDED THAT THESE PLANS BE REVIEWED BY A LOCAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
 2. BEAMS AND FLOOR JOISTS ARE NOT SIZED DUE TO THE MANY GEOGRAPHIC LOCATIONS THESE PLANS ARE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER.
 3. ALL CEILING & FLOOR JOISTS (IF CONVENTIONAL FRAMING) SHOULD BE SIZED USING THE LATEST VERSION OF THE IRC OR APPLICABLE CODES AT SITE TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOISTS SIZES LABELED (IF PRESENT) WERE SIZED USING THE 2015 IRC AT THE TIME OF THEIR CREATION. THEY MUST BE VERIFIED AND MODIFIED AS REQUIRED TO MEET THE LATEST EDITION OF THE (IRC) INTERNATIONAL RESIDENTIAL CODE.
 4. ALL FOUNDATIONS AND FOOTING DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER.
 5. CONTRACTOR SHALL PROVIDE ALL HIGH WIND STRAPPING AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL CODE REQUIREMENTS AND THE LATEST VERSION OF THE IRC.

BB-2282R

N.C.B.D.C.
 NATIONAL COUNCIL OF BUILDING DESIGNERS
 CERTIFICATION
 JONATHAN L. BOONE
 CERTIFICATION NO. 25-137
 Date: 12.22.16
 Drawn By: J.A.B.
 Lucas
 SHEET NUMBER
1



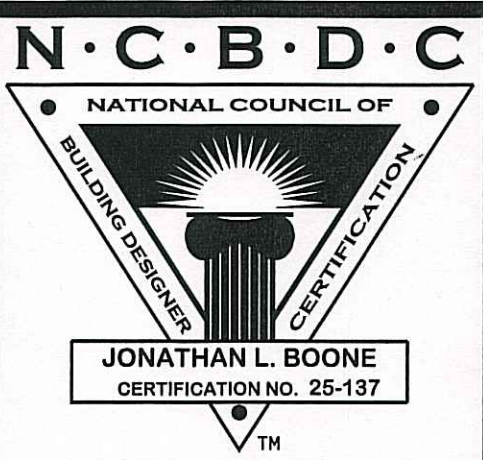
201 FOUNDATION PLAN
SCALE----- 1/4" = 1'-0"



- SLAB FOUNDATION NOTES:**
1. ALL FOOTING SIZES AND LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
 2. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
 3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH FLOOR PLAN PRIOR TO CONSTRUCTION AND MAKE ANY NECESSARY ADJUSTMENTS.
 4. CONTRACTOR TO PROVIDE WATERPROOFING AS REQ'D TO MEET ALL APPLICABLE CODES AND TYPICAL BUILDING PRACTICES.
 5. CONCRETE SLABS TO BE 4" (3000 psi MIN.), REINFORCED AS PER CODE OR AS DETERMINED BY LICENSED ENGINEER.



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Pre-Drawn Plan ID:
BB-2282R

Date:
12.22.16
Drawn By:
J.A.B.

SHEET NUMBER
2

House Plan Zone, LLC has exercised great care and effort in the development of these plans and the completion of these construction documents. However, due to the great variance in building codes and site specific conditions, House Plan Zone, LLC assumes no liability for any code violations or other issues that may arise during the construction process. It is the responsibility of the contractor to verify all dimensions and conditions at the site prior to construction. Additional engineering may be required to comply with local, state, and federal regulations. This plan is intended for use in the state of North Carolina. House Plan Zone, LLC highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction. In addition to your local building official's approval, a professional engineer's seal and signature are required for construction. House Plan Zone, LLC has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.

NOTES:

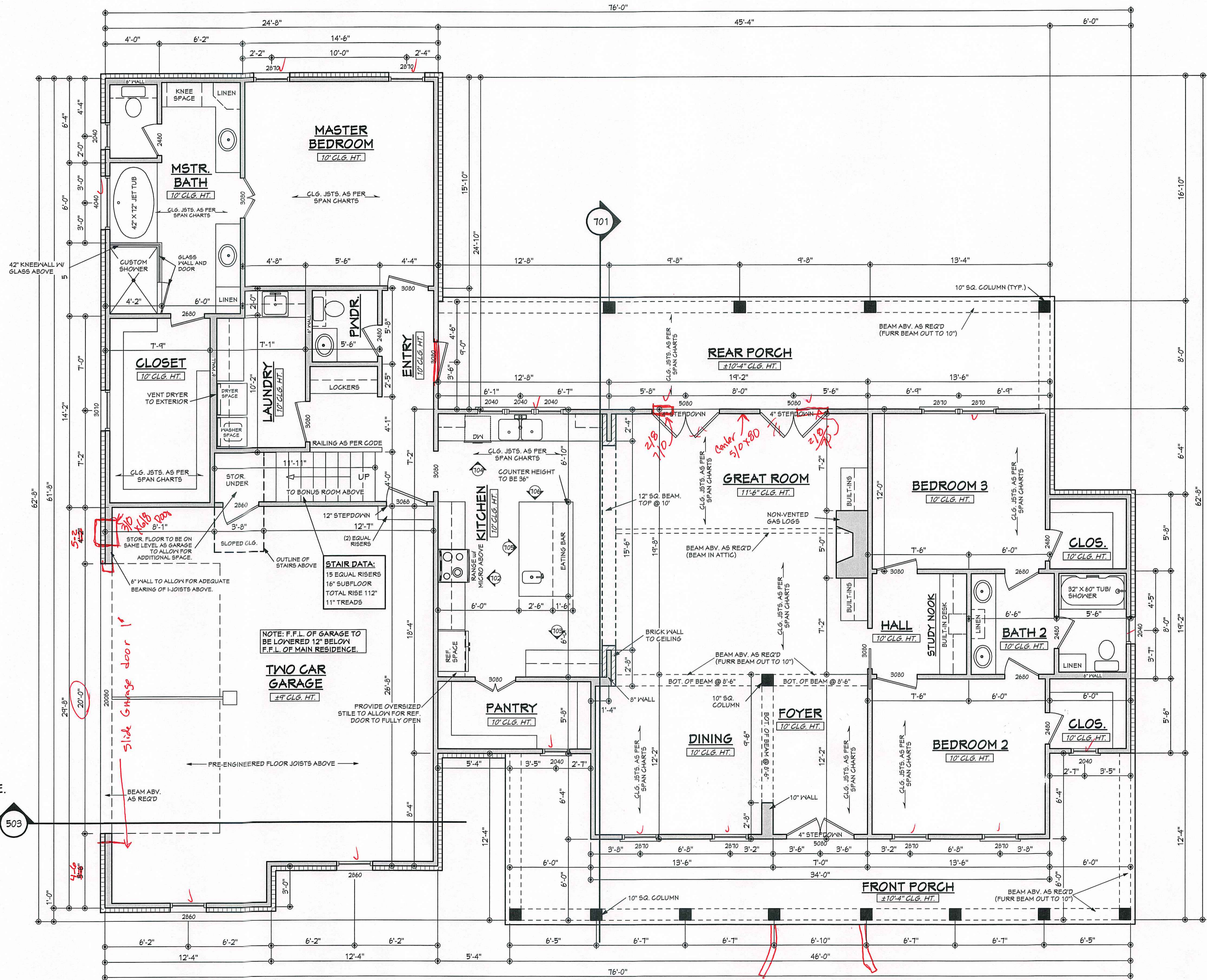
1. ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
 2. ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
 3. VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
 4. CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL, PRIOR TO CONSTRUCTION.
 5. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
 6. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
 7. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD. IRC 2015, R312.1.1 & R312.1.2
 8. M1305.1.3 APPLIANCES IN ATTICS, ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.
- EXCEPTIONS:**
- a. THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING.
 - b. WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 50 FEET LONG.
9. APPLIANCE ACCESS FOR INSPECTION SERVICE, REPAIR AND REPLACEMENT. APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. A LEVEL WORKING SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. INSTALLATION OF ROOM HEATERS SHALL BE PERMITTED WITH AT LEAST AN 18-INCH WORKING SPACE. A PLATFORM SHALL NOT BE REQUIRED FOR ROOM HEATERS. M1305.1.1 FURNACES AND AIR HANDLERS. FURNACES AND AIR HANDLERS WITHIN COMPARTMENTS OR ALCOVES SHALL HAVE A MINIMUM WORKING SPACE CLEARANCE OF 3 INCHES ALONG THE SIDES, BACK AND TOP WITH A TOTAL WIDTH OF THE ENCLOSING SPACE BEING AT LEAST 12 INCHES WIDER THAN THE FURNACE OR AIR HANDLER. FURNACES HAVING A FIREBOX OPEN TO THE ATMOSPHERE SHALL HAVE AT LEAST A 6-INCH WORKING SPACE ALONG THE FRONT COMBUSTION CHAMBER SIDE. COMBUSTION AIR OPENINGS AT THE REAR OR SIDE OF THE COMPARTMENT SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 11. EXCEPTION: THIS SECTION SHALL NOT APPLY TO REPLACEMENT APPLIANCES INSTALLED IN EXISTING COMPARTMENTS AND ALCOVES WHERE THE WORKING SPACE CLEARANCES ARE IN ACCORDANCE WITH THE EQUIPMENT OR APPLIANCE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 10. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2040 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2015 R310.2.1. EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. MAXIMUM SILL HEIGHT TO BE 44 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.
 11. ALL RETURN AIR GRILLS ARE TO BE LOCATED TO COMPLY WITH SECTION M1602 OF THE IRC 2015.
 12. ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED RESIDENCE OR BUILDING.
 13. FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED (IF REQUIRED BY LOCAL CODES) AS PER THE IRC 2015 AND BY A LICENSED PROFESSIONAL IN THE AREA OF CONSTRUCTION.
 14. ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2015, M1507.2

NOTE: CONTRACTOR TO LOCATE HVAC UNITS AND WATER HEATER AT SITE.

