



SCALE: 1/8" = 1'-0"

DATE: 2/1/2024

DRAWN BY: DJK

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SQUARE FOOTAGES: 2150 SQFT

MAIN FLOOR: 2150 SQFT

GARAGE: 469 SQFT

FOUNDATION: 2150 SQFT

PORCH: 12 SQFT

CUSTOM BUILT FOR: LIDDELL AND LAUAN MCLEAN

JOB #: DU TOO 024 0301 CN #: 35292

LOCATION: 14923 MCDOWGALD RD
SANFORD, NC 27332
HARNETT COUNTY

VN #: MC456

Raleigh/Durham, NC
182 West Hamlin Road
Benson, NC 27504
(877) 261-3482
www.schumacherhomes.com

Paul Schumacher
SCHUMACHER HOMES

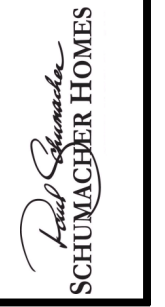


DRAWN BY: DJK
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 SCALE: 1/8" = 1'-0"
 SHEET: 2

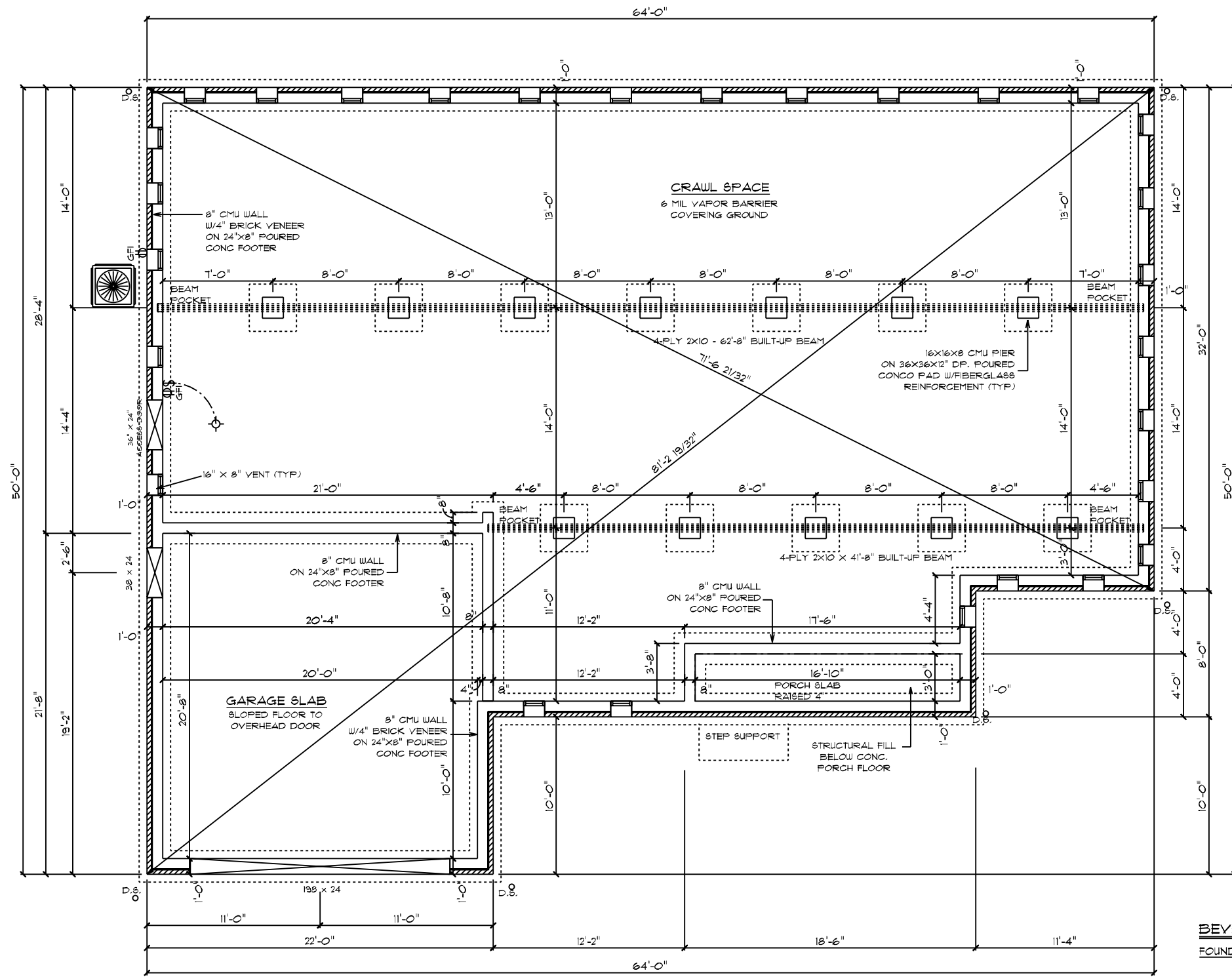
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FOUNDATION NOTES:

