

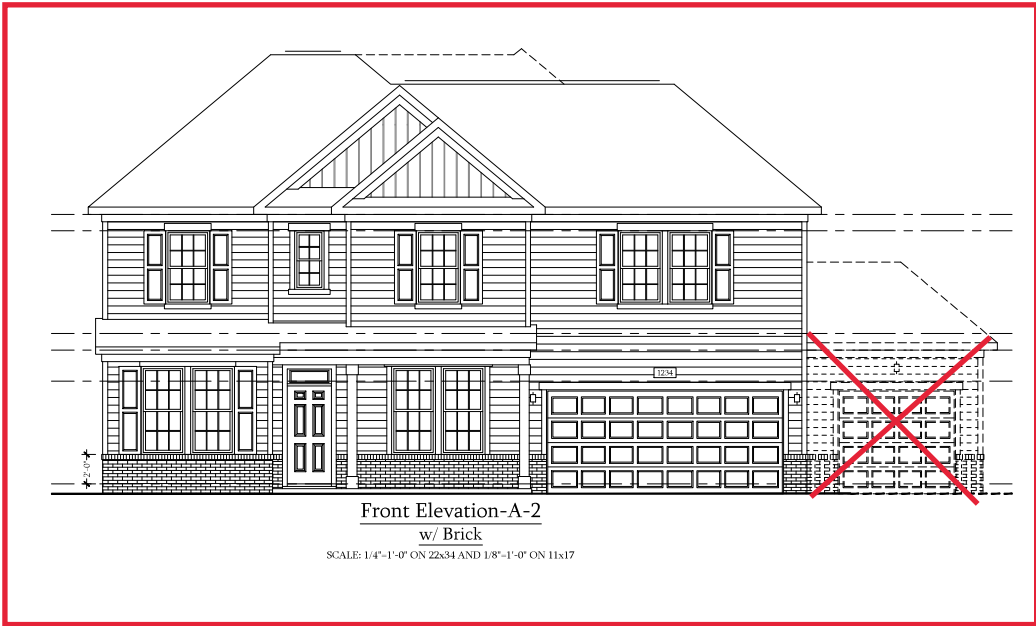
# DOGWOOD

## DOGWOOD REVISION LIST - STRUCTURAL:

- 1.) ADDED JOIST SERIES/SPACING (11-16)
- 2.) CHANGED FRAMING AND REMOVED FOOTINGS AND FOUNDATION SUPPORT FOR THE REMOVED VAULT IN BEDROOM 3. (11-16)
- 3.) ADDED FRAMING FOR CHASE AT SECOND FLOOR. (11-16)
- 4.) ADDED/REMOVED EXTRA JOISTS IN CRAWL (11-16)
- 5.) ADDED PLUMBING DIMENSIONS WITH OPTIONAL MASTER MATH ON MONO (11-16)
- 6.) CHANGED ALL GARAGE HEADERS TO (3) PLY (11-16)
- 7.) CHANGED DOUBLE STUD POCKETS TO TRIPLE STUD POCKETS (11-18)
- 8.) REMOVED BRICK FROM REAR PORCH (11-18)
- 9.) REMOVED INTERIOR WALL BRACING PANELS (11-18)
- 10.) 2018 CODE UPDATE (6-19)
- 11.) CHANGE 2X6 EXTERIOR WALLS TO 2X4 EXTERIOR WALLS. (3-11-20)
- 12.) SQUARE FOOTAGES CHANGE ON SECOND FLOOR BETWEEN ALL ELEVATIONS DUE TO CLOSET BUMP OUT (B ELEVATIONS) AND BEDROOM 4 BUMP OUT (C ELEVATIONS) (08-13-20)
- 13.) SQUARE FOOTAGE OF FIRST FLOOR CHANGES WITH B ELEVATIONS DUE TO BUMP OUT IN FOYER (08-13-20)
- 14.) CHANGED ALL EXTERIOR WALLS FROM 2X6 TO 2X4 EXCEPT WHERE SHADED (11-01-20)
- 15.) REMOVED HEADER FROM STANDARD OWNER'S BATHROOM FOR TRANSOM WINDOW THAT WAS REMOVED (09-07-22)
- 16.) BASEMENT INTERIOR WALLS CHANGED FROM 2X4 TO 2X6 (09-28-22)
- 17.) CHANGED WALL BETWEEN FAMILY ROOM AND KITCHEN TO 2X6 (09-28-22)
- 18.) CHANGED OPENING FROM FOYER TO FAMILY ROOM FROM 4'-6" TO 4'-4" (09-28-22)

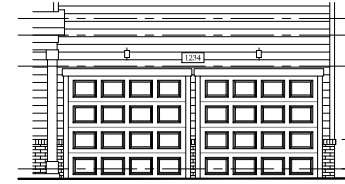
## DOGWOOD REVISION LIST - ARCHITECTURAL:

- NOVEMBER 01, 2020
- |   |   |
|---|---|
| <ol style="list-style-type: none"> <li>1. CREATED ELEVATIONS TO BE IN STANDARDS WITH OTHER PLANS (SEE SHEETS A-1 THROUGH A-3-5)</li> <li>2. CHANGED COLUMNS ON ELEVATIONS TO STANDARD COLUMNS</li> <li>3. CHANGED GARAGE DOORS TO REPRESENT STANDARD GARAGE DOOR FOR EACH ELEVATION</li> <li>4. FIXED COVERED PORCH TO KEEP COLUMNS FROM OVERLAPPING EDGE OF CONCRETE</li> <li>5. REMOVED GRIDS FROM TRANSOMS ABOVE FRONT DOOR</li> <li>6. ADDED NOTE FOR GARAGE DOOR "GARAGE DOOR PER SPECIFICATIONS AND GLASS INSERT (TOP PANEL ONLY)"</li> <li>7. MOVED ROOF PLANS TO SHEETS S-4</li> <li>8. ROOF ABOVE COVERED PATIO CHANGED TO SHED ROOF (SEE ON SIDE AND REAR ELEVATIONS)</li> <li>9. REMOVED OPTION FOR FIREPLACE IN OWNER'S BEDROOM</li> <li>10. CREATED SLAB INTERFACE PLAN (SEE SHEET A-4 THROUGH A-4-2)</li> <li>11. MOVED ALL OPTIONS OFF BASE PLAN AND PLACED ON SEPARATE SHEET</li> <li>12. ADDED NOTE FOR FLUSH COUNTERTOP ON ISLAND AND 3/4" H. WALL UNDER</li> <li>13. CHANGED PATIO SIZE TO STANDARD 12'X10'</li> <li>14. ADDED OPTIONAL GAS LINE</li> <li>15. CHANGED NAME OF "FLEX ROOM" TO "STUDY"</li> <li>16. CHANGED "BREAKFAST ROOM" TO "CASUAL DINING"</li> <li>17. ADDED 2ND HOSE BIB</li> <li>18. CALLED OUT "45" WALL WITH CAP" AS STANDARD</li> <li>19. CHANGED ALL EXTERIOR WALLS FROM 2X6 TO 2X4 EXCEPT WHERE SHADED</li> <li>20. ADDED NOTE "OPT. REF."</li> <li>21. ADDED NOTE "OPT. W/D"</li> <li>22. ADDED NOTE "WASHER ALWAYS TO BE LOCATED TO THE LEFT OF DRYER"</li> <li>23. ADDED PDS ATTIC ACCESS</li> <li>24. VERIFIED VENTILATION AND LIGHT REQUIREMENTS AT OWNER'S BEDROOM MEETS CODE (11-01-20)</li> <li>25. SQUARE FOOTAGES ARE UPDATED AND CHANGED DUE TO MOVEMENT OF WALL DOWN CENTER OF HOUSE TO KEEP WALLS FROM MOVING BETWEEN ELEVATION CHOICES</li> <li>26. SQUARE FOOTAGE OF COVERED PORCH CHANGED DUE TO KEEPING COLUMNS FROM OVERLAPPING CONCRETE EDGE</li> <li>27. CREATED PARTIAL PLANS FOR B &amp; C ELEVATIONS (FLOOR, SLAB, &amp; ELECTRICAL)</li> <li>28. REMOVED ALL WALL OUTLETS</li> <li>29. REMOVED ALL PHONE OUTLETS</li> <li>30. REMOVED ALL TV OUTLETS</li> <li>31. PLACED STANDARD 3 BULB LIGHT IN KITCHEN</li> <li>32. VERIFIED COACH LIGHT LOCATIONS (SEE ELEVS</li> </ol> | <ol style="list-style-type: none"> <li>FOR DIMS)</li> <li>33. PLACED DASHED FANS WHERE APPLICABLE WITH NOTE 'STD. LIGHT, OPT. FAN/LT PREWIRE'</li> <li>34. UPDATED ELECTRICAL KEY</li> <li>35. REMOVED UNDER CABINET LIGHTINGS</li> <li>36. VERIFIED CO2 DETECTOR LOCATIONS</li> <li>37. SHOWED PENDANT LIGHTS AS OPTIONAL</li> <li>38. SHOWED CAN LIGHTS IN KITCHEN AND FAMILY ROOM AS "OPTIONAL CAN LIGHTS"</li> <li>39. PLACED OPTIONAL FLOOR LIGHTS</li> <li>40. PLACED OPTIONAL FLOOR OUTLET IN FAMILY ROOM</li> <li>41. PLACED CALCULATIONS FOR SOFFIT AND RIDGE VENT REQUIREMENTS</li> <li>42. CHANGED LAYOUT FOR BASE OWNER'S BATHROOM</li> <li>43. ADDED OPTIONAL OWNER'S BATH 2 &amp; OWNER'S BATH 3</li> <li>44. REMOVED "OPTIONAL COVERED DECK AT OWNER'S BATH"</li> </ol> <p>FEBRUARY 01, 2022</p> <ol style="list-style-type: none"> <li>45. ADDED OPTIONAL DOUBLE GARAGE DOOR FLOOR PLAN TO FIRST FLOOR OPTIONS SHEET (02-01-22)</li> <li>46. ADDED OPTIONAL BASEMENT TO PLANS (02-01-22)</li> <li>47. REMOVED TRANSOM WINDOW FROM OWNER'S BATH 1 (09-07-22)</li> <li>48. CHANGED BASEMENT INTERIOR WALLS TO 2X6 (09-28-22)</li> <li>49. CHANGED WALL BETWEEN FAMILY ROOM AND KITCHEN TO 2X6 (09-28-22)</li> <li>50. CHANGED OPENING FROM FOYER TO FAMILY ROOM FROM 4'-6" TO 4'-4" (09-28-22)</li> <li>51. RECENTERED WINDOWS AND FIREPLACE IN FAMILY ROOM (09-28-22)</li> <li>52. CREATED CHASE ON TUB SIDE OF OWNER'S BATH 2 BY REMOVING SOME DEPTH FROM EXISTING CHASE ON SHOWER SIDE TO GET CLEARANCE FOR TUBS FAUCET (11-01-23)</li> <li>53. CREATED EQUAL CHASE IN SHOWER LOCATION FOR PRIMARY OWNER'S BATH 2 (11-01-23)</li> <li>54. WINDOW OF OWNER'S BATH 2 MOVED BY 7" (11-01-23)</li> <li>55. CHANGED OWNER'S BEDROOM TO PRIMARY BEDROOM (11-01-23)</li> <li>56. CHANGED OWNER'S BATH TO PRIMARY BATH (11-01-23)</li> </ol> |
|---|---|



Front Elevation-A-2  
w/ Brick

SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



Front Elevation  
W/ Opt Double Load Garage

SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



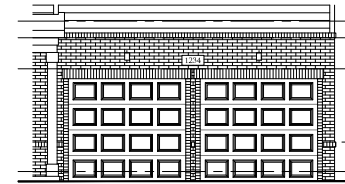
Front Elevation  
W/ Opt 2-Car side load Garage

SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



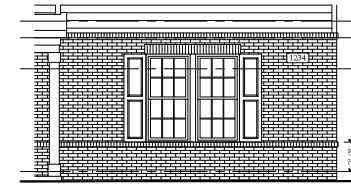
Front Elevation-A-3  
w/ Brick

SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



Front Elevation  
W/ Opt Double Load Garage

SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



Front Elevation  
W/ Opt 2-Car side load Garage

SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



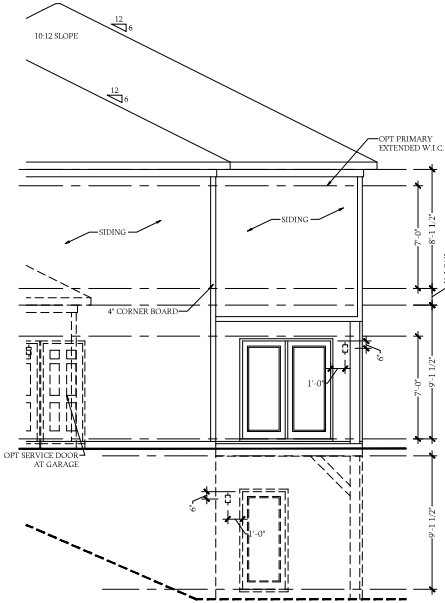
PRICE, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FINANCING AND CONSTRUCTION SCHEDULES ARE SUBJECT TO CHANGE WITHOUT NOTICE. SCHEDULES MAY VARY IN ACTUAL CONSTRUCTION. THE FINISHED APPEARANCE OF HOUSES ON LOT WILL BE DETERMINED BY THE SITE PLAN AND FINISHES. THIS DRAWING IS FOR INFORMATION ONLY. DIMENSIONS ARE ARBITRARY CONCEPTIONS. FLOOR PLANS ARE NOT TO SCALE. ANY USE, REPRODUCTION, ADAPTATION OR DISPLAY OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF DREAM FINDERS HOMES IS PROHIBITED. © 2012 DREAM FINDERS HOMES.

DREAM FINDERS HOMES  
DOWNSIDE

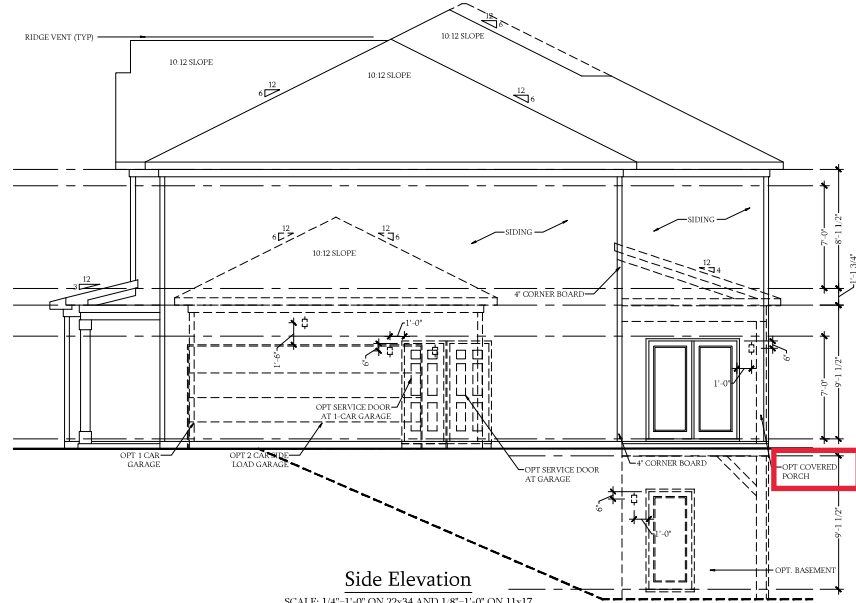
DATE: JANUARY 17, 2019  
REV: FEBRUARY 01, 2022  
SCALE: AS NOTED  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

A-2 & A-3  
ELEVATION (W/  
BRICK FRONT)

A-1.2

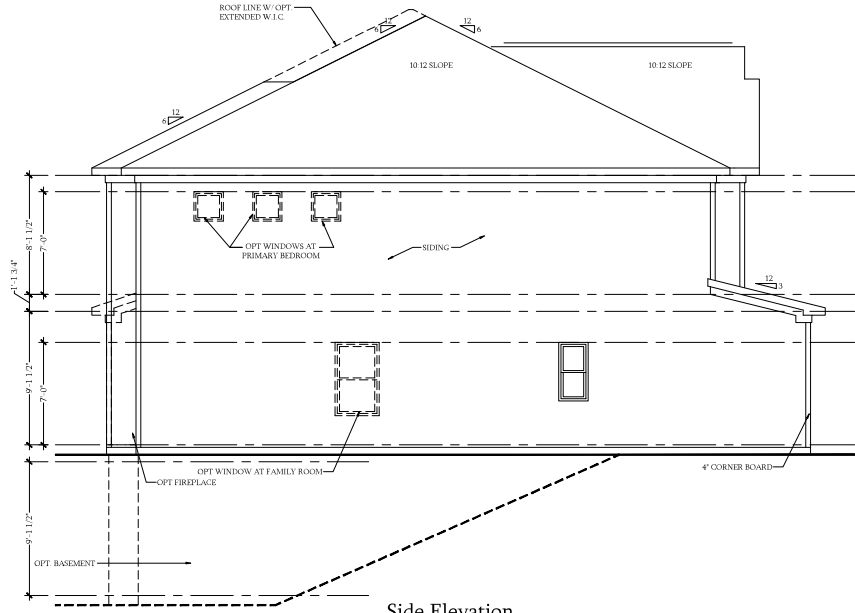


Side Elevation  
w/ Extended W.I.C.



Side Elevation

SCALE: 1/4"=1'-0" ON 2x34 AND 1/8"=1'-0" ON 11x17



Side Elevation

SCALE: 1/4"=1'-0" ON 2x34 AND 1/8"=1'-0" ON 11x17



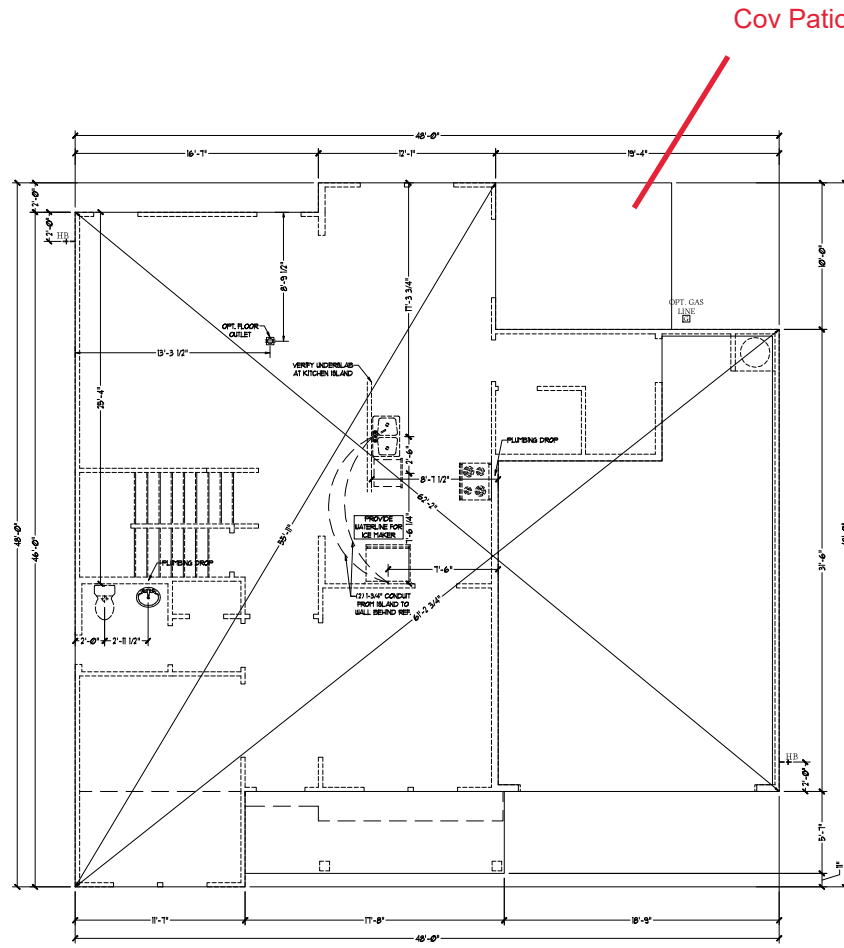
DREAM FINDERS  
HOMES

PRICE, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FINANCING AND CONSTRUCTION ARE SUBJECT TO CHANGE WITHOUT NOTICE. DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. DIMENSIONS MAY VARY IN ACTUAL CONSTRUCTION. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. THIS SET OF PLANS IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR PERMITS, CONTRACTS, OR CONSTRUCTION. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF DREAM FINDERS HOMES IS PROHIBITED. © 2019 DREAM FINDERS HOMES.

