

SITE PLAN
SCALE 1:20

LEGAL DESCRIPTION:
LOTS 25, 26, & 27, OF THE LINCOLN HEIGHTS SUBDIVISION IN HARNETT COUNTY, NORTH CAROLINA, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 1, PAGE 3, OF THE MAP RECORDS OF HARNETT COUNTY, NORTH CAROLINA.

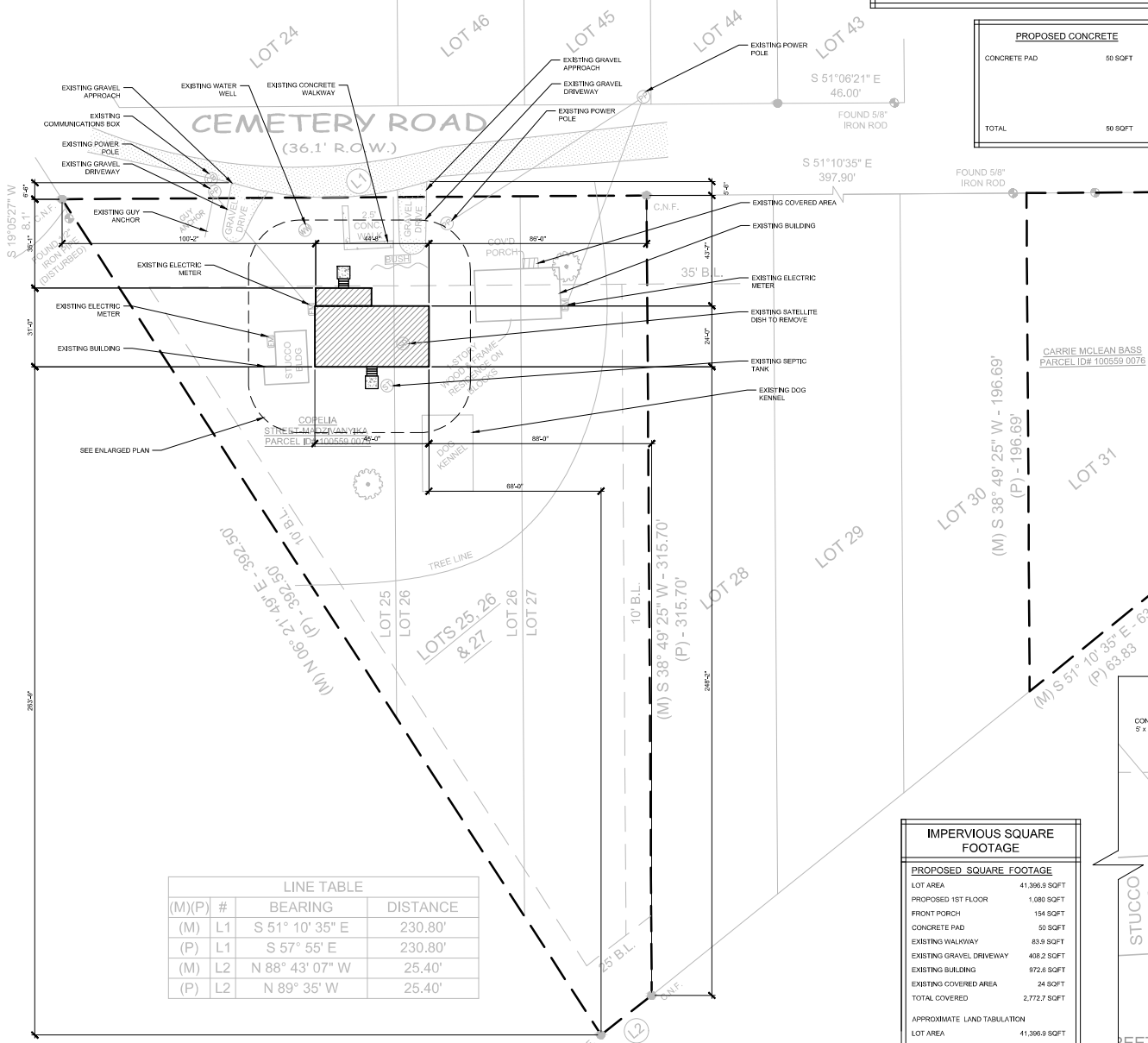


PROPOSED CONCRETE

CONCRETE PAD	50 SQFT
TOTAL	50 SQFT

LEGEND

⊠ GAS METER(W)	⊠ CONCRETE METAL PIPE	— CHAIN-LINK	— WOOD FENCE
⊠ GAS VALVE(W)	⊠ ENHANCED CONCRETE PIPE	— IRON FENCE	—
⊠ FRIE HOUSING(W)	⊠ CONCRETE SLAB(S)	— BUILDING LINE	— EASEMENT LINE
⊠ WATER METER(W)	⊠ STAINLESS STEEL WOOD PRESERVATIVE	— PIPING	— OVERHEAD POWER
⊠ WATER VALVE(W)	⊠ A.C. - ADJUST. PRESSURE	—	—
⊠ STORM MANHOLE(S.M.H.)	⊠ B.O.P. - B.O.P. OF CURB	—	—
⊠ GRAVE METERS	⊠ COILING HOIST	—	—
⊠ SANITARY MANHOLE(SAN.M.H.)	⊠ S.O.P. - S.O.P. OF CURB	—	—
⊠ STORM MANHOLE(S.M.H.)	⊠ S.O.P. - S.O.P. OF CURB	—	—
⊠ PRESSURE VALVE(W)	⊠ S.O.P. - S.O.P. OF CURB	—	—
⊠ LIGHT POLE(L)	⊠ S.O.P. - S.O.P. OF CURB	—	—
⊠ WATER WELLS(W)	⊠ S.O.P. - S.O.P. OF CURB	—	—
⊠ UTILITY POLE(U.P.)	⊠ S.O.P. - S.O.P. OF CURB	—	—
⊠ SERVICE POLE(S.P.)	⊠ S.O.P. - S.O.P. OF CURB	—	—
⊠ ELECTRIC BOX(E.B.)	⊠ S.O.P. - S.O.P. OF CURB	—	—
⊠ ELECTRIC SAUTOFF	⊠ S.O.P. - S.O.P. OF CURB	—	—
⊠ KNOX BOX	⊠ S.O.P. - S.O.P. OF CURB	—	—
⊠ EXISTING TREE	⊠ EXISTING TREE	⊠ EXISTING TREE	⊠ EXISTING TREE
⊠ PROPOSED TREE	⊠ PROPOSED TREE	⊠ PROPOSED TREE	⊠ PROPOSED TREE
⊠ HIGH BANK	⊠ HIGH BANK	⊠ HIGH BANK	⊠ HIGH BANK



NOTE:
SITE PLAN BASED ON AN EXHIBIT DRAWING AND NOT BOUNDARY SURVEY. SO NOT CLAIMS ARE MADE AS TO BOUNDARY LOCATIONS OR OWNERSHIP.

B.F.E. - BASE FLOOR ELEVATION (100 YEAR)
D.F.E. - DEGRADED FLOOR ELEVATION (500 YEAR)
F.F.E. - FINISHED FLOOR ELEVATION
P.A.S. - PILING AND STRONGER
S.O.G. - SLAB ON GRADE
H.A.G. - HIGHEST ADJACENT GRADE
L.A.G. - LOWEST ADJACENT GRADE

