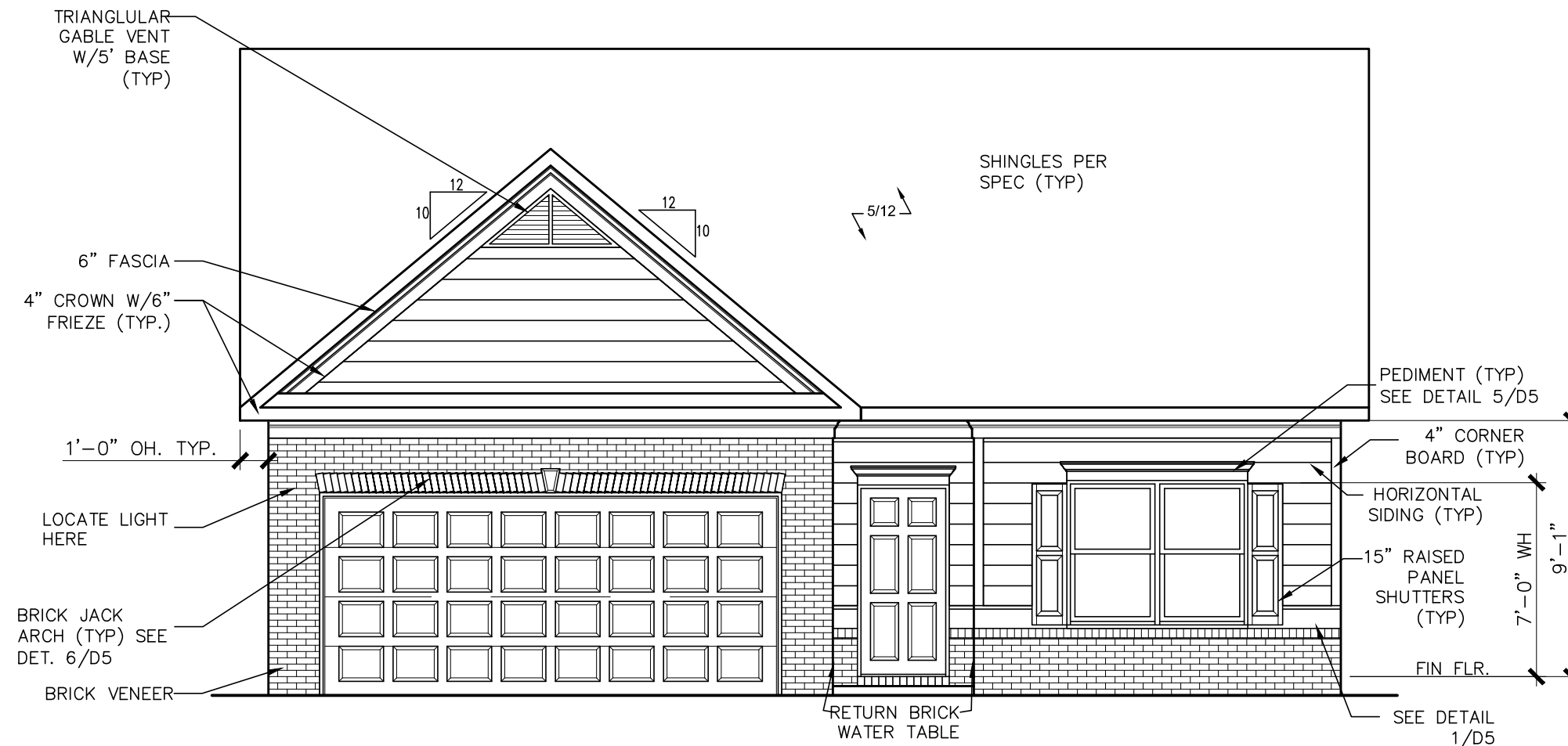




# TOBACCO ROAD LOT 0179

ALL NON-MASONRY RETURNS TO  
BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL  
DETAILS FOR SOFFIT DETAILS PER  
SOFFIT MATERIAL



FRONT ELEVATION "D"

SCALE: 3/16" = 1'-0"

BY	REVISION	DATE
#	#	#
#	#	#
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#	#	#
#	#	#