DREAM FINDERS HOMES  
DOWNSIDE

DATE: JANUARY 17, 2019  
REV: FEBRUARY 01, 2022  
SCALE: AS NOTED  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

A ELEVATION  
SIDE ELEVATIONS  
A-1.1



Slab Interface Plan

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17

Cov Patio

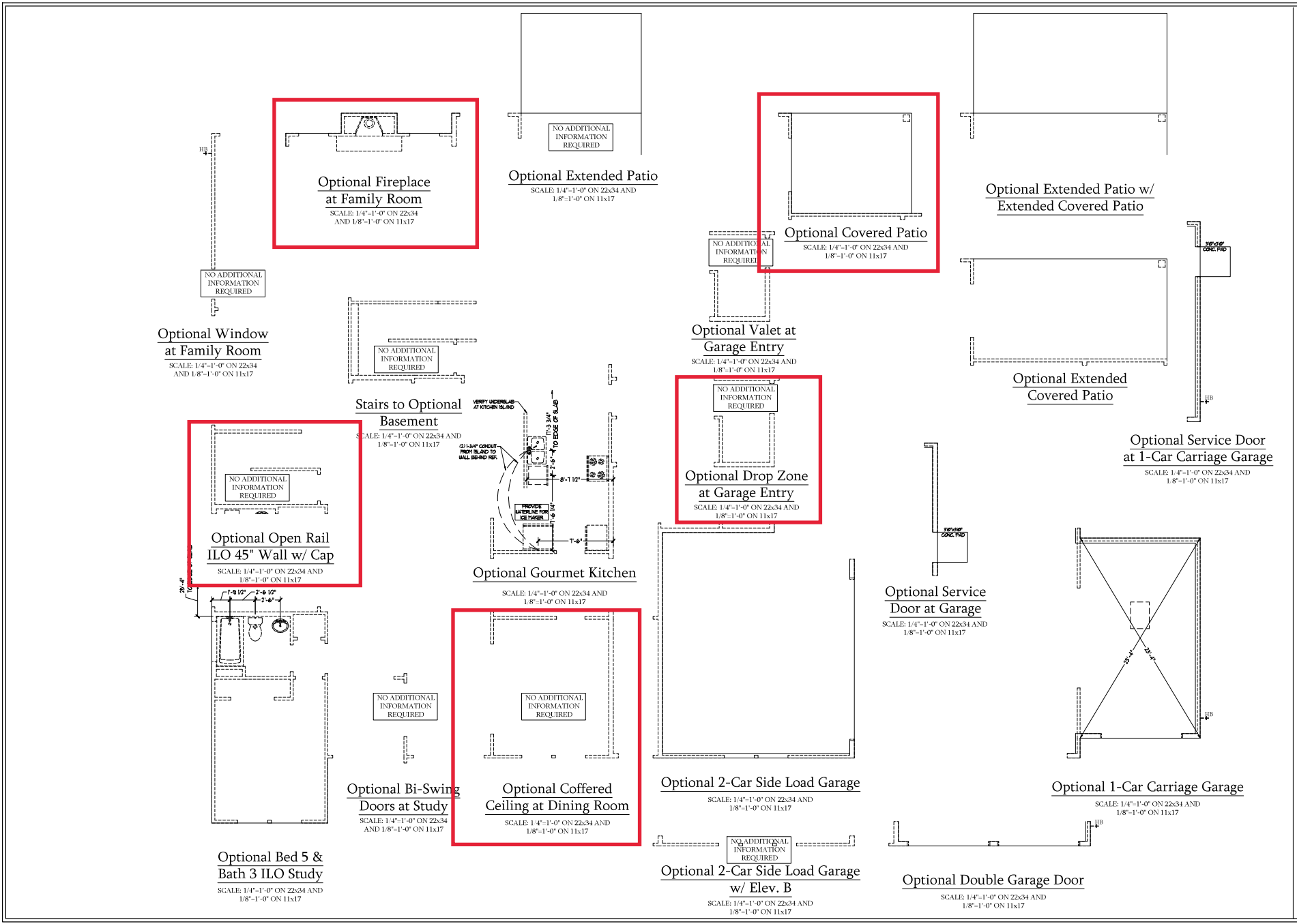



PRICE, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FINISHES AND MATERIALS ARE SUBJECT TO CHANGE WITHOUT NOTICE. DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. MEASUREMENTS IN ACTUAL CONSTRUCTION SHALL BE TAKEN FROM FINISHED SURFACES UNLESS OTHERWISE NOTED. DIMENSIONS OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. DIMENSIONS OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. DIMENSIONS ARE ARTIST CONCEPTIONS; FLOOR PLANS ARE NOT TO BE USED FOR CONSTRUCTION. DIMENSIONS ARE FOR INFORMATION ONLY. ANY USE, REPRODUCTION, ADAPTATION OR DISPLAY OF THIS DOCUMENT IS STRICTLY PROHIBITED. ALL RIGHTS RESERVED. © DREAM FINDERS HOMES

DREAM FINDERS HOMES  
DOGWOOD

DATE: JANUARY 17, 2019  
REV: FEBRUARY 01, 2022  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

SLAB INTERFACE  
PLAN  
A-4




  
**DREAM FINDERS HOMES**

---

DREAM FINDERS HOMES

---

PRICE, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FINISHES, MATERIALS, AND DIMENSIONS OF THE HOME AND HOMEOWNER'S CHOICES ARE SUBJECT TO CHANGE WITHOUT NOTICE. HOMEOWNER'S CHOICES ARE SUBJECT TO AVAILABILITY. THIS PLAN MAY VARY IN ACTUAL CONSTRUCTION. DIMENSIONS OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND SURVEY. DIMENSIONS OF HOUSE ON LOT AND FINISHES ARE APPROXIMATE. DIMENSIONS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE FOR ILLUSTRATION PURPOSES ONLY. ALWAYS CONSULT YOUR ARCHITECT FOR CURRENT DETAILS. COPYRIGHT © DREAM FINDERS HOMES.

---

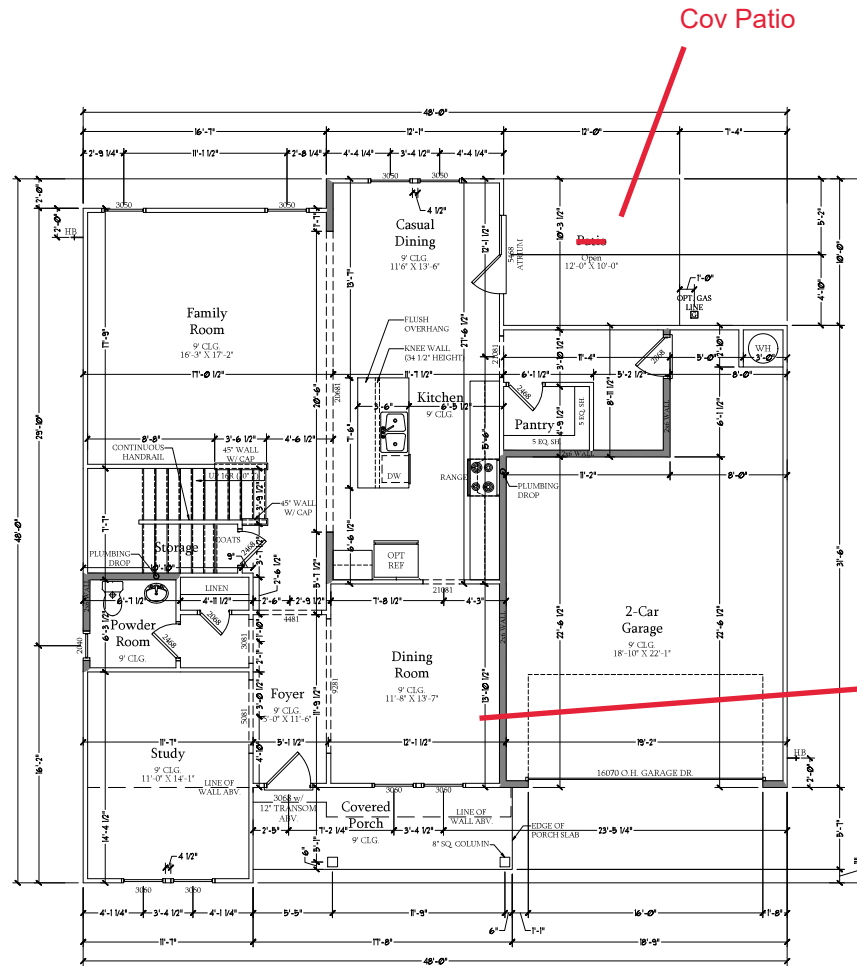
**DREAM FINDERS HOMES**  
**DOGWOOD**

---

DATE: JANUARY 17, 2019  
 REV: FEBRUARY 01, 2022  
 SCALE: 1/4"=1'-0"  
 DRAWN BY:  
 ENGINEERED BY:  
 REVIEWED BY:

---

SLAB INTERFACE  
 PLAN - OPTIONS  
**A-4.1**



**First Floor Plan**  
 SCALE: 1/4"=1'-0" ON 2x3/4 AND  
 1/8"=1'-0" ON 1x17

**ELEVATION & SQUARE FOOTAGE**

|                             |              |
|-----------------------------|--------------|
| 1st FLOOR                   | 1371 SQ. FT. |
| 2nd FLOOR                   | 1641 SQ. FT. |
| TOTAL                       | 3012 SQ. FT. |
| GARAGE                      | 500 SQ. FT.  |
| FRONT PORCH                 | 18 SQ. FT.   |
| STD. REAR PATIO             | 126 SQ. FT.  |
| OPT. BASEMENT               | 1249 SQ. FT. |
| 1st FLOOR OPTIONS           |              |
| OPT. FIREPLACE              | 1 SQ. FT.    |
| 2nd FLOOR OPTIONS           |              |
| OPT. GAMING EXTENDED H.C.   | 18 SQ. FT.   |
| UNHEATED OPTIONS            |              |
| OPT. 1-CAR GARAGE           | 240 SQ. FT.  |
| OPT. REAR COVERED PORCH     | 20 SQ. FT.   |
| OPT. 2ND EXTENDED PATIO     | 20 SQ. FT.   |
| OPT. EXTENDED PATIO         | 18 SQ. FT.   |
| OPT. EXTENDED COVERED PORCH | 18 SQ. FT.   |
| OPT. COVERED DECK           | 20 SQ. FT.   |

**ELEVATION & SQUARE FOOTAGE**  
 W/ FULL BRICK VENEER

|                             |              |
|-----------------------------|--------------|
| 1st FLOOR                   | 1379 SQ. FT. |
| 2nd FLOOR                   | 1736 SQ. FT. |
| TOTAL                       | 3115 SQ. FT. |
| GARAGE                      | 500 SQ. FT.  |
| FRONT PORCH                 | 18 SQ. FT.   |
| STD. REAR PATIO             | 126 SQ. FT.  |
| OPT. BASEMENT               | 1249 SQ. FT. |
| 1st FLOOR OPTIONS           |              |
| OPT. FIREPLACE              | 9 SQ. FT.    |
| 2nd FLOOR OPTIONS           |              |
| OPT. GAMING EXTENDED H.C.   | 17 SQ. FT.   |
| UNHEATED OPTIONS            |              |
| OPT. 1-CAR GARAGE           | 240 SQ. FT.  |
| OPT. REAR COVERED PORCH     | 20 SQ. FT.   |
| OPT. 2ND EXTENDED PATIO     | 19 SQ. FT.   |
| OPT. EXTENDED PATIO         | 18 SQ. FT.   |
| OPT. EXTENDED COVERED PORCH | 18 SQ. FT.   |
| OPT. COVERED DECK           | 20 SQ. FT.   |

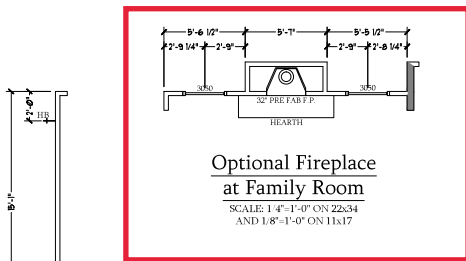
PRICE, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FINISHES, MATERIALS, AND CONSTRUCTION METHODS ARE SUBJECT TO CHANGE WITHOUT NOTICE. DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. MEASUREMENTS IN ACTUAL CONSTRUCTION MAY VARY FROM THOSE SHOWN ON THIS PLAN. THIS PLAN IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR PERMITS, CONTRACTS, OR BUILDING. BUILDINGS ARE BUILT TO THE CONSTRUCTION OF THE FLOOR PLANS AND NOT TO THE DIMENSIONS SHOWN ON THIS PLAN. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF DREAM FINDERS HOMES, LLC IS PROHIBITED. © 2012 DREAM FINDERS HOMES, LLC. ALL RIGHTS RESERVED.



**DREAM FINDERS HOMES**  
**DOGWOOD**

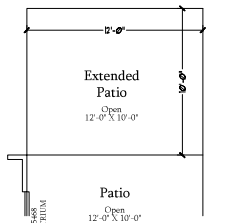
DATE: JANUARY 17, 2019  
 REV: FEBRUARY 01, 2012  
 SCALE: 1/4"=1'-0"  
 DRAWN BY:  
 ENGINEERED BY:  
 REVIEWED BY:

FIRST FLOOR PLAN  
 A-6



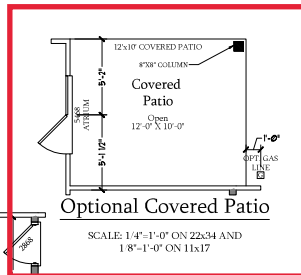
**Optional Fireplace  
at Family Room**

SCALE: 1/4"=1'-0" ON 22x34  
AND 1/8"=1'-0" ON 11x17



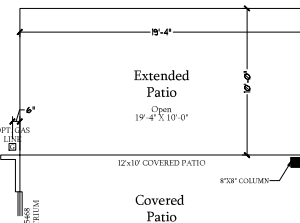
**Optional Extended Patio**

SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17



**Optional Covered Patio**

SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17

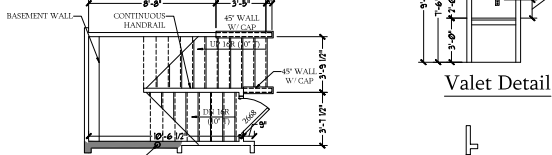


**Optional Extended Patio w/  
Covered Patio**

SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17

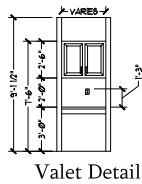
**Optional Window  
at Family Room**

SCALE: 1/4"=1'-0" ON 22x34  
AND 1/8"=1'-0" ON 11x17



**Stairs to Optional  
Basement**

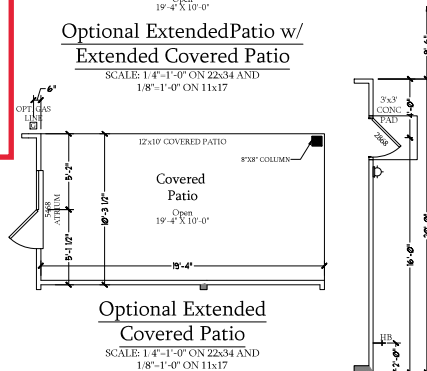
SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17



**Valet Detail**

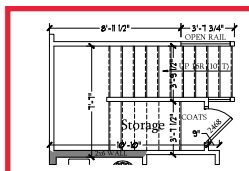
**Optional Valet at  
Garage Entry**

SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17



**Optional Extended  
Covered Patio**

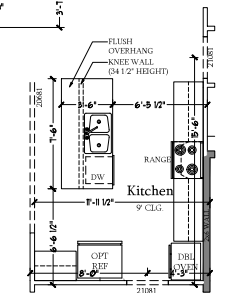
SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17



**Optional Open Rail  
ILO 45° Wall w/ Cap**

SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17

**Optional Gourmet Kitchen**

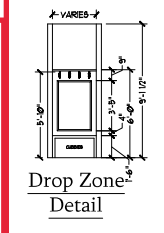


**Optional Gourmet Kitchen**

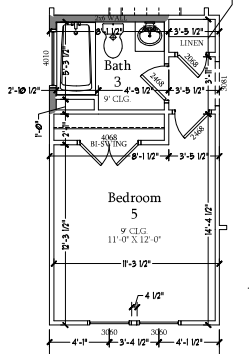
SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17

**Optional Drop Zone  
at Garage Entry**

SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17



**Drop Zone  
Detail**

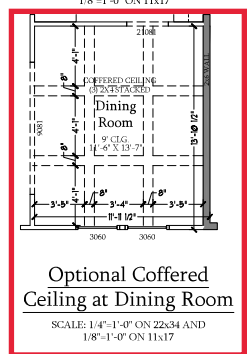


**Optional Bed 5 &  
Bath 3 ILO Study**

SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17

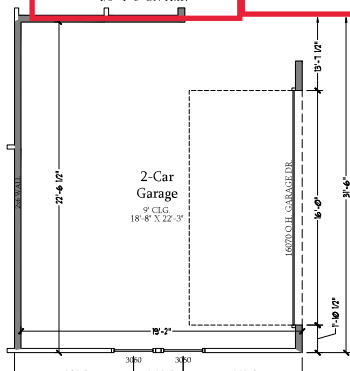
**Optional Bi-Swing  
Doors at Study**

SCALE: 1/4"=1'-0" ON 22x34  
AND 1/8"=1'-0" ON 11x17



**Optional Coffered  
Ceiling at Dining Room**

SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17

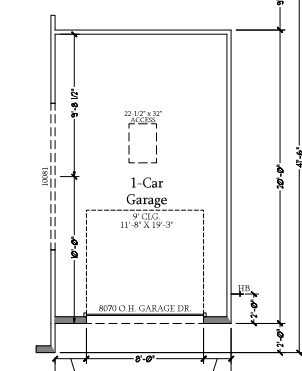


**Optional 2-Car Side Load Garage**

SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17

**Optional Service  
Door at Garage**

SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17



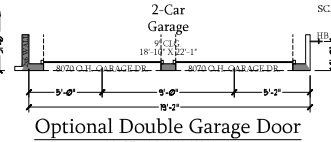
**Optional 1-Car Carriage Garage**

SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17



**Optional 2-Car Side Load Garage  
w/ Elev. B**

SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17



**Optional Double Garage Door**

SCALE: 1/4"=1'-0" ON 22x34  
AND 1/8"=1'-0" ON 11x17



**DREAM FINDERS  
HOMES**

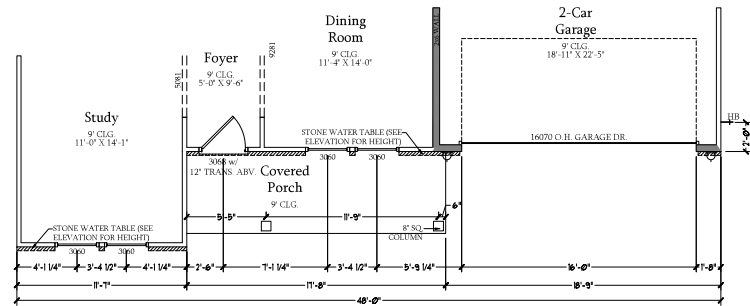
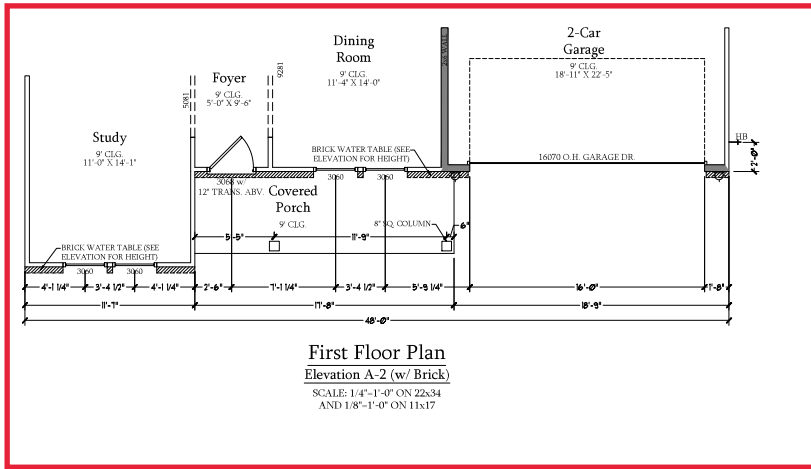
PRICE, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FINANCING, AND CONSTRUCTION DETAILS ARE SUBJECT TO CHANGE WITHOUT NOTICE. VISITOR'S AGREEMENT: VISITORS WILL BE CONSIDERED TO HAVE ACCEPTED THE TERMS AND CONDITIONS OF THE VISITOR'S AGREEMENT BY ENTERING THE SITE. ANY USE, REPRODUCTION, ADAPTATION OR DISPLAY OF THIS PLAN OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF DREAM FINDERS HOMES IS PROHIBITED. © 2022 DREAM FINDERS HOMES. ALL RIGHTS RESERVED.

