



NC DEPARTMENT OF HEALTH AND HUMAN SERVICES

ROY COOPER • Governor
KODY H. KINSLEY • Secretary
MARK BENTON • Deputy Secretary for Health
SUSAN KANSAGRA • Assistant Secretary for Public Health
Division of Public Health

Permit #: FD 2404-0118

Submittal includes: [X] (a2) Improvement Permit [ ] (a2) Construction Authorization [ ] Fee \$

IMPROVEMENT PERMIT FOR G.S. 130A-335(a2)

County: HARNETT
PIN/Lot Identifier: 9579-52-3028.000
Issued To: ANDREW JENKINS (14652 MACDOUGALD RD)
Property Location: 0.67 MI WEST OF DOLLHOUSE RD, ON NORTH SIDE OF MCDUGALD RD
Subdivision (if applicable): (ADJACENT TO 14554 MCDUGALD RD)
LSS Report Provided: Yes [X] No [ ]

If yes, name and license number of LSS: ROBIN M. PEREZ LSS 1205
New [X] Expansion [ ] System Relocation [ ] Change of Use [ ]

Proposed Structure: 6 BEDROOM HOUSE
Number of bedrooms: 6 Number of Occupants: 12 Other:

Design Wastewater Strength: [X] domestic [ ] high strength [ ] industrial process
Proposed Design Daily Flow: 720 GPD Proposed LTAR (Initial): 0.4 Proposed LTAR (Repair): 0.4
Proposed Wastewater System Type\*: III b, g LOW PROFILE (Initial) Pump Required: [ ] Yes [ ] No [X] May be required
Proposed Wastewater System Type\*: III b, g CHAMBER (Repair) Pump Required: [ ] Yes [ ] No [X] May be required

\*Please include system classification for proposed wastewater system types in accordance with 15A NCAC 18A .1961 Table V(a)
Saprolite System (Initial): [ ] Yes [X] No Saprolite System (repair): [ ] Yes [X] No
Fill System (Initial): [ ] Yes [X] No If yes, specify: [ ] New [ ] Existing (when adding more than 6 inches of fill to system area provide a fill plan)
Fill System (repair): [ ] Yes [X] No If yes, specify: [ ] New [ ] Existing (when adding more than 6 inches of fill to system area provide a fill plan)
Usable Soil Depth (Initial): 24-30" Usable Soil Depth (Repair): 24-30"
Max. Trench Depth (Initial)\*: 12" Max. Trench Depth (Repair)\*: 12" \*Measured on the downhill side of the trench

Artificial Drainage Required: [ ] Yes [X] No If yes, please specify details:
Type of Water Supply: [ ] Private well [ ] Public well [ ] Shared well [X] Municipal Supply [ ] Spring [ ] Other:
Drainfield location meets requirements of Rule .1945: Yes [X] No [ ] Drainfield location meets requirements of Rule .1950: Yes [X] No [ ]
Permit valid for: [X] Five years [site plan submitted pursuant to GS 130A-334(13a)] [ ] No expiration [plat submitted pursuant to GS 130A-334(7a)]

Permit conditions:
S SOIL AREA SHOWN WITH 24-30" SUITABLE DEPTA, 28,000 SF
140' X 200'

Licensed Soil Scientist Print Name: Robin M. Perez LSS 1205
Licensed Soil Scientist Signature: [Signature] Date: 7/24/2024

The LSS evaluation is being submitted pursuant to and meets the requirements of G.S. 130A-335(a2).
\*See attached site sketch\*

**This Section for Local Health Department Use Only**

Initial submittal received: \_\_\_\_\_ by MA  
Date Initials

G.S. 130A-335(a3) states the following:

*When an applicant for an Improvement Permit submits to a local health department an Improvement Permit application, the permit fee charged by the local health department, the common form developed by the Department, and a soil evaluation pursuant to subsection (a2) of this section, the local health department shall, within five business days of receiving the application, conduct a completeness review of the submittal. A determination of completeness means that the improvement Permit includes all of the required components. If the local health department determines that the Improvement Permit is incomplete, the local health department shall notify the applicant of the components needed to complete the Improvement Permit. The applicant may submit additional information to the local health department to cure the deficiencies in the Improvement Permit. The local health department shall make a final determination as to whether the Improvement Permit is complete within five business days after the local health department receives the additional information from the applicant. If the local health department fails to act within any period set out in this subsection, the applicant may treat the failure to act as a determination of completeness. The Department shall develop a common form for use as the Improvement Permit.*

The review for completeness of this Improvement Permit was conducted in accordance with G.S. 130A-335(a3). This Improvement Permit is determined to be:

Incomplete (If box is checked, information in this section is required.)