1. BRICK VENEER ALL EXPOSED FOUNDATION
2. BOTTOM OF PIER PADS ELEVATION SHALL BE 2" BELOW BOTTOM OF CONT. FOOTER ELEVATION.
3. CONCRETE & MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE FINISHED GRADE ADJACENT TO THE FOUNDATION A MIN. OF 4" WHERE MASONRY VENEER IS USED AND 6" MIN. ELSEWHERE.
4. ALL SILLS, PLATES, OR BAND JOISTS THAT REST ON OR IN CONTACT WITH CONCRETE OR MASONRY EXTERIOR WALLS SHALL REQUIRE THE USE OF PRESSURE PRESERVATIVE TREATMENT.

PIERS:

1. THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED 10 TIMES THEIR LEAST DIMENSION. WHEN HOLLOW CONCRETE MASONRY UNITS ARE USED FOR ISOLATED PIERS TO SUPPORT BEAMS AND GIRDERS, THE CELLULAR SPACES SHALL BE FILLED SOLIDLY WITH CONCRETE.

CRAWL SPACE VENT CALCULATIONS:

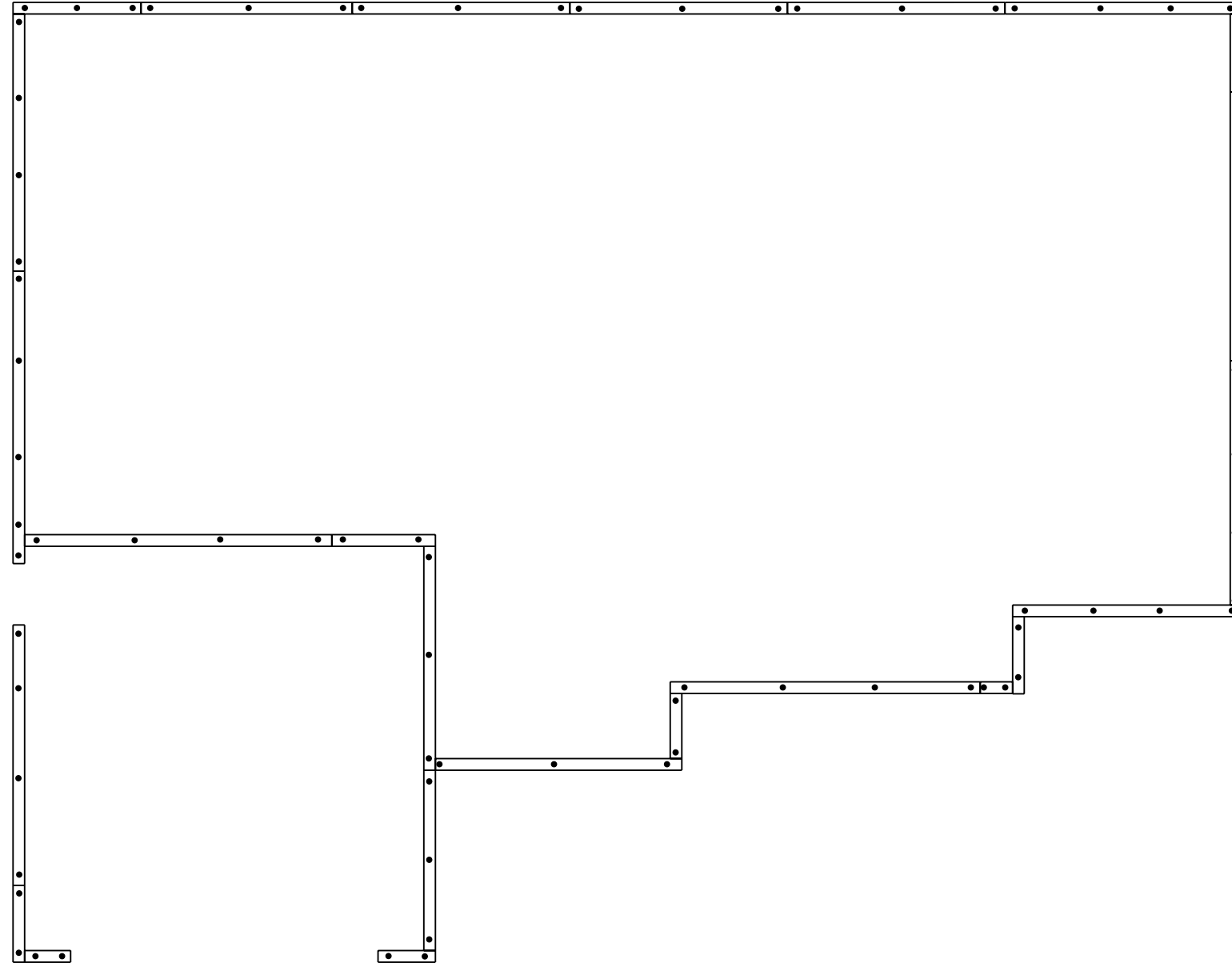
TOTAL CRAWL SPACE AREA: 2150
 8"x16" VENT = 128 SQ. IN. = 0.89 SQ. FT.
 ASSUMED NET FREE AREA = 0.53 SQ. FT. PER VENT
 TOTAL SQ. FT. VENTILATION NEEDED:
 2150 / 150 = 14.33
 14.33 / 0.53 = 28 TOTAL VENTS.