**DREAM FINDERS HOMES  
DOGWOOD**

DATE: JANUARY 17, 2019  
REV: FEBRUARY 01, 2022  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

FIRST FLOOR  
PLAN - OPTIONS

A-6.1



| ELEVATION A SQUARE FOOTAGE  |              |
|-----------------------------|--------------|
| 1st FLOOR                   | 1317 SQ. FT. |
| 2nd FLOOR                   | 1641 SQ. FT. |
| TOTAL                       | 2958 SQ. FT. |
| GARAGE                      | 500 SQ. FT.  |
| FRONT PORCH                 | 58 SQ. FT.   |
| STD. REAR PATIO             | 50 SQ. FT.   |
| OPT. BASEMENT               | 1040 SQ. FT. |
| 1st FLOOR OPTIONS           | 5 SQ. FT.    |
| OPT. FIRE PLACE             | 5 SQ. FT.    |
| 2nd FLOOR OPTIONS           | 16 SQ. FT.   |
| OPT. GAMERS EXTENDED H.C.   | 16 SQ. FT.   |
| UNHEATED OPTIONS            | 240 SQ. FT.  |
| OPT. 1-CAR GARAGE           | 50 SQ. FT.   |
| OPT. REAR COVERED PORCH     | 50 SQ. FT.   |
| OPT. SWAY EXTENDED PATIO    | 70 SQ. FT.   |
| OPT. EXTENDED PATIO         | 70 SQ. FT.   |
| OPT. EXTENDED COVERED PORCH | 70 SQ. FT.   |
| OPT. COVERED DECK           | 50 SQ. FT.   |

| ELEVATION A SQUARE FOOTAGE  |              |
|-----------------------------|--------------|
| W/ FULL BRICK VENEER        |              |
| 1st FLOOR                   | 1278 SQ. FT. |
| 2nd FLOOR                   | 1316 SQ. FT. |
| TOTAL                       | 2594 SQ. FT. |
| GARAGE                      | 500 SQ. FT.  |
| FRONT PORCH                 | 58 SQ. FT.   |
| STD. REAR PATIO             | 50 SQ. FT.   |
| OPT. BASEMENT               | 1040 SQ. FT. |
| 1st FLOOR OPTIONS           | 5 SQ. FT.    |
| OPT. FIRE PLACE             | 5 SQ. FT.    |
| 2nd FLOOR OPTIONS           | 16 SQ. FT.   |
| OPT. GAMERS EXTENDED H.C.   | 16 SQ. FT.   |
| UNHEATED OPTIONS            | 240 SQ. FT.  |
| OPT. 1-CAR GARAGE           | 50 SQ. FT.   |
| OPT. REAR COVERED PORCH     | 50 SQ. FT.   |
| OPT. SWAY EXTENDED PATIO    | 70 SQ. FT.   |
| OPT. EXTENDED PATIO         | 70 SQ. FT.   |
| OPT. EXTENDED COVERED PORCH | 70 SQ. FT.   |
| OPT. COVERED DECK           | 50 SQ. FT.   |



DREAM FINDERS  
HOMES

PRICE, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FINANCING, AND CONSTRUCTION SCHEDULES ARE SUBJECT TO CHANGE WITHOUT NOTICE. DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. MEASUREMENTS IN ACTUAL CONSTRUCTION MAY VARY FROM THOSE SHOWN ON THESE PLANS. THIS PLAN IS FOR INFORMATION ONLY. THE HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE ARBITRARY CONCEPTIONS. FLOOR PLANS ARE NOT TO BE USED FOR CONSTRUCTION, ADAPTATION, OR DISPLAY. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF DREAM FINDERS HOMES IS STRICTLY PROHIBITED. SALES CONSULTANT FOR CURRENT DETAILS, COPYRIGHT © DREAM FINDERS HOMES.

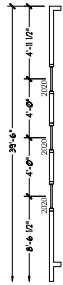
DREAM FINDERS HOMES  
DOWNSIDE

DATE: JANUARY 17, 2019  
REV: FEBRUARY 01, 2022  
SCALE: 1/4" = 1'-0"  
DRAWN BY: \_\_\_\_\_  
ENGINEERED BY: \_\_\_\_\_  
REVIEWED BY: \_\_\_\_\_

A ELEVATION  
FIRST FLOOR  
PARTIAL PLANS  
A-6.2

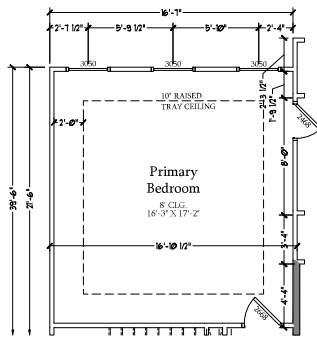






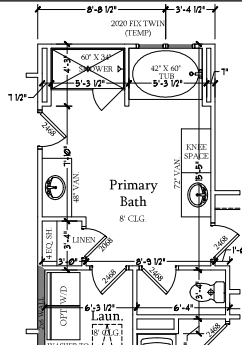
**Optional Windows at Primary Bedroom**

SCALE: 1/4"=1'-0" ON 22&34 AND 1/8"=1'-0" ON 11&17



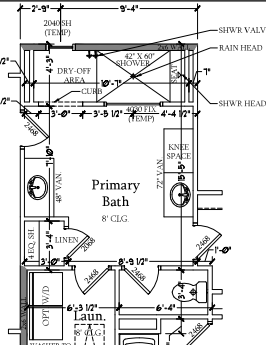
**Optional Tray Ceiling at Primary Bedroom**

SCALE: 1/4"=1'-0" ON 22&34 AND 1/8"=1'-0" ON 11&17



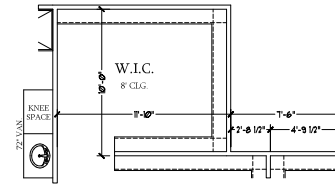
**Optional Primary Bath 2**

SCALE: 1/4"=1'-0" ON 22&34 AND 1/8"=1'-0" ON 11&17



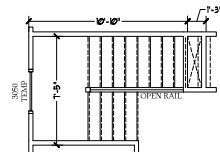
**Optional Primary Bath 3**

SCALE: 1/4"=1'-0" ON 22&34 AND 1/8"=1'-0" ON 11&17



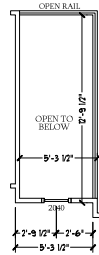
**Optional Extended W.I.C. at Primary Bathroom**

SCALE: 1/4"=1'-0" ON 22&34 AND 1/8"=1'-0" ON 11&17



**Optional Open Rail ILO 45" Wall w/ Cap**

SCALE: 1/4"=1'-0" ON 22&34 AND 1/8"=1'-0" ON 11&17



**Optional Open Rail ILO 45" Wall w/ Cap w/ Elev. A**

SCALE: 1/4"=1'-0" ON 22&34 AND 1/8"=1'-0" ON 11&17



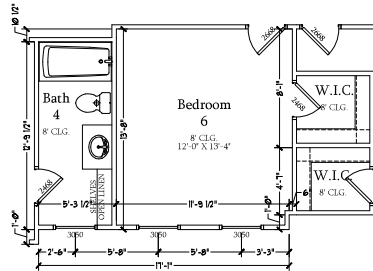
**Optional Open Rail ILO 45" Wall w/ Cap w/ Elev. C**

SCALE: 1/4"=1'-0" ON 22&34 AND 1/8"=1'-0" ON 11&17



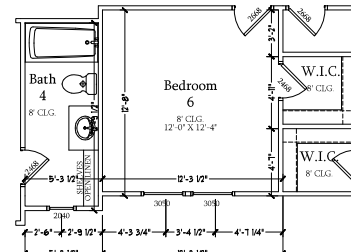
**Optional Open Rail ILO 45" Wall w/ Cap w/ Elev. B**

SCALE: 1/4"=1'-0" ON 22&34 AND 1/8"=1'-0" ON 11&17



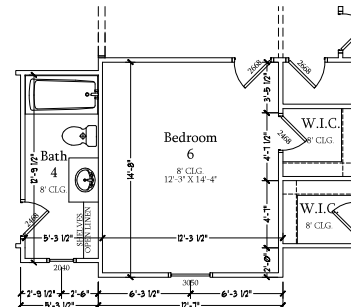
**Optional Bedroom 6 & Bath 4 ILO Loft w/ Elev. C**

SCALE: 1/4"=1'-0" ON 22&34 AND 1/8"=1'-0" ON 11&17



**Optional Bedroom 6 & Bath 4 ILO Loft w/ Elev. B**

SCALE: 1/4"=1'-0" ON 22&34 AND 1/8"=1'-0" ON 11&17



**Optional Bedroom 6 & Bath 4 ILO Loft w/ Elev. A**

SCALE: 1/4"=1'-0" ON 22&34 AND 1/8"=1'-0" ON 11&17

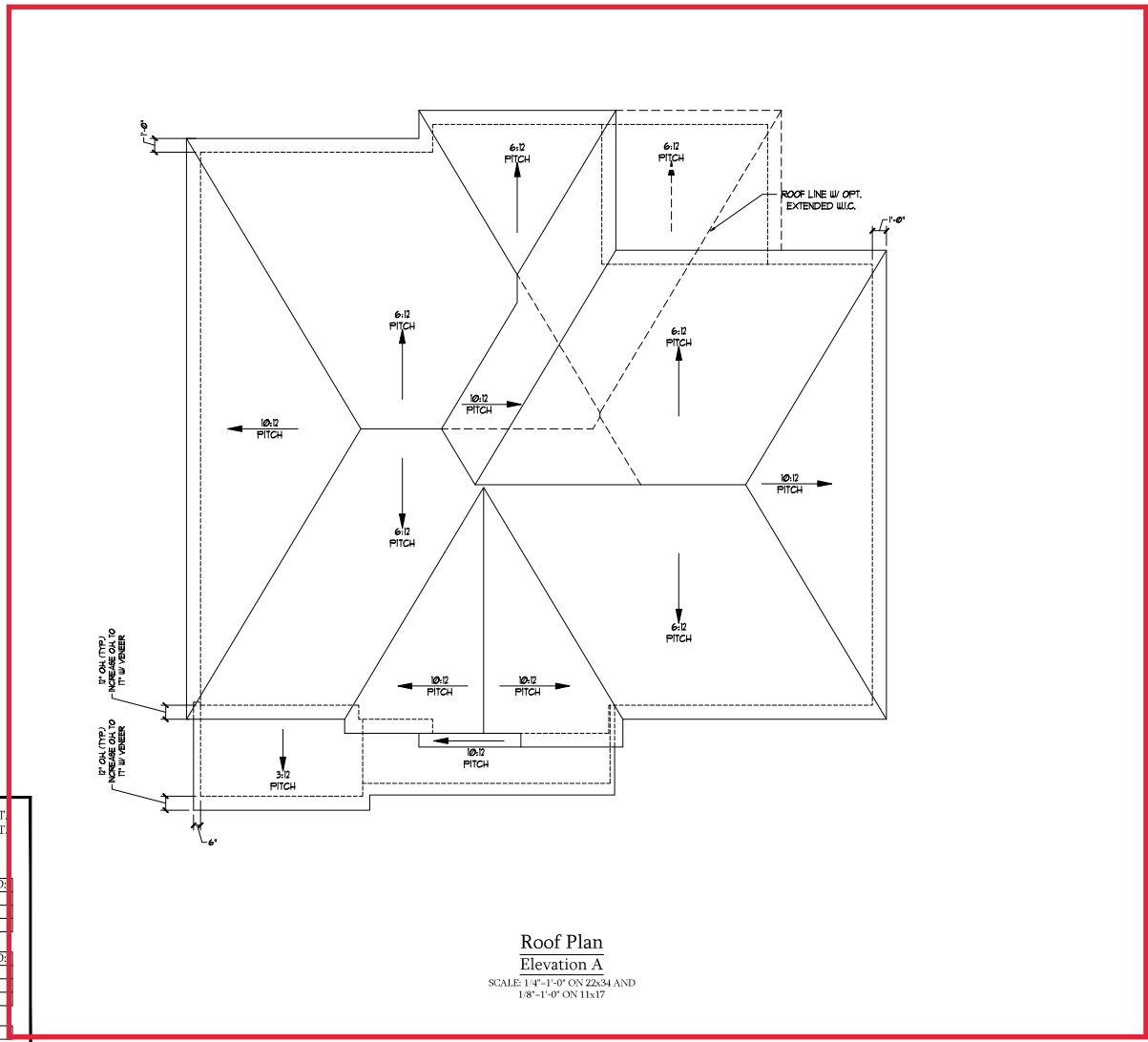


PRICE, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. MEASUREMENTS IN ACTUAL CONSTRUCTION MAY VARY FROM THE DRAWING. THESE DRAWINGS ARE THE PROPERTY OF DREAM FINDERS HOMES. ANY USE, REPRODUCTION, ADAPTATION OR DISPLAY OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF DREAM FINDERS HOMES IS STRICTLY PROHIBITED. © DREAM FINDERS HOMES.

DREAM FINDERS HOMES  
DOGWOOD

DATE: JANUARY 17, 2019  
REV: FEBRUARY 01, 2022  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

SECOND FLOOR PLAN - OPTIONS  
**A-7.1**



|  |                      |             |                    |
|--|----------------------|-------------|--------------------|
| TOTAL UNDER ROOF AREA:                       |                      | 1870        | SQ FT.             |
| VENTING AREA REQUIRED:                       | 1870 SQ. FT. / 300 = | 6.23        | SQ FT.             |
| TOTAL REQUIREMENTS:                          | LOWER: 3.11          | UPPER: 3.11 |                    |
| LOWER AREA VENTING                           |                      |             |                    |
| SOFFIT VENT                                  | SIZE:                | PER UNIT:   | # UNITS: PROVIDED: |
|  | -                    | .041 SF/LF  | 132'-0" 5.412      |
| LOWER AREA VENTING PROVIDED:                 |                      |             | -                  |
| UPPER AREA VENTING                           |                      |             |                    |
| RIDGE VENT                                   | SIZE:                | PER UNIT:   | # UNITS: PROVIDED: |
|  | -                    | .125 SF/LF  | 38'-0" 4.75        |
| UPPER AREA VENTING PROVIDED:                 |                      |             | -                  |
| TOTAL AREA PROVIDED<br>SOFFIT AND RIDGE VENT |                      |             | 10.162             |



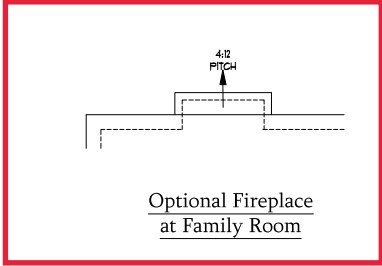
PRICE, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS,  
SPECIFICATIONS AND SCHEDULES ARE SUBJECT TO  
CHANGE WITHOUT NOTICE AND ARE SUBJECT TO  
REVISIONS. MATERIALS AND WORKMANSHIP SHALL  
BE AS SHOWN IN THIS PLAN UNLESS OTHERWISE  
NOTED. THIS PLAN IS A PRELIMINARY DESIGN AND  
NOT FOR CONSTRUCTION. ALL DIMENSIONS AND  
NOTATIONS ARE APPROXIMATE. THIS PLAN IS FOR  
OFFICE USE ONLY. IT IS NOT TO BE USED FOR  
CONSTRUCTION. ANY USE, REPRODUCTION, ADAPTION  
OR DISPLAY OF THIS PLAN WITHOUT THE WRITTEN  
CONSENT OF DREAM FINDERS HOMES IS STRICTLY  
PROHIBITED. COPYRIGHT © 2019 DREAM FINDERS  
HOMES

DREAM FINDERS HOMES  
DOCWOOD

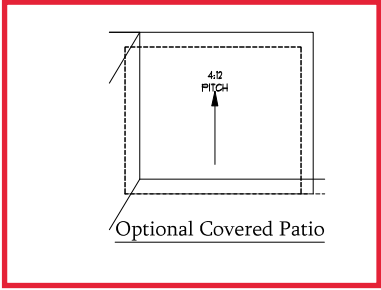
DATE: JANUARY 17, 2019  
REV: FEBRUARY 01, 2022  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

ELEVATIONS A-1  
& A-2 ROOF PLAN

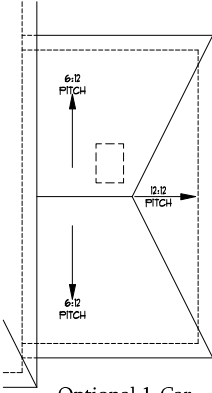
A-8



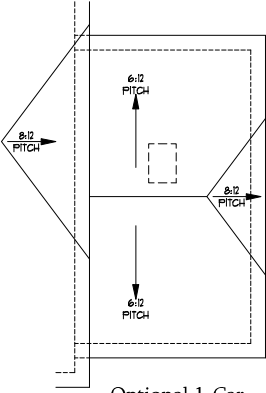
Optional Fireplace  
at Family Room



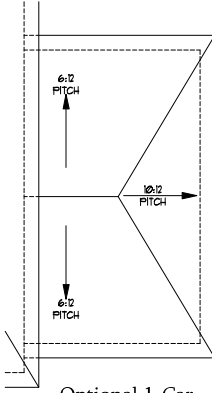
Optional Covered Patio



Optional 1-Car  
Carriage Garage  
Elevation C



Optional 1-Car  
Carriage Garage  
Elevation B



Optional 1-Car  
Carriage Garage  
Elevation A



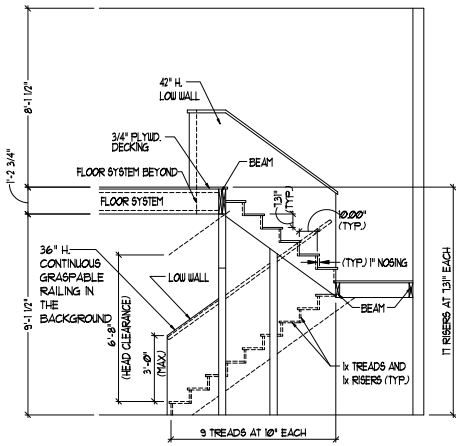
DREAM FINDERS  
HOMES

PRICE, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, PERMITS, AND REGULATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. THIS PLAN IS AN ILLUSTRATION OF ONE POSSIBLE OPTION FOR THIS HOME. IT IS NOT TO BE USED AS A CONTRACT DOCUMENT. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED. ALL FINISHES ARE TO BE DETERMINED BY THE CLIENT. THIS PLAN IS AN ILLUSTRATION OF ONE POSSIBLE OPTION FOR THIS HOME. IT IS NOT TO BE USED AS A CONTRACT DOCUMENT. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED. ALL FINISHES ARE TO BE DETERMINED BY THE CLIENT. THIS PLAN IS AN ILLUSTRATION OF ONE POSSIBLE OPTION FOR THIS HOME. IT IS NOT TO BE USED AS A CONTRACT DOCUMENT. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED. ALL FINISHES ARE TO BE DETERMINED BY THE CLIENT.

DREAM FINDERS HOMES  
DOGWOOD

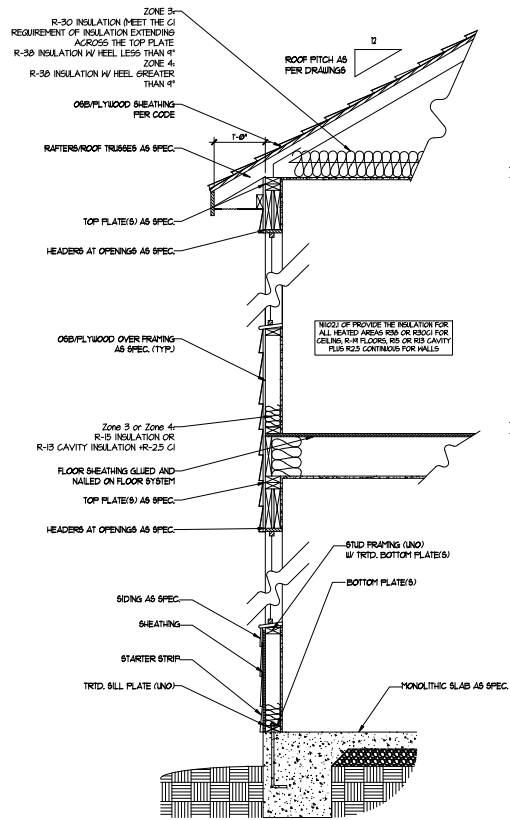
DATE: JANUARY 17, 2019  
REV: FEBRUARY 01, 2022  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

ROOF PLAN  
OPTIONS  
A-8.3

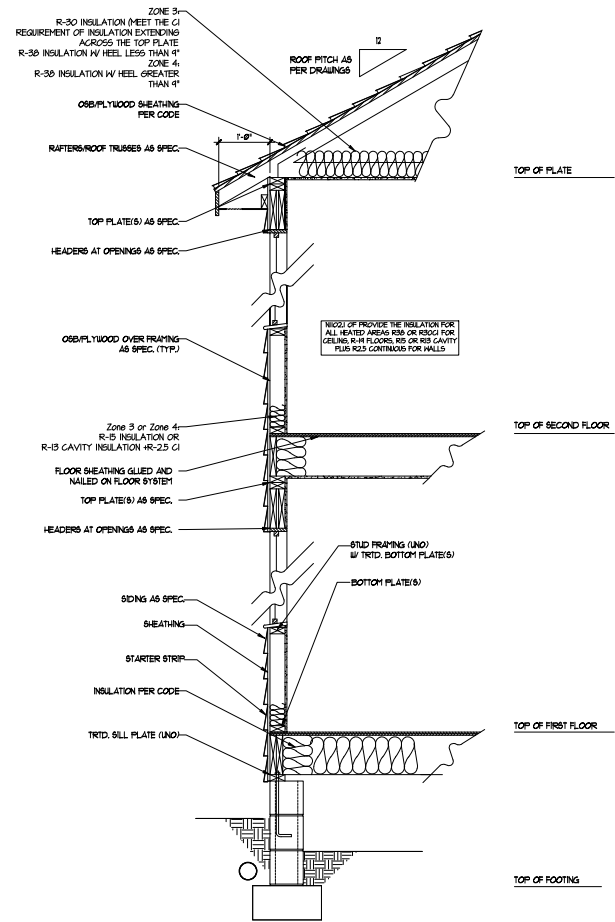


TYPICAL STAIR DETAIL  
(NTS)

\*\*\*\*\*  
**STAIR NOTES:**  
**BALUS:**  
 BALUSTERS SHALL BE SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH.  
 THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, AT THE OPEN ENDS OF A STAIRWAY ARE PERMITTED TO BE A SUCH A SIZE THAT A SPHERE OF 6 INCHES CANNOT PASS THROUGH.  
 OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 3/8 INCHES TO PASS THROUGH.  
**HANDRAILS:**  
 HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT, TO A POINT DIRECTLY ABOVE THE LOWEST RISER. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN VERTICAL FINISH OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1/2" INCH BETWEEN THE WALL AND HANDRAIL.  
 CONTINUOUS GRASPABLE HANDRAIL MUST MEET TYPE ONE OR TYPE TWO CRITERIA  
 \*\*\*\*\*



WALL SECTION W/ SLAB  
W/ STD. SIDING SHOWN (NTS)



WALL SECTION W/ CRAWL SPACE  
W/ STD. SIDING SHOWN (NTS)



PRICE, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, OR FINISHES ARE SUBJECT TO CHANGE WITHOUT NOTICE. DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. MAY VARY IN ACTUAL CONSTRUCTION. ALL DIMENSIONS SHOWN ON THIS SET SHALL BE INTERPRETED BY THE SET PLAN OR HOUSE LOT WILL BE INTERPRETED BY THE SET PLAN OR HOUSE LOT. ALL DIMENSIONS SHALL BE INTERPRETED BY THE SET PLAN OR HOUSE LOT. ANY USE, REPRODUCTION, ADAPTATION OR DISPLAY OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF DREAM FINDERS HOMES IS PROHIBITED. SALES CONSULT LAST FOR CURRENT DETAILS. COPYRIGHT © DREAM FINDERS HOMES.