The following items are missing:

\_\_\_\_\_  
 \_\_\_\_\_

Copies of this were sent to the LSS and the Applicant on \_\_\_\_\_  
Date

State Authorized Agent: \_\_\_\_\_ Date: \_\_\_\_\_

Complete

State Authorized Agent: Mahesh REHS Date: 8-15-24

This Improvement Permit is issued pursuant to G.S. 130A-335 (a2) and (a3) using the signed and sealed LSS/LG evaluation(s) attached here. The issuance of this permit by the Health Department in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements. This permit is subject to revocation if the site plan, plat, or the intended use changes. The Improvement Permit shall not be affected by a change in ownership of the site. This permit is subject to compliance with the provisions of the Laws and Rules for Sewage Treatment and Disposal and to the conditions of this permit.

The Department, the Department's authorized agents, and the local health departments shall be discharged and released from any liabilities, duties, and responsibilities imposed by statute or in common law from any claim arising out of or attributed to evaluations, submittals, or actions from a licensed soil scientist or licensed geologist pursuant to GS 130A-335(a2).

Improvement Permit Expiration Date: 8-15-29

\*See attached site sketch\*

**SOIL/SITE EVALUATION**  
(Continuation Sheet-Complete all field in full)

Sheet 1 of 4

DEPARTMENT OF HEALTH AND HUMAN SERVICES  
DIVISION OF PUBLIC HEALTH  
ENVIRONMENTAL HEALTH SECTION  
ON-SITE WATER PROTECTION BRANCH

PROPERTY ID #: 9579-52-3028  
DATE OF EVALUATION: 7/21/23  
COUNTY: HARNETT

P R O F I L E #	.1940 LANDSCAPE POSITION/ SLOPE %	HORIZ ON DEPTH (IN.)	SOIL MORPHOLOGY (.1941)		OTHER PROFILE FACTORS				PROFILE CLASS & LTAR
			.1941 STRUCTURE/ TEXTURE	.1941 CONSISTENCE/ MINERALOGY	.1942 SOIL WETNESS/ COLOR	.1943 SOIL DEPTH	.1956 SAPRO CLASS	.1944 RESTR HORIZ	
1	SS 29% PS	0-18	GR, SL	FR, NP, NS	30" 10yr 7/2 PS	40"+ PS	—	—	PS 0.4
		18-30	SBK, SCL	F, SP, SS, SXP					
		30-40	SBK, SCL	VF, SP, SS, SXP					
2	SS 39% PS	0-8	GR, SL	FR, NP, NS	18" 10yr 8/ 10yr 8/2 U/PS DRIP	28"+ U/PS	—	—	U/PS DRIP SFC/6" 0.3
		8-16	ABK, SCL	F, SP, SS, SXP					
		18-24	SBK, C	F, P, S, SXP					
		24-28	SBK, C	F, P, S, SXP					
3	SS 39% PS	0-6	GR, SL	FR, NP, NS	24" 10yr 8/ 10yr 8/2 U/PS LP ACCEP.	40"+ PS	—	—	U/PS 12" 0.3 DRIP
		6-12	ABK, SCL	F, SP, SS, SXP					
		12-24	SBK, C	F, P, S, SXP					
		24-40	SBK, C	F, P, S, SXP					
4	SS 59% PS	0-6	GR, SL	FR, NP, NS	24" 10yr 8/2 U/PS	48" PS	—	—	U/PS 12" 0.3 DRIP
		6-12	GR, SCL	F, SP, SS, SXP					
		12-24	SBK, SC	F, P, S, SXP					
		24-48	SBK, SC	F, P, S, SXP					
5	SS 59% PS	0-8	GR, SL	FR, NP, NS	48" PS	48"	—	—	PS 0.4 CONV.
		8-18	GR, SL	FR, NP, NS					
		18-28	SBK, SCL	F, SP, SS, SXP					
		28-48	ABK, SCL	F, SP, SS, SXP					

COMMENTS: HOLES 1, 8, 9, 10, 11 + 12 PS FOR SHALLOW CONVENTIONAL (12") OR LOW PROFILE CHAMBER WITHOUT 25% REDUCTION, HOLES 2, 3, 5, 6, 7 → SURFACE DRIP PUMP MAY BE REQUIRED.