GENERAL ELECTRICAL NOTES:

- GFI'S REQUIRED IN CRAWL SPACE @ ACCESS PANEL AND @ AIR HANDLER/FURNACE
- LIGHTS TO BE WITHIN 6" OF ACCESS PANEL AND @ AIR HANDLER/FURNACE
- WIRE AIR HANDLER/FURNACE
- ELECTRICAL PANEL TO BE GROUNDED TO THE OUTSIDE

BEVERLY COASTAL / CUSTOM
 FOUNDATION PLAN

<p>SCHUMACHER HOMES</p>	DRAIN BY: DJK DATE: 2/1/2024 SCALE: 1/8" = 1'-0" DRAW: 3
	SQUARE FOOTAGES: 2150 SQFT MAIN FLOOR: 2150 SQFT GARAGE: 469 SQFT FOUNDATION: 2150 SQFT PORCH: 12 SQFT
CUSTOM BUILT FOR: LIDDELL AND LAJUAN MCLEAN JOB #: DU 700 024 0301 CN #: 35292 V.N #: MC456 LOCATION: 14923 MCDOWGALD RD SANFORD, NC 27332 HARNETT COUNTY	RALEIGH/DURHAM, NC 182 West Hamlin Road Benson, NC 27504 (877) 261-3482 www.schumacherhomes.com



CONSTRUCTION NOTES:

1. 2x8 TREATED SILL PLATE
2. 1/2" DIAM. X 18" L. ANCHOR BOLTS SHALL EXTEND A MINIMUM OF 1" INTO MASONRY OR CONCRETE AS REQUIRED BY CODE @ 6" O.C. AND 12" FROM ALL CORNERS (2 PER CORNER)
3. ANCHOR BOLTS TO BE LOCATED IN CENTER 1/3 OF SILL PLATE

BEVERLY COASTAL / CUSTOM
BOLT & PLATE PLAN

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DSG: 4

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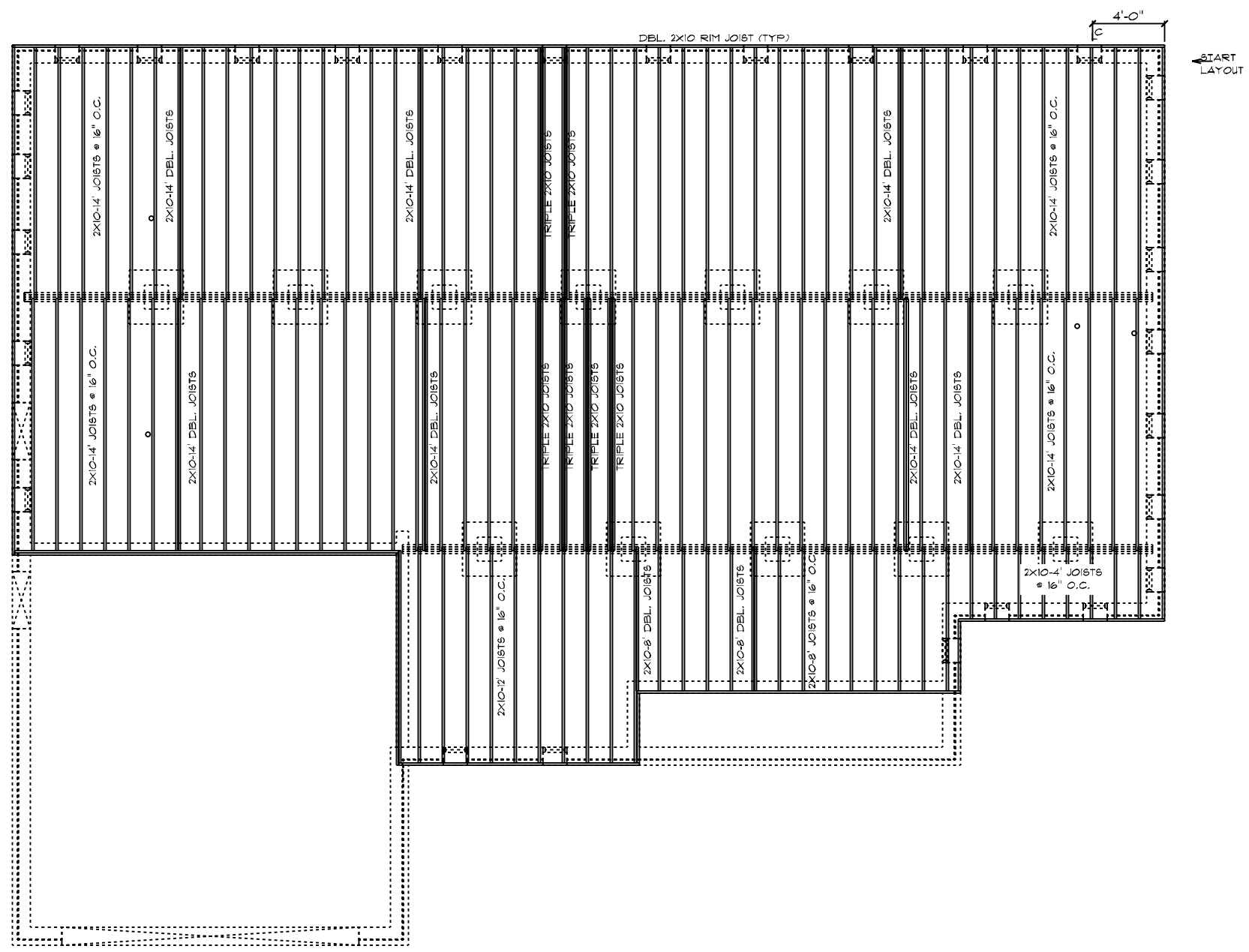
CUSTOM BUILT FOR: LIDDELL AND LAUAN MCLEAN

