

LOT INFORMATION:

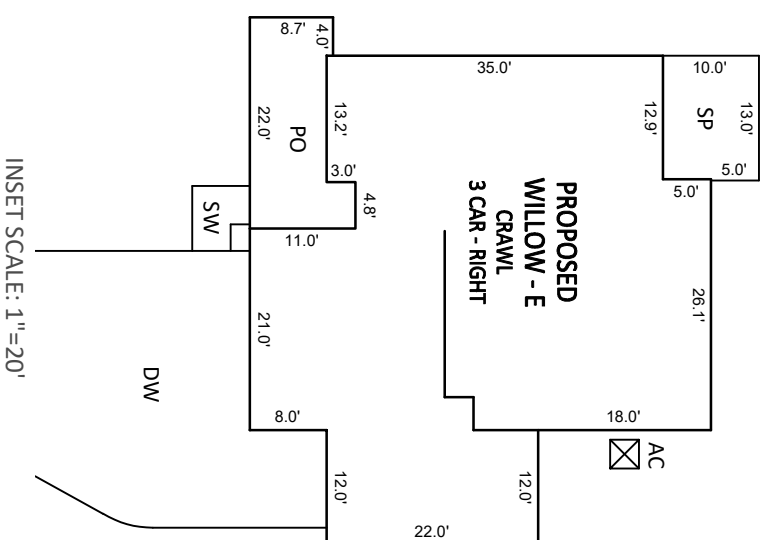
PIN: 0693-15-9377.000
 REFERENCE: DB, 2162 PGS, 643-662
 TOTAL LOT AREA = 0.67 AC = 29,392 SF
 MAX. IMPERVIOUS = 5,500 SF
 HOUSE = 1,913 SF
 PORCH = 193 SF
 SIDEWALK = 35 SF
 DRIVEWAY = 983 SF
 SCREENED PORCH = 129 SF
 AC PAD = 9 SF
 PROPOSED IMPERVIOUS = 3,262 SF
 PERCENT IMPERVIOUS = 11.10%

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD
C30	325.00'	29.70'	N87°25'47"E	29.69'

REFERENCE: BM 2023 PGS 563-568

BUILDING SETBACKS

FRONT - 35'
 REAR - 25'
 SIDE - 10'
 SIDE CORNER - 20'