**SOIL/SITE EVALUATION**  
(Continuation Sheets-Complete all field in full)

Sheet 2 of 4

DEPARTMENT OF HEALTH AND HUMAN SERVICES  
DIVISION OF PUBLIC HEALTH  
ENVIRONMENTAL HEALTH SECTION  
ON-SITE WATER PROTECTION BRANCH

PROPERTY ID #: 9579-52-3028  
DATE OF EVALUATION: 7/21/23  
COUNTY: HARNETT

P R O F I L E #	.1940 LANDSCAPE POSITION/ SLOPE %	HORIZ ON DEPTH (IN.)	SOIL MORPHOLOGY (.1941)		OTHER PROFILE FACTORS				PROFILE CLASS & LTAR
			.1941 STRUCTURE/ TEXTURE	.1941 CONSISTENCE/ MINERALOGY	.1942 SOIL WETNESS/ COLOR	.1943 SOIL DEPTH	.1956 SAPRO CLASS	.1944 RESTR HORIZ	
6	SS 49% PS	0-6	GR, SL	FR, NP, NS	U/PS	PS  36"	—	—	U/PS DRIP 0.3
		6-12	GR, SL	FR, NP, NS	20"				
		12-20	SBK, SCL	F, SP, SS, SXP	10yr 8/1				
		20-36	SBK, SCL	F, P, S, SXP	10yr 8/2				
7	SS 29% PS	0-4	GR, SL	FR, NP, NS	U/PS	PS  36"	—	—	U/PS DRIP 0.3
		4-10	GR, SL	FR, NP, NS	18"				
		10-18	SBK, SCL	F, SP, SS, SXP	10yr 8/1				
		16-24	SBK, SCL	F, P, S, SXP	10yr 8/2				
		24-36	SBK, SC	F, P, S, SXP					
8	SS 29% PS	0-4	GR, SL	FR, NP, NS	U/PS	PS  36"	—	—	U/PS  0.4
		4-8	GR, SL	FR, NP, NS	30"				
		8-24	SBK, SCL	F, SP, SS, SXP	10yr 7/2				
		24-36	SBK, SCL	F, SP, SS, SXP	10yr 8/2				
9	SS 29% PS	0-6	GR, SL	FR, NP, NS	U/PS	PS  36"	—	—	U/PS  0.4
		6-10	GR, SL	FR, NP, NS	28"				
		10-24	ABK, SCL	FR, SP, SS, SXP	10yr 7/2				
		24-28	SBK, SC	F, P, S, SXP	10yr 8/2				
		28-36	SBK, SC	F, P, S, SXP					
10	SS 29% PS	0-4	GR, SL	FR, NP, NS	U/PS	PS  36"	—	—	U/PS  0.4
		4-18	GR, SL	FR, NP, NS	28"				
		18-28	ABK, SCL	F, SP, SS, SXP	10yr 7/2				
		28-36	SBK, SCL	F, SP, SS, SXP	10yr 8/1				

COMMENTS:

# SOIL/SITE EVALUATION

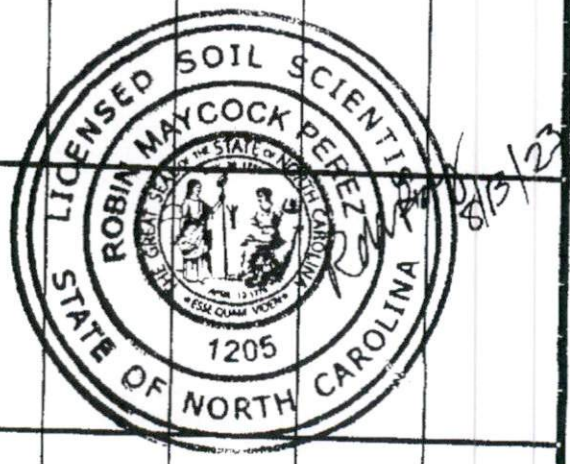
(Continuation Sheet-Complete all field in full)

Sheet 3 of 4

DEPARTMENT OF HEALTH AND HUMAN SERVICES  
 DIVISION OF PUBLIC HEALTH  
 ENVIRONMENTAL HEALTH SECTION  
 ON-SITE WATER PROTECTION BRANCH