DREAM FINDERS HOMES  
 DREAMWOOD

DATE: JANUARY 17, 2019  
 REV: FEBRUARY 01, 2022  
 SCALE: 1/4"=1'-0"  
 DRAWN BY:  
 ENGINEERED BY:  
 REVIEWED BY:

WALL SECTIONS  
 AND STAIR  
 DETAIL  
**AD-1**

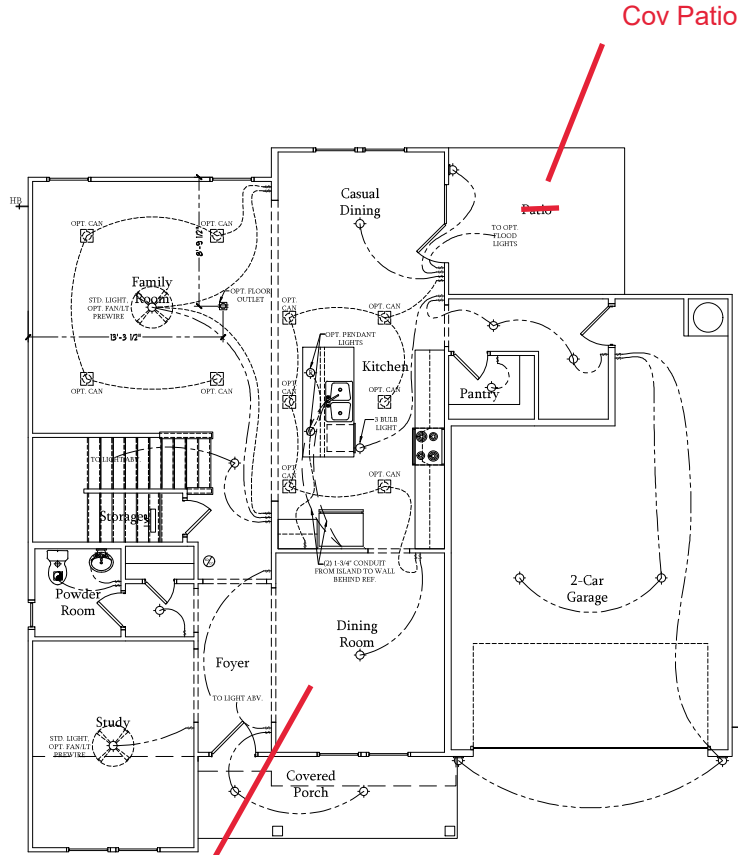
**ELECTRICAL LEGEND**

- 120V OUTLET
- 120V GFI OUTLET
- 120V SWITCHED OUTLET
- 120V BASEBOARD OUTLET
- 4 PLEX
- FLOOR MOUNTED 120V
- FLOOR MOUNTED 120V GFI
- WEATHERPROOF
- 220V OUTLET
- 120V DEDICATED CIRCUIT
- 220V DEDICATED CIRCUIT
- SPECIAL PURPOSE (240 V, ETC.)
- WALL MOUNT LIGHT
- CEILING MOUNT LIGHT
- PENDANT LIGHT
- RECESSED CAN LIGHT
- MINI CAN LIGHT
- INVESTAL LIGHT
- FLUORESCENT LIGHT
- UNDERCABINET LIGHT
- FLOOR LIGHT
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- TELEPHONE
- TV CONNECTION
- CONDUIT FOR COMPONENT WIRING
- SPEAKER
- COMBINATION CARBON MONOXIDE DETECTOR
- 110 V SMOKE DETECTOR
- EXHAUST FAN
- LOW VOLTAGE PANEL

- CEILING FAN
- CEILING FAN W/ LIGHT

**ELECTRICAL NOTES:**

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR: SWITCHES ... 42" OUTLETS ... 14" TELEPHONE ... 14" (UNLESS ASV COUNTERTOP) TELEVISION ... 14"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARELORS, LIBRARIES, DEN, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER PROOF RECEPTACLES.
5. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE G.F.C.I. PROTECTED (G.F.I.).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FOSSIL FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY, SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



Coffered Ceiling

Cov Patio

**First Floor Plan**

SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



PRICE, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FINANCING, AND CONSTRUCTION SCHEDULES ARE SUBJECT TO CHANGE WITHOUT NOTICE. PERMITS ARE SUBJECT TO CHANGE WITHOUT NOTICE. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

DREAM FINDERS HOMES  
DOWNSIDE

DATE: JANUARY 17, 2019  
REV: FEBRUARY 01, 2022  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

FIRST FLOOR ELECTRICAL PLAN

**ELECTRICAL LEGEND**

- 120V OUTLET
- 120V GFI OUTLET
- 120V SWITCHED OUTLET
- 120V BASEBOARD OUTLET
- 4 PLEX
- FLOOR MOUNTED 120V
- FLOOR MOUNTED 120V GFI
- WEATHERPROOF
- 220V OUTLET
- 120V DEDICATED CIRCUIT
- 220V DEDICATED CIRCUIT
- SPECIAL PURPOSE (240 V. ETC.)
- WALL MOUNT LIGHT
- CEILING MOUNT LIGHT
- PENDANT LIGHT
- RECESSED CAN LIGHT
- MINI CAN LIGHT
- EVERY-ALL LIGHT
- FLUORESCENT LIGHT
- UNDERCABINET LIGHT
- FLOOD LIGHT
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- TELEPHONE
- TV CONNECTION
- CONDUIT FOR COMPONENT WIRING
- SPEAKER
- COMB. SMOKE CARBON MONOXIDE DETECTOR
- 110 V SMOKE DETECTOR
- EXHAUST FAN
- LOW VOLTAGE PANEL

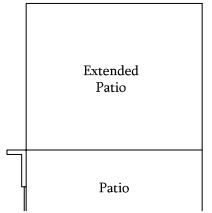
- CEILING FAN
- CEILING FAN W/ LIGHT

**ELECTRICAL NOTES:**

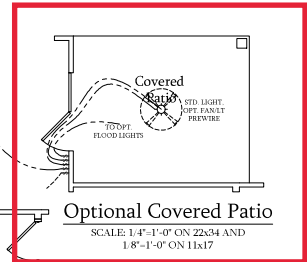
1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) INSTALLED ON PLANS OR ASHTRAY NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR: SWITCHES - 42" OUTLETS - 14" TELEPHONE - 14" (UNLESS A/B/V COUNTERTOP) TELEVISION - 14"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PORCHES, LIBRARIES, DEN, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR AREAS WILL REQUIRE A COMBINATION TYPE AFCI DEVICE AND TAMPER PROOF RECEPTACLES.
5. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCI PROTECTED (G.F.I.).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FOSIL FUEL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



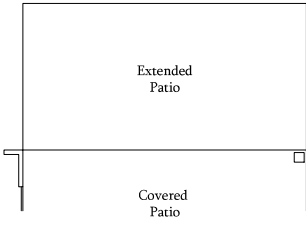
**Optional Fireplace at Family Room**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



**Optional Extended Patio**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17

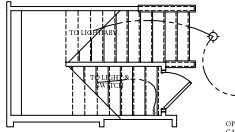


**Optional Covered Patio**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



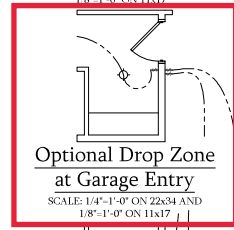
**Optional Extended Patio w/ Extended Covered Patio**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17

**Optional Window at Family Room**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17

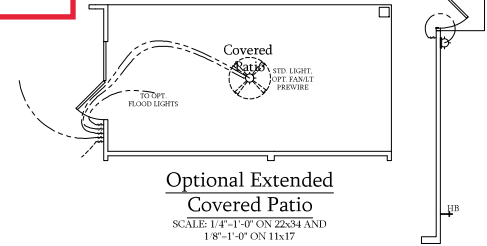


**Stairs to Optional Basement**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17

**Optional Valet at Garage Entry**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17

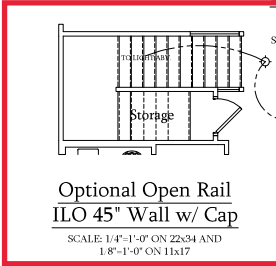


**Optional Drop Zone at Garage Entry**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17

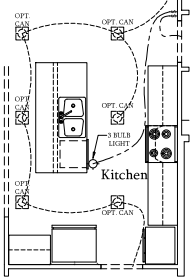


**Optional Extended Covered Patio**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17

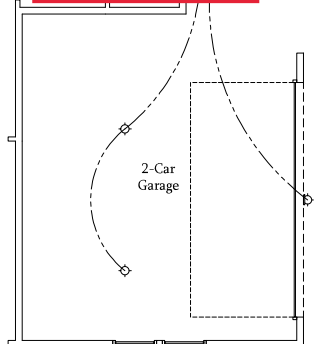
**Optional Service Door at 1-Car Carriage Garage**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



**Optional Open Rail ILO 45" Wall w/ Cap**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17

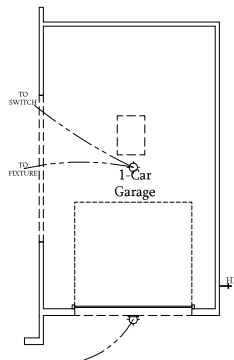
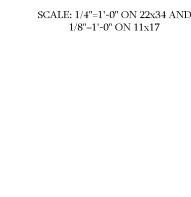


**Optional Gourmet Kitchen**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17

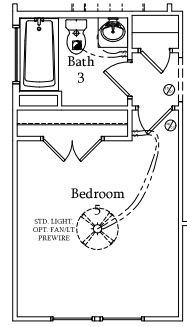


**Optional 2-Car Side Load Garage**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17

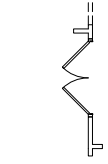
**Optional Service Door at Garage**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



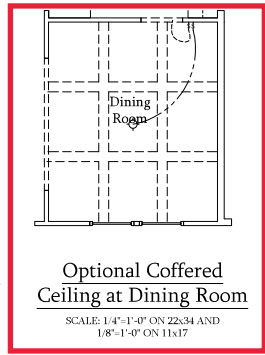
**Optional 1-Car Carriage Garage**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



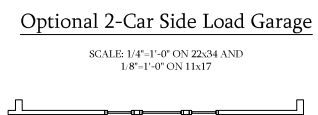
**Optional Bed 5 & Bath 3 ILO Study**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



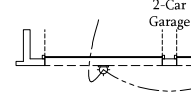
**Optional Bi-Swing Doors at Study**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



**Optional Coffered Ceiling at Dining Room**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



**Optional 2-Car Side Load Garage w/ Elev. B**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



**Optional Double Garage Door**  
SCALE: 1/4"-1'-0" ON 22x34 AND 1/8"-1'-0" ON 11x17



PRICE, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FINANCING, AND CONSTRUCTION SCHEDULES ARE SUBJECT TO CHANGE WITHOUT NOTICE. SCHEDULES ARE SUBJECT TO CHANGE WITHOUT NOTICE. SCHEDULES ARE SUBJECT TO CHANGE WITHOUT NOTICE. SCHEDULES ARE SUBJECT TO CHANGE WITHOUT NOTICE. SCHEDULES ARE SUBJECT TO CHANGE WITHOUT NOTICE.

**DREAM FINDERS HOMES**  
**DOGWOOD**

DATE: JANUARY 17, 2019  
REV: FEBRUARY 01, 2022  
SCALE: 1/4"-1'-0"

DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

FIRST FLOOR ELECTRICAL PLAN - OPTIONS

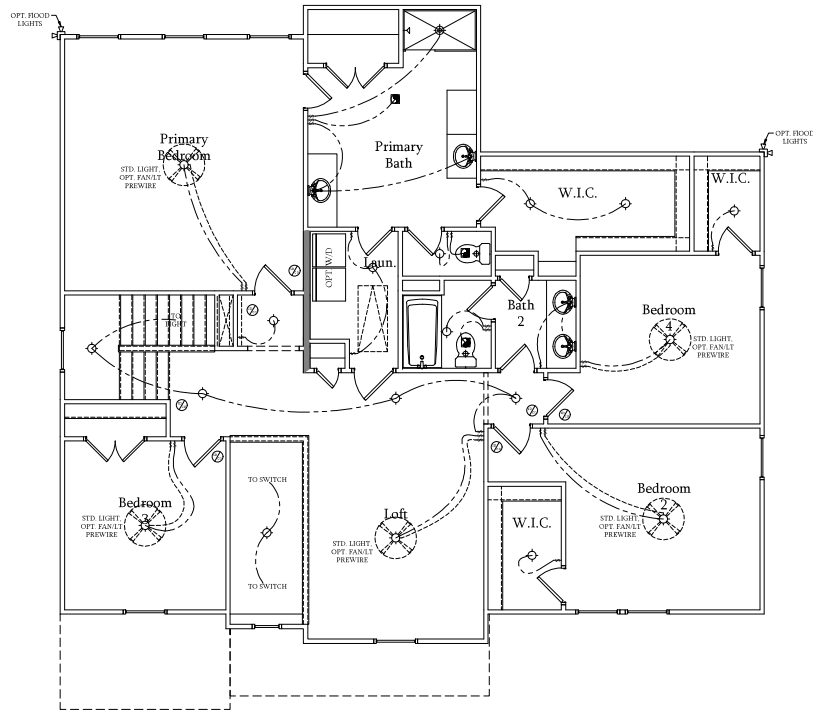
E-1.1

**ELECTRICAL LEGEND**

- 120V OUTLET
- 120V GFI OUTLET
- 120V SWITCHED OUTLET
- 120V BASEBOARD OUTLET
- 4 PLEX
- FLOOR MOUNTED 120V
- FLOOR MOUNTED 120V GFI
- WEATHERPROOF
- 220V OUTLET
- 120V DEDICATED CIRCUIT
- 220V DEDICATED CIRCUIT
- SPECIAL PURPOSE (240 V, ETC.)
- WALL MOUNT LIGHT
- CEILING MOUNT LIGHT
- PENDANT LIGHT
- RECESSED CAN LIGHT
- MINI CAN LIGHT
- INVESTAL LIGHT
- FLUORESCENT LIGHT
- UNDERCABINET LIGHT
- FLOOD LIGHT
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- TELEPHONE
- TV CONNECTION
- CONDUIT FOR COMPONENT WIRING
- SPEAKER
- COMBINATION CARBON MONOXIDE DETECTOR
- 110 V SMOKE DETECTOR
- EXHAUST FAN
- LOW VOLTAGE PANEL
- CEILING FAN
- CEILING FAN W/ LIGHT

**ELECTRICAL NOTES:**

1. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.
2. UNLESS OTHERWISE INDICATED, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR: SWITCHES - 42" OUTLETS - 14" TELEPHONE - 14" (UNLESS ASV COUNTERTOP) TELEVISION - 14"
3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.
4. ALL 15A AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARELORS, LIBRARIES, DEN, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SMALL AREAS WILL REQUIRE A COMBINATION TYPE A.C.I. DEVICE AND TAMPER PROOF RECEPTACLES.
5. ALL 15A AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE G.F.C.I. PROTECTED (G.F.I.).
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
7. EVERY BUILDING HAVING A FOSSIL FUEL BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING PURPOSES.
8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY, SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.



**Second Floor Plan**  
SCALE: 1/4"=1'-0" ON 22x34 AND  
1/8"=1'-0" ON 11x17



PRICE, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FINANCING, AND OTHER INFORMATION ARE SUBJECT TO CHANGE WITHOUT NOTICE. PERMITS ARE SUBJECT TO CHANGE WITHOUT NOTICE. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NATIONAL FIRE ALARM CODE, AND NATIONAL ELECTRICAL SAFETY CODE. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NATIONAL FIRE ALARM CODE, AND NATIONAL ELECTRICAL SAFETY CODE. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF DREAM FINDER HOMES IS STRICTLY PROHIBITED. © 2012 DREAM FINDER HOMES. ALL RIGHTS RESERVED.

**DREAM FINDERS HOMES**  
**DOGWOOD**

DATE: JANUARY 17, 2019  
REV: FEBRUARY 01, 2012  
SCALE: 1/4"=1'-0"  
DRAWN BY:  
ENGINEERED BY:  
REVIEWED BY:

SECOND FLOOR  
ELECTRICAL PLAN  
**E-2**





**KSE**  
**ENGINEERING**

1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951  
www.kse-eng.com (215) 804-4449

DOGWOOD  
RH  
NORTH CAROLINA

THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. THIS COORDINATION IS NOT THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER OF RECORD (SER). SHOULD ANY DISCREPANCIES BECOME APPARENT, THE CONTRACTOR SHALL NOTIFY KSE ENGINEERING, P.C. BEFORE CONSTRUCTION BEGINS. IT IS THE INTENT OF THE ENGINEER LISTED ON THESE DOCUMENTS THAT THESE DOCUMENTS BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE REQUIRED TO REVIEW ALL OF THE INFORMATION CONTAINED IN THESE DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE DOCUMENTS.

DESIGN SPECIFICATIONS:

DESIGN BUILDING CODE (REFERRED TO HEREIN AS "THE BUILDING CODE"):  
• 2018 NORTH CAROLINA RESIDENTIAL CODE. WALL BRACING PER INTERNATIONAL RESIDENTIAL CODE 2015 EDITION.

DESIGN LIVE LOADS:  
• ROOF = 20 PSF (LOAD DURATION FACTOR=1.25)  
• UNINHABITABLE ATTICS WITH LIMITED STORAGE = 20 PSF (WHERE SPECIFIED ON PLANS)  
• HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS = 30 PSF  
• FLOOR = 40 PSF  
• FLOOR (SLEEPING AREAS) = 30 PSF  
• DECK = 40 PSF  
• BALCONY = 40 PSF  
• STAIRS = 40 PSF

DESIGN DEAD LOADS:  
• ROOF TRUSS = 17 PSF (TC=7, BC=10)  
• FLOOR TRUSS = 15 PSF (TC=10, BC=5)  
• FLOOR JOIST = 10 PSF  
• QUEEN ANNE BRICK = 25 PSF

\*NOTE: STRUCTURAL FRAMING HAS NOT BEEN DESIGNED FOR TILE, GRANITE, MARBLE OR OTHER MATERIALS HEAVIER THAN THE ABOVE LOADING UNLESS SPECIFICALLY NOTED ON PLANS.\*

DESIGN WIND LOADS:  
• ULTIMATE WIND SPEED = Up to 130 MPH  
• EXPOSURE CATEGORY = B

ASSUMED SOIL BEARING CAPACITY = 2000 PSF

ASSUMED LATERAL SOIL PRESSURE = 45 PCF

FROST DEPTH = 12"

SEISMIC DESIGN CATEGORY = B

ENGINEERED LUMBER SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:

- TJI 210 SERIES (SERIES AND SPACING PER PLANS)
- LSL: E=1,550,000 PSI, F<sub>b</sub>=2,325 PSI, F<sub>v</sub>=310 PSI, F<sub>c</sub>=900 PSI
- LVL: E=2,000,000 PSI, F<sub>b</sub>=2,600 PSI, F<sub>v</sub>=285 PSI, F<sub>c</sub>=750 PSI
- PSL: E=2,100,000 PSI, F<sub>b</sub>=2,900 PSI, F<sub>v</sub>=290 PSI, F<sub>c</sub>=625 PSI

THIS PLAN HAS BEEN DESIGNED PER THE 2018 EDITION OF THE NC RESIDENTIAL CODE. WHERE FRAMING, FOUNDATION, OR OTHER STRUCTURAL ITEMS DO NOT COMPLY WITH THE PRESCRIPTIVE METHODS OF THE CODE, THOSE ITEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE PER NCRS R301.1.3.