JOB #: DU TOO 024 0301 CN #: 35292 VN #: MC456

LOCATION: 14923 MCDOWGALD RD
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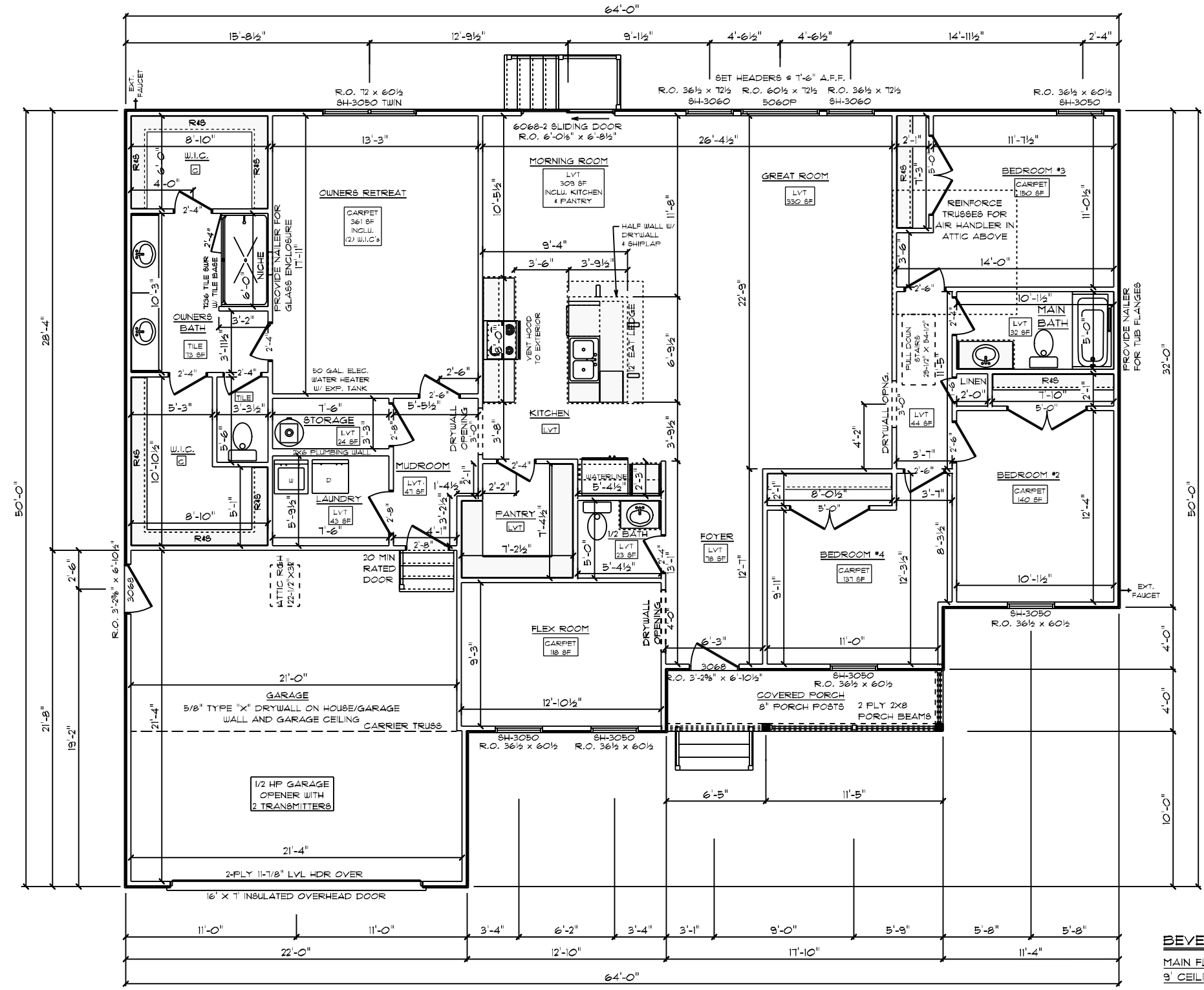
START LAYOUT