PROPERTY ID #: 9579-52-3028  
 DATE OF EVALUATION: 7/21/2023  
 COUNTY: HARNETT

P R O F I L E  #	.1940 LANDSCAPE POSITION/ SLOPE %	HORIZ ON DEPTH (IN.)	SOIL MORPHOLOGY (.1941)		OTHER PROFILE FACTORS				PROFILE CLASS & LTAR
			.1941 STRUCTURE/ TEXTURE	.1941 CONSISTENCE/ MINERALOGY	.1942 SOIL WETNESS/ COLOR	.1943 SOIL DEPTH	.1956 SAPRO CLASS	.1944 RESTR HORIZ	
11	SS	0-6	GR, SL	FR, NP, NS	U/PS	PS			U/PS
	390 PS	6-15	GR, SL	FR, NP, NS	28" 10yr <sup>T</sup> /2	36"	—	—	0.4
		15-28	ABK, SCL	F, SP, SS, SXP					
		28-36	SBK, SCL	F, SP, SS, SXP					
12	SS	0-6	GR, SL	FR, NP, NS	U/PS	PS			U/PS
	290 PS	6-18	GR, SL	FR, NP, NS	30" 10yr <sup>8</sup> /1	36"	—	—	0.4
		18-30	ABK, SCL	F, SP, SS, SXP					
		30-36	SBK, SCL	F, SP, SS, SXP					



COMMENTS: LOW PROFILE CHAMBER OR SHALLOW CONVENTIONAL PUMP MAY BE REQUIRED.

### LEGEND

use the following standard abbreviations

LANDSCAPE POSITION	GROUP	SOIL TEXTURE	CONVENTIONAL .1955 LTAR*	LPP .1957 LTAR*	MINERALOGY/ CONSISTENCE	STRUCTURE
CC (Concave Slope)	I	S (Sand)	1.2 - 0.8	0.6 - 0.4	SEXP (Slightly Expansive)	G (Single Grain)
CV (Convex Slope)		LS (Loamy Sand)				M (Massive)
D (Drainage Way)	II	SL (Sandy Loam)	0.8 - 0.6	0.4 - 0.3	EXP (Expansive)	CR (Crumb)
DS (Debris Shump)		L (Loam)				GR (Granular)
FP (Flood Plain)	III	Si (Silt)	0.6 - 0.3	0.3 - 0.15		SBK (Subangular Blocky)
FS (Foot Slope)		SiCL (Silty Clay)				ARK (Angular Blocky)
H (Head Slope)		CL (Clay Loam)				PL (Platy)
L (Linear Slope)		SCL (Sandy Clay L.)				PR (Prismatic)
N (Nose Slope)	IV	SiL (Silt Loam)	None	None		
R (Ridge)		SC (Sandy Clay)				
S (Shoulder Slope)		SiC (Silty Clay)				
T (Terrace)		C (Clay)				
		O (Organic)				