KSE ENGINEERING  
1900 AM DRIVE, SUITE 201, QUAKERTOWN, PA 18951  
www.kse-eng.com (215) 804-4449



Cover Sheet

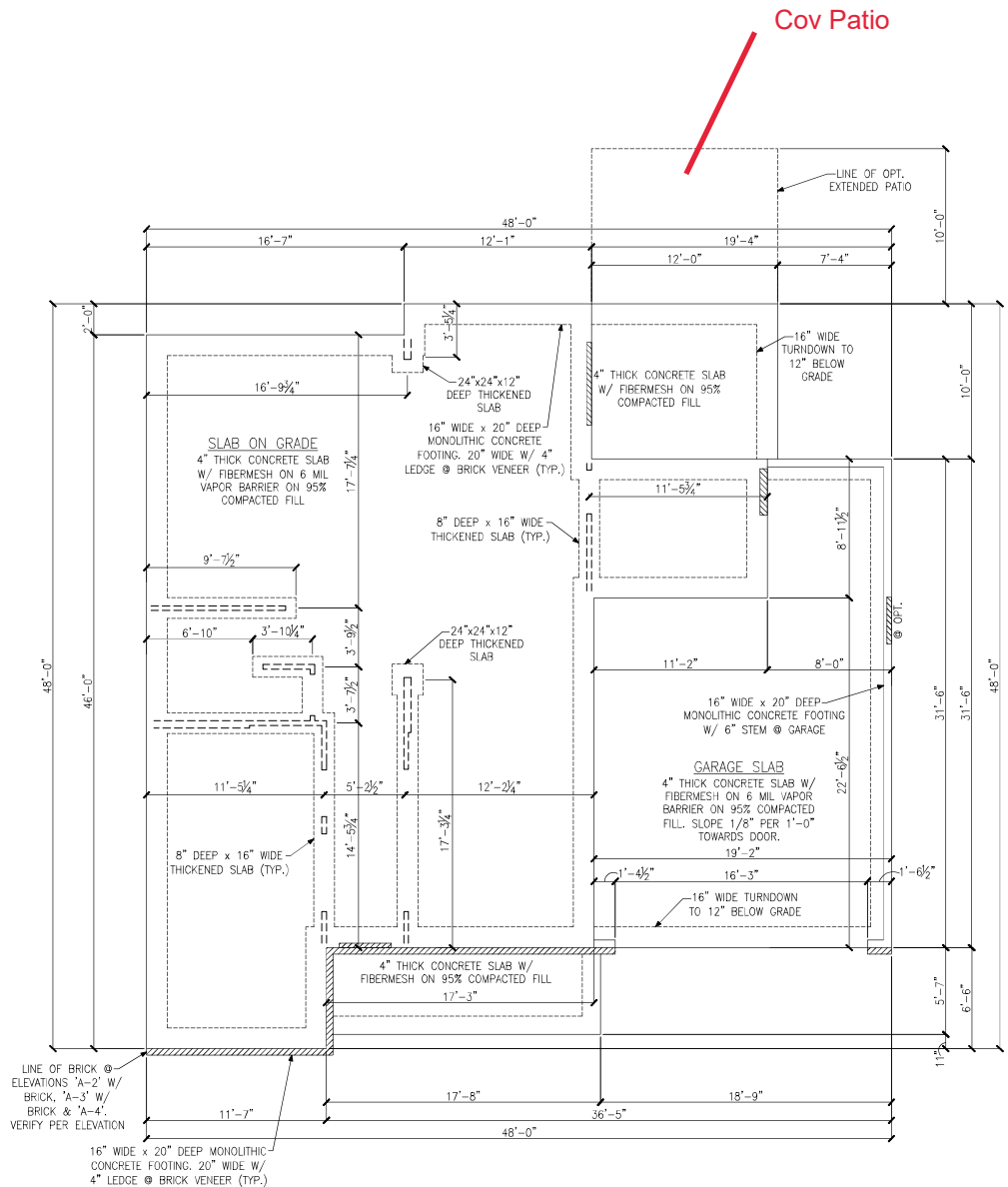
Dogwood Model - RH  
Up to 130 M.P.H.  
Carolina Division

Project #: 105-16007  
Designed By: KRK  
Checked By:  
Issue Date: 4/9/19  
Re-Issue: 10/10/22  
Scale: 1/8"=1'-0" @ 11x17  
1/4"=1'-0" @ 22x34



S-0





**MONOLITHIC SLAB FOUNDATION PLAN**  
ELEVATIONS 'A-1', 'A-2', 'A-3' & 'A-4'

**LEGEND**

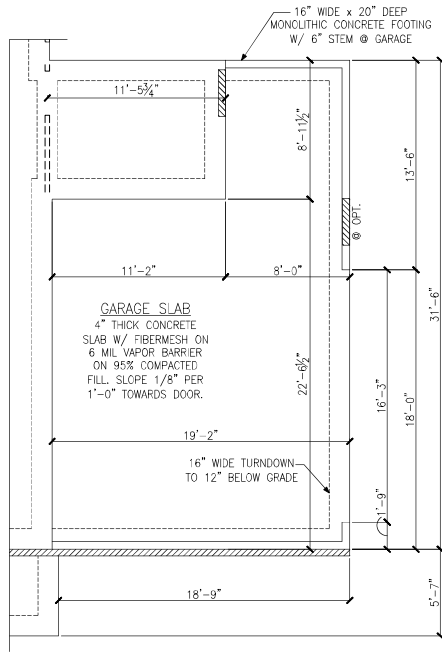
- PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)
- LOCATION OF DOOR ABOVE

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

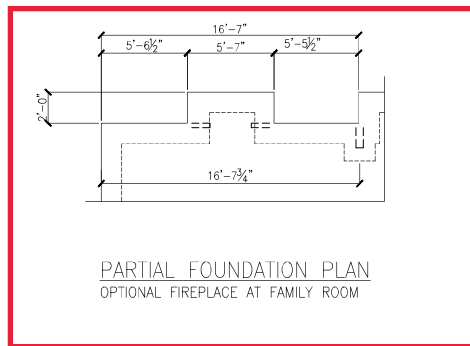
Monolithic Slab Foundation Plan  
Elevations 'A-1', 'A-2', 'A-3' & 'A-4'  
Dogwood Model - RH  
Up to 130 M.P.H.  
Carolina Division

|              |  |
|--------------|--|
| Project #:   | 105-16007                                |
| Designed By: | KRK                                      |
| Checked By:  |  |
| Issue Date:  | 4/9/19                                   |
| Re-issue:    | 10/10/22                                 |
| Scale:       | 1/8"=1'-0" @ 11x17<br>1/4"=1'-0" @ 22x34 |

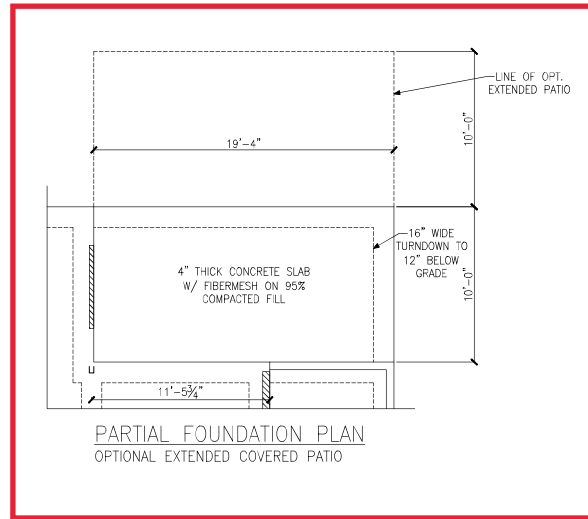




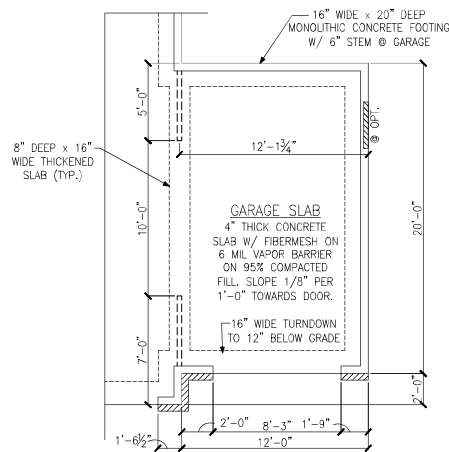
**PARTIAL FOUNDATION PLAN**  
OPTIONAL 2-CAR SIDE LOAD GARAGE  
ELEVATION A



**PARTIAL FOUNDATION PLAN**  
OPTIONAL FIREPLACE AT FAMILY ROOM



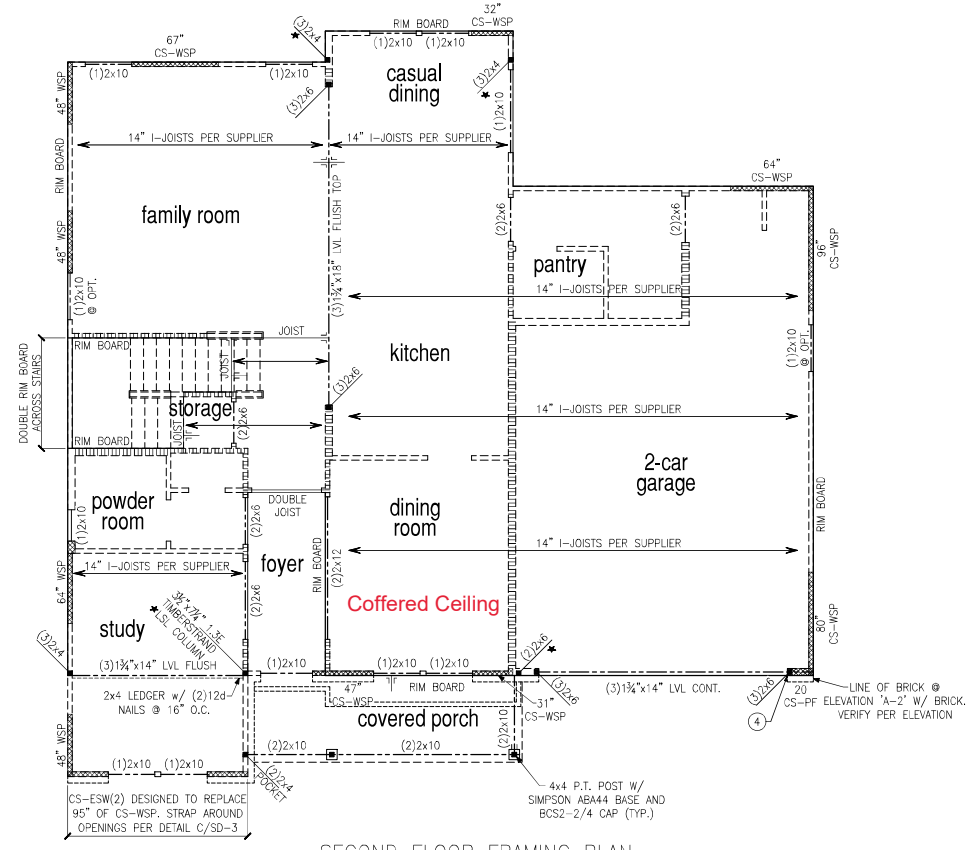
**PARTIAL FOUNDATION PLAN**  
OPTIONAL EXTENDED COVERED PATIO



**MONOLITHIC SLAB FOUNDATION PLAN**  
OPTIONAL 1-CAR CARRIAGE GARAGE

| LEGEND   |   |
|--|---|
|  | PROVIDE SOLID BLOCKING  |
|  | WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.   |
|  | BEARING WALL ABOVE  |
|  | INTERIOR BEARING WALL   |
|  | BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS) |
|  | LOCATION OF DOOR ABOVE  |
| REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS |   |





**SECOND FLOOR FRAMING PLAN**  
ELEVATIONS 'A-1', 'A-2' & 'A-3' W/ STONE

**LEGEND**

- ★ PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- ▬ INTERIOR BEARING WALL
- ▬ BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

PLAN DESIGNED WITH 9" WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

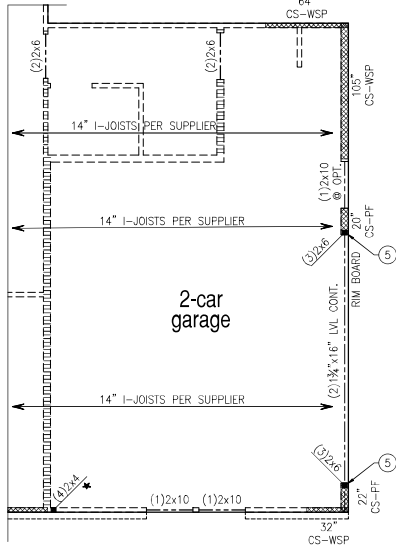
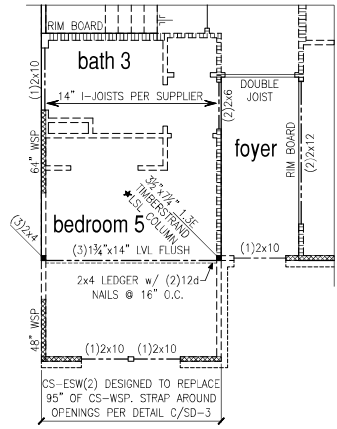
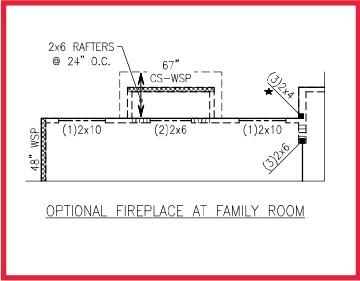
**KEYNOTES:**

- ④ INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
- ⑤ INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.

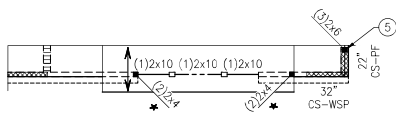
Second Floor Framing Plan  
Elevations 'A-1', 'A-2' & 'A-3' w/ Stone  
Dogwood Model - RH  
Up to 130 M.P.H.  
Carolina Division



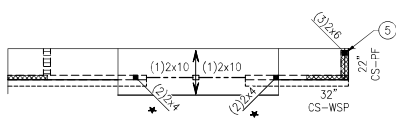
Project #: 105-16007  
Designed By: KRK  
Checked By:  
Issue Date: 4/9/19  
Re-Issue: 10/10/22  
Scale: 1/8"=1'-0" @ 11x17  
1/4"=1'-0" @ 22x34



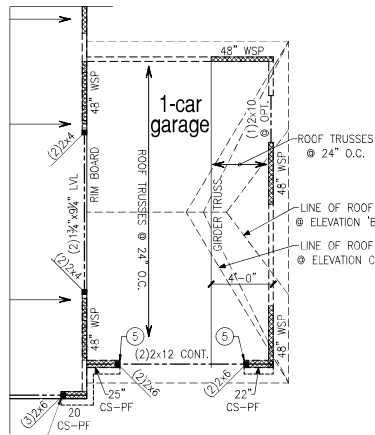
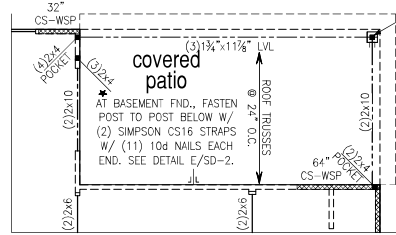
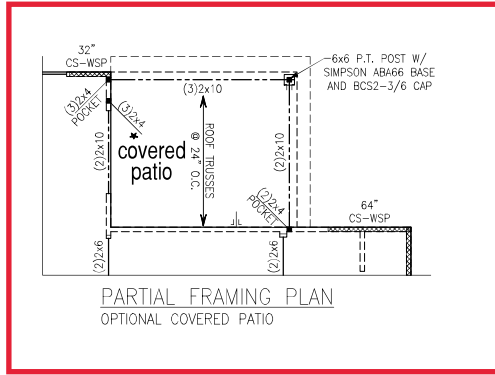
PARTIAL FRAMING PLAN  
OPTIONAL 2-CAR SIDE LOAD GARAGE  
ELEVATION A



PARTIAL FRAMING PLAN  
OPTIONAL 2-CAR SIDE LOAD GARAGE  
ELEVATION B



PARTIAL FRAMING PLAN  
OPTIONAL 2-CAR SIDE LOAD GARAGE  
ELEVATION C



**LEGEND**

- ★ PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.
- BEARING WALL ABOVE
- INTERIOR BEARING WALL
- BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)

REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS

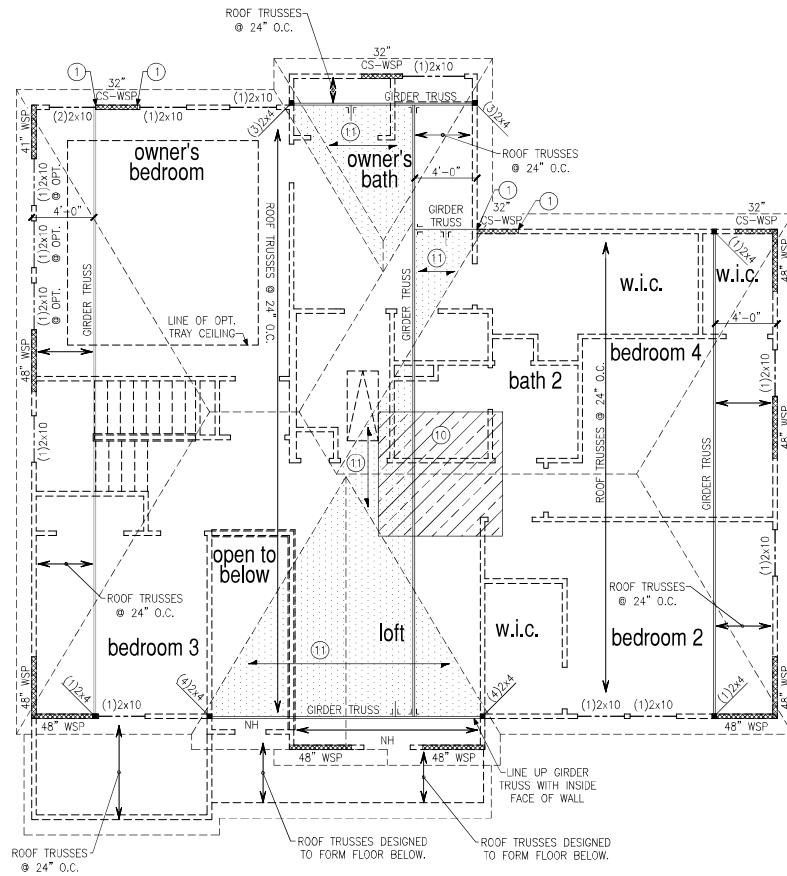
PLAN DESIGNED WITH 9" WALL PLATES

FLOOR FRAMING TO BE 14" DEEP TJI 110 SERIES OR EQUAL, SPACING PER MANUFACTURER.

**KEYNOTES:**

- ④ INSTALL ONE PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.
- ⑤ INSTALL TWO PANEL CS-PF PORTAL FRAME PER DETAIL A OR B/SD-4.





**ROOF FRAMING PLAN**  
ELEVATIONS 'A-1', 'A-2' & 'A-3' w/ STONE

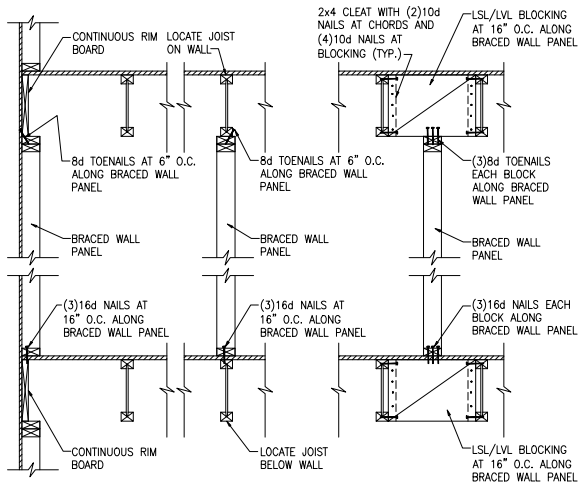
| LEGEND   |  |
|--|--|
|  | PROVIDE SOLID BLOCKING WITHIN FLOOR SYSTEM TO MATCH POST SIZE ABOVE.   |
|  | BEARING WALL ABOVE   |
|  | INTERIOR BEARING WALL  |
|  | BRACED WALL PANEL (SEE KSE STRUCTURAL DETAILS SET FOR BRACED WALL PANEL SHEATHING FASTENING & BLOCKING DETAILS)                  |
| REFER TO KSE STRUCTURAL DETAILS SET FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS |  |
| PLAN DESIGNED WITH 8" WALL PLATES  |  |
| KEYNOTES:  |  |
| ①  | CONNECT STUD AT END OF BRACED WALL PANEL TO FRAMING BELOW WITH A 30" LONG SIMPSON CS22 COIL STRAP WITH MIN 8-104 NAILS EACH END. |
| ⑩  | 8"x8" HVAC PLATFORM TRUSSES DESIGNED TO SUPPORT HVAC UNITS.  |
| ⑪  | 2x6 OVERFRAMING w/ 2x8 RIDGE AND VALLEY PLATES OR VALLEY SET TRUSSES @ 24" O.C. (TYP.)   |



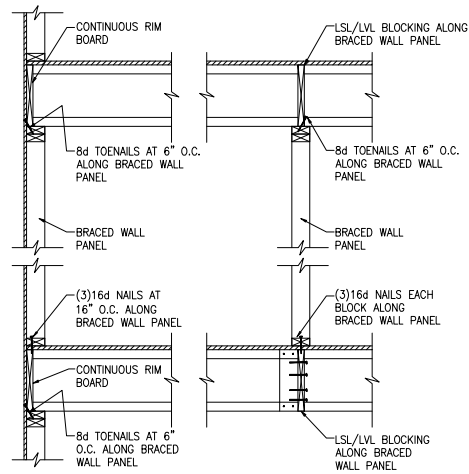
Roof Framing Plan  
Elevations 'A-1', 'A-2', 'A-3' w/ Stone  
Dogwood Model - RH  
Up to 130 M.P.H.  
Carolina Division

|              |  |
|--------------|--|
| Project #:   | 105-16007                                |
| Designed By: | KRK                                      |
| Checked By:  |  |
| Issue Date:  | 4/9/19                                   |
| Re-issue:    | 10/10/22                                 |
| Scale:       | 1/8"=1'-0" @ 11x17<br>1/4"=1'-0" @ 22x34 |

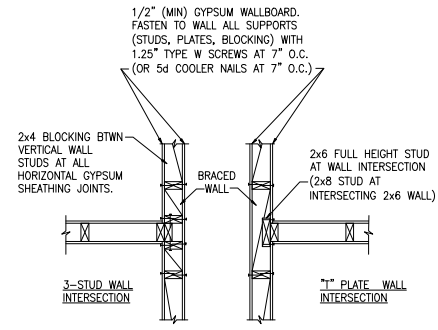




**A** TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION  
BRACED WALL PANELS PARALLEL TO I-JOISTS

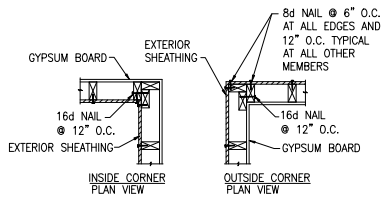


**B** TYPICAL BRACED WALL PANEL TO FLOOR/CEILING CONNECTION  
BRACED WALL PANELS PERPENDICULAR TO I-JOISTS

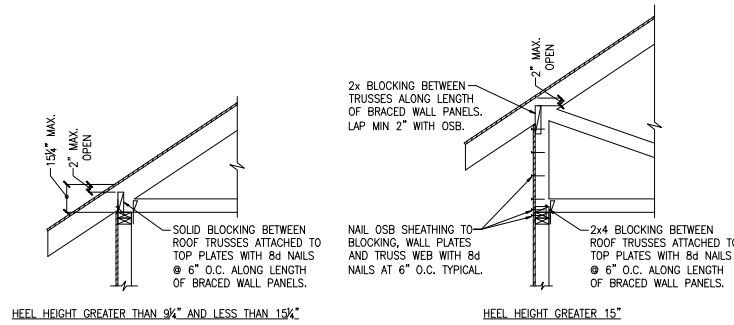


BRACED WALL INTERSECTIONS MAY BE FRAMED USING EITHER THE 3-STUD OR THE T-PLATE METHOD.