FRAMING NOTES:

1. LEAVE 14 1/2" BETWEEN EACH END JOIST & RIM JOIST TO ALLOW FOR INSULATION.
2. INSULATE ALL FRAMED CHANNELS & CORNERS; ALSO, BEHIND EACH TUB AND SHOWER UNIT.
3. INSTALL FIREBLOCK FRAMING IN ALL STAIRWAY CEILING.
4. INSTALL ALL TRUSSES, I-JOISTS, LVL'S AND BEAMS PER MANUFACTURER SPECIFICATIONS AND LAY OUTS. DO NOT CUT, NOTCH OR BORE WITHOUT EXACT SPECIFICATIONS.
5. ALL FRAMING TO BE SOUTHERN YELLOW PINE NO. 2 OR GREATER UNLESS NOTED OTHERWISE.
6. DOUBLE JOISTS SHOULD BE LOCATED UNDER ALL PARTITIONS WHEN THE LENGTH OF THE PARTITION EXCEEDS 1/2 THE SPAN OF THE JOIST.

BEVERLY COASTAL / CUSTOM
MAIN FLOOR JOIST PLAN

 <p>SCHUMACHER HOMES</p>	<p>Raleigh/Durham, NC 182 West Hamlin Road Benson, NC 27504 (811) 261-3482 www.schumacherhomes.com</p>		<p>CUSTOM BUILT FOR: LIDDELL AND LAUAN MCLEAN</p>	<p>SQUARE FOOTAGES: 2150 SQFT MAIN FLOOR: 2150 SQFT GARAGE: 465 SQFT FOUNDATION: 2150 SQFT PORCH: 12 SQFT</p>	<p>DATE: 2/1/2024 SCALE: 1/8" = 1'-0"</p>	<p>DRAWN BY: DJK DATE: 2/1/2024</p>	<p>1992-2024 SCHUMACHER HOMES OPERATIONS, INC. ALL RIGHTS RESERVED. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF SCHUMACHER HOMES OPERATIONS, INC. AND ITS AFFILIATES. SCHUMACHER HOMES OPERATIONS, INC. AND ITS AFFILIATES ARE NOT TO BE USED TO CREATE DERIVATIVE WORKS, TECHNICAL DRAWINGS OR TO BUILD A STRUCTURE, REPRODUCED, COPIED, OR MODIFIED IN WHOLE OR PART, WITHOUT THE EXPRESS WRITTEN CONSENT OF SCHUMACHER HOMES, AND SUCH UNAUTHORIZED USE OR COPYING IS A VIOLATION OF UNITED STATES COPYRIGHT LAW AND THAT RESULT IN DAMAGES IN EXCESS OF \$100,000 PER ACT OF INFRINGEMENT.</p>
	<p>JOB #: DU 700 014 0301 CN #: 35282 LOCATION: 14923 MCDONALD RD SANFORD, NC 27332 HARNETT COUNTY</p>		<p>DRUG: B</p>				



GENERAL FRAMING NOTES:

- DRYWALLED OPENINGS TO BE 8'-0" HEIGHT UNLESS OTHERWISE NOTED
- HEADERS TO BE 2-PLY 2X10 W/ (1) KING & (2) JACK STUDS UNLESS OTHERWISE NOTED
- ALL LVL, CARRIER TRUSSES AND BEAMS TO HAVE A MIN OF (2) KING & (2) JACK STUDS, UNLESS NOTED OTHERWISE