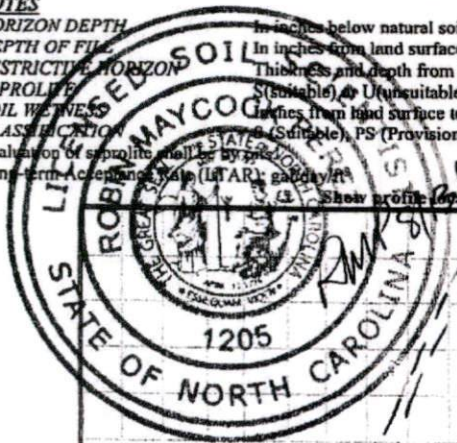
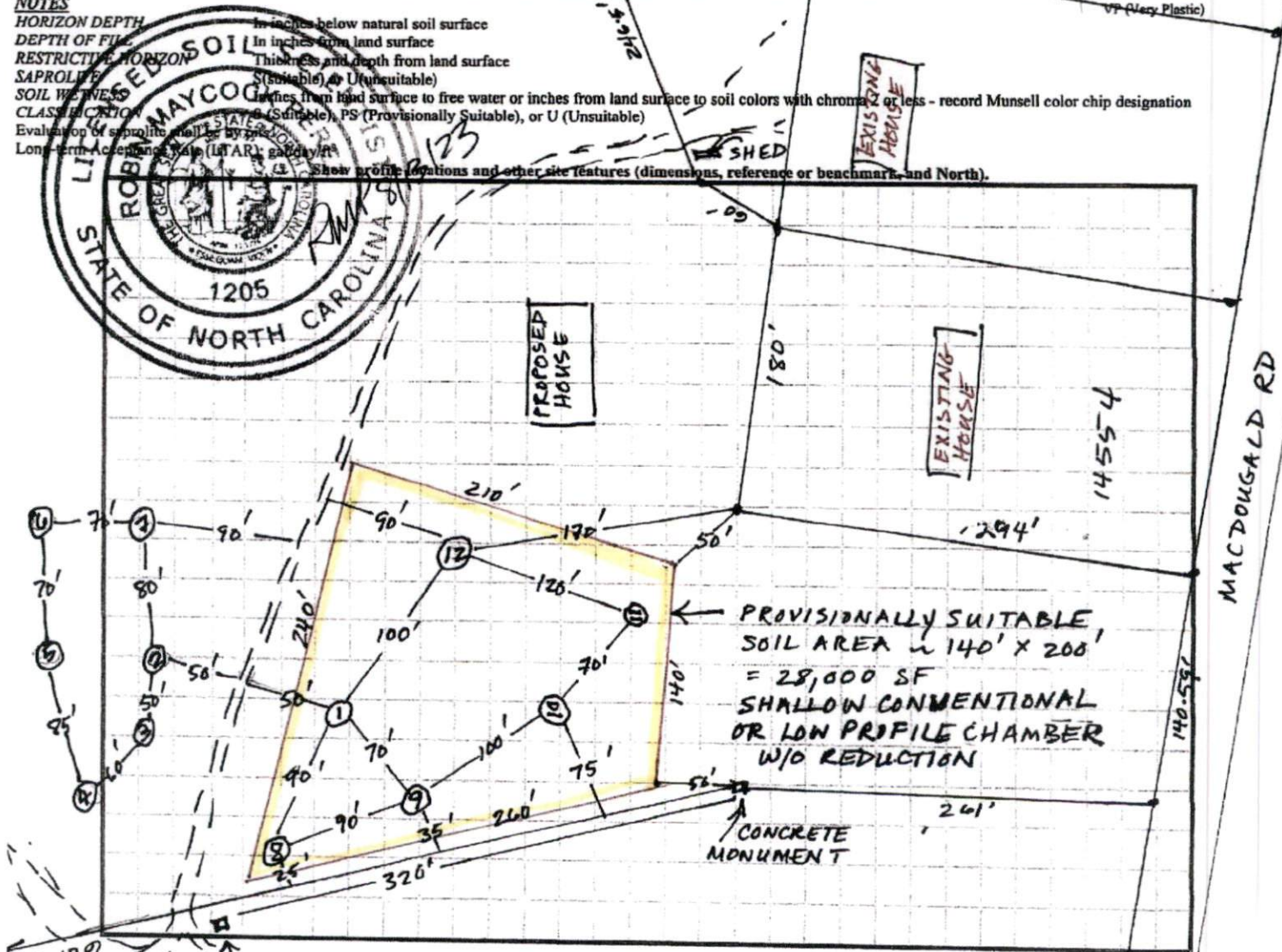
MOIST	WET
VFR (Very Friable)	NS (Non-sticky)
FR (Friable)	SS (Slightly Sticky)
FI (Firm)	S (Sticky)
VFI (Very Firm v. Very Sticky)	VS (Very Sticky)
EFI (Extremely Firm)	NP (Non-plastic)
	SP (Slightly Plastic)
	P (Plastic)
	VP (Very Plastic)

\*Adjust LTAR due to depth, consistence, structure, soil wetness, landscape, position, wastewater flow and quality.

**NOTES**

- HORIZON DEPTH** - In inches below natural soil surface
- DEPTH OF FILL** - In inches from land surface
- RESTRICTIVE HORIZON** - Thickness and depth from land surface
- SAPROLITE** - (S) (suitable) or (U) (unsuitable)
- SOIL WETNESS** - In inches from land surface to free water or inches from land surface to soil colors with chroma 2 or less - record Munsell color chip designation
- CLASSIFICATION** - Evaluation of saporlite shall be by (S) (Suitable), PS (Provisionally Suitable), or U (Unsuitable)
- Long-term Acceptance Rate (LTAR) shall be by (S) (Suitable), PS (Provisionally Suitable), or U (Unsuitable)

Show profile locations and other site features (dimensions, reference or benchmark, and North).