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

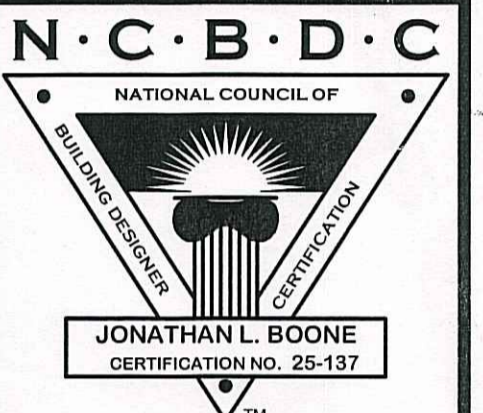
AREA:	2282	S.F. HEATED - FIRST FLOOR
	492	S.F. UNHEATED - BONUS ROOM
	363	S.F. UNHEATED - REAR PORCH
	689	S.F. UNHEATED - GARAGE
	352	S.F. UNHEATED - FRONT PORCH
	1896	S.F. UNHEATED - TOTAL
	4178	S.F. TOTAL UNDER ROOF



Turn Front steps



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JONATHAN L. BOONE
CERTIFICATION NO. 25-137

Pre-Drawn Plan ID:

BB-2282R

House Plan Zone, LLC has exercised great care and effort in the development of these plans and the completion of these construction documents. However, due to the great variance in building codes and site specific conditions, House Plan Zone, LLC assumes no liability for any errors or omissions that may occur. It is the responsibility of the contractor to verify all dimensions and conditions on site prior to construction. Additional engineering may be required to comply with seismic, wind and other local building codes. The plans are provided as a guide only. The contractor shall be responsible for obtaining all necessary permits and shall be responsible for any changes or modifications to these plans. It is general in nature and shall be verified by a licensed engineer prior to construction.

Date: 12.22.16

Drawn By: J.A.B.

Project Name:

SHEET NUMBER

3

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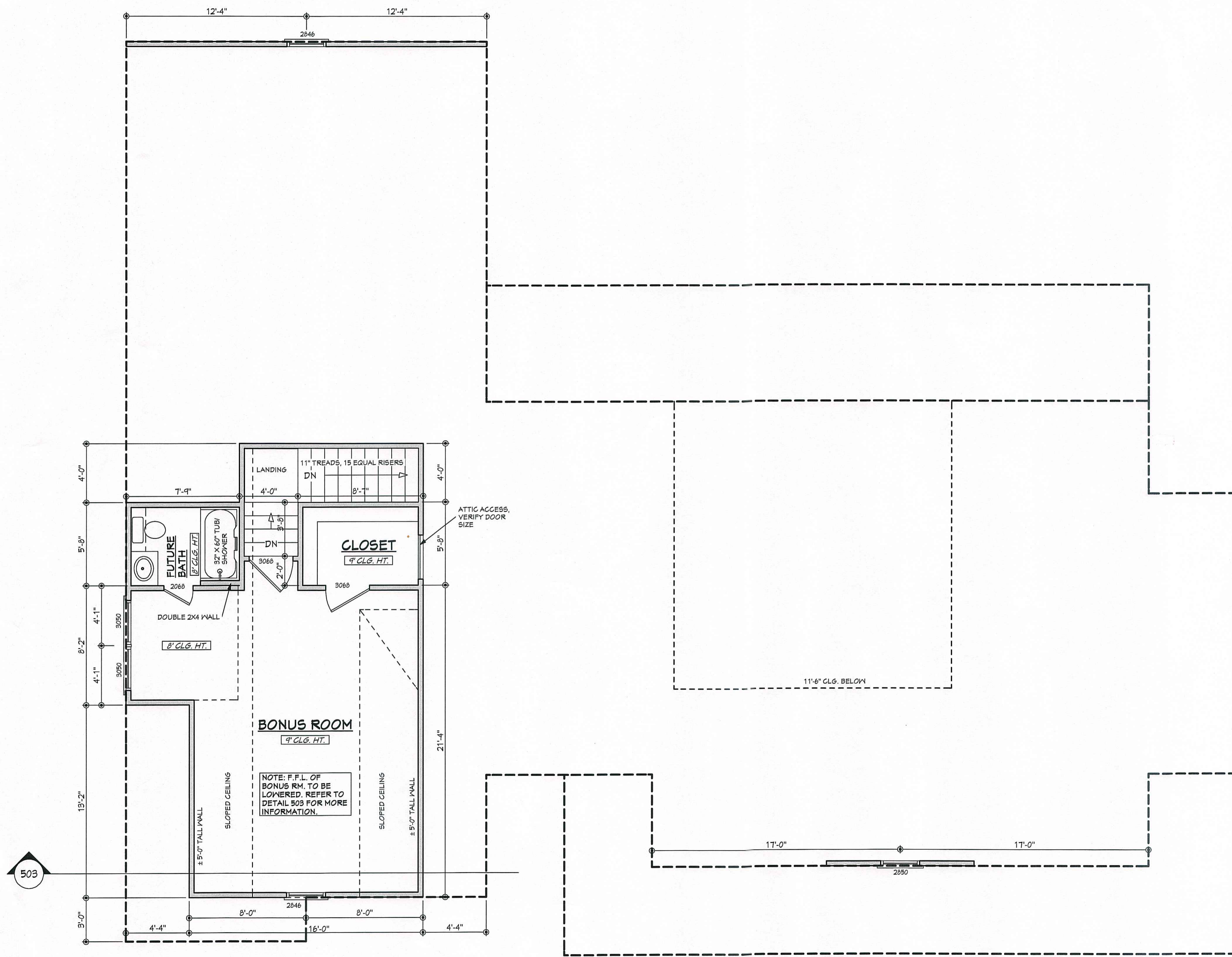
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BONUS FLOOR PLAN

SCALE: 1/4" ===== 1'-0"

NOTES:

1. ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
2. ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
3. VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
4. CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL, PRIOR TO CONSTRUCTION.
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6. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
7. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD. IRC 2015, R312.1.1 & R312.1.2
8. M1305.1.3 APPLIANCES IN ATTICS, ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.
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- EXCEPTION: THIS SECTION SHALL NOT APPLY TO REPLACEMENT APPLIANCES INSTALLED IN EXISTING COMPARTMENTS AND ALCOVES WHERE THE WORKING SPACE CLEARANCES ARE IN ACCORDANCE WITH THE EQUIPMENT OR APPLIANCE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
10. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2015 R310.2.1. EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. MAXIMUM SILL HEIGHT TO BE 44 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.
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14. ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2015, M1507.2

Date: 12.22.16

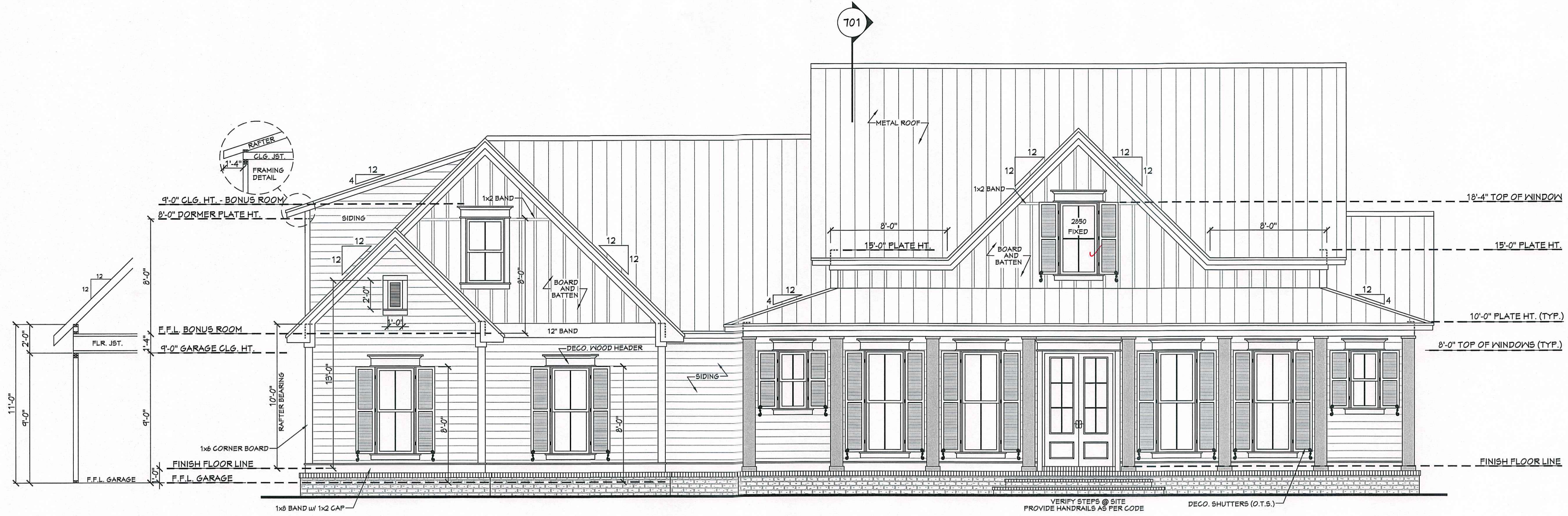
Drawn By: J.A.B.