**C** METHOD GB(1) AND GB(2) INTERSECTION DETAILS



**D** TYPICAL EXTERIOR CORNER WALL FRAMING

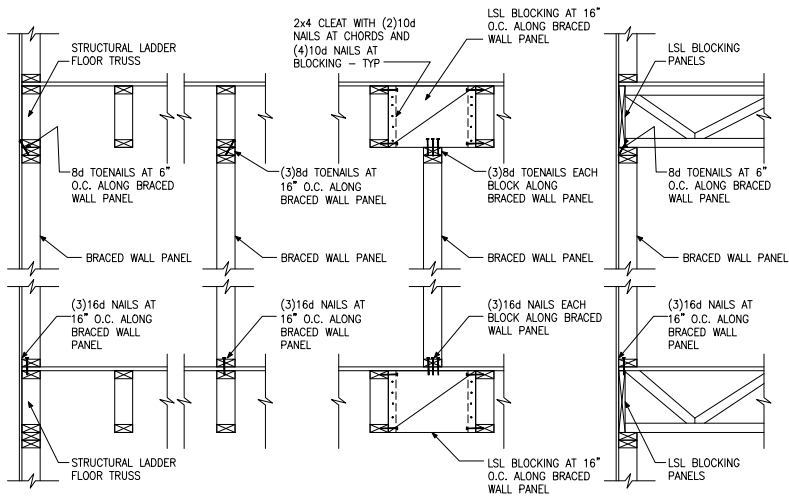


**E** ROOF TRUSS BEARING/BLOCKING AT BRACED WALL PANELS  
ONLY REQUIRED AT BRACED WALL PANELS

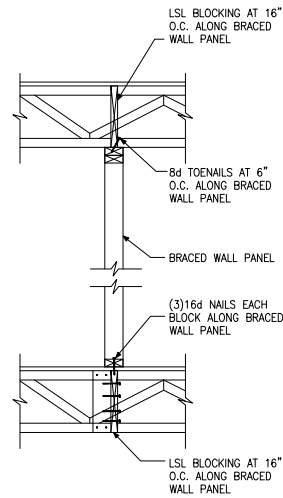


|              |  |
|--------------|--|
| Project #:   | 105-19000                                |
| Designed By: | KRK                                      |
| Checked By:  |  |
| Issue Date:  | 1/1/19                                   |
| Re-Issue:    |  |
| Scale:       | 1/8"=1'-0" @ 11x17<br>1/4"=1'-0" @ 22,34 |

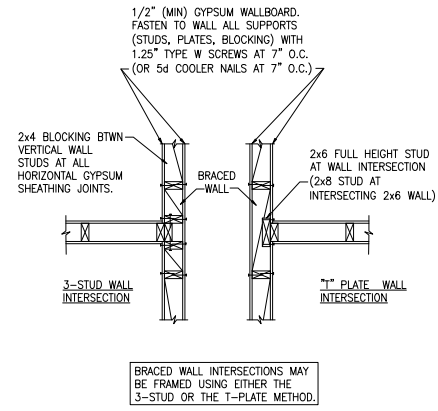




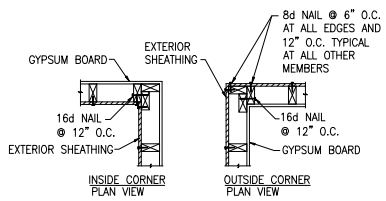
**A** TYPICAL BRACED WALL PANEL TO FLOOR / CEILING CONNECTION  
BRACED WALL PANELS PARALLEL TO TRUSSES



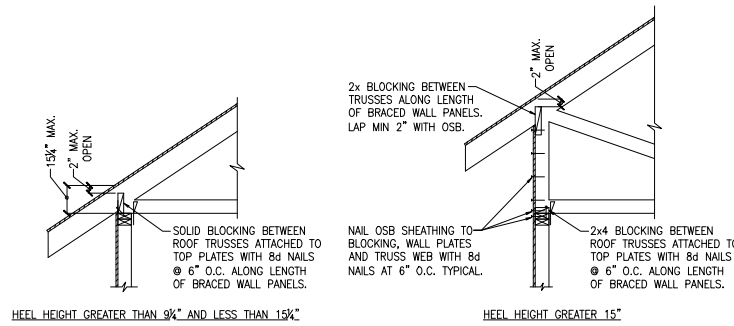
**B** TYPICAL BRACED WALL PANEL TO FLOOR / CEILING CONNECTION  
BRACED WALL PANELS PERPENDICULAR TO TRUSSES



**C** METHOD GB(1) AND GB(2) INTERSECTION DETAILS



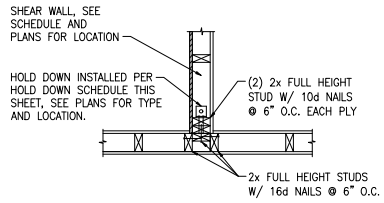
**D** TYPICAL EXTERIOR CORNER WALL FRAMING



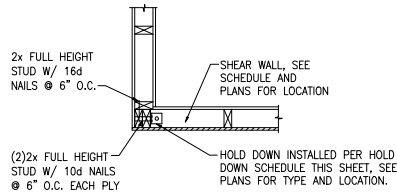
**E** ROOF TRUSS BEARING/BLOCKING AT BRACED WALL PANELS  
ONLY REQUIRED AT BRACED WALL PANELS



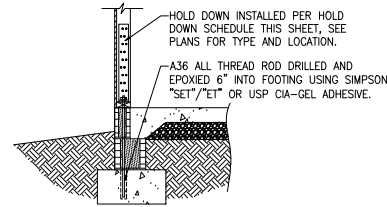
|              |  |
|--------------|--|
| Project #:   | 105-19000                                |
| Designed By: | KRK                                      |
| Checked By:  |  |
| Issue Date:  | 1/1/19                                   |
| Re-Issue:    |  |
| Scale:       | 1/8"=1'-0" @ 11x17<br>1/4"=1'-0" @ 22x34 |



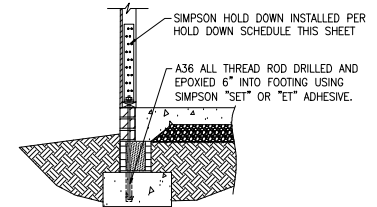
(A) TYPICAL HOLD DOWN DETAIL



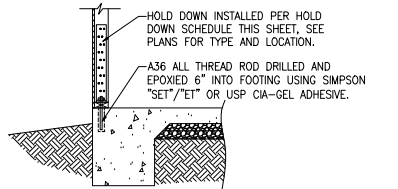
(B) TYPICAL HOLD DOWN DETAIL



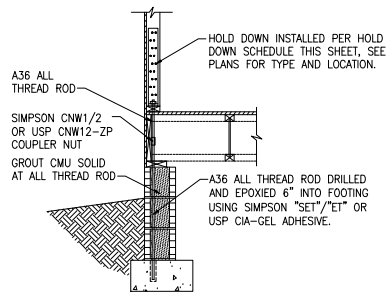
(C) HOLD DOWN AT STEMWALL SLAB FOUNDATION



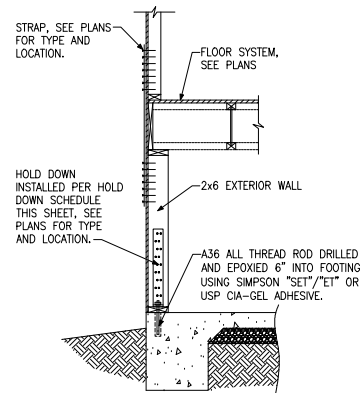
(C) HOLD DOWN AT STEMWALL SLAB



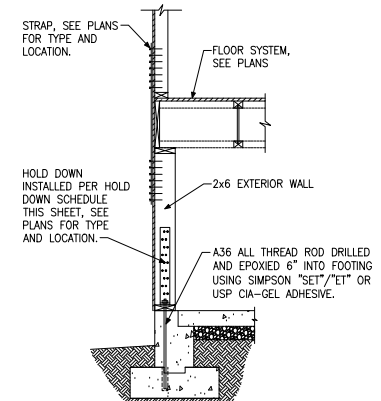
(D) HOLD DOWN AT MONOLITHIC SLAB FOUNDATION



(E) HOLD DOWN AT CRAWL SPACE FOUNDATION



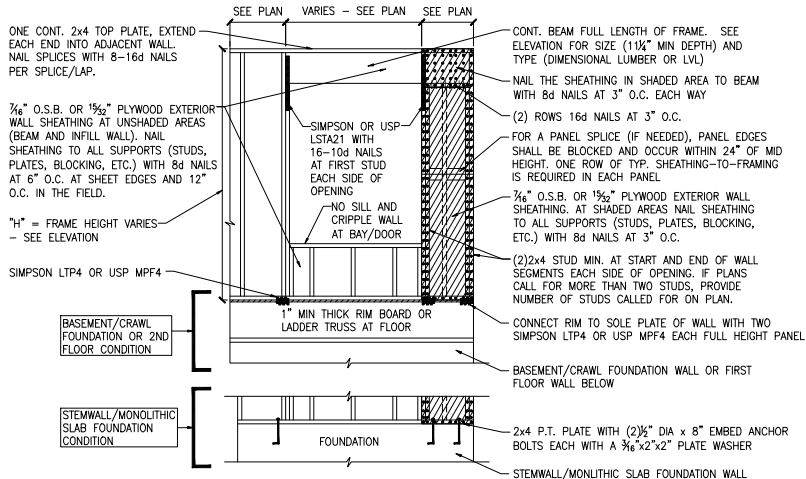
(F) HOLD DOWN AT BASEMENT FOUNDATION MONOLITHIC TURN-DOWN



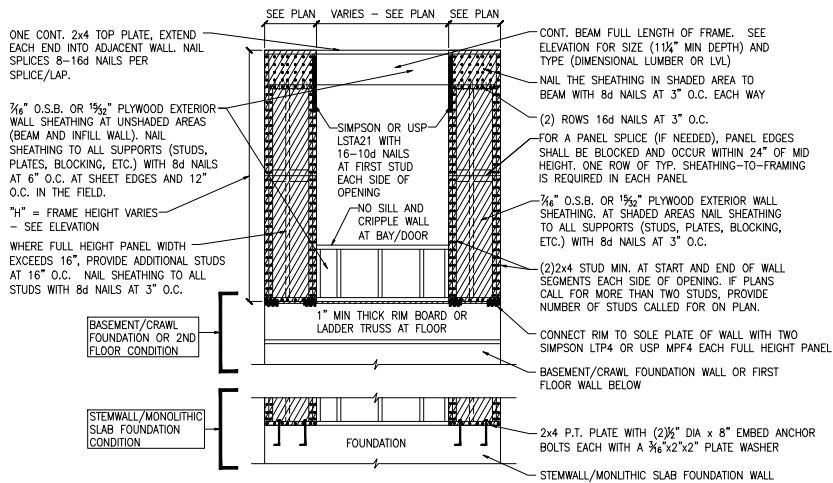
(G) HOLD DOWN AT BASEMENT FOUNDATION STEM WALL

| HOLD DOWN SCHEDULE |       |                |                           |
|--------------------|-------|----------------|---------------------------|
| HOLD DOWN          |       | ALL THREAD ROD | FASTENERS                 |
| SIMPSON            | USP   |                |                           |
| LTP2               | N.A.  | ½" DIA.        | (12)0.148"x2½" LONG NAILS |
| HTT4               | HTT16 | ¾" DIA.        | (18)0.148"x2½" LONG NAILS |
| HTT5               | HTT45 | ¾" DIA.        | (26)0.148"x2½" LONG NAILS |

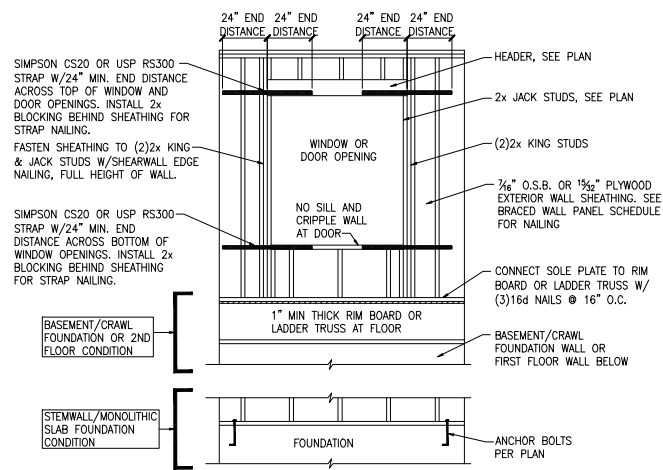




**A** METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION  
ONE BRACED WALL SEGMENT



**B** METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION  
TWO BRACED WALL SEGMENTS

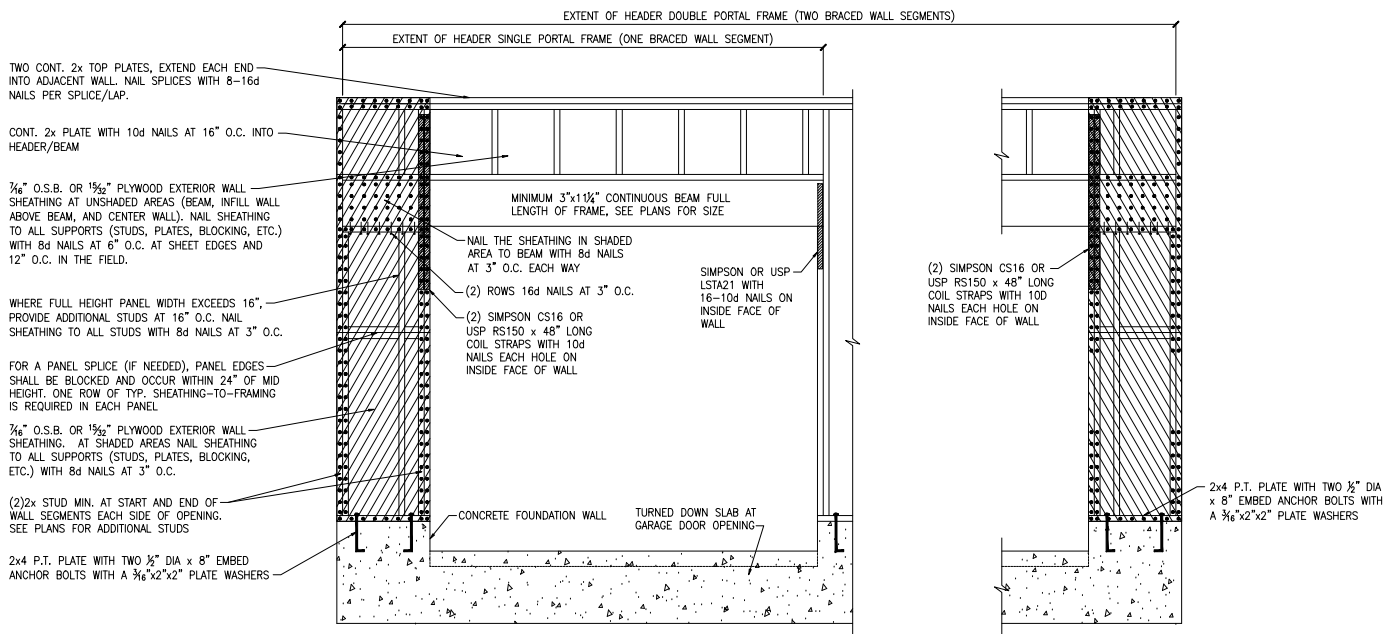


**C** WINDOW OR DOOR REINFORCEMENT IN ENGINEERED SHEAR WALL  
ONLY REQUIRED WHERE SPECIFIED ON PLANS

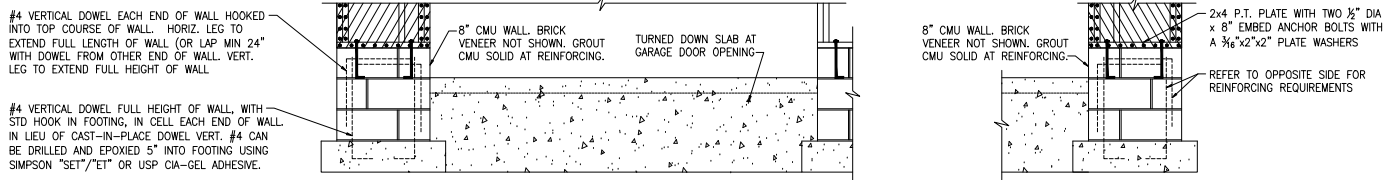
| BRACED WALL PANEL AND ENGINEERED SHEAR WALL SCHEDULE |  |             |   |
|--|--|-------------|---|
| PANEL TYPES  | PANEL TYPE   | MATERIAL    | FASTENERS   |
| WSP  | INTERMITTENT WOOD STRUCTURAL PANEL                       | 7/16" OSB   | 6D OR 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS |
| GB(1)  | INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)   | 1/2" GYPSUM | 1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.  |
| GB(1)-4  | INTERMITTENT GYPSUM BOARD (SHEATHING ONE FACE OF WALL)   | 1/2" GYPSUM | 1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 4" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.  |
| GB(2)  | INTERMITTENT GYPSUM BOARD (SHEATHING BOTH FACES OF WALL) | 1/2" GYPSUM | 1.5" LONG GALV. ROOFING NAILS, 6d COMMON NAILS, OR 1.25" LONG TYPE W DRYWALL SCREWS AT 7" O.C. AT SHEET EDGES AND INTERMEDIATE SUPPORTS.  |
| CS-WSP   | CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL                | 7/16" OSB   | 6D OR 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. ENGINEERED ALTERNATIVE: 16 GAGE BY 1.75" LONG STAPLES AT 3" O.C. AT SHEET EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS |
| CS-PF  | CONTINUOUS SHEATHED PORTAL FRAME                         | 7/16" OSB   | NAILING PER DETAIL  |
| PFH  | PORTAL FRAME WITH HOLD DOWNS                             | 7/16" OSB   | NAILING PER DETAIL  |
| CS-ESW(1)  | ENGINEERED SHEAR WALL, TYPE 1                            | 7/16" OSB   | 8D COMMON NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS   |
| CS-ESW(2)  | ENGINEERED SHEAR WALL, TYPE 2                            | 7/16" OSB   | 8D COMMON NAILS AT 4" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS   |
| CS-ESW(3)  | ENGINEERED SHEAR WALL, TYPE 3                            | 7/16" OSB   | 8D COMMON NAILS AT 3" O.C. AT SHEET EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. CONTINUOUS OSB AROUND DOOR/WINDOW OPENINGS   |

**BRACED WALL PANEL NOTES:**

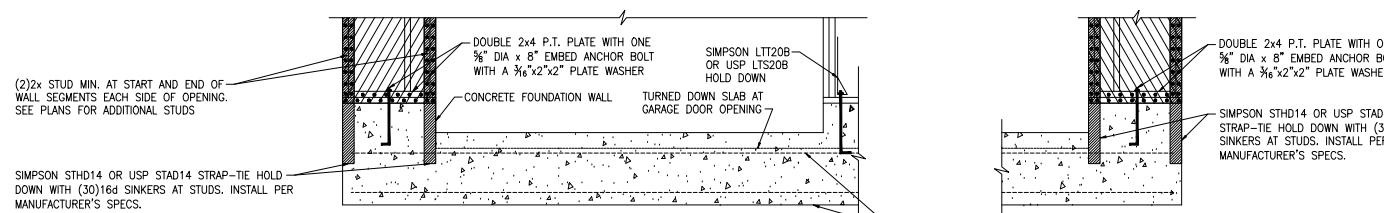
- ALL BRACED WALL PANELS, EXCEPT GB(1) & GB(2), SHALL HAVE 2x BLOCKING BETWEEN WALL STUDS AT ALL HORIZONTAL SHEET EDGES.
- PROVIDE NAILING/BLOCKING ABOVE AND BELOW ALL BRACED WALL PANELS PER KSE BRACED WALL DETAILS.
- SMOOTH ALL EXTERIOR WALLS OF THE HOUSE WITH 3/8" O.S.B., OR 1/2" PLYWOOD, FASTENED PER IRC. AT EXTERIOR CORNERS, SHEATHING SHALL BE FASTENED PER KSE BRACED WALL DETAILS. AT INTERIOR WALL INTERSECTIONS, FASTEN STUDS & WALL BRACING PER KSE BRACED WALL DETAILS.
- BRACED WALL PANELS AND ENGINEERED SHEAR WALLS ARE PROVIDED PER IRC. PANEL LENGTHS SHOWN ON PLANS ARE THE MINIMUM LENGTH REQUIRED.