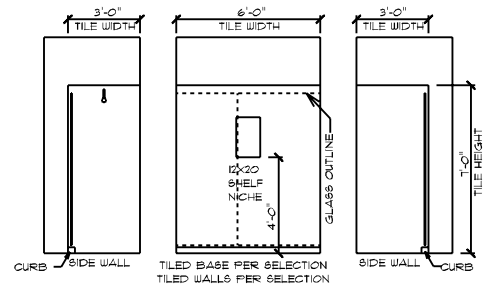
PLAN NOTES:

- SMOOTH CEILINGS THROUGHOUT HOME
- PAINTED TRIM
- 5-1/4" BASEBOARDS
- 3-1/4" CASING ON INTERIOR DOORS AND WINDOWS HAVE DRYWALLED RETURNS
- INTERIOR DOORS PER SELECTION

FLOORING NOTES:

- ALL FLOORING BREAKS OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS OTHERWISE NOTED
- FLOORING SQUARE FOOTAGES INCLUDE CLOSETS RELATIVE TO THE AREA UNLESS OTHERWISE NOTED
- SOME FLOORING SQUARE FOOTAGES MAY INCLUDE HALLS OR AREAS THAT CONNECT WITHOUT WALL SEPARATION IF THE SAME FINISH IS CONTINUED

PROVIDE AIR BARRIER/THERMO-FLY AT INSULATED VERTICAL WALLS BETWEEN HEATED AND UNHEATED AREAS



BEVERLY COASTAL / CUSTOM

MAIN FLOOR PLAN
9' CEILING HEIGHT

DATE: 2/1/2024
SCALE: 1/8" = 1'-0"
DRAWN BY: DJK
DWG: 6

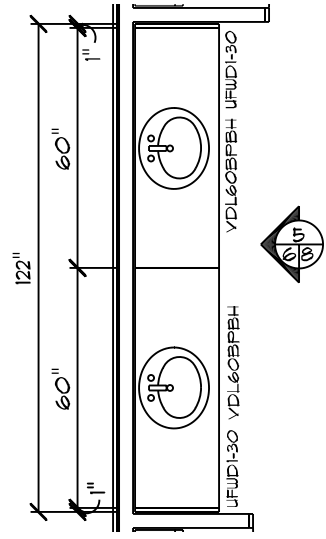
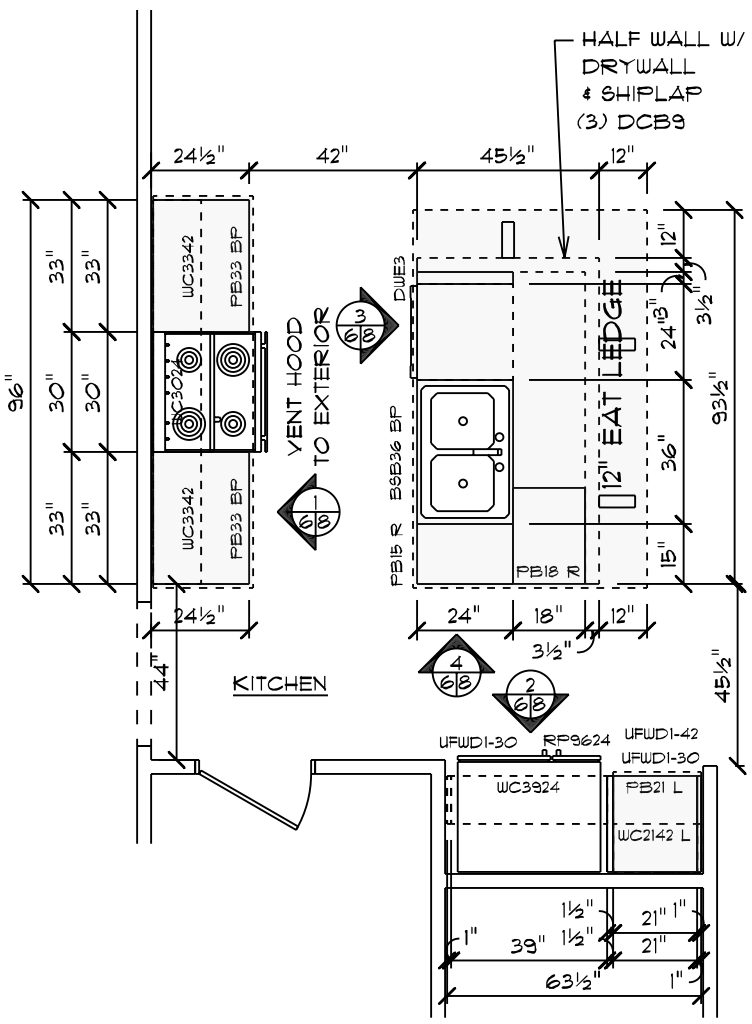
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GARAGE: 465 SQFT
FOUNDATION: 2150 SQFT
PORCH: 12 SQFT