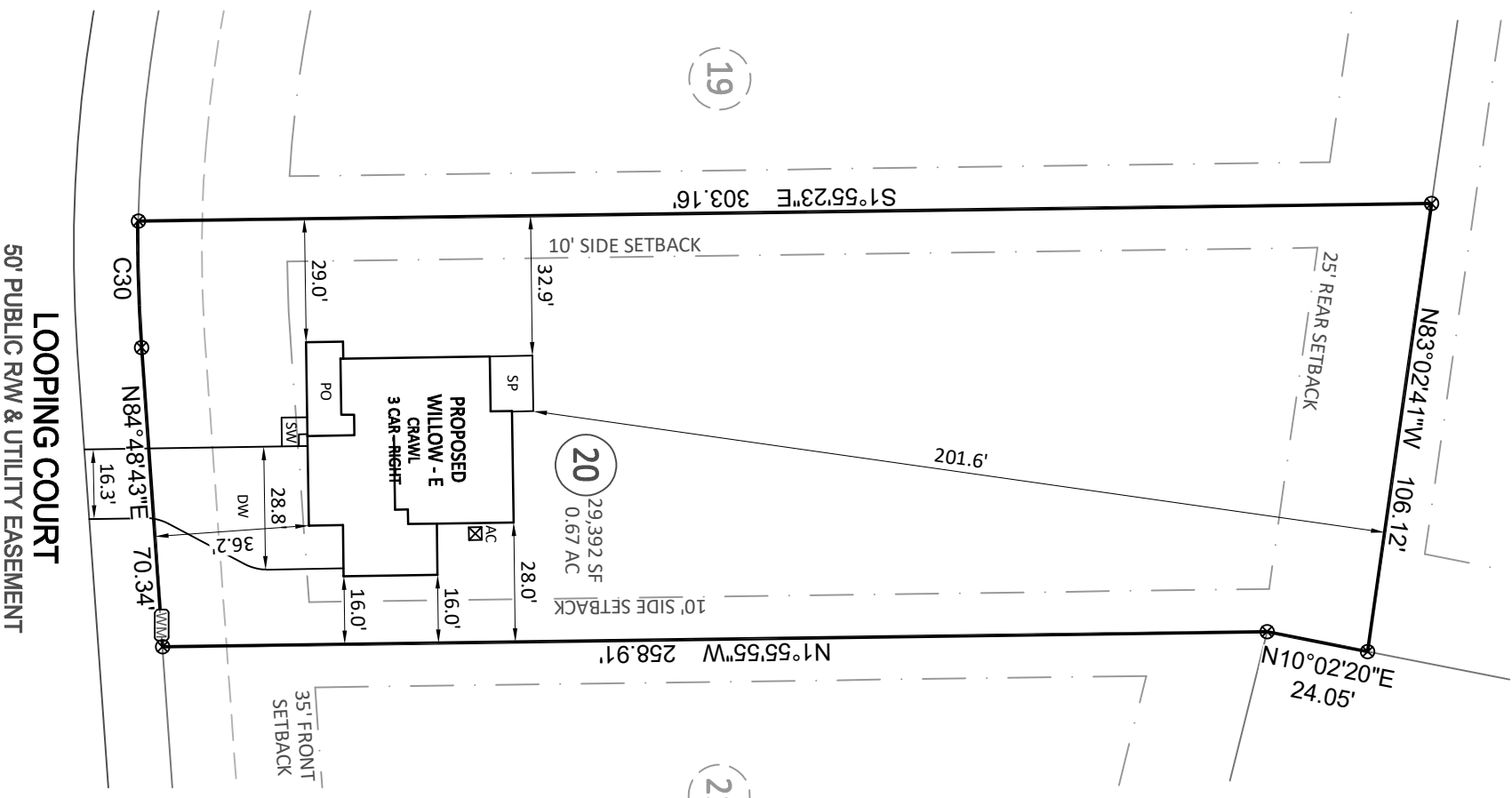


NOTES:

1. THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS.
2. THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
3. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM UNLESS OTHERWISE SHOWN.
5. THIS MAP IS NOT FOR RECORDATION AND SHOULD BE REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS.
6. THE BASIS OF NORTH AND ALL EASEMENTS, RIGHTS-OF-WAYS, BUFFERS, SETBACKS AND ADJOINERS, ETC. REFERENCED IN TITLE BLOCK.
7. NO INVESTIGATION INTO THE EXISTENCE OF JURISDICTIONAL WETLANDS OR RIPARIAN BUFFERS PERFORMED BY THIS FIRM.
8. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
9. THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA. IT IS LOCATED IN ZONE "X" PER F.E.M.A. MAP NUMBER 3720068200J DATED 10/03/2006.
10. ZONING: RA-30
11. PROPERTY OWNER: DAVIDSON HOMES

DAVIDSON HOMES
 1903 NORTH HARRISON AVE
 CARY, NC 27513

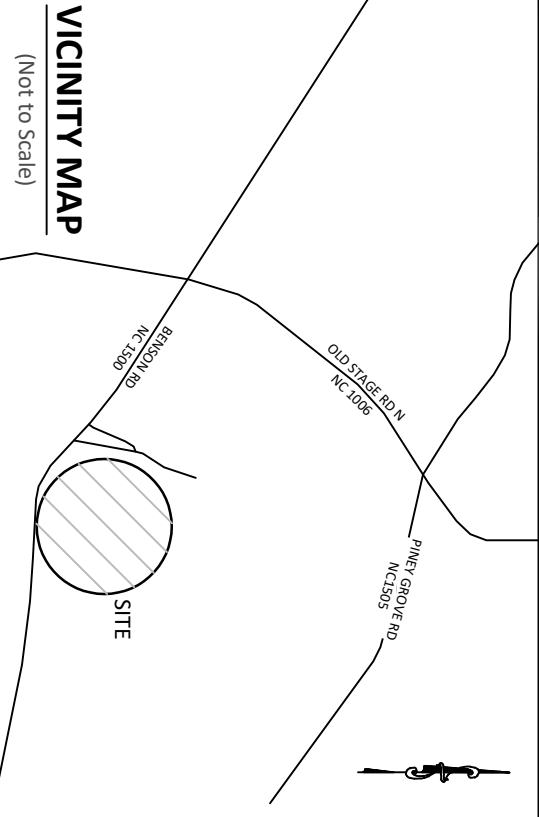
BM 2023 PGS. 651-656



LOOPING COURT
 50' PUBLIC RW & UTILITY EASEMENT



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 NCBELS Firm No. C-2378



LEGEND
 PO = PORCH
 CP = COVERED PORCH
 SP = SCREENED PORCH
 SW = SIDEWALK
 DW = CONC DRIVEWAY
 SP = SCREENED PORCH
 P = CONCRETE PATIO
 ⊗ = COMPUTED POINT
 ○ = IRON PIPE FOUND (IPF)
 ● = IRON PIPE SET (IPS)
 ● = DRILL HOLE FOUND
 ◌ = WATER METER
 ◌ = CLEAN OUT
 AC = AIR CONDITIONER PAD
 ⊙ = CABLE BOX
 ⊙ = SEWER MANHOLE
 ⊙ = TELEPHONE MANHOLE
 ⊙ = TELEPHONE PEDESTAL
 ⊙ = CATCH BASIN
 ⊙ = LIGHT POLE
 ⊙ = HAND HOLE
 ⊙ = ELECTRIC BOX
 ⊙ = FIRE HYDRANT
 ⊙ = YARD INLET
 ⊙ = GAS METER
 ⊙ = ELECTRIC METER

PRELIMINARY

This map is of an existing parcel of land and is only intended for the parties and purposes shown. This map not for recordation. No title report provided.

BUILDER TO VERIFY HOUSE LOCATION DIMENSIONS AND REVIEW TOTAL IMPERVIOUS NOTED ON THIS PLOT PLAN

PRELIMINARY PLOT PLAN
 FOR
DAVIDSON HOMES

TOBACCO ROAD - PHASE 1 & 3 - LOT 20
 45 LOOPING COURT, ANGLIER, NC
 BLACK RIVER TOWNSHIP, HARNETT COUNTY
 DATE: 4/4/24 DRAWN BY: ALT CHECKED BY: SPC
 REFERENCE: BM 2023 PGS. 651-656 BCS# 230746 SCALE: 1" = 40'