**(A) METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION**  
 MONOLITHIC SLAB OR BASEMENT FOUNDATION



**(B) METHOD CS-PF: CONTINUOUS PORTAL FRAME PANEL CONSTRUCTION**  
 STEMWALL SLAB OR CRAWL SPACE FOUNDATION



**(C) METHOD PFH: PORTAL FRAME WITH HOLD-DOWNS**  
 MONOLITHIC SLAB OR BASEMENT FOUNDATION

TWO CONT. 2x TOP PLATES, EXTEND EACH END INTO ADJACENT WALL. NAIL SPLICES WITH 8-16d NAILS PER SPLICE/LAP.

CONT. 2x PLATE WITH 10d NAILS AT 16" O.C. INTO HEADER/BEAM

3/4" O.S.B. OR 1 1/2" PLYWOOD EXTERIOR WALL SHEATHING AT UNSHADED AREAS (BEAM, INFILL WALL ABOVE BEAM, AND CENTER WALL). NAIL SHEATHING TO ALL SUPPORTS (STUDS, PLATES, BLOCKING, ETC.) WITH 8d NAILS AT 6" O.C. AT SHEET EDGES AND 12" O.C. IN THE FIELD.

WHERE FULL HEIGHT PANEL WIDTH EXCEEDS 16", PROVIDE ADDITIONAL STUDS AT 16" O.C. NAIL SHEATHING TO ALL STUDS WITH 8d NAILS AT 3" O.C.

FOR A PANEL SPLICE (IF NEEDED), PANEL EDGES SHALL BE BLOCKED AND OCCUR WITHIN 24" OF MID HEIGHT. ONE ROW OF TYP. SHEATHING-TO-FRAMING IS REQUIRED IN EACH PANEL

3/4" O.S.B. OR 1 1/2" PLYWOOD EXTERIOR WALL SHEATHING. AT SHADED AREAS NAIL SHEATHING TO ALL SUPPORTS (STUDS, PLATES, BLOCKING, ETC.) WITH 8d NAILS AT 3" O.C.

(2) 2x STUD MIN. AT START AND END OF WALL SEGMENTS EACH SIDE OF OPENING. SEE PLANS FOR ADDITIONAL STUDS

2x4 P.T. PLATE WITH TWO 1/2" DIA x 8" EMBED ANCHOR BOLTS WITH A 3/16"x2"x2" PLATE WASHERS

EXTENT OF HEADER DOUBLE PORTAL FRAME (TWO BRACED WALL SEGMENTS)

EXTENT OF HEADER SINGLE PORTAL FRAME (ONE BRACED WALL SEGMENT)

MINIMUM 3"x1 1/4" CONTINUOUS BEAM FULL LENGTH OF FRAME, SEE PLANS FOR SIZE

NAIL THE SHEATHING IN SHADED AREA TO BEAM WITH 8d NAILS AT 3" O.C. EACH WAY

(2) ROWS 16d NAILS AT 3" O.C.

(2) SIMPSON CS16 OR USP RS150 x 48" LONG COIL STRAPS WITH 10d NAILS EACH HOLE ON INSIDE FACE OF WALL

SIMPSON OR USP LSTA21 WITH 16-10d NAILS ON INSIDE FACE OF WALL

(2) SIMPSON CS16 OR USP RS150 x 48" LONG COIL STRAPS WITH 10d NAILS EACH HOLE ON INSIDE FACE OF WALL

CONCRETE FOUNDATION WALL

TURNED DOWN SLAB AT GARAGE DOOR OPENING

2x4 P.T. PLATE WITH TWO 1/2" DIA x 8" EMBED ANCHOR BOLTS WITH A 3/16"x2"x2" PLATE WASHERS

#4 VERTICAL DOWEL EACH END OF WALL HOOKED INTO TOP COURSE OF WALL. HORIZ. LEG TO EXTEND FULL LENGTH OF WALL (OR LAP MIN 24" WITH DOWEL FROM OTHER END OF WALL. VERT. LEG TO EXTEND FULL HEIGHT OF WALL

#4 VERTICAL DOWEL FULL HEIGHT OF WALL, WITH STD HOOK IN FOOTING, IN CELL EACH END OF WALL IN LIEU OF CAST-IN-PLACE DOWEL VERT. #4 CAN BE DRILLED AND EPOXIED 5" INTO FOOTING USING SIMPSON "SET"/"ET" OR USP CA-GEL ADHESIVE.

8" CMU WALL, BRICK VENEER NOT SHOWN. GROUT CMU SOLID AT REINFORCING.

TURNED DOWN SLAB AT GARAGE DOOR OPENING

2x4 P.T. PLATE WITH TWO 1/2" DIA x 8" EMBED ANCHOR BOLTS WITH A 3/16"x2"x2" PLATE WASHERS

REFER TO OPPOSITE SIDE FOR REINFORCING REQUIREMENTS

(2) 2x STUD MIN. AT START AND END OF WALL SEGMENTS EACH SIDE OF OPENING. SEE PLANS FOR ADDITIONAL STUDS

SIMPSON STH14 OR USP STAD14 STRAP-TIE HOLD DOWN WITH (30) 16d SINKERS AT STUDS. INSTALL PER MANUFACTURER'S SPECS.

DOUBLE 2x4 P.T. PLATE WITH ONE 3/8" DIA x 8" EMBED ANCHOR BOLT WITH A 3/16"x2"x2" PLATE WASHER

SIMPSON LTI20B OR USP LTS20B HOLD DOWN

CONCRETE FOUNDATION WALL

TURNED DOWN SLAB AT GARAGE DOOR OPENING

DOUBLE 2x4 P.T. PLATE WITH ONE 3/8" DIA x 8" EMBED ANCHOR BOLT WITH A 3/16"x2"x2" PLATE WASHER

SIMPSON STH14 OR USP STAD14 STRAP-TIE HOLD DOWN WITH (30) 16d SINKERS AT STUDS. INSTALL PER MANUFACTURER'S SPECS.

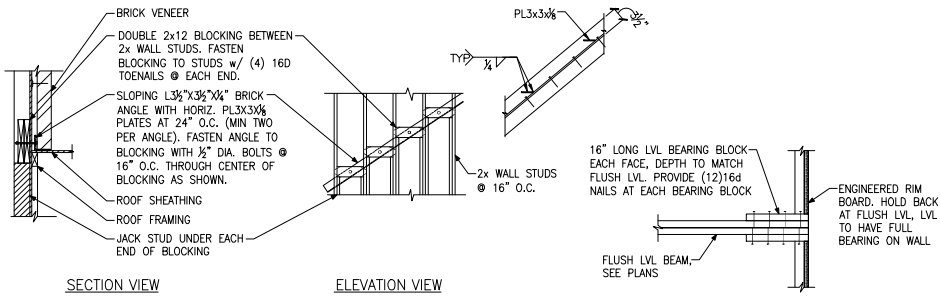
CONTINUOUS #4 HIGH AND LOW. PROVIDE MIN 24" LAPS WHERE SPLICED.



Portal Frame Details

Up to 130 M.P.H.  
 North Carolina

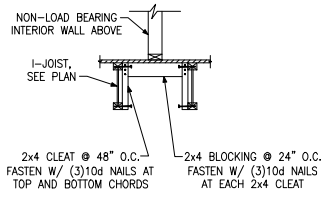
|              |  |
|--------------|--|
| Project #:   | 105-19000                                |
| Designed By: | KRK                                      |
| Checked By:  |  |
| Issue Date:  | 1/1/19                                   |
| Re-Issue:    |  |
| Scale:       | 1/8"=1'-0" @ 11x17<br>1/4"=1'-0" @ 22x34 |



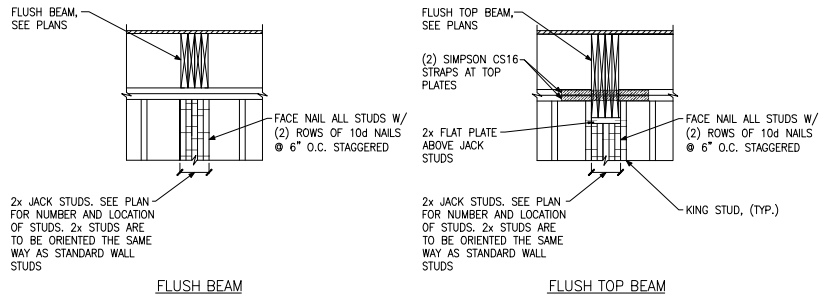
SECTION VIEW ELEVATION VIEW

(A) BRICK LEDGER CONNECTION DETAIL

(B) BEARING ENHANCER FLUSH LVL



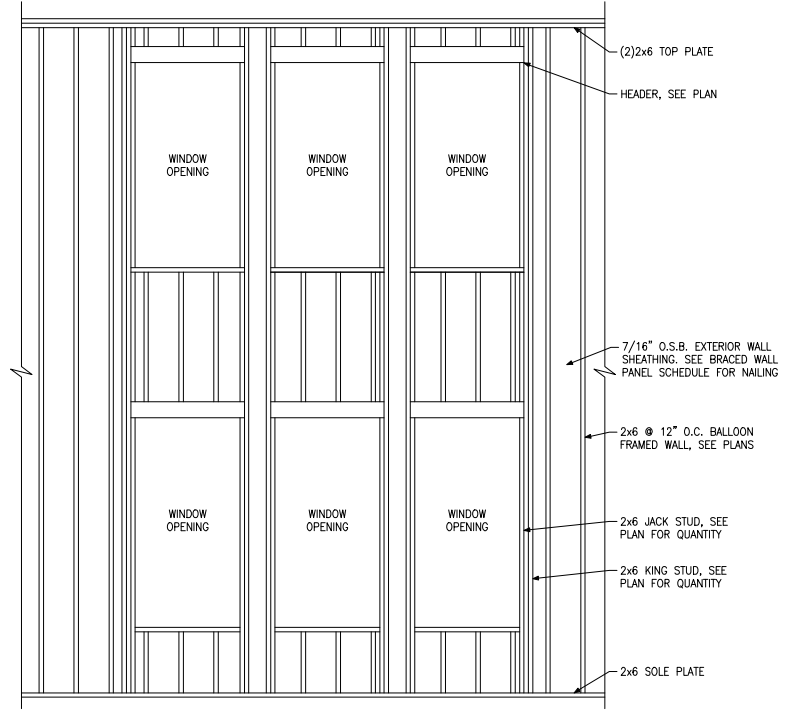
(C) L-JOIST LADDER BLOCKING AS REQUIRED @ PARALLEL WALLS



FLUSH BEAM

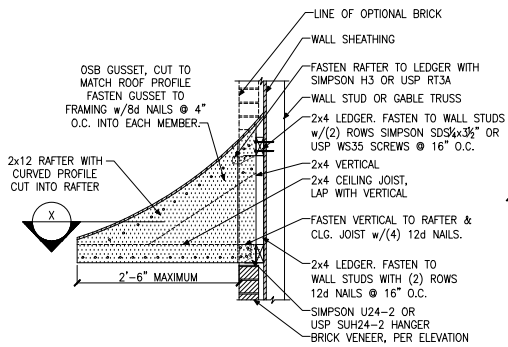
FLUSH TOP BEAM

(E) BUILT-UP STUD DETAIL SUPPORTING BEAM

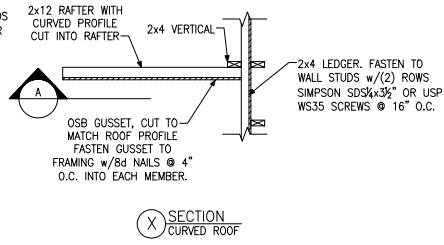


(D) BALLOON FRAMED WALL DETAIL N.T.S.

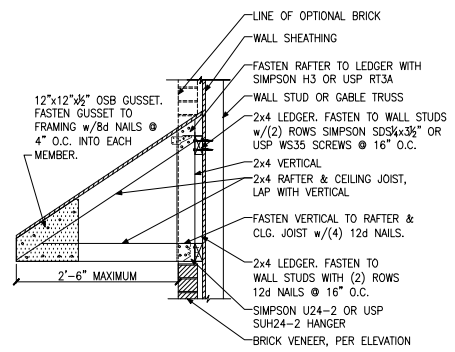




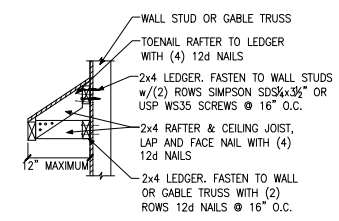
**A** PENT ROOF DETAIL  
CURVED ROOF



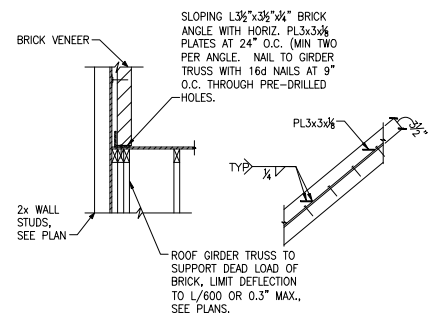
**X** SECTION  
CURVED ROOF



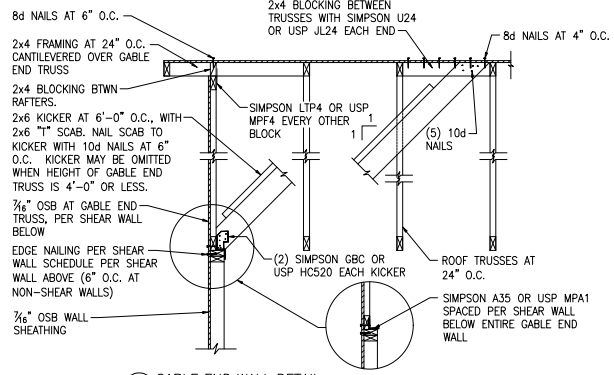
**B** PENT ROOF DETAIL  
STRAIGHT ROOF



**C** EYEBROW ROOF DETAIL  
STRAIGHT ROOF



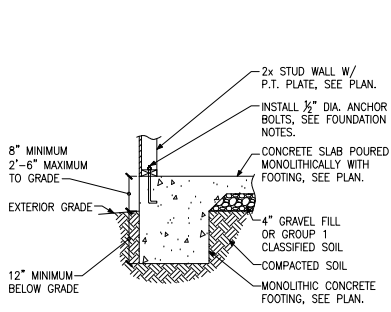
**D** TRUSS DETAIL



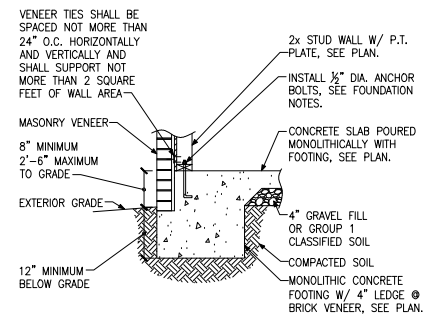
**E** GABLE END WALL DETAIL

|              |  |
|--------------|--|
| Project #:   | 105-19000                                |
| Designed By: | KRK                                      |
| Checked By:  |  |
| Issue Date:  | 1/1/19                                   |
| Re-Issue:    |  |
| Scale:       | 1/8"=1'-0" @ 11x17<br>1/4"=1'-0" @ 22x34 |

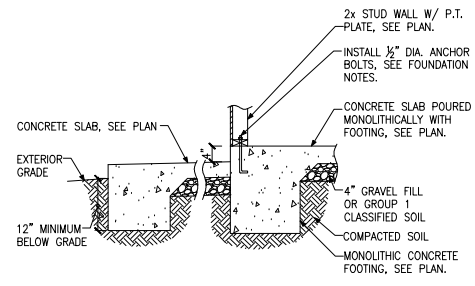




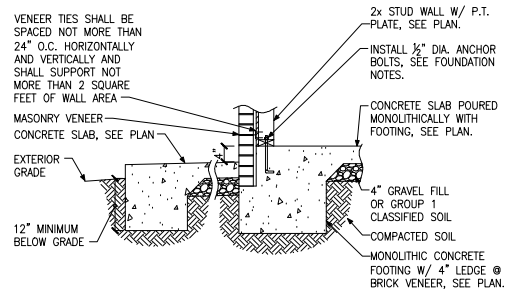
**A** FOUNDATION SECTION  
EXTERIOR WALL



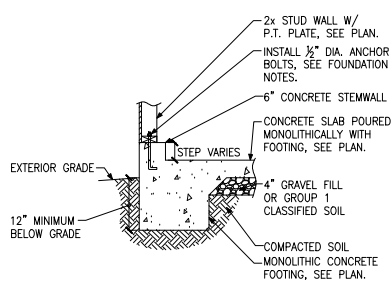
**B** FOUNDATION SECTION  
EXTERIOR WALL @ MASONRY  
VENEER



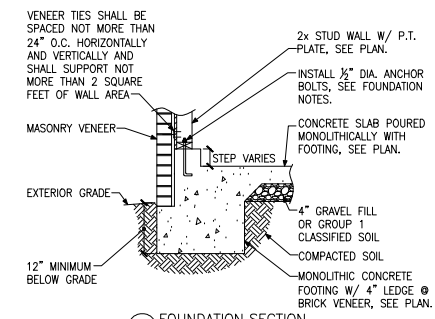
**C** FOUNDATION SECTION  
EXTERIOR WALL AT PORCH



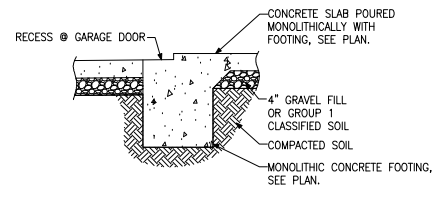
**D** FOUNDATION SECTION  
EXTERIOR WALL AT PORCH W/ MASONRY  
VENEER



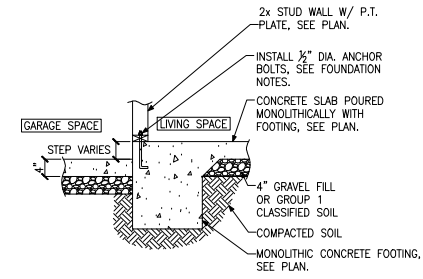
**E** FOUNDATION SECTION  
EXTERIOR GARAGE WALL



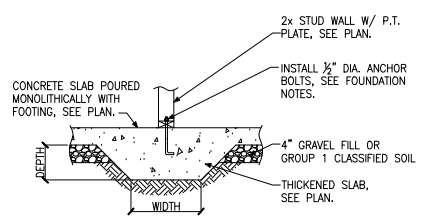
**F** FOUNDATION SECTION  
EXTERIOR GARAGE WALL @ MASONRY  
VENEER



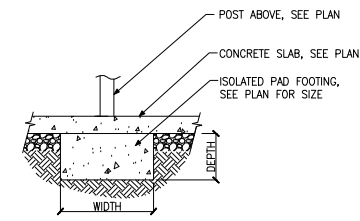
**G** FOUNDATION SECTION  
GARAGE DOOR



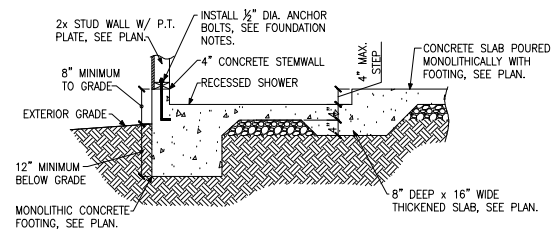
**H** FOUNDATION SECTION  
INTERIOR GARAGE WALL



**J** FOUNDATION SECTION  
THICKENED SLAB



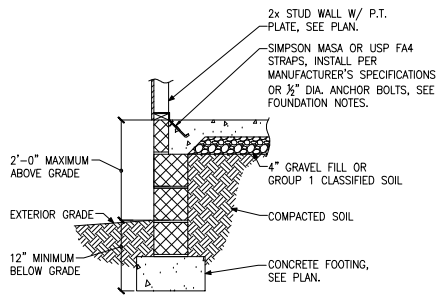
**K** FOUNDATION SECTION  
ISOLATED PAD FOOTING



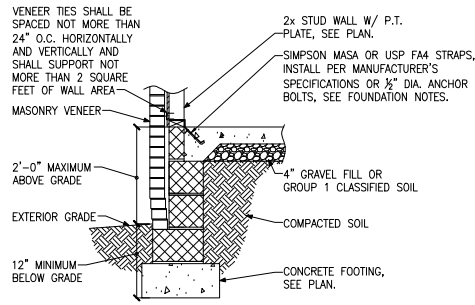
**L** FOUNDATION SECTION  
THICKENED SLAB @ RECESSED SHOWER



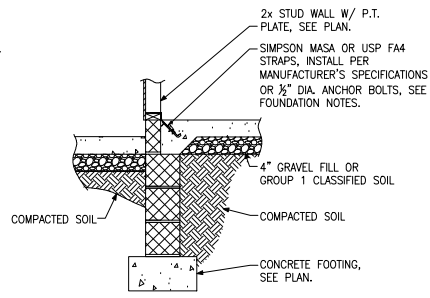
|              |  |
|--------------|--|
| Project #:   | 105-19000                                |
| Designed By: | KRK                                      |
| Checked By:  |  |
| Issue Date:  | 1/1/19                                   |
| Re-Issue:    |  |
| Scale:       | 1/8"=1'-0" @ 11x17<br>1/4"=1'-0" @ 22x34 |