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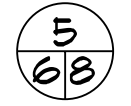
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OWNER'S BATH



CABINET NOTES:

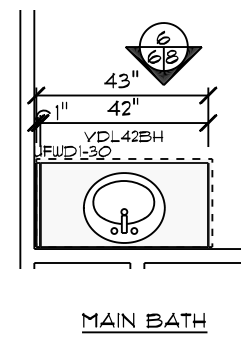
KITCHEN

- MARSH CABINETS
- 2-1/4" KITCHEN CABINET CROWN MOLDING
- COUNTERTOPS PER SELECTION
- KITCHEN SINK PER SELECTION
- HARDWARE PER SELECTION

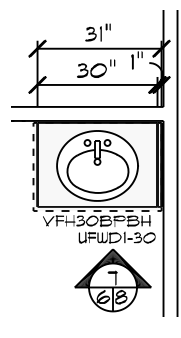
BATHS

- MARSH CABINETS
- COUNTERTOPS PER SELECTION
- HARDWARE PER SELECTION

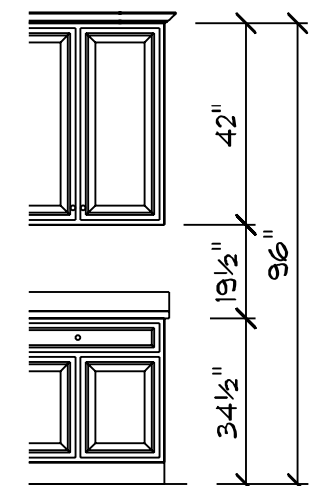
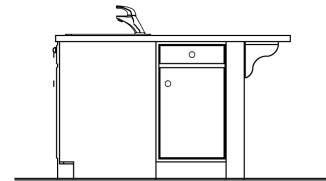
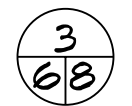
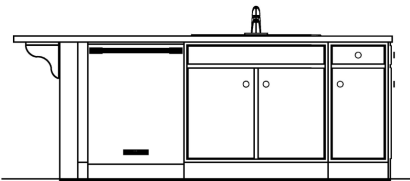
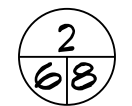
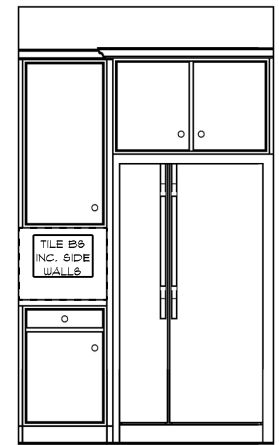
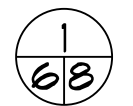
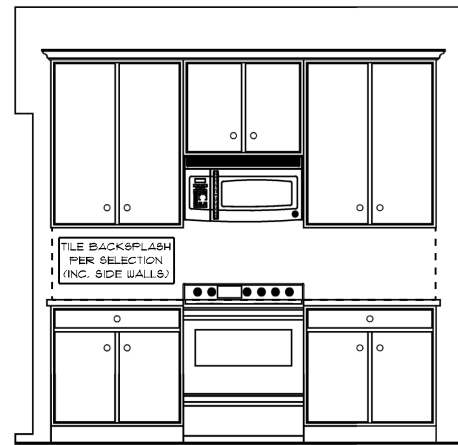
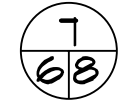
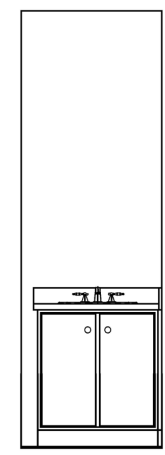
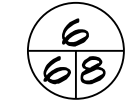
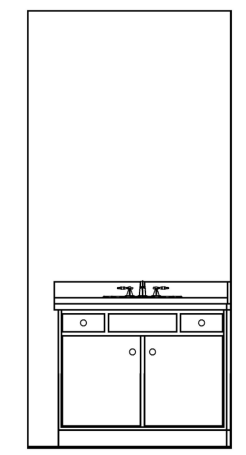
CABINET IMAGES, HARDWARE, APPLIANCES & OTHER DESIGN ITEMS ARE SHOWN FOR REPRESENTATION PURPOSES ONLY REFER TO FINAL SELECTIONS



