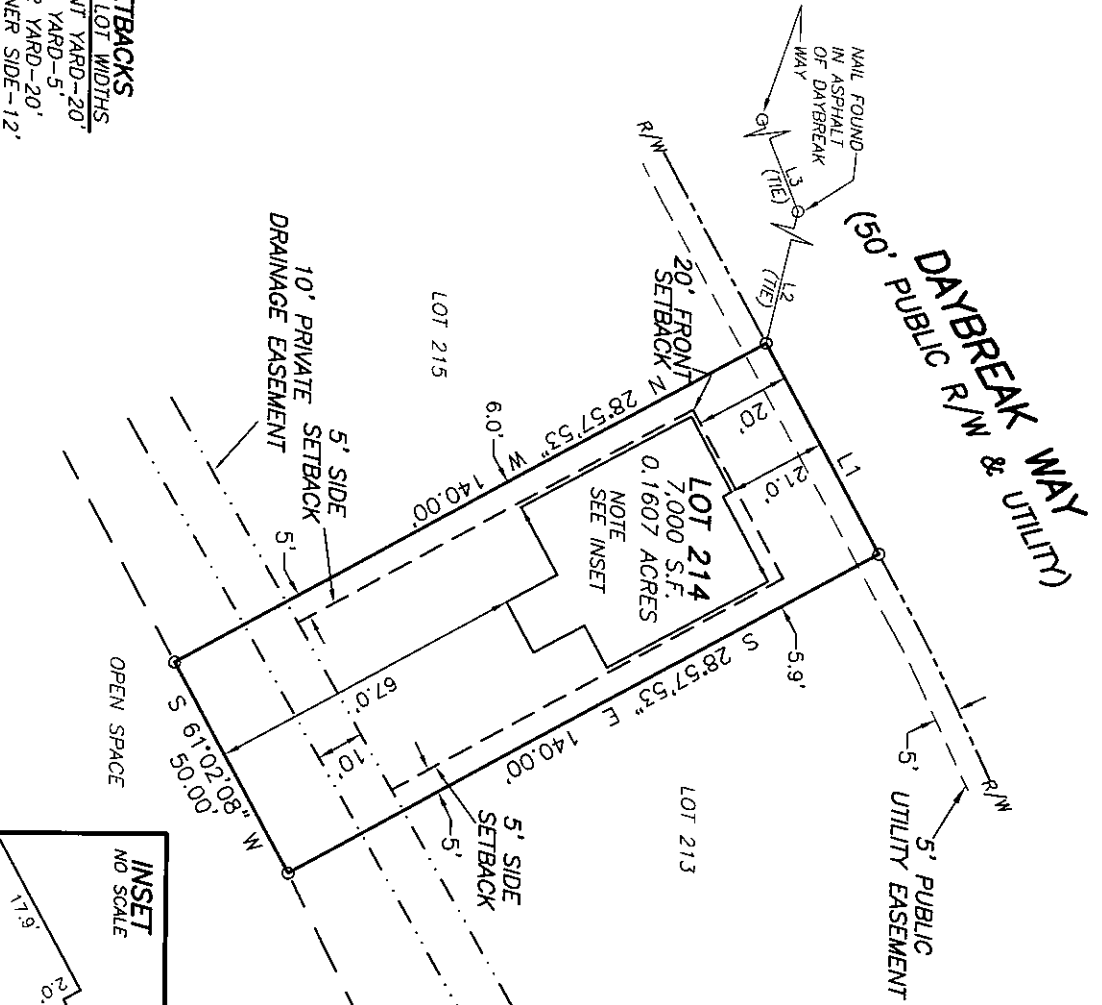


LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 61°02'07" E	50.00'
L2	N 77°23'02" W	80.05'
L3	S 68°05'42" W	213.28'



SETBACKS
>43' LOT WIDTHS
 FRONT YARD-20'
 SIDE YARD-5'
 REAR YARD-20'
 CORNER SIDE-12'