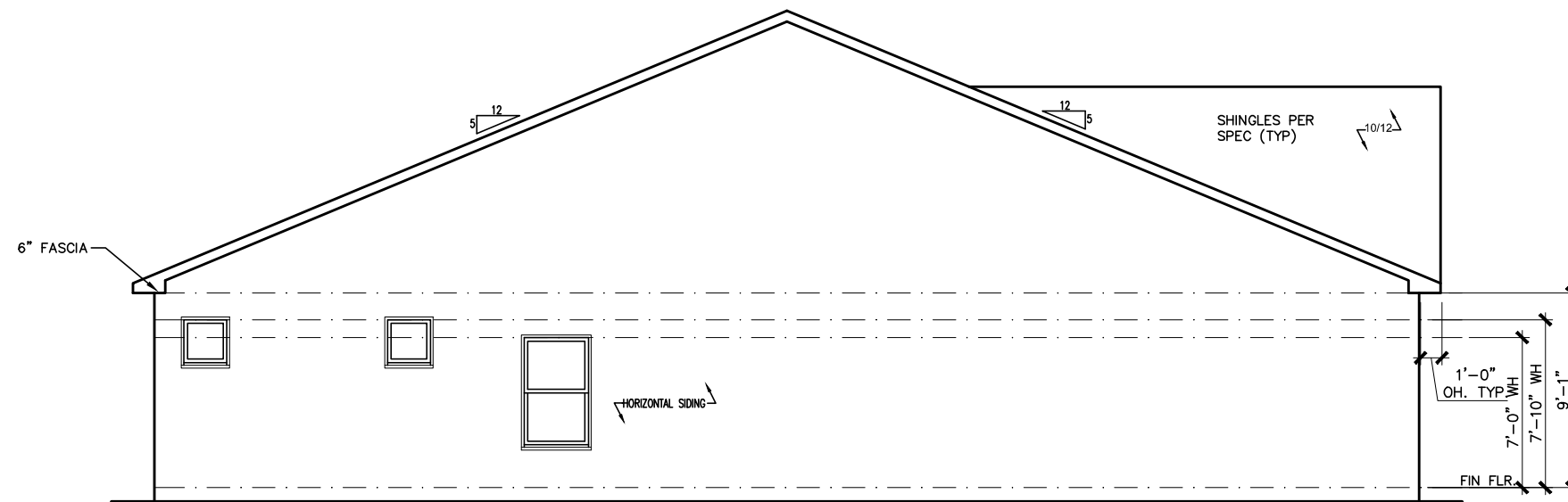
ELEVATIONS  
FRONT ELEVATION  
CRAWFORD

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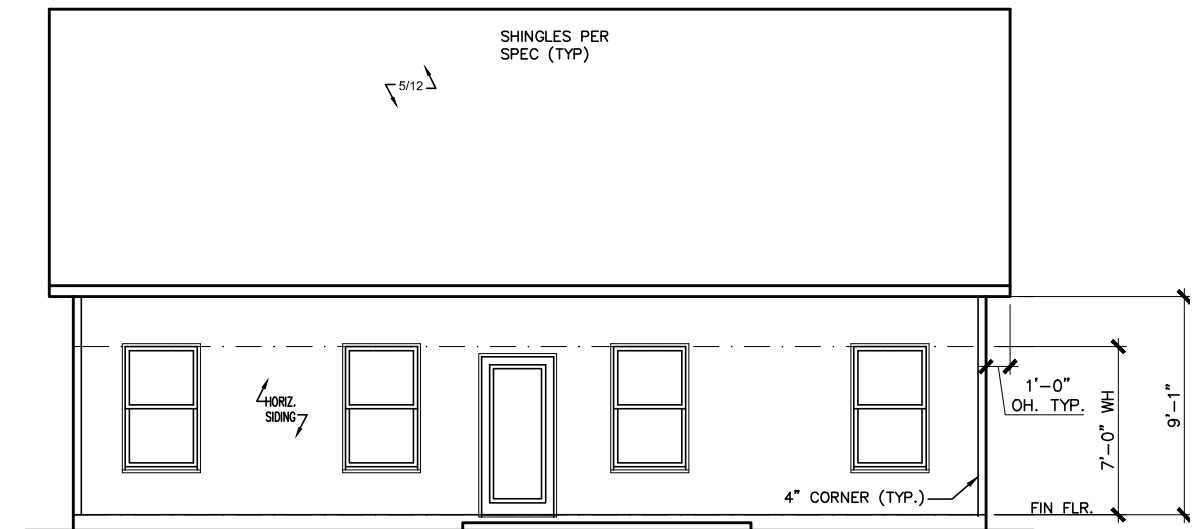
BY: TJJ	CH: AW
DATE: 04/16/2024	
FACADE OPT: A	
PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A1.1	