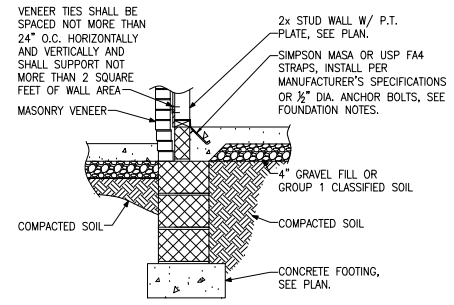
**A** FOUNDATION SECTION  
EXTERIOR WALL



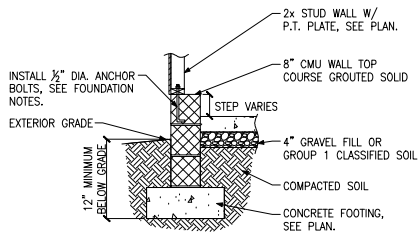
**B** FOUNDATION SECTION  
EXTERIOR WALL @ MASONRY  
VENEER



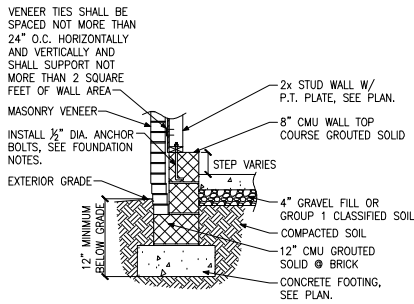
**C** FOUNDATION SECTION  
EXTERIOR WALL AT PORCH



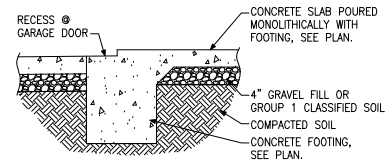
**D** FOUNDATION SECTION  
EXTERIOR WALL AT PORCH W/ MASONRY  
VENEER



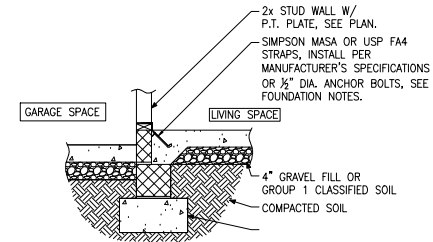
**E** FOUNDATION SECTION  
EXTERIOR GARAGE WALL



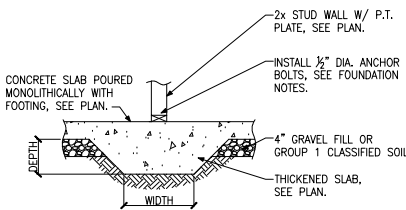
**F** FOUNDATION SECTION  
EXTERIOR GARAGE WALL @ MASONRY  
VENEER



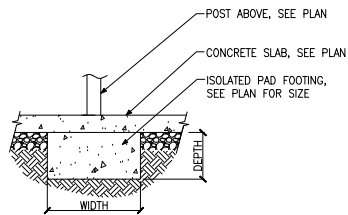
**G** FOUNDATION SECTION  
GARAGE DOOR



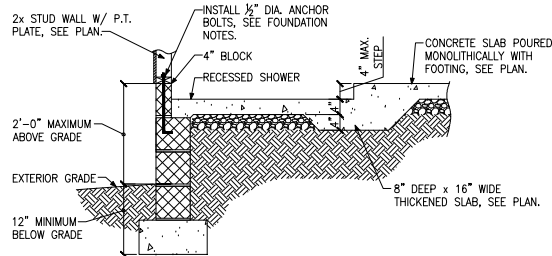
**H** FOUNDATION SECTION  
INTERIOR GARAGE WALL



**J** FOUNDATION SECTION  
THICKENED SLAB

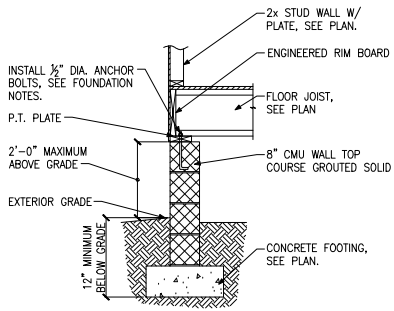


**K** FOUNDATION SECTION  
ISOLATED PAD FOOTING

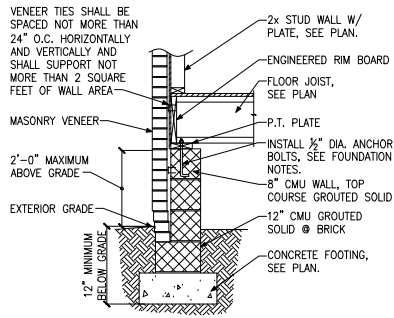


**L** FOUNDATION SECTION  
THICKENED SLAB @ RECESSED SHOWER

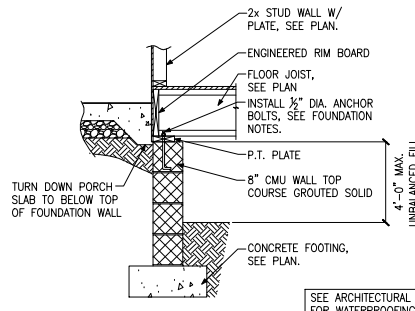




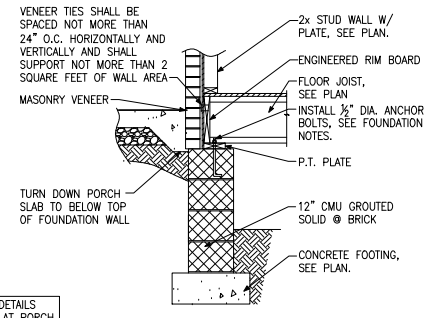
**A** FOUNDATION SECTION  
EXTERIOR WALL



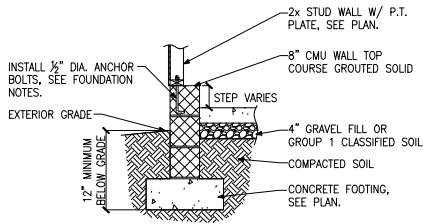
**B** FOUNDATION SECTION  
EXTERIOR WALL @ MASONRY VENEER



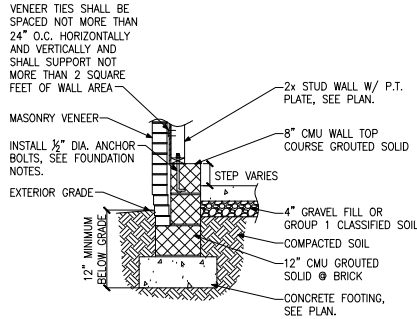
**C** FOUNDATION SECTION  
EXTERIOR WALL AT PORCH



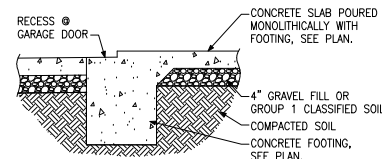
**D** FOUNDATION SECTION  
EXTERIOR WALL AT PORCH W/ MASONRY VENEER



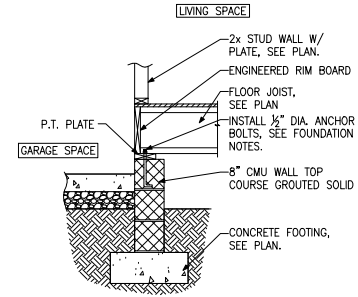
**E** FOUNDATION SECTION  
EXTERIOR GARAGE WALL



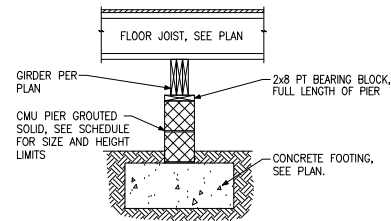
**F** FOUNDATION SECTION  
EXTERIOR GARAGE WALL @ MASONRY VENEER



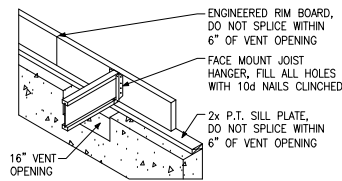
**G** FOUNDATION SECTION  
GARAGE DOOR



**H** FOUNDATION SECTION  
INTERIOR GARAGE WALL



**J** FOUNDATION SECTION  
INTERIOR PIER

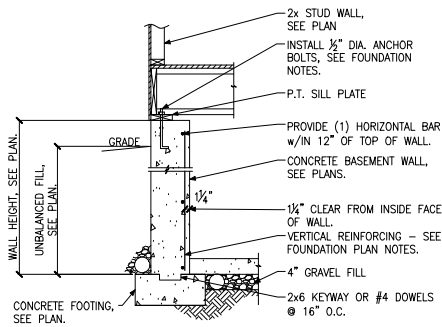


**K** CRAWL SPACE VENT DETAIL

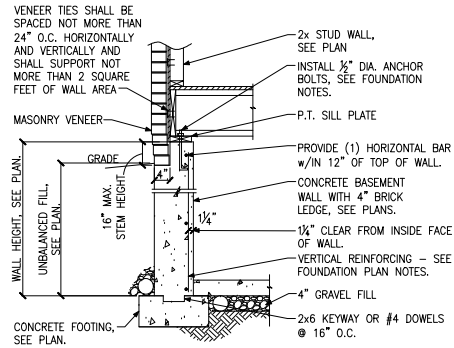
| PIER AND FOOTING SCHEDULE |           |                        |
|---------------------------|-----------|------------------------|
| PIER HEIGHT               | PIER SIZE | MIN. FOOTING SIZE      |
| UP TO 2'-8"               | 8" x 16"  | 24" x 24" x 12" U.N.O. |
| UP TO 5'-4"               | 16" x 16" | 24" x 24" x 12" U.N.O. |
| UP TO 8'-0"               | 16" x 16" | 30" x 30" x 12" U.N.O. |

NOTE:  
PIERS SHALL BE CAPPED WITH 8" OF SOLID MASONRY OR CONCRETE OR TOP COURSE FILLED SOLID WITH CONCRETE/MORTAR.  
PIERS OVER 5'-4" SHALL BE FILLED SOLIDLY WITH CONCRETE OR TYPE M OR S MORTAR.  
FOR PIERS OVER 8'-0" CONTACT KSE ENGINEERING FOR PIER AND FOOTING DESIGN.

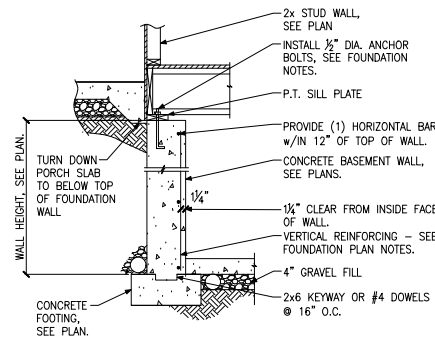




**(A)** FOUNDATION SECTION  
EXTERIOR WALL

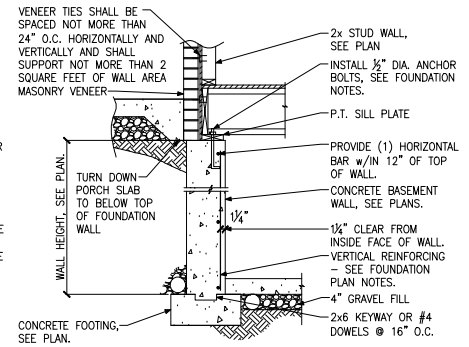


**(B)** FOUNDATION SECTION  
EXTERIOR WALL @ MASONRY VENEER

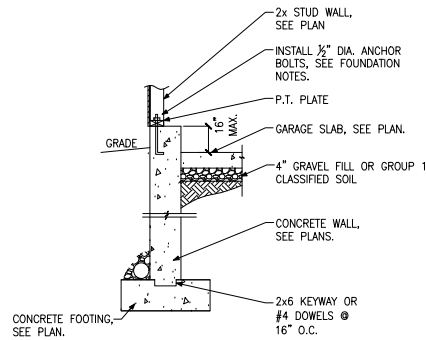


**(C)** FOUNDATION SECTION  
EXTERIOR WALL AT PORCH

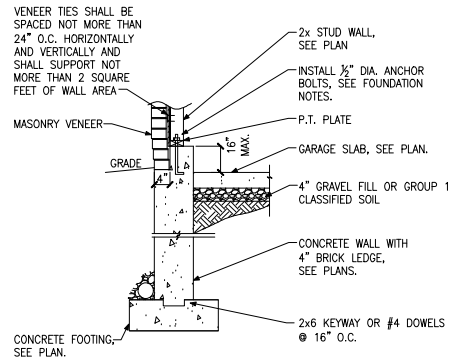
SEE ARCHITECTURAL DETAILS  
FOR WATERPROOFING AT PORCH  
SLAB/WOOD FRAMING.



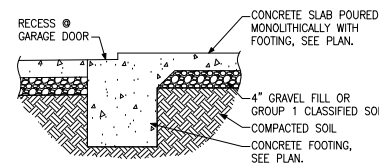
**(D)** FOUNDATION SECTION  
EXTERIOR WALL AT PORCH W/ MASONRY VENEER



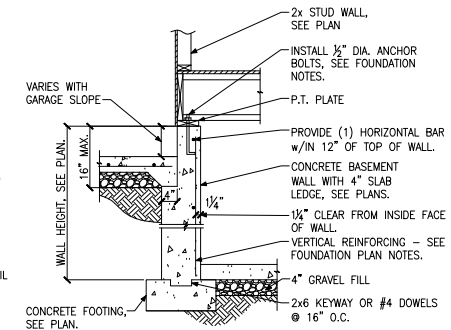
**(E)** FOUNDATION SECTION  
EXTERIOR GARAGE WALL



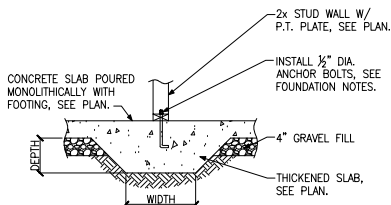
**(F)** FOUNDATION SECTION  
EXTERIOR GARAGE WALL @ MASONRY VENEER



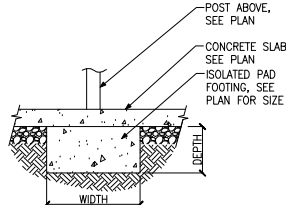
**(G)** FOUNDATION SECTION  
GARAGE DOOR



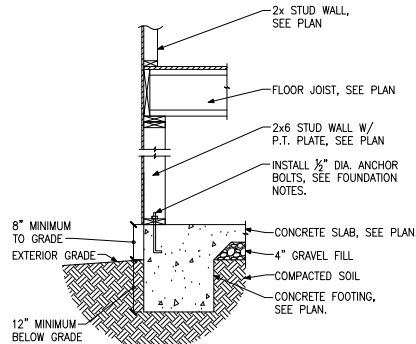
**(H)** FOUNDATION SECTION  
INTERIOR GARAGE WALL



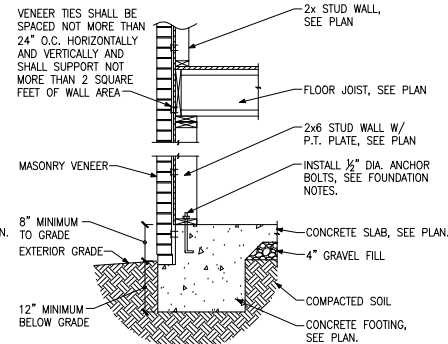
**(J)** FOUNDATION SECTION  
THICKENED SLAB



**(K)** FOUNDATION SECTION  
ISOLATED PAD FOOTING



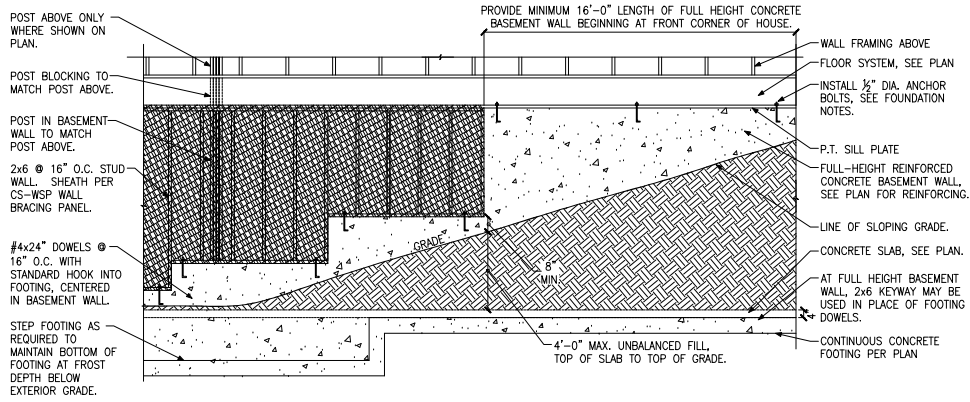
**(L)** FOUNDATION SECTION  
WALKOUT BASEMENT



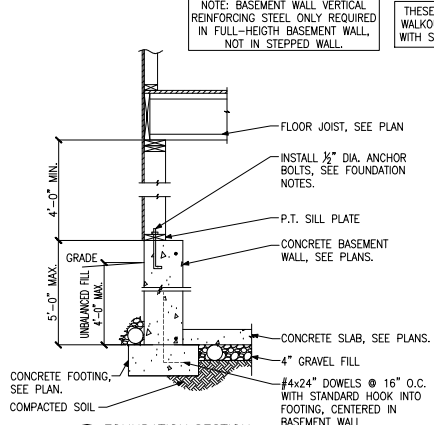
**(M)** FOUNDATION SECTION  
WALKOUT BASEMENT



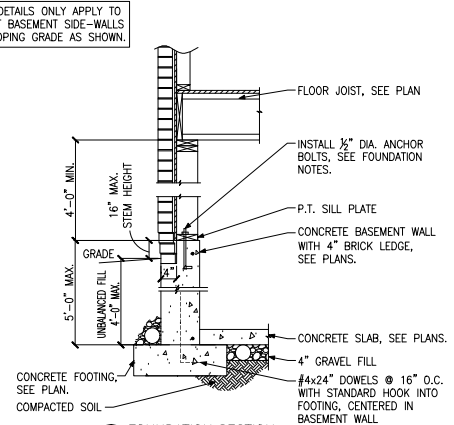
|              |  |
|--------------|--|
| Project #:   | 105-19000                                |
| Designed By: | KRK                                      |
| Checked By:  |  |
| Issue Date:  | 1/1/19                                   |
| Re-Issue:    |  |
| Scale:       | 1/8"=1'-0" @ 11x17<br>1/4"=1'-0" @ 22x34 |



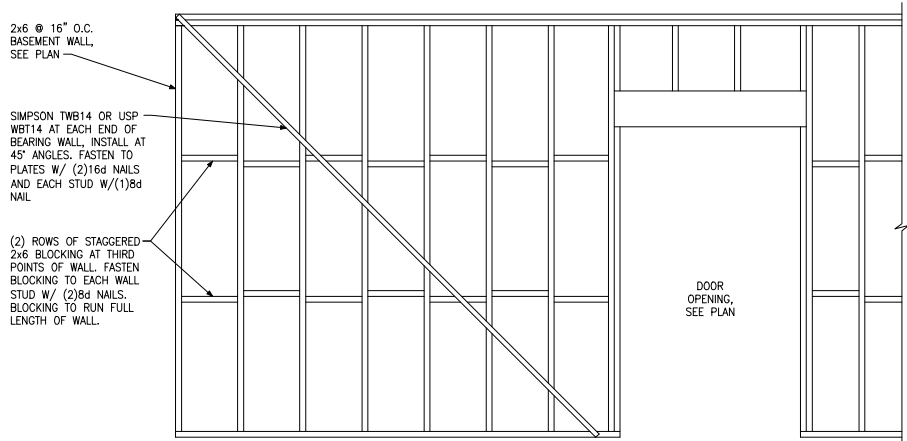
**(A) FOUNDATION ELEVATION  
STEPPED SIDEWALL**



**(B) FOUNDATION SECTION  
STEPPED SIDEWALL**



**(C) FOUNDATION SECTION  
STEPPED SIDEWALL @ MASONRY  
VENEER**



**(D) BASEMENT BEARING WALL BRACING DETAIL**

NOTE: BLOCKING AND SIMPSON STRAPS ARE NOT REQUIRED IF WALL IS SHEATHED ON ONE FACE WITH GYPSUM WALL BOARD

NOTE: BASEMENT WALL VERTICAL REINFORCING STEEL ONLY REQUIRED IN FULL-HEIGHT BASEMENT WALL, NOT IN STEPPED WALL.

THESE DETAILS ONLY APPLY TO WALKOUT BASEMENT SIDE-WALLS WITH SLOPING GRADE AS SHOWN.

|              |  |
|--------------|--|
| Project #:   | 105-19000                                |
| Designed By: | KRK                                      |
| Checked By:  |  |
| Issue Date:  | 1/1/19                                   |
| Re-Issue:    |  |
| Scale:       | 1/8"=1'-0" @ 11x17<br>1/4"=1'-0" @ 22x34 |

