

FLOOR PLAN

SCALE: 3/8" = 1'-0"

1

Contractor / Owner shall all verify field dimensions and details prior to construction.

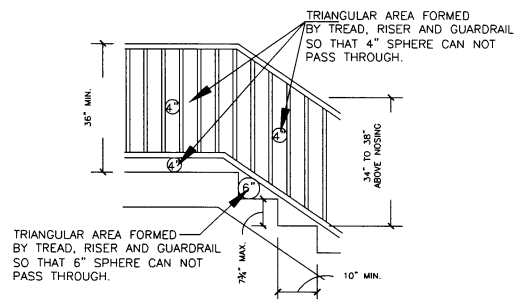
Due to differing site conditions on construction techniques, the Builder reserves the right to adjust the plans and dimensions to fit those conditions. Although the Builder strives to achieve the best possible product, variations from the plans may occur.

HEATED SQFT: 1,318
UNHEATED SQFT: 174

STAIR NOTES:

Required guard, shall be not less than 36 inches (914 mm) in height as measured vertically above the adjacent walking surface or the line connecting the leading edges of the treads, meeting R312 Code.

Individual stair treads shall be designed for the uniformly distributed live load or a 300-pound concentrated load acting over an area of 4 square inches, whichever produces the greater stresses. Meeting Table R301.5



GENERAL NOTES:

- 1 ALL WINDOWS TO BE AT 7'-6" HEAD HEIGHT ON FIRST FLOOR.
- 2 OVERHANG OF HOUSE TO BE 1'-0" FROM OUTSIDE OF EXTERIOR WALL FRAMING OR TO ACCOMMODATE FOR 1'-0" HARDI VENTED SOFFIT
- 3 1/2" GYPSUM BOARD IN WALLS AND CEILING.
- 4 LOCATION OF WATER HEATER TO BE COORDINATE BY BUILDER AND OWNER
- 5 DOORS AND WINDOWS, VERIFY WITH OWNER FOR STYLE.
- 6 ALL BEDROOMS MUST HAVE AT LEAST 1 WINDOW WHICH FOLLOWS EGRESS REQUIREMENTS. RESPONSIBILITY IS OF THE CONTRACTOR TO VERIFY EGRESS SIZING BASED ON THE PRODUCT MANUFACTURER CHOSEN AS PRODUCT SIZE MAY VARY.
- 7 ATTIC ACCESS TO BE PROVIDED BY BUILDER BASED UPON CODE.
- 8 SMOKE DETECTORS SHALL CONFORM TO N.E.C IN TERMS OF LOCATION AND AMOUNT.

TABLE: N1102.1.2 INSULATION AND FENESTRATION U-FACTORS

CLIMATE ZONE	FENESTRATION U-FACTOR	SKY LIGHT U-FACTOR	GRAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOORS R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE R-VALUE
3	0.35	0.55	0.30	38 or 30 ci	15 or 2.5 h	8 or 8 ci	19	8 f	0	5/13
4	0.35	0.55	0.30	38 or 30 ci	15 or 2.5 h	8 or 8 ci	19	10/15	10	10/15
5	0.35	0.55	NR	38 or 30 ci	19h, 13+5h or 15+3h	13 or m 13/12.5 ci	30 g	10/15	10	10/19