# TOBACCO ROAD LOT 0179



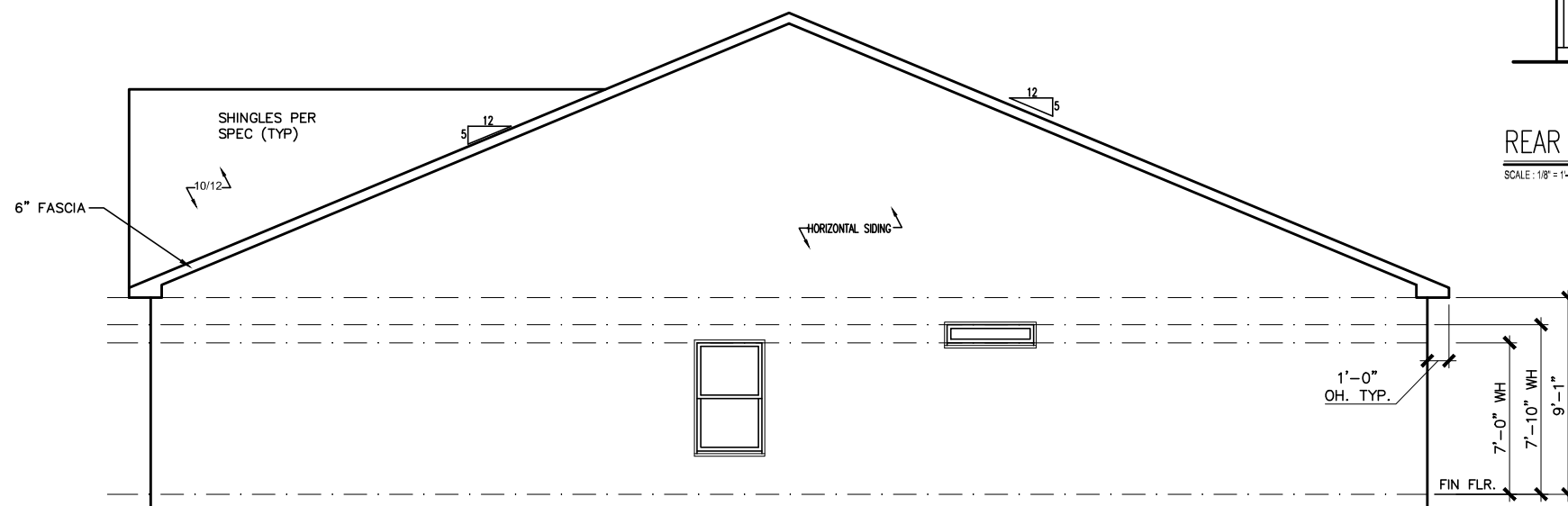
LEFT ELEVATION "D"

SCALE: 1/8" = 1'-0"



REAR ELEVATION "D"

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "D"

SCALE: 1/8" = 1'-0"