MAIN BATH



1/2 BATH



TYPICAL CABINET HEIGHTS

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Dwg: 8

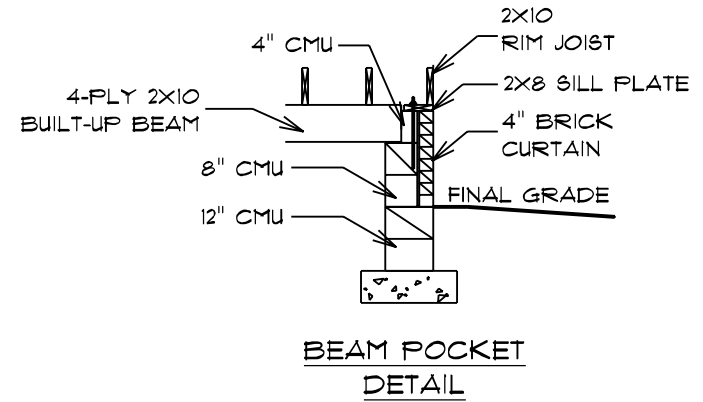
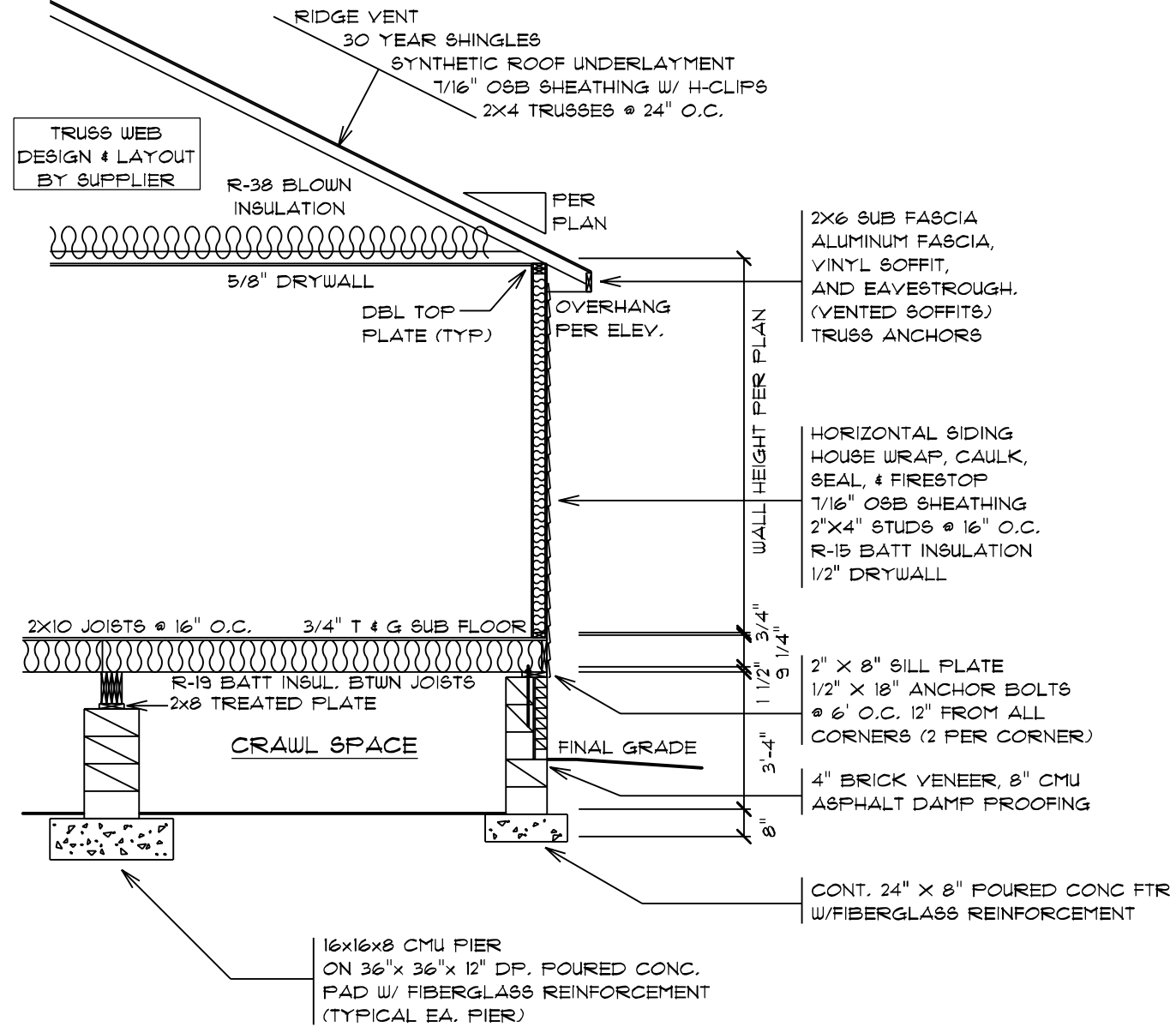
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NOTE:
ROOF UNDERLAYMENT TO BE OVERLAPPED
50% PLUS 1" ON ROOFS LESS THAN 4/12 PITCH



**BEVERLY COASTAL / CUSTOM
WALL SECTION**

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DWS: 9

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