Project Name:

SHEET NUMBER

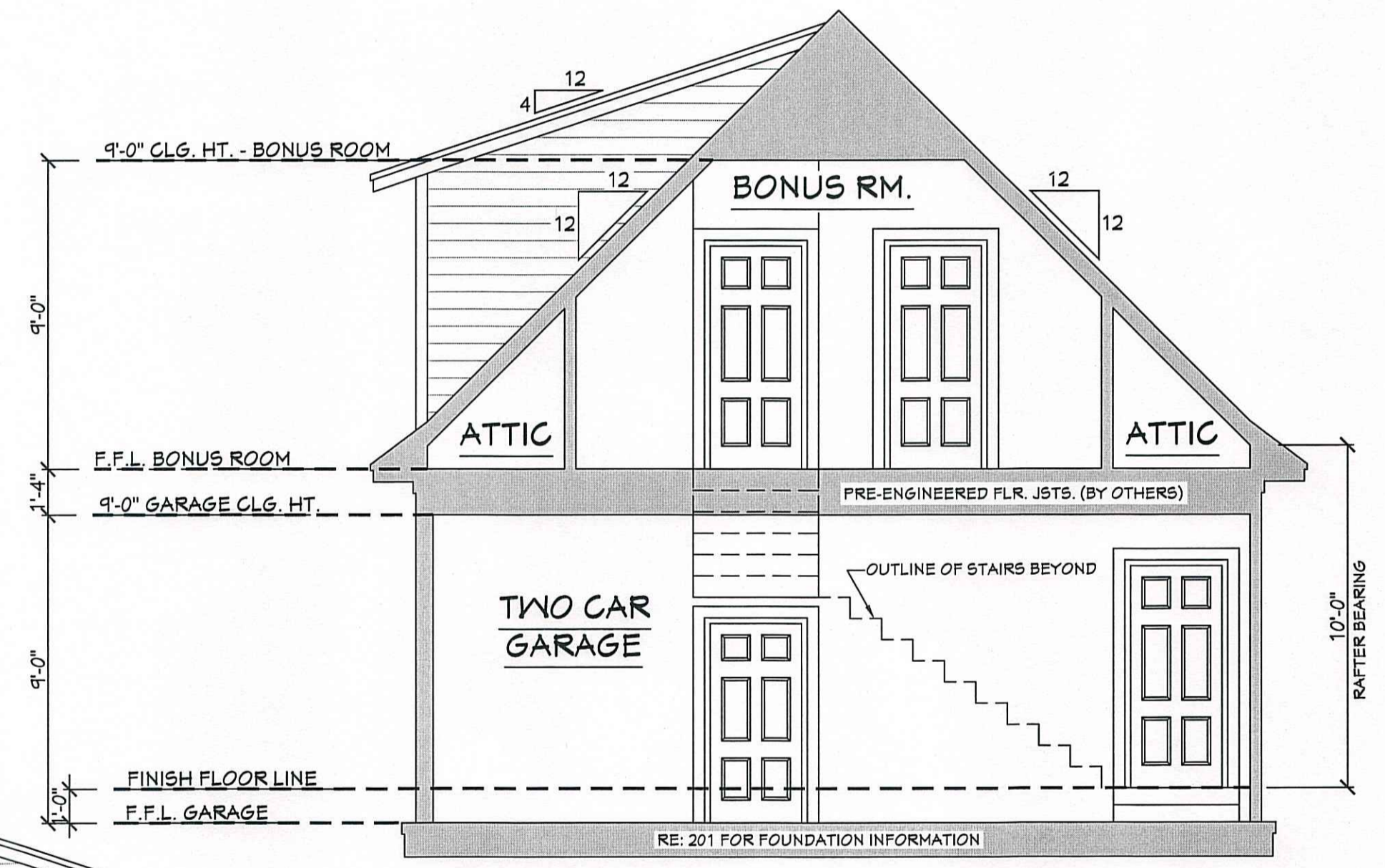
4

House Plan Zone, LLC has prepared these plans in good faith and to the best of our knowledge and belief. The user assumes all responsibility for any damages, including structural failures resulting from errors, omissions or deviations in the design, construction or other special conditions required by local building codes. All dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.



501 BB-2282R FRONT VIEW
 SCALE----- 1/4" = 1'-0"

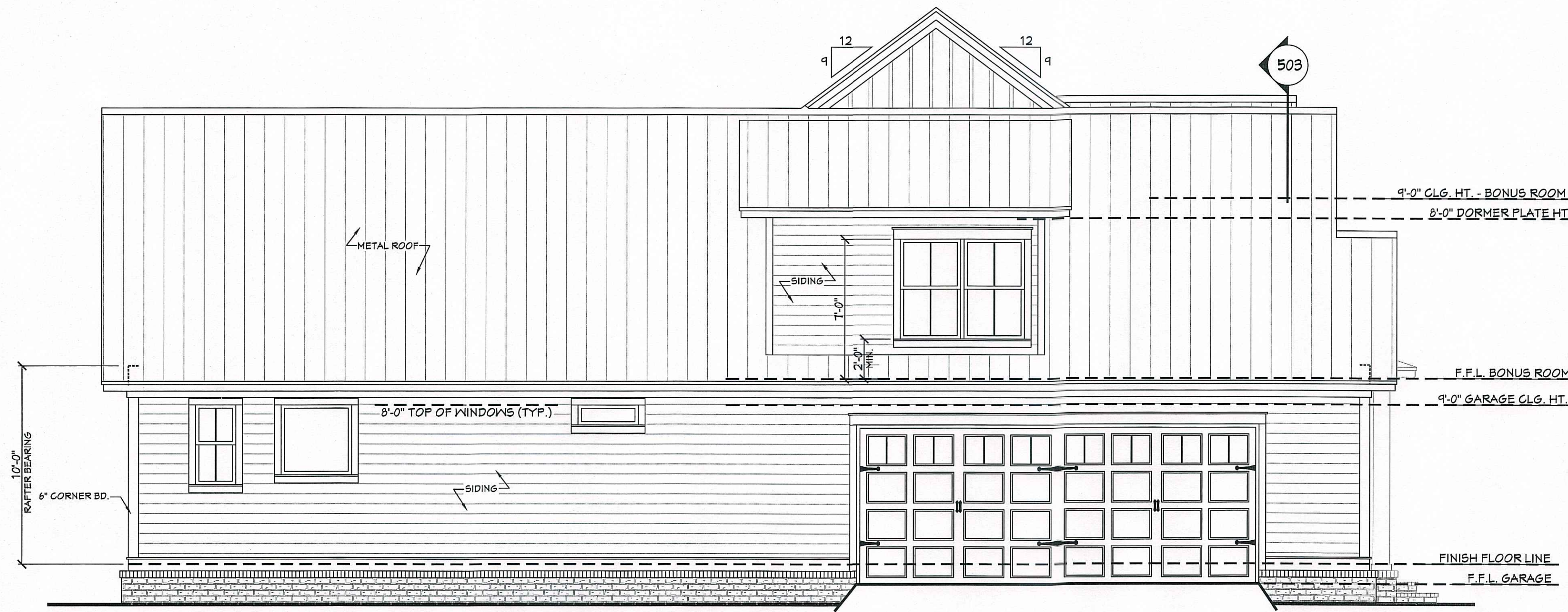
- EXTERIOR ELEVATION NOTES:**
1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
 2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
 3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
 4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
 5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
 6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



503 GARAGE SECTION
 SCALE----- 1/4" = 1'-0"



502 REAR VIEW
 SCALE----- 1/4" = 1'-0"



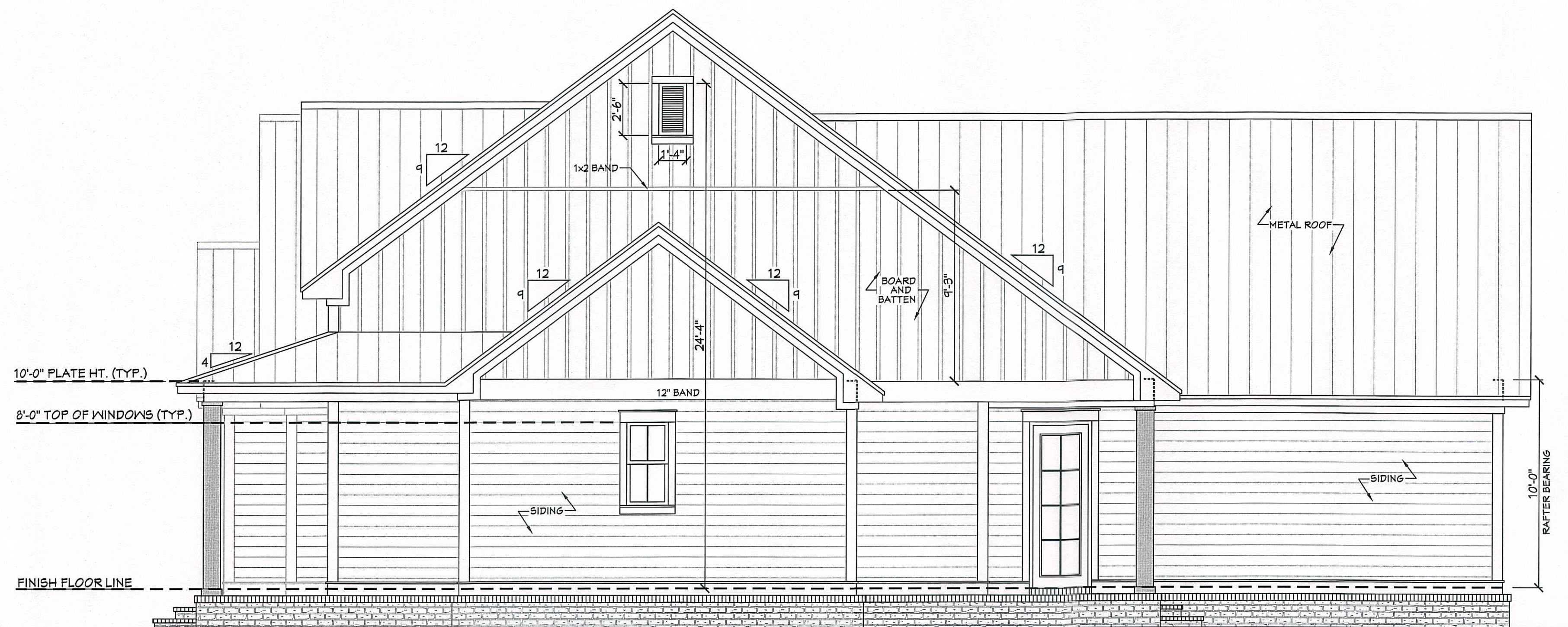
LEFT VIEW

601

SCALE-----1/4" = 1'-0"

EXTERIOR ELEVATION NOTES:

1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.