DATE	REVISION	BY	#



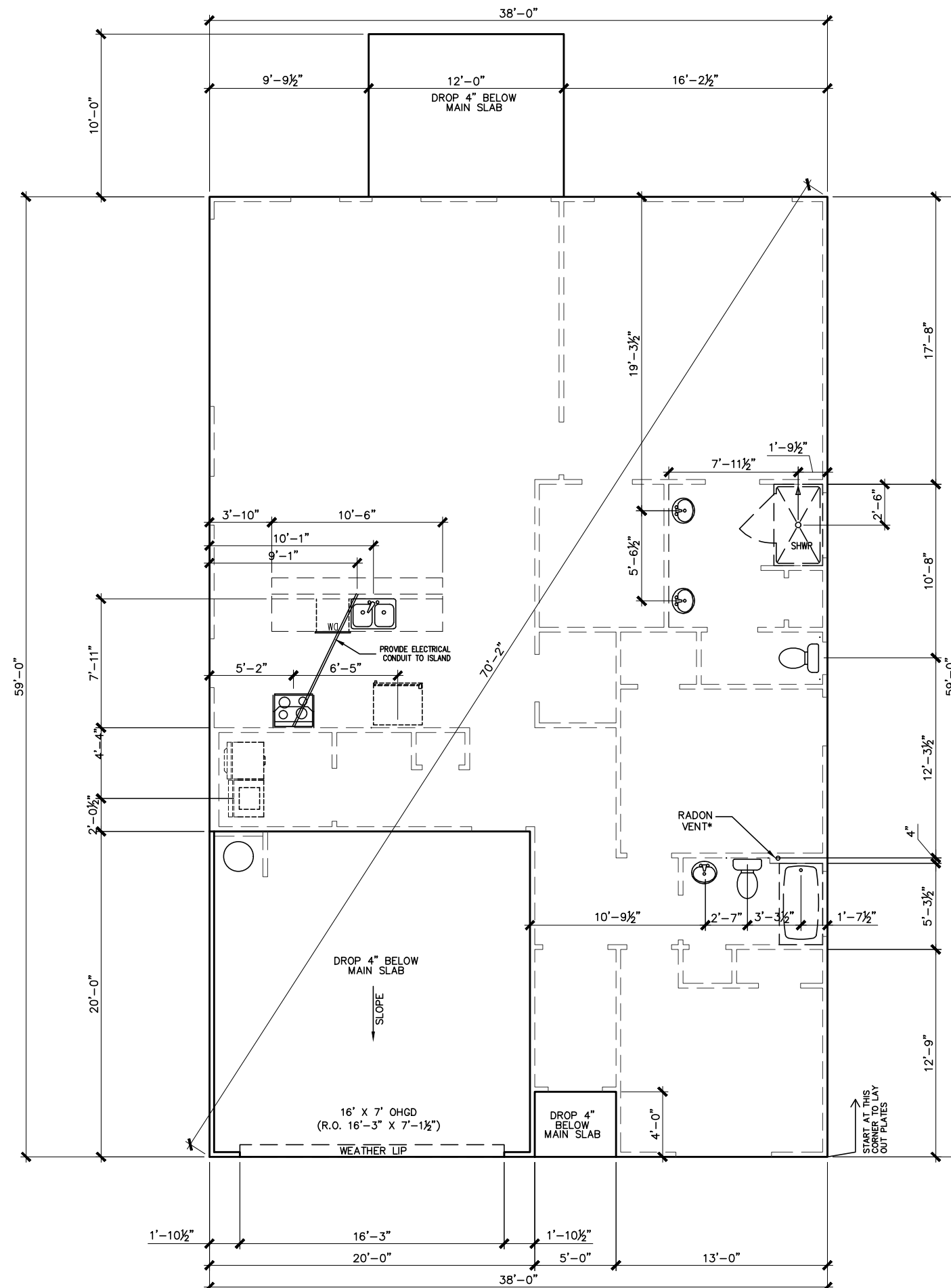
ELEVATIONS  
SIDES AND REAR  
CRAWFORD

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FACADE OPT: A	
PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A2.1	

# TOBACCO ROAD LOT 0179



SLAB PLAN

SCALE: 1/8" = 1'-0"