N  
 SCALE 1" = 100'

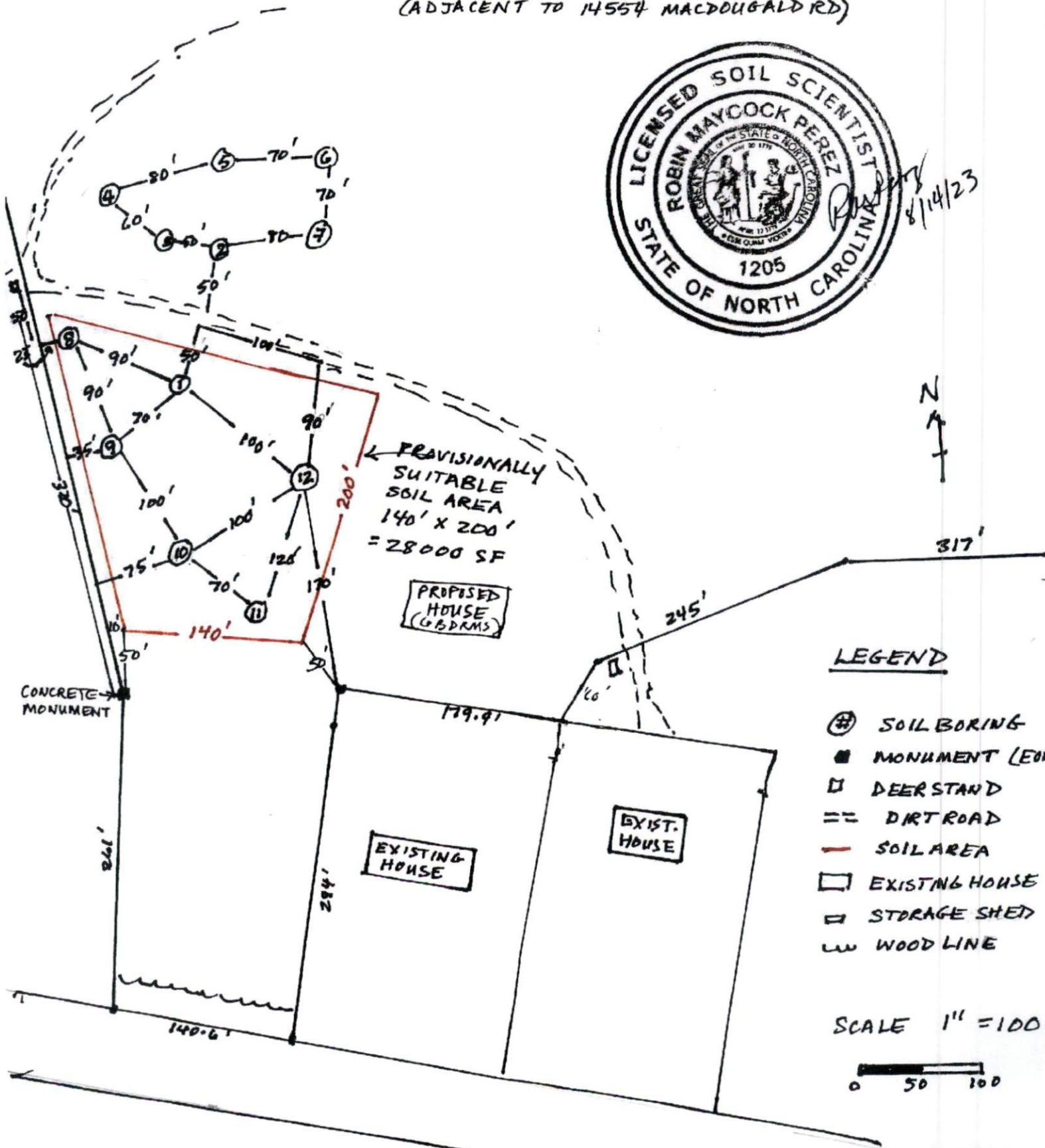
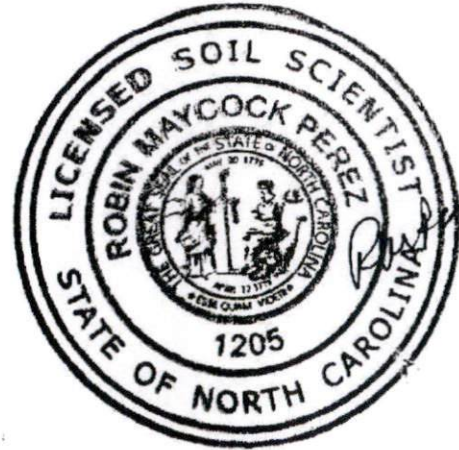