USE ZONE 4 FOR FUQUAY VARINA

SQUARE FOOTAGES
LIVING AREA 1318
FRONT PORCH 147
STOOP 27

JOSE MORALES

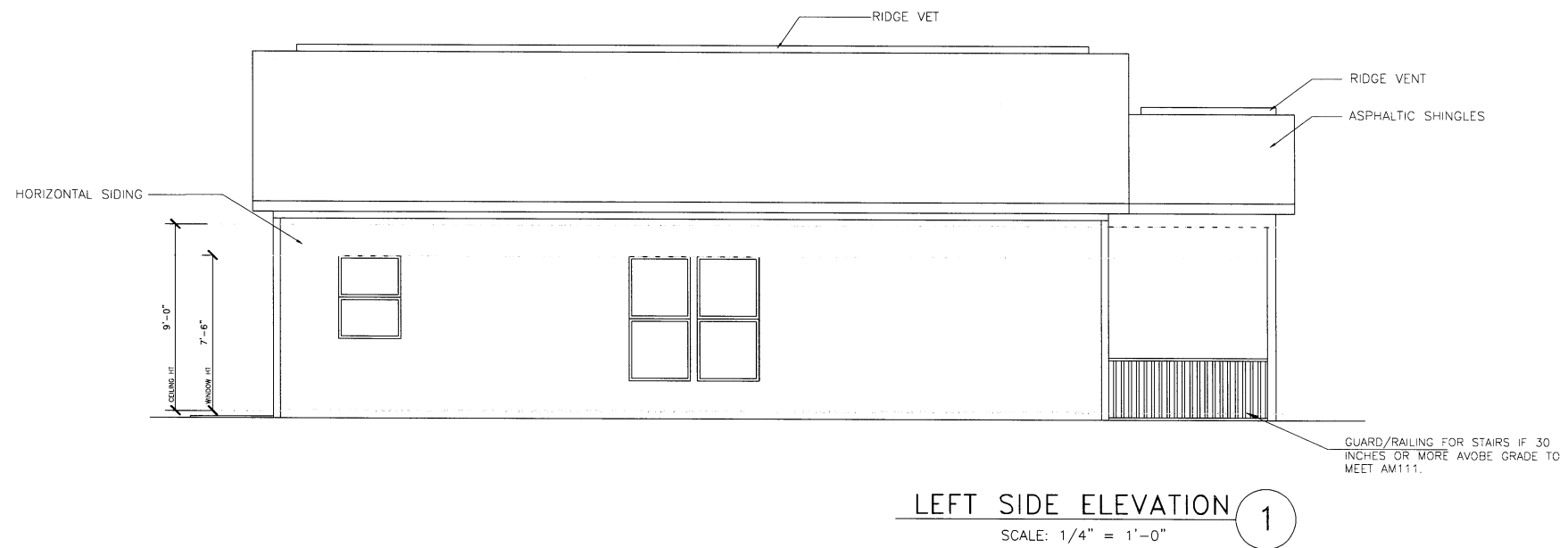
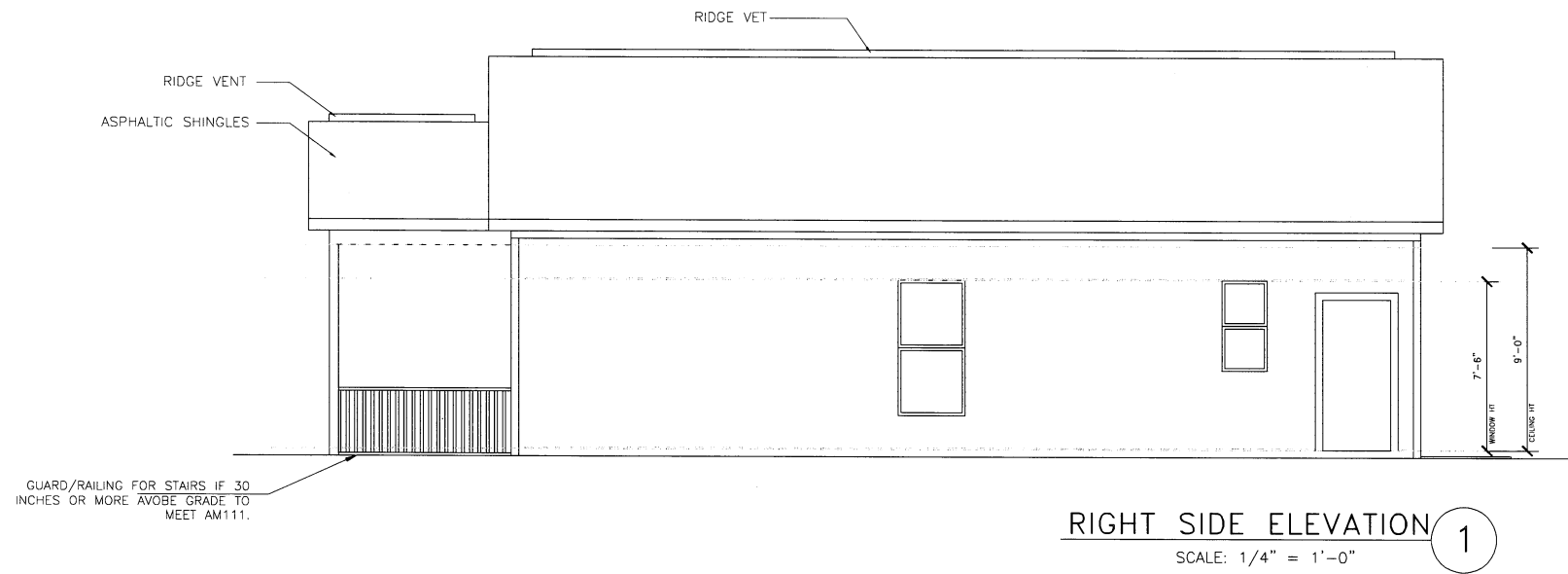
FRONT ELEVATION