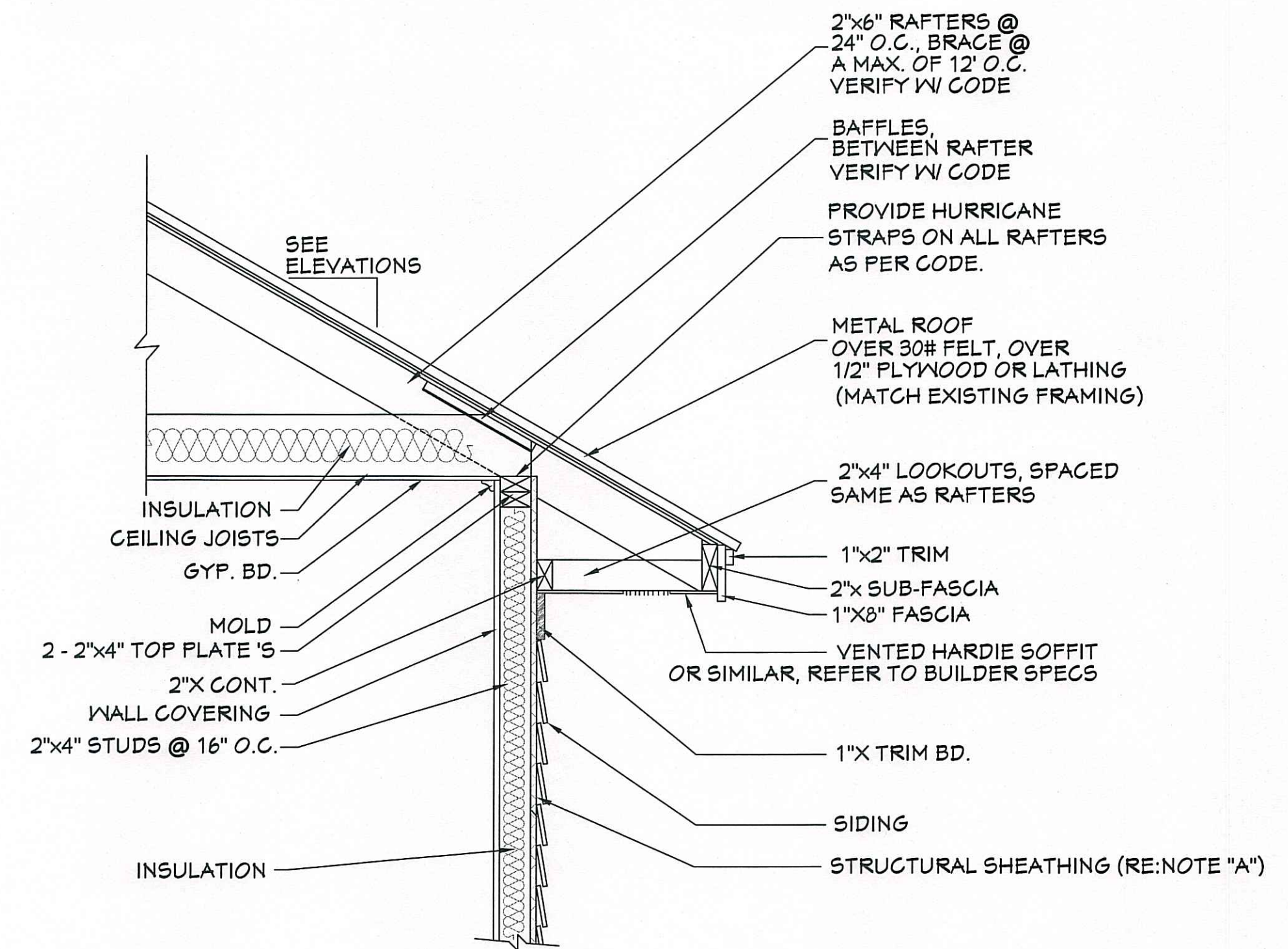


RIGHT VIEW

602

SCALE-----1/4" = 1'-0"

VERIFY STEPS @ SITE
PROVIDE HANDRAILS AS PER CODE



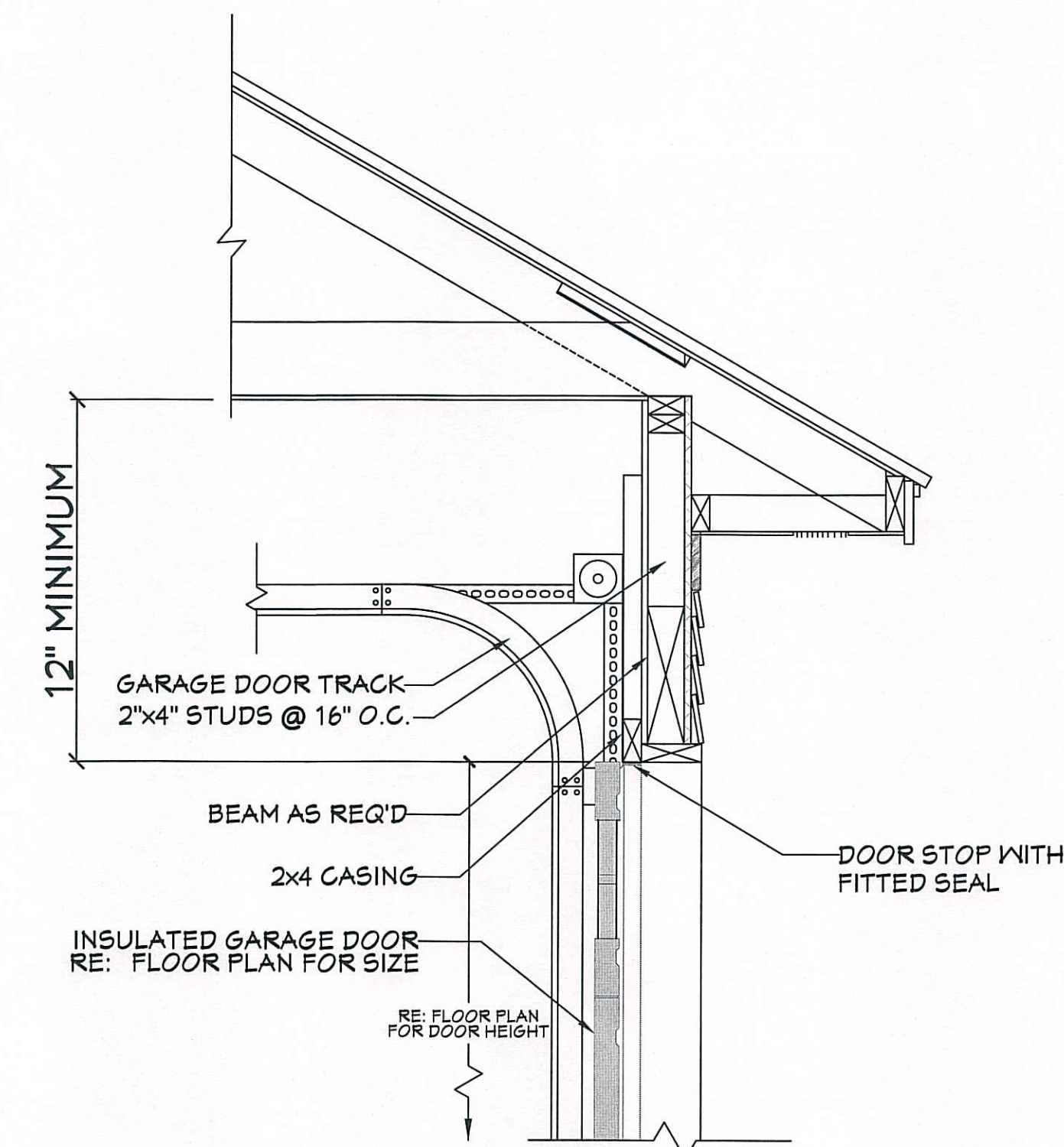
NOTE "A": PROVIDE A MINIMUM OF 1/16" STRUCTURAL WOOD PANEL ATTACHED W/ 8d COMMON OR 10d BOX NAILS AT 4" SPACING ON EDGE AND 12" IN FIELD.

NOTE "B": CORNICE DETAIL FOR REFERENCE ONLY. REFER TO BUILDER SPECS FOR ACTUAL MATERIALS.

TYP. CORNICE DETAIL

603

SCALE-----3/4" = 1'-0"



GARAGE DOOR CLEARANCE

604

SCALE-----N.T.S.

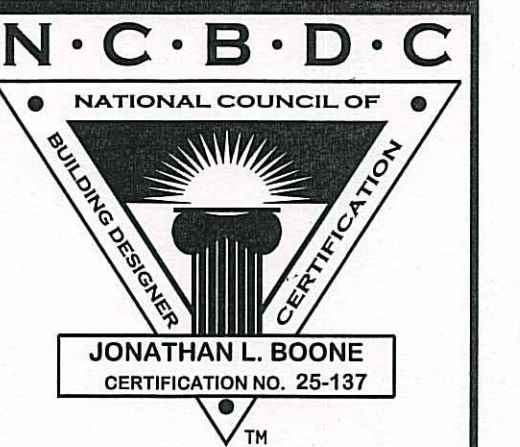
THE INTENT OF THIS DETAIL IS TO SHOW THE MINIMUM REQUIRED DISTANCE FROM THE TOP OF THE GARAGE DOOR OPENING TO THE CEILING OF THE GARAGE.

Website:
www.HPZplans.com

Email:
sales@hpzplans.com

Phone:
601.336.3254

Fax:
1.800.574.1387



Pre-Drawn Plan ID:
BB-2282R

House Plan Zone, LLC has exercised great care and effort in the development of these plans and the completion of these construction documents. However, due to the great variance in building codes and site specific conditions, House Plan Zone, LLC assumes no liability for any code violations or other issues that may arise during the construction process. It is the responsibility of the contractor to verify all codes and regulations in addition to your local building officials prior to construction. Additional engineering may be required to comply to seismic, wind and other codes. House Plan Zone, LLC highly recommends that these plans be reviewed by a licensed structural engineer in your area prior to construction. It is general in nature and shall be verified by a licensed engineer prior to construction.

Date:
12.22.16

Drawn By:
J.A.B.