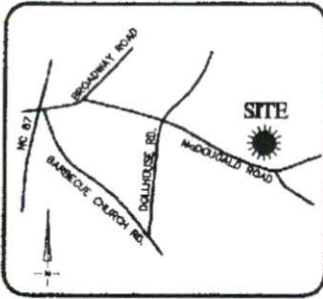
$$6 \text{ BDRMS} = \frac{720 \text{ GPD}}{0.4} = \frac{1800 \text{ SF}}{3} = 600 \text{ LF}$$

600 LF RESERVE  
 1200 LF

INSTALL ~ 60' X 100'  
 @ 100' LINES

14652  
 SOIL/SITE SKETCH FOR 15.295 AC ON MACDOUGALD RD  
 PIN: 9579-62-3028, HARNETT CO. 8/13/2023  
 (ADJACENT TO 14554 MACDOUGALD RD)

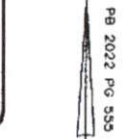




VICINITY MAP  
Not To Scale



N/T  
GROSS LAND COMPANY, LLC  
PIN 9579-42-1362  
DB 3960 PG 496  
PB 2016 PG 257



INSET  
N.T.S.

IMPERVIOUS SURFACE AREA	
DESCRIPTION	AREA
HOUSE w/ PORCH	3,540 S.F.
SC PORCH/PATIO/HVAC	838 S.F.
DRIVEWAY & WALKS	11,233 S.F.
DETACHED GARAGE	1,201 S.F.
TOTAL (PROPOSED)	16,812 S.F.
LOT AREA =	666,488 S.F.
% IMPERVIOUS AREA	= 2.5%

THIS PROPERTY MAY BE SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, FRONT-OF-WAY UTILITIES AND RESTRICTIVE COVENANTS WHICH MAY BE OF RECORD OR IMPLIED

N/T  
RUSSELL E. MCLEAN  
PIN 9579-41-8816  
DB 3950 PG 922  
PB 2016 PG 55

N/T  
FRANCES W. SPIVEY  
PIN 9579-42-8763  
DB 2428 PG 211

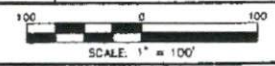
N/T  
DORIS C. HARRINGTON &  
ANDREW B. HARRINGTON  
PIN 8579-82-0809  
DB 1299 PG 895

SETBACKS (PB 2022 PG 555):  
FRONT (FROM R/W) - 35'  
SIDE - 10'  
REAR - 25'