0 JASMIN RD- LOT2 BLOCK 12
FUQUAY VARINA NC, 27526

DATE: OCTOBER 2023

SHEET:

1



SQUARE FOOTAGES
 LIVING AREA 1318
 FRONT PORCH 147
 STOOP 27

JOSE MORALES

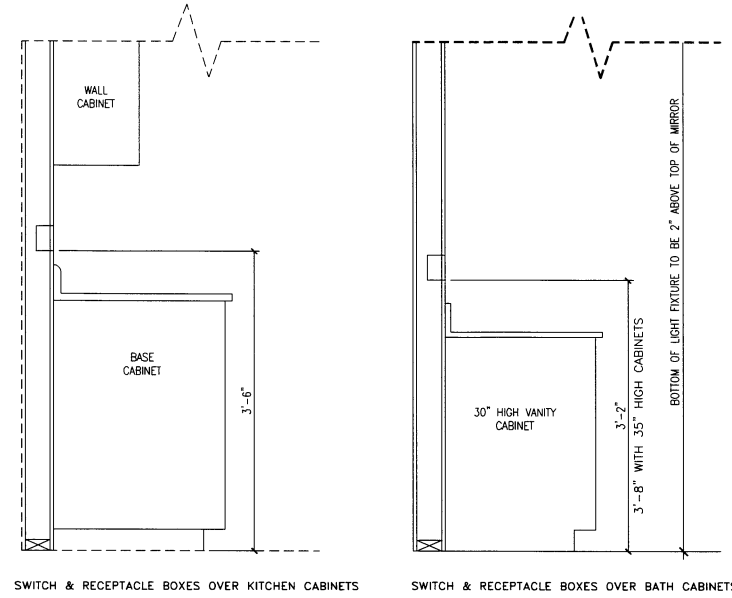
ELEVATIONS

0 JASMIN RD- LOT2 BLOCK 12
 FUQUAY VARINA NC, 27526

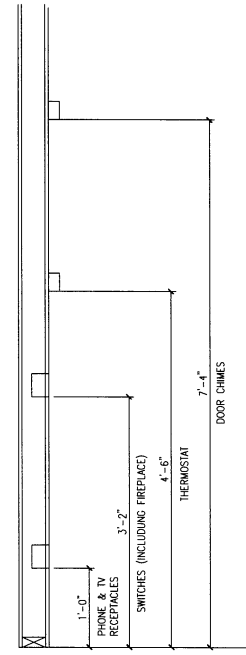
DATE: OCTOBER 2023

SHEET:

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SWITCH & RECEPTACLE BOXES OVER KITCHEN CABINETS
SWITCH & RECEPTACLE BOXES OVER BATH CABINETS