SHEET NUMBER

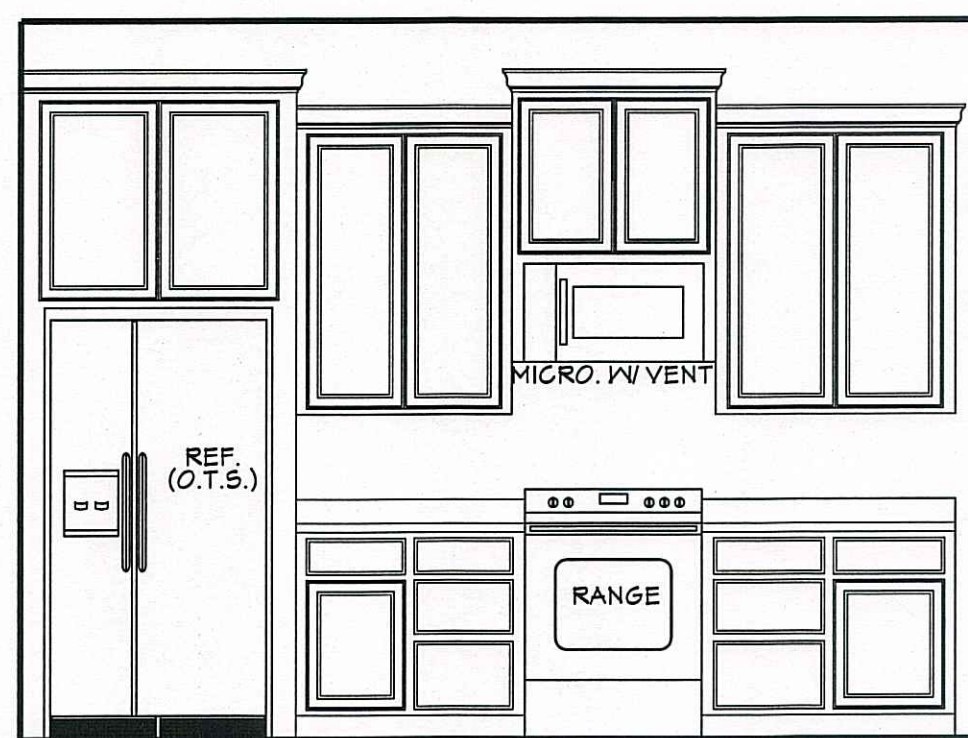
6

CROSS SECTION NOTES:

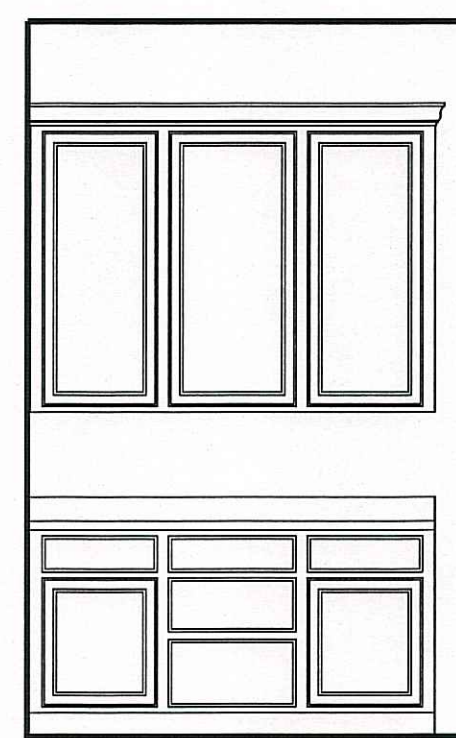
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" x 10", OR AS REQ'D BY ENGINEER.
3. CONTRACTOR TO PROVIDE RAFTER BRACING TO MEET APPLICABLE CODES.
4. CONTRACTOR TO THOROUGHLY WATERPROOF ALL EXTERIOR INTERSECTIONS AS PER CODE AND TYPICAL BUILDING PRACTICES.
5. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
6. ALL LUMBER SIZES AND SPACING TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
7. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D. BY CURRENT CODES.



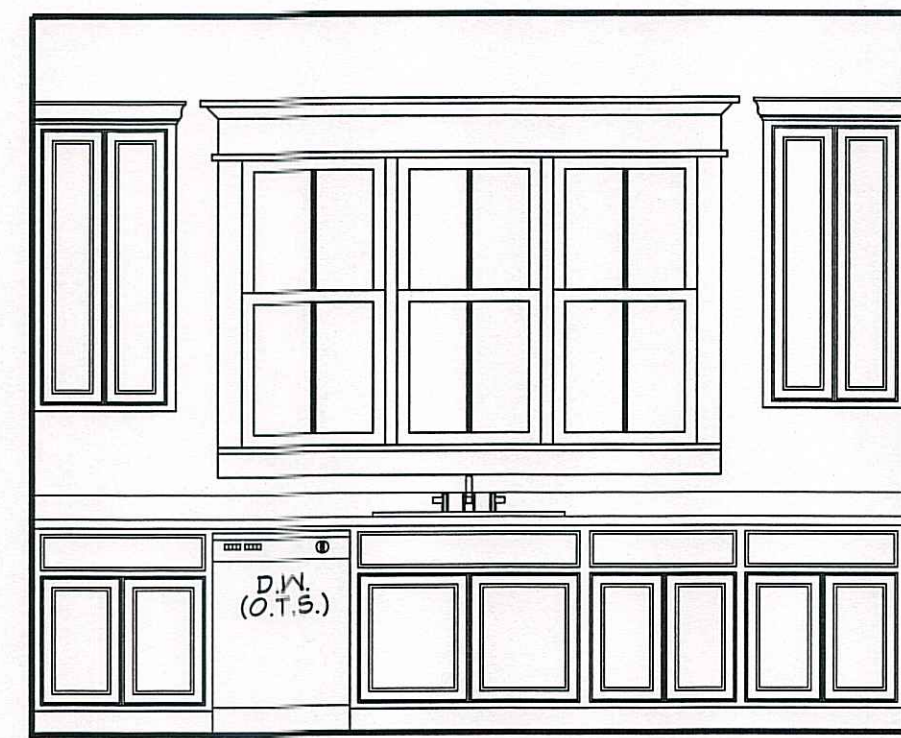
701 CROSS SECTION
SCALE-----3/8"=1'-0"



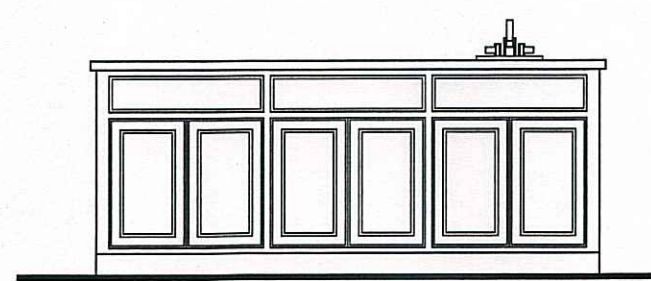
702 KITCHEN
SCALE-----3/8"=1'-0"



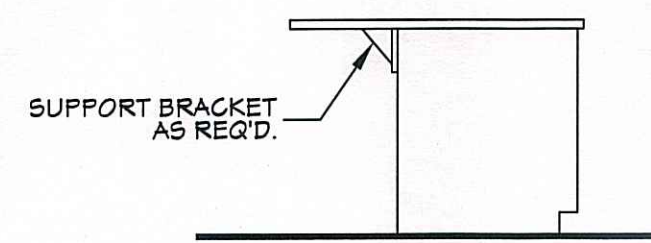
703 KITCHEN
SCALE-----3/8"=1'-0"



