

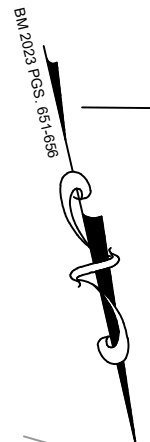
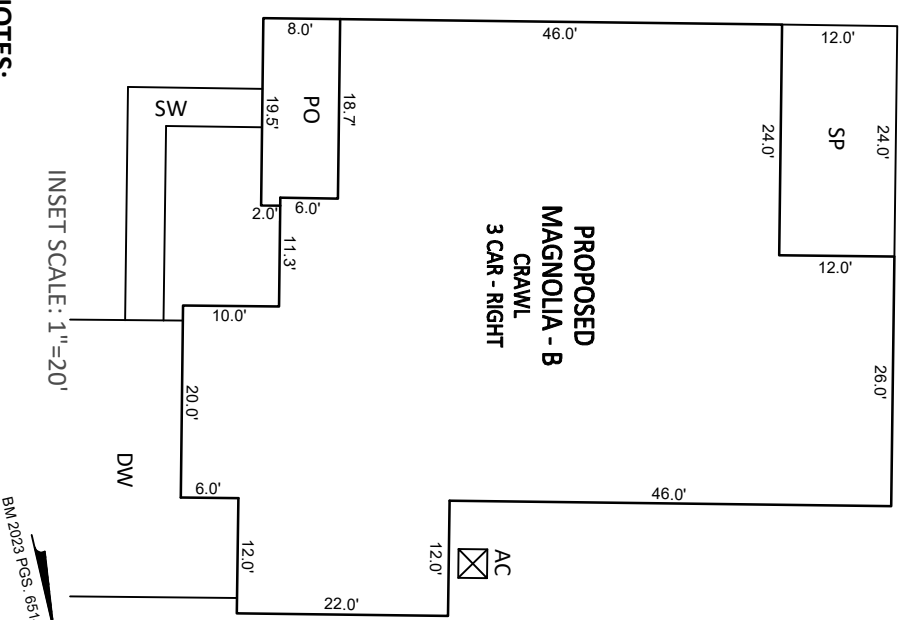
LOT INFORMATION:

PIN: 0693-34-0978.000
 REFERENCE: DB, 4216 PGS, 2658-2662
 DB, 2162 PGS, 643-662
 BM 2023 PGS, 563-568
 TOTAL LOT AREA = 0.97 AC = 42,246 SF
 MAX. IMPERVIOUS = 5,500 SF
 HOUSE = 3,264 SF
 PORCH = 151 SF
 SIDEWALK = 137 SF
 DRIVEWAY = 903 SF
 SCREENED PORCH = 288 SF
 AC PAD = 9 SF
 PROPOSED IMPERVIOUS = 4,752 SF
 PERCENT IMPERVIOUS = 11.25%

BUILDING SETBACKS

FRONT - 35'
 REAR - 25'
 SIDE - 10'
 SIDE CORNER - 20'

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD
C58	325.00'	218.09'	N16°06'54"E	214.02'



BM 2023 PGS, 651-656

57

55

54

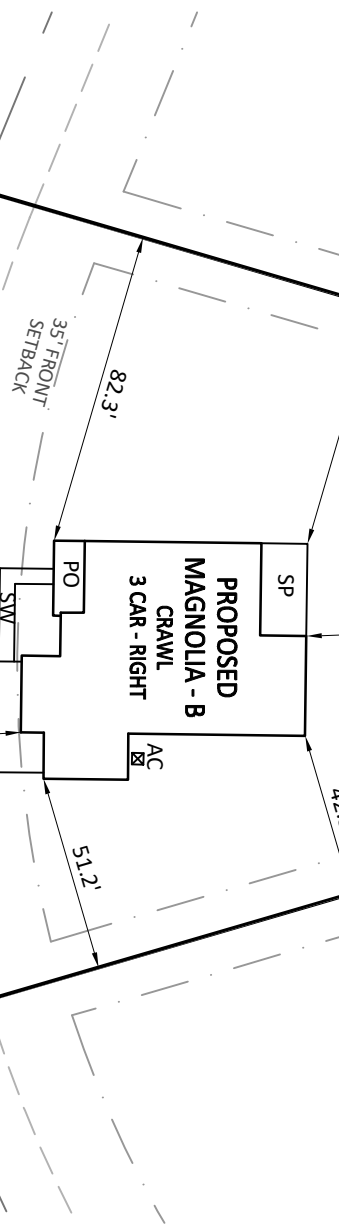
S60°40'27"E 376.92'
10' SIDE SETBACK

S86°42'19"W 389.65'
10' SIDE SETBACK

64.5'