STANDARD ELECTRICAL BOX HEIGHTS

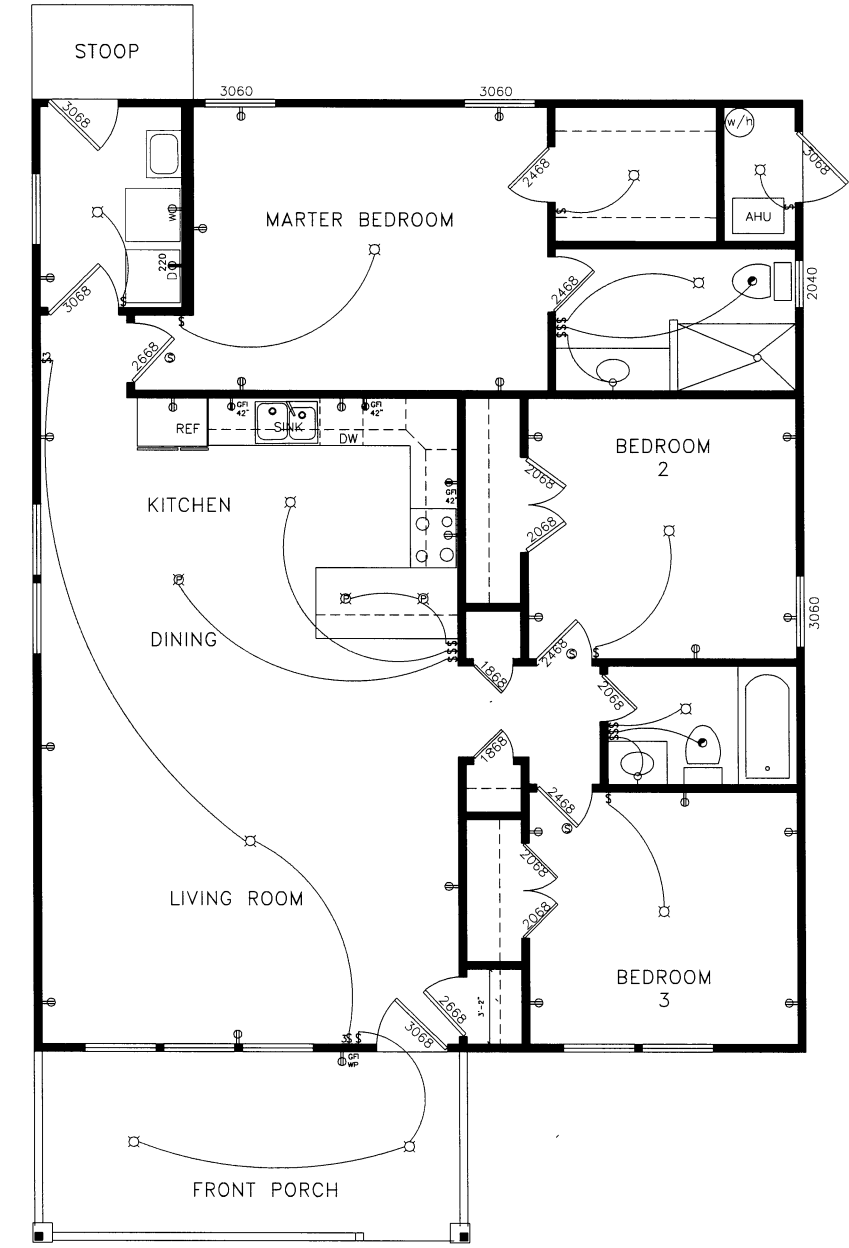
GENERAL POWER AND LIGHTING NOTES SHALL APPLY UNLESS NOTED OTHERWISE ON PLANS. ALL WORK SHALL BE INSTALLED PER THE 2018 NC RESIDENTIAL BUILDING CODE, AND THE NATIONAL ELECTRIC CODE. ALARM DEVICES SHALL MEET NFPA 72.

1-SMOKE ALARM SHALL BE PROVIDED AS A MINIMUM OF 1 PER FLOOR INCLUDING BASEMENTS, 1 IN EACH SLEEPING ROOM AND 1 OUTSIDE EACH SLEEPING AREA, WITHIN THE IMMEDIATE VICINITY OF SLEEPING ROOMS. WHEN MORE THAN ONE ALARM IS REQUIRED, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS. SMOKE ALARMS SHALL BE HARD WIRED TO PERMANENT POWER AND SHALL HAVE BATTERY BACK-UPS.

2-SWITCHES: FOR LIGHTING, FANS, ETC. SHALL BE INSTALLED AT HEIGHTS ILLUSTRATED IN THIS PAGE AND SHALL BE LOCATED A MINIMUM OF 4 1/2" DOOR OPENINGS TO ALLOW FOR THE PROPER INSTALLATION OF DOOR CASINGS, SWITCHES, THERMOSTATS, SECURITY PADS AND OTHER SIMILAR DEVICES SHALL BE GROUPED TOGETHER AND INSTALLED THOUGHTFULLY FOR CONVENIENCE OF USE AND TO AVOID PLACEMENT WITHIN CENTERS OF WALL AREA.

ELECTRIC SYMBOLS

- SURFACE MOUNTED (WALL) INCANDESCENT LIGHT FIXTURE
- SURFACE MOUNTED (CEILING) INCANDESCENT LIGHT FIXTURE
- ⊗ PENDANT MOUNTED LOW VOLTAGE LIGHT FIXTURE; VERIFY MOUNTING REQUIREMENT WITH ARCHITECT
- ⊖ SINGLE WALL OUTLET
- ⊕ DUPLEX WALL OUTLET
- ⊕ 42" DUPLEX COUNTER OUTLET @ 42"± VERIFY WITH MILLWORK HEIGHT
- ⊕ 42" GFI GROUND FAULT DUPLEX OUTLET VERIFY WITH MILLWORK HEIGHT
- ⚡ SINGLE POLE WALL SWITCH-CENTER @ 42" AFF
- ⊙ EXHAUST FAN/HEATER
- ⊙ SMOKE DETECTOR



ELECTRIC FLOOR PLAN 1
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGES
LIVING AREA 1318
FRONT PORCH 147
STOOP 27

JOSE MORALES

ELECTRIC FLOOR PLAN
0 JASMIN RD- LOT2 BLOCK 12
FUQUAY VARINA NC, 27526

DATE: OCTOBER 2023

SHEET:
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