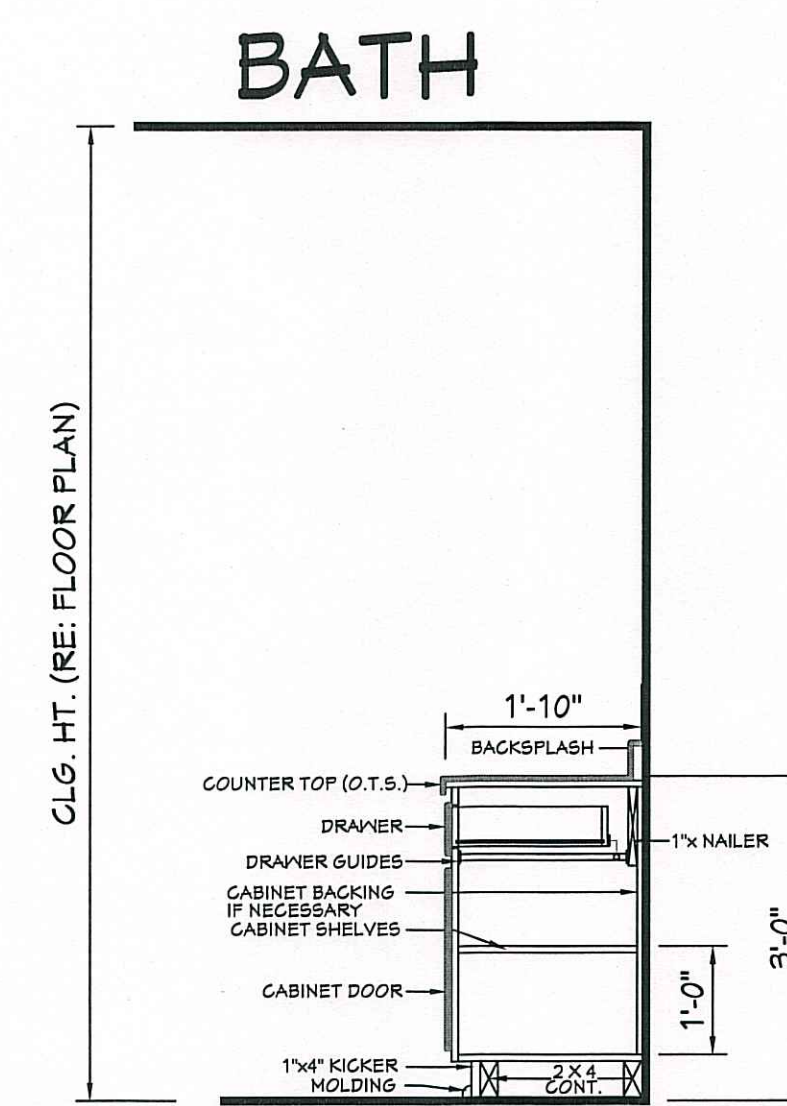
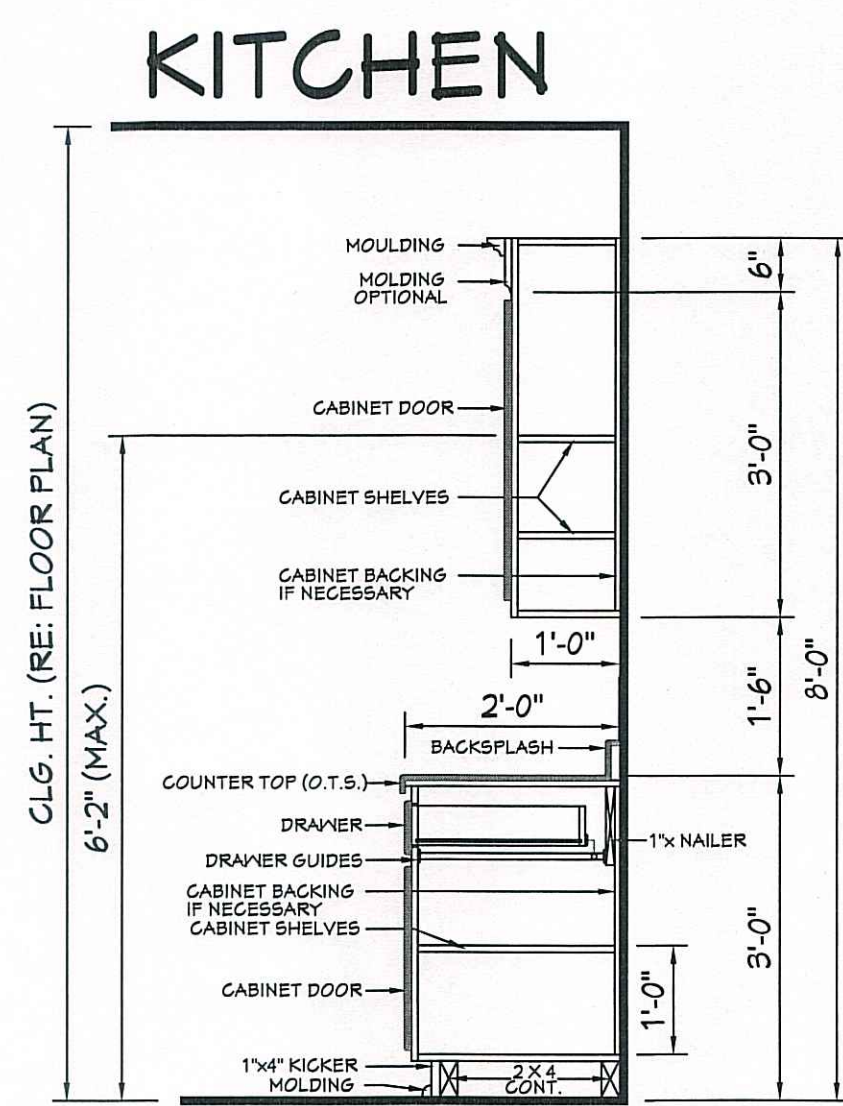
704 KITCHEN
SCALE-----3/8"=1'-0"



705 KITCHEN
SCALE-----3/8"=1'-0"

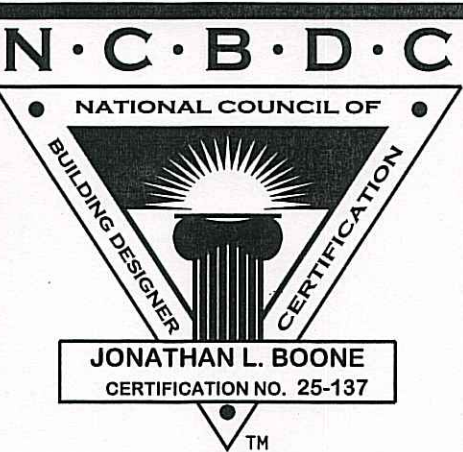


706 KITCHEN
SCALE-----3/8"=1'-0"



707 TYPICAL CABINET SECTIONS
SCALE-----N.T.S.

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Date: 12.22.16
Drawn By: J.A.B.

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Pre-Drawn Plan ID:
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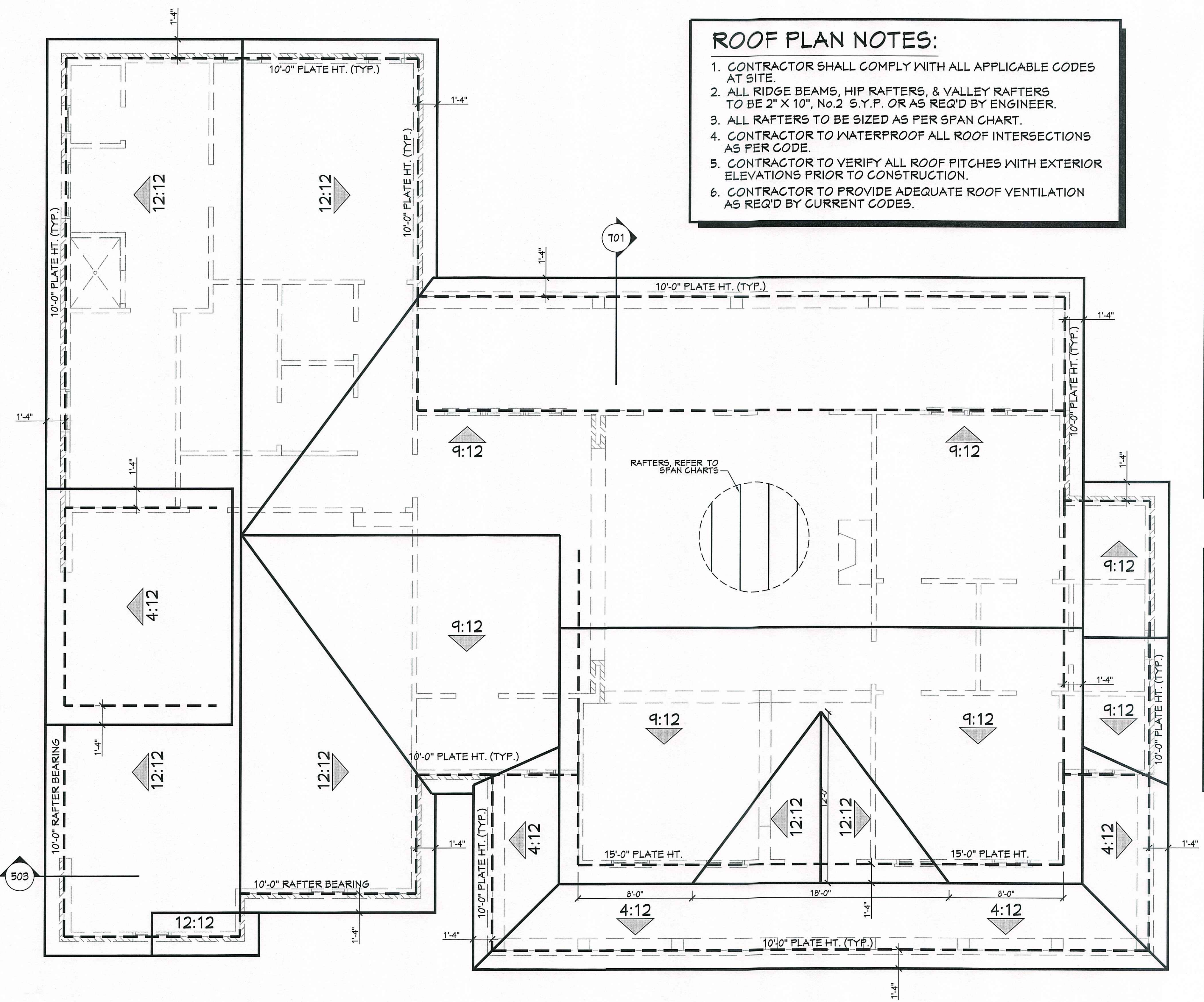
Date:
12.22.16

Drawn By:
J.A.B.

SHEET NUMBER

8

- ROOF PLAN NOTES:**
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
 2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" X 10", No.2 S.Y.P. OR AS REQ'D BY ENGINEER.
 3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
 4. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
 5. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
 6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



801 **ROOF PLAN**
SCALE ----- 1/4" = 1'-0"

HIP/VALLEY CONVERSION

IF COMMON RAFTER ROOF PITCH IS...		THEN HIP/VALLEY RAFTER ROOF PITCH BECOMES...	
RISE/ RUN	SLOPE	RISE/ RUN	SLOPE
1/12	5°	1/17	3°
2/12	10°	2/17	7°
3/12	14°	3/17	10°
4/12	18°	4/17	13°
5/12	23°	5/17	16°
6/12	27°	6/17	19°
7/12	30°	7/17	22°
8/12	34°	8/17	25°
9/12	37°	9/17	28°
10/12	40°	10/17	30°
11/12	42°	11/17	33°
12/12	45°	12/17	35°

CONVERSION CHART FOR SIMPLE ROOFS ONLY. CHART DOES NOT APPLY FOR DUAL PITCH ROOFS.

RAFTER LENGTH CHART

ROOF PITCH	FACTOR
3/12	1.05
4/12	1.07
5/12	1.10
6/12	1.14
7/12	1.17
8/12	1.20
9/12	1.25
10/12	1.30
11/12	1.35
12/12	1.40
14/12	1.54
16/12	1.70

MULTIPLY HORIZONTAL SPAN OF MEMBER BY FACTOR. CHOOSE APPROPRIATE FACTOR BY ROOF PITCH.