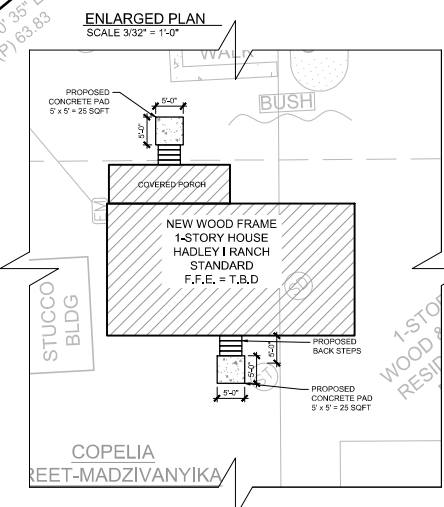
- NOTES**
- THE FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 2'-0" ABOVE B.F.E.
 - THE FINISHED GRADE AT HOUSE FOUNDATION SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE AND SHALL START A MINIMUM OF 6" BELOW FINISHED FLOOR OR SLAB OR MINIMUM 6" BELOW PER FOOTINGS FOR ELEVATED FLOOR.
 - GRADING BELOW ELEVATED FLOOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM HOUSE FOOTPRINT AND PREVENT POOLING UNDER HOUSE.
 - NO BUILD LINES OR EASEMENTS SHOWN ON PLAN BEYOND THE R.O.W.
 - FINISHED CONSTRUCTION GRADING PATTERN, SHALL CONVEY WATER RUN-OFF AWAY FROM ADJACENT PROPERTIES.
 - ANY WETLAND AREA TO REMAIN UNDISTURBED DURING CONSTRUCTION.
 - IF HANDICAP RAMP FOR ACCESS IS REQUIRED, CONTRACTOR MUST GUARANTEE THAT RAMP AND ACCESS DESIGN MUST BE A.D.A. COMPLIANT.

LINE TABLE

(M)(P) #	BEARING	DISTANCE
(M) L1	S 51° 10' 35" E	230.80'
(P) L1	S 57° 55' E	230.80'
(M) L2	N 88° 43' 07" W	25.40'
(P) L2	N 89° 35' W	25.40'

IMPERVIOUS SQUARE FOOTAGE

PROPOSED SQUARE FOOTAGE	
LOT AREA	41,369.9 SQFT
PROPOSED 1ST FLOOR	1,080 SQFT
FRONT PORCH	154 SQFT
CONCRETE PAD	50 SQFT
EXISTING WALKWAY	83.9 SQFT
EXISTING GRAVEL DRIVEWAY	408.2 SQFT
EXISTING BUILDING	972.8 SQFT
EXISTING COVERED AREA	24 SQFT
TOTAL COVERED	2,772.7 SQFT
APPROXIMATE LAND TABULATION	
LOT AREA	41,369.9 SQFT
TOTAL COVERED AREA	2,772.7 SQFT
IMPERVIOUS PERCENTAGE	6.69 %



Revisions:

#	DATE	DESCRIPTION OF CHANGE
0	04/18/2024	ISSUED FOR CONSTRUCTION

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COBALT
ENGINEERING AND INSPECTIONS, LLC
148 CEMETERY RD., LILLINGTON, NC 27546

CLIENT: SHEPHERD RESPONSE
PROJECT LOCATION OR ADDRESS: 148 CEMETERY RD., LILLINGTON, NC 27546

SITE PLAN

DRAWN BY: S.M. CHECKED BY: CCH
PROJECT #: 23-0147-29 SCALE: AS NOTED
DATE: 04/18/2024 C-1.00