42.246 SF
0.97 AC

42.8'



GRADING STICK COURT
50' PUBLIC RW & UTILITY EASEMENT

S35°20'22"W 1.70'
 35' FRONT SETBACK
 82.3'
 16.3'
 51.2'
 15' UTILITY EASEMENT (TYP.)
 C58

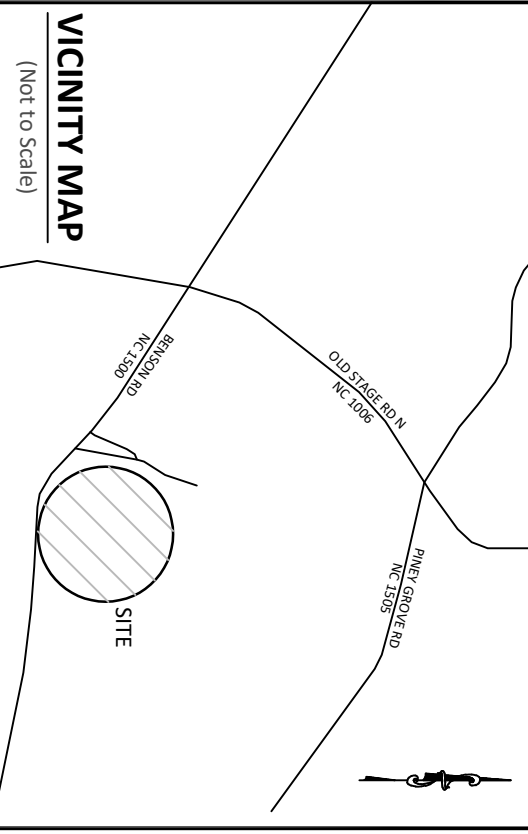


NOTES:

- THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
- THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
- PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
- THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
- THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
- NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA. IT IS LOCATED IN ZONE "X" PER F.E.M.A. MAP NUMBER 37200682001 DATED 10/03/2006.
- ZONING: RA-30
- PROPERTY OWNER: DAVIDSON HOMES
1903 NORTH HARRISON AVE
CARY, NC 27513



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 NCBELS Firm No. C-2378



VICINITY MAP
(Not to Scale)

LEGEND
 PO = PORCH
 CP = COVERED PORCH
 SP = SCREENED PORCH
 SW = SIDEWALK
 DW = CONC DRIVEWAY
 SP = SCREENED PORCH
 P = CONCRETE PATIO
 ⊗ = COMPUTED POINT
 ○ = IRON PIPE FOUND (IPF)
 ● = IRON PIPE SET (IPS)
 ● = DRILL HOLE FOUND
 ◯ = WATER METER
 CO = CLEAN OUT
 AC = AIR CONDITIONER PAD
 ⊖ = CABLE BOX
 ⊕ = SEWER MANHOLE
 □ = TELEPHONE PEDESTAL
 ⊛ = CATCH BASIN
 ⚡ = LIGHT POLE
 ⊞ = HAND HOLE
 ⊞ = ELECTRIC BOX
 ⚡ = FIRE HYDRANT
 YI = YARD INLET
 G = GAS METER
 E = ELECTRIC METER

PRELIMINARY

1, STEVEN P. CARSON, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY DIRECT SUPERVISION FROM A SURVEY MADE UNDER MY SUPERVISION (PLAT BOOK REFERENCED IN TITLE BLOCK); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION LISTED UNDER REFERENCES; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARD OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA. L-4752 DATED:

This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

BUILDER TO VERIFY HOUSE LOCATION
 DIMENSIONS AND REVIEW TOTAL
 IMPERVIOUS NOTED ON THIS PLOT PLAN

PRELIMINARY PLOT PLAN
 FOR
DAVIDSON HOMES

TOBACCO ROAD - PHASE 1 & 3 - LOT 56
 91 GRADING STICK COURT, ANGLIER, NC
 BLACK RIVER TOWNSHIP, HARNETT COUNTY

DATE: 4/3/24 DRAWN BY: AJR CHECKED BY: SPC
 REFERENCE: BM 2023 PGS, 651-656 BCS# 230746 SCALE: 1" = 50'