RAFTER SPANS
RAFTER SPANS FOR SOUTHERN PINE SPECIES
LIVE LOAD=30psf, L_A=180 DEAD LOAD = 10psf

SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT. - IN.)
2 x 6	12.0	12-11
	16.0	11-2
	24.0	10-2
2 x 8	12.0	16-4
	16.0	14-2
	24.0	12-11
2 x 10	12.0	19-5
	16.0	16-10
	24.0	15-4
2 x 12	12.0	22-10
	16.0	19-10
	24.0	18-1
24.0	16-2	

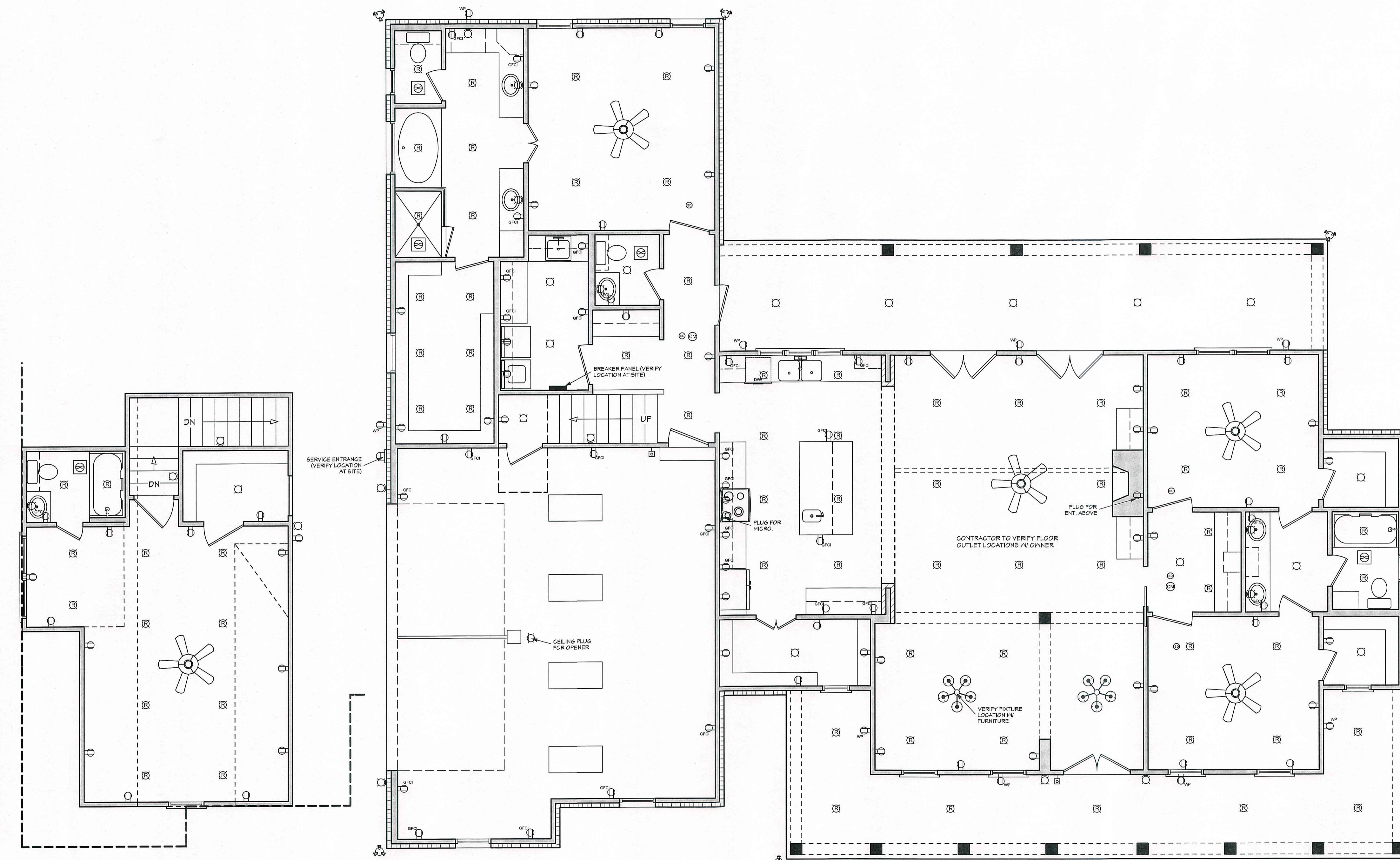
NOTES:
The above tables are based on the IRC 2015 TABLE R802.5.1(3)

CEILING JOIST SPANS
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES
(UNINHABITABLE ATTICS WITHOUT STORAGE, LIVE LOAD = 20psf, L_A=240)
DEAD LOAD = 10psf

IF HABITABLE ATTIC SPACE OR STORAGE IS DESIRED, REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLES.

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (FT. - IN.)
2 x 4	12.0	9-3
	16.0	8-0
	19.2	7-4
	24.0	6-7
2 x 6	12.0	13-11
	16.0	12-0
	19.2	11-0
	24.0	9-10
2 x 8	12.0	17-7
	16.0	15-3
	19.2	13-11
	24.0	12-6
2 x 10	12.0	20-11
	16.0	18-1
	19.2	16-6
	24.0	14-9

NOTES:
The above tables are based on the IRC 2015 TABLE R802.4(2)



ELECTRICAL LAYOUT

SCALE: 1/4" ===== 1'-0"

ELECTRICAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION
○	110 VOLT OUTLET
⊕	GROUND FAULT PROTECTED OUTLET
⊖	WEATHERPROOF OUTLET
⊕	220 VOLT RECEPTACLE
⊖	FLOOR OUTLET (OWNER TO LOCATE)
⊕	CEILING HUNG FIXTURE
⊖	OVERHANG MOUNTED FLOODLIGHTS
⊕	WALL MOUNTED FLOODLIGHTS
⊖	RECESSED CEILING FIXTURE
⊕	FLUORESCENT LIGHT
⊖	CARBON MONOXIDE DETECTOR
⊕	SMOKE DETECTOR
⊖	SWITCH
⊕	THREE WAY SWITCH
⊖	WALL MOUNTED LIGHT
⊕	DIMMER SWITCH (OWNER TO LOCATE)
⊖	DOOR ACTIVATED SWITCH
⊕	WEATHERPROOF OUTLET
⊖	CATS NETWORKING JACK (OWNER TO LOCATE)
⊕	TELEPHONE OUTLET (OWNER TO LOCATE)
⊖	TELEVISION OUTLET (OWNER TO LOCATE)
⊕	DOORBELL BUTTON (CONTRACTOR TO LOCATE)
⊖	THERMOSTAT (CONTRACTOR TO LOCATE)
⊕	CEILING EXHAUST FAN, VENT TO EXTERIOR
⊖	TV SPEAKER
⊕	RADIO SPEAKER

	CEILING FAN ONLY, NO LIGHT KIT
	CEILING FAN WITH LIGHT KIT

	TRACK LIGHTING (OWNER TO LOCATE)
	WALL SCONCE (OWNER TO LOCATE)
	CHANDELIER 1 (O.T.S.)
	CHANDELIER 2 (O.T.S.)
	UNDER COUNTER LIGHTING
	EMERGENCY LIGHTING/ EXIT SIGN

ELECTRICAL NOTES:
 1. ALL WORK SHALL COMPLY WITH ALL CODES APPLICABLE AT SITE.
 2. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN A DWELLING THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SMOKE ALARMS SHALL BE HARD WIRED WITH A BATTERY BACK UP.
 3. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS WITH ATTACHED GARAGES.
 4. A 125 VOLT, SINGLE PHASE, 15-20 AMPERE RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THE RECEPTACLE OUTLET SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE HVAC EQUIPMENT DISCONNECTING MEANS.



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Pre-Drawn Plan ID:
BB-2282R

Date: 12.22.16
 Drawn By: J.A.B.

Project Name:
 SHEET NUMBER
9

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ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park
Fayetteville, N.C. 28309
Phone: (910) 864-8787
Fax: (910) 864-4444

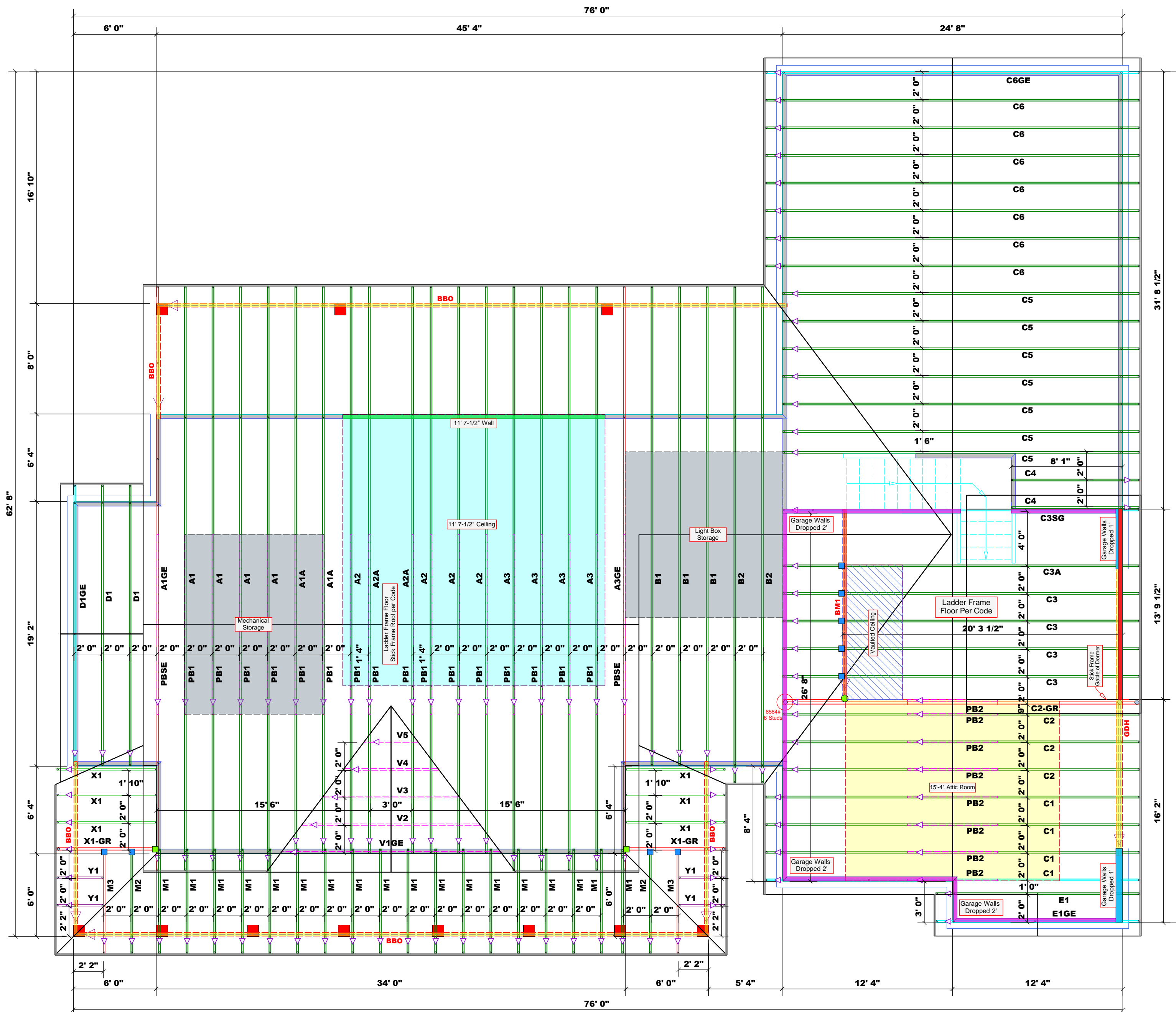
Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature
David Landry