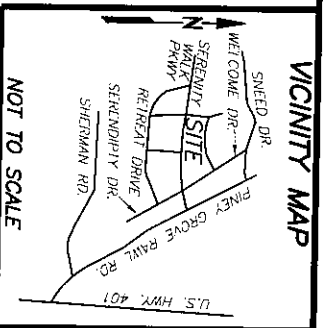
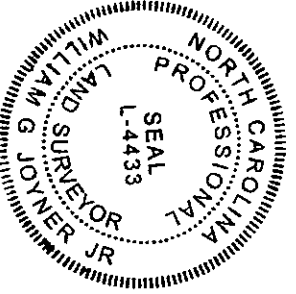
- NOTES:
1. ALL EASEMENTS, RIGHTS OF WAY AND BOUNDARY INFORMATION TAKEN FROM P.B. 2023, PG. 472-482 UNLESS OTHERWISE NOTED.
 2. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.

NOTE:
 RATIO OF PRECISION IS 1:10,000+, MISCLOSURE WAS DISTRIBUTED BY THE COMPASS METHOD. THE DISTANCES ON THIS MAP ARE ADJUSTED HORIZONTAL GROUND UNLESS NOTED OTHERWISE. ALL AREAS ARE CALCULATED BY COORDINATE COMPUTATION.

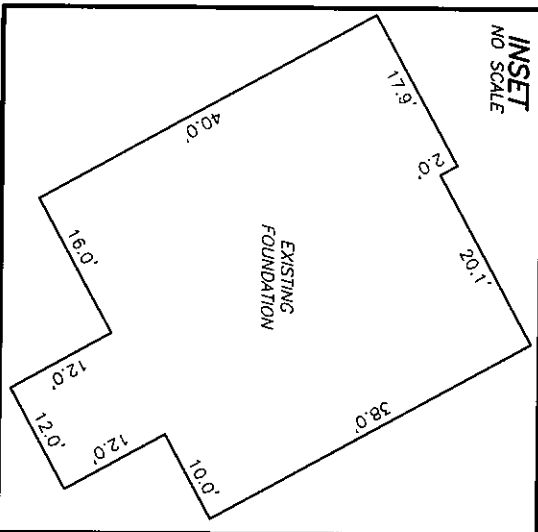
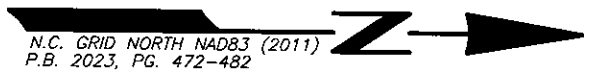
LOT 214 SERENITY SUBDIVISION
PHASE 2E
51 DAYBREAK WAY
HARNETT COUNTY
FUQUAY-VARINA, N.C. 27526

REFERENCE: PLAT BOOK 2023 PAGE 472-482.

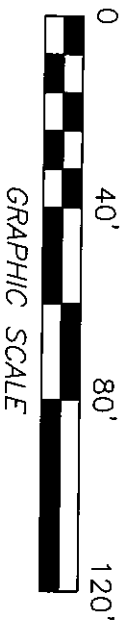
I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION. DESCRIPTION RECORDED IN REFERENCES AS SHOWN THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN PRECISION IS 1:10,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.16000).
 THIS 3rd DAY OF OCTOBER 2024.
William G Joyner Jr
 PROFESSIONAL LAND SURVEYOR E-4433



- REFERENCES:
1. D.B. 4229 PG. 1542
 2. D.B. 0645-93-2035.000
 3. D.B. 08065502 0032 54
- NOTICE OF DEVELOPMENT GUIDELINES:
 2. D.B. 4149, PG. 210
 RESTRICTIVE COVENANTS:
 3. D.B. 4109, PG. 612



FOUNDATION SURVEY FOR
DREES HOMES



FILE: STY107214FD

ROBINSON & PLANTE PC
 LAND SURVEYING
 C-2687
 970 TRINITY ROAD
 RALEIGH, N.C. 27607
 PHONE (919) 859-6030
 FAX (919) 859-6032

DATE: 10-2-24 SCALE: 1"=40'