**McDOUGALD ROAD**  
(SR 1229)  
60' PRIVATE R/W

**RESIDENTIAL  
LAND SERVICES, PLLC.**

1917 Evans Road  
Cary, North Carolina 27513  
Phone (919) 378-9316

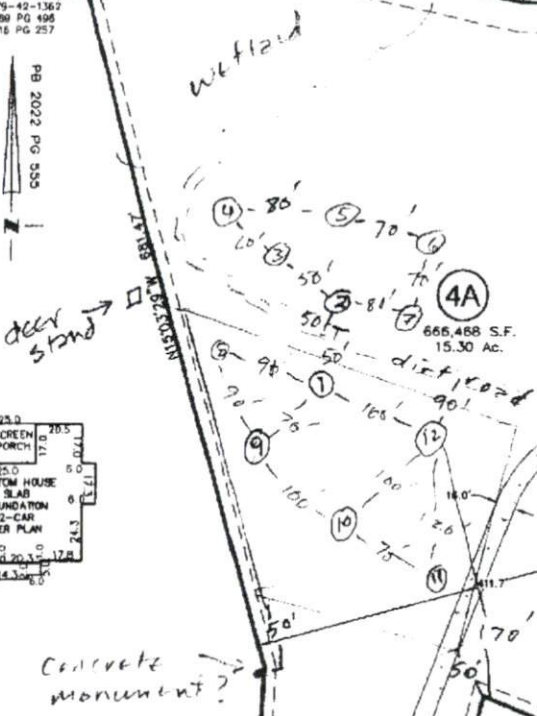


**HOUSE LOCATION PLOT PLAN**

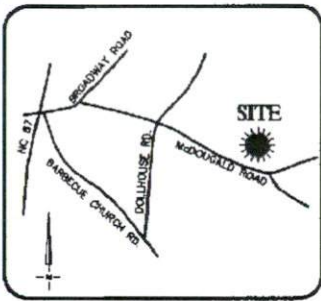
FOR  
McDOUGALD ROAD  
**LOT 4A, PAULA SPIVEY SMITH SUBDIVISION**  
Barbecue Township, Harrett County, North Carolina  
PROPERTY OF: \_\_\_\_\_  
MAP BOOK 2022 PAGE 555 DEED REFERENCE \_\_\_\_\_ PAGE \_\_\_\_\_  
DRAWN: JLA SURVEYED: N/A CHECKED: DMR DATE: MARCH 11, 2024

N/T  
GRANVILLE M. STACY  
PIN 9579-61-1666  
DB 1800 PG 720

REV.	DATE	REVISION BY	SCALE
1	3/11/24	JLA	AS SHOWN



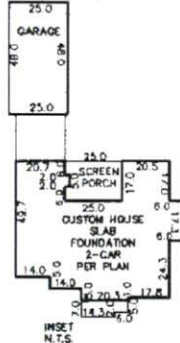




VICINITY MAP  
Not To Scale



N/T  
GROSS LAND COMPANY, LLC  
PIN 9579-42-1382  
DB 1385 PG 496  
PB 2016 PG 257



IMPERVIOUS SURFACE AREA	
DESCRIPTION	AREA
HOUSE w/ PORCH	3,340 S.F.
SC PORCH/PATIO/AVAC	836 S.F.
DRIVEWAY & WALKS	11,233 S.F.
DETACHED GARAGE	1,701 S.F.
TOTAL (PROPOSED)	16,810 S.F.
LOT AREA =	666,468 S.F.
% IMPERVIOUS AREA	= 2.5%

THIS PROPERTY MAY BE SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY UTILITIES AND RESTRICTIVE COVENANTS WHICH MAY BE OF RECORD OR IMPLIED

N/T  
RUSSELL E. McLEAN  
PIN 9579-41-6816  
DB 1850 PG 902  
PB 2018 PG 55

N/T  
FRANCES W. SPIVEY  
PIN 9579-42-8783  
DB 2429 PG 211

N/T  
DORIS C. HARRINGTON &  
ANDREW B. HARRINGTON  
PIN 9579-62-0806  
DB 1299 PG 895

SETRACKS (PB 2022 PG 555):  
FRONT (FROM R/W) - 35'  
SIDE - 10'  
REAR - 25'

N/T  
GRANHAM WILSON  
PIN 9579-61-3438  
DB 1800 PG 120

REV	DATE	REVISION BY	COMMENTS
1	3/11/24	JLA	ADDITIONAL EASEMENT HOUSE

**McDOUGALD ROAD**  
(SR 1229)  
60' PRIVATE R/W

4A  
666,468 S.F.  
15.30 Ac.

4B

100 0 100  
SCALE: 1" = 100'





**RESIDENTIAL LAND SERVICES, PLLC.**  
1917 Evans Road  
Cary, North Carolina 27513  
Phone (919) 378-9316

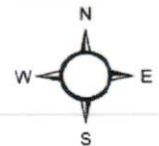
**HOUSE LOCATION PLOT PLAN**  
FOR  
McDOUGALD ROAD  
LOT 4A, PAULA SPIVEY SMITH SUBDIVISION  
Barbecue Township, Harnett County, North Carolina

PROPERTY OF: \_\_\_\_\_  
MAP BOOK 2022 PAGE 555 DEED REFERENCE \_\_\_\_\_ PAGE \_\_\_\_\_

DRAWN: JLA SURVEYED: N/A CHECKED: DMR DATE: MARCH 11, 2024



-  County Boundary
-  Address Numbers
-  Road Centerlines
-  Parcels
-  Contours4ft











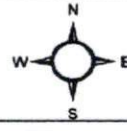
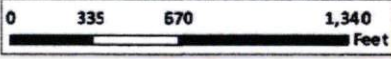
# Harnett GIS

NOT FOR LEGAL USE



Harnett County GIS, Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

	Surrounding County Boundaries	<b>MajorRoads</b>		RoadCenterlines
	City Limits		Interstate	Railroad
	County Boundary		NC	Parcels
	Airport		US	CapeFearRiver

1 inch = 752 feet

GIS/E-911 Addressing  
June 14, 2023