LOAD CHART FOR JACK STUDS

(BASED ON TABLES R502.5(1) & (b))
NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADER/GIRDER

END REACTION (UP TO)	REQ. D. STUDS FOR (1) 1/2" HEADER	END REACTION (UP TO)	REQ. D. STUDS FOR (1) 1/2" HEADER	END REACTION (UP TO)	REQ. D. STUDS FOR (1) 1/2" HEADER
1700	1	2550	1	3400	1
3400	2	5100	2	6800	2
5100	3	7650	3	10200	3
6800	4	10200	4	13600	4
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	9				



PlotID	Length	Product	Piles	Net Qty
BM1	14' 0"	1-3/4" x 14" LVL Kerto-S	2	2
GDH	22' 0"	1-3/4" x 23-7/8" LVL Kerto-S	3	3

Dimension Notes
 1. All exterior wall to wall dimensions are to face of sheathing unless noted otherwise.
 2. All interior wall dimensions are to face of frame wall unless noted otherwise.
 3. All exterior wall to truss dimensions are to face of frame wall unless noted otherwise.

1 Truss Placement Plan
 Scale: 3/16" = 1'

Roof Area = 6311.36 sq. ft.
 Ridge Line = 128.12 ft.
 Hip Line = 21.43 ft.
 Horiz. OH = 252.65 ft.
 Raked OH = 267.86 ft.
 Decking = 183 sheets

Hatch Legend	
[Blue Hatch]	11' 7-1/2" Ceiling
[Grey Hatch]	Padded HVAC
[Red Hatch]	Second Floor Walls
[Light Blue Hatch]	Garage Walls Dropped 1'-0"
[White Hatch]	Vaulted Ceiling
[Pink Hatch]	Garage Walls Dropped 2'-0"
[Green Hatch]	11' 7-1/2" Walls

Connector Information				Nail Information	
Sym	Product	Manuf	Qty	Supported Member	Header Truss
[Blue]	HUS26	USP	19	Varies	16d/3-1/2" 16d/3-1/2"
[Green]	THD26-2	USP	2	Varies	16d/3-1/2" 10d/3"
[Red]	THD410	USP	1	Varies	16d/3-1/2" 10d/3"

BUILDER	STE General Contractors, LLC	COUNTY	Harnett
JOB NAME	Lucas Residence	ADDRESS	
PLAN	HPZ (BB-228)	MODEL	Roof
SEAL DATE	Seal Date	DATE REV.	02/19/24
QUOTE #	Quote #	DRAWN BY	David Landry
JOB #	J0224-0932	SALESMAN	Anthony Williams

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY.
 These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BC31-B1 and BC31-B3 provided with the truss delivery package or online @ sbciindustry.com

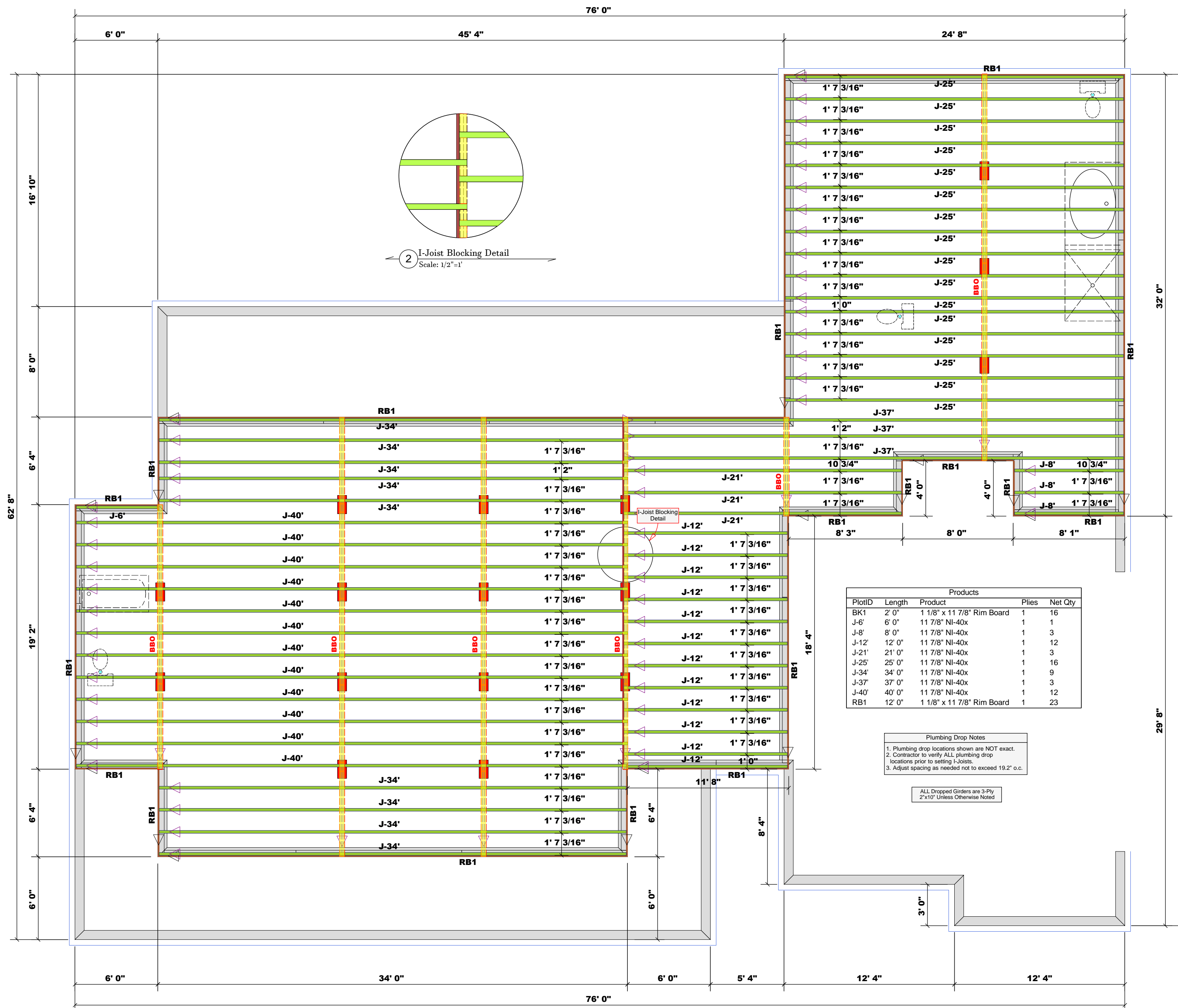
Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature
David Landry

LOAD CHART FOR JACK STUDS

(BASED ON TABLES R502.5(1) & (b))
NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADER/GIRDER

END REACTION (UP TO)	REQ. D. STUDS FOR (1) 1/2" HEADER	END REACTION (UP TO)	REQ. D. STUDS FOR (1) 1/2" HEADER	END REACTION (UP TO)	REQ. D. STUDS FOR (1) 1/2" HEADER
1700	1	2550	1	3400	1
3400	2	5100	2	6800	2
5100	3	7650	3	10200	3
6800	4	10200	4	13600	4
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	9				



Products

PlotID	Length	Product	Plies	Net Qty
BK1	2' 0"	1 1/8" x 11 7/8" Rim Board	1	16
J-6	6' 0"	11 7/8" NI-40x	1	1
J-8	8' 0"	11 7/8" NI-40x	1	3
J-12	12' 0"	11 7/8" NI-40x	1	12
J-21	21' 0"	11 7/8" NI-40x	1	3
J-25	25' 0"	11 7/8" NI-40x	1	16
J-34	34' 0"	11 7/8" NI-40x	1	9
J-37	37' 0"	11 7/8" NI-40x	1	3
J-40	40' 0"	11 7/8" NI-40x	1	12
RB1	12' 0"	1 1/8" x 11 7/8" Rim Board	1	23

Plumbing Drop Notes
1. Plumbing drop locations shown are NOT exact.
2. Contractor to verify ALL plumbing drop locations prior to setting I-Joists.
3. Adjust spacing as needed not to exceed 19.2" o.c.

ALL Dropped Girders are 3-Ply 2"x10" Unless Otherwise Noted

1 Truss Placement Plan
Scale: 1/4"=1'

BUILDER	STE General Contractors, LLC	COUNTY	Harnett
JOB NAME	Lucas Residence	ADDRESS	
PLAN	HPZ (BB-228)	MODEL	I-Joist
SEAL DATE	Seal Date	DATE REV.	02/19/24
QUOTE #	Quote #	DRAWN BY	David Landry
JOB #	J0224-0933	SALESMAN	Anthony Williams

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY.
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