\*RADON VENT PROVIDED  
PER LOCAL CODE

REFER TO DETAIL 3/D1  
FOR BRICK LEDGE  
DETAIL WHEN BRICK  
VENEER IS CHOSEN

DATE	REVISION	BY
#	#	#
#	#	#
#	#	#
#	#	#
#	#	#



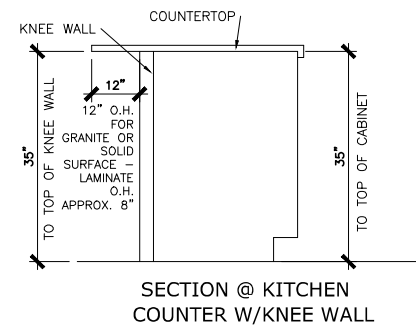
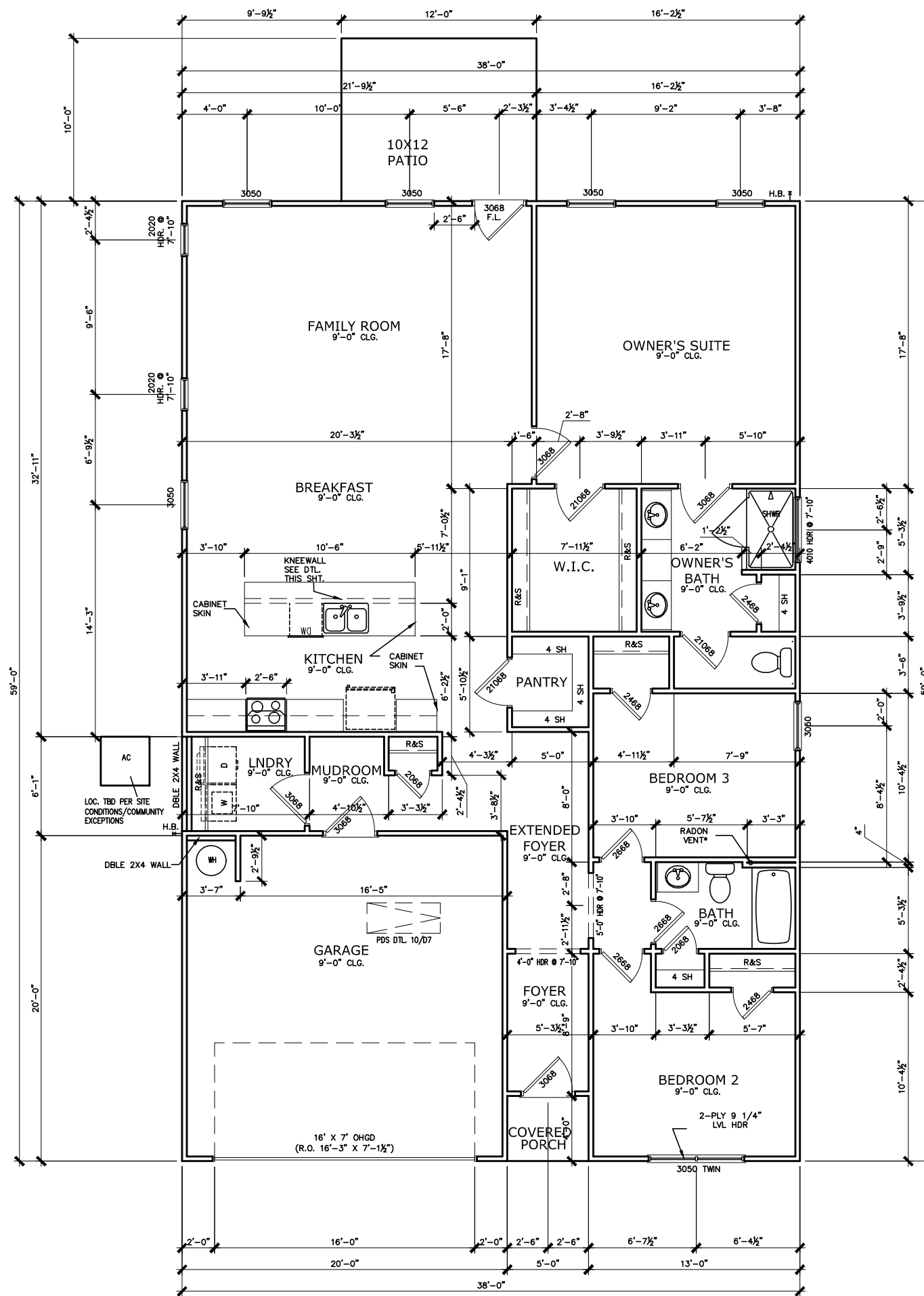
FOUNDATION PLAN  
SLAB PLAN  
CRAWFORD

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FACADE OPT: A	
PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A3.1	

# TOBACCO ROAD LOT 0179



REFER TO MANUFACTURER'S SPECS.  
FOR DRAIN LOCATIONS ON DETAIL  
SHEETS D12, D12.1, D12.2 & D12.3

\*RADON VENT PROVIDED  
PER LOCAL CODE

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

BY	REVISION
#	#
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#	#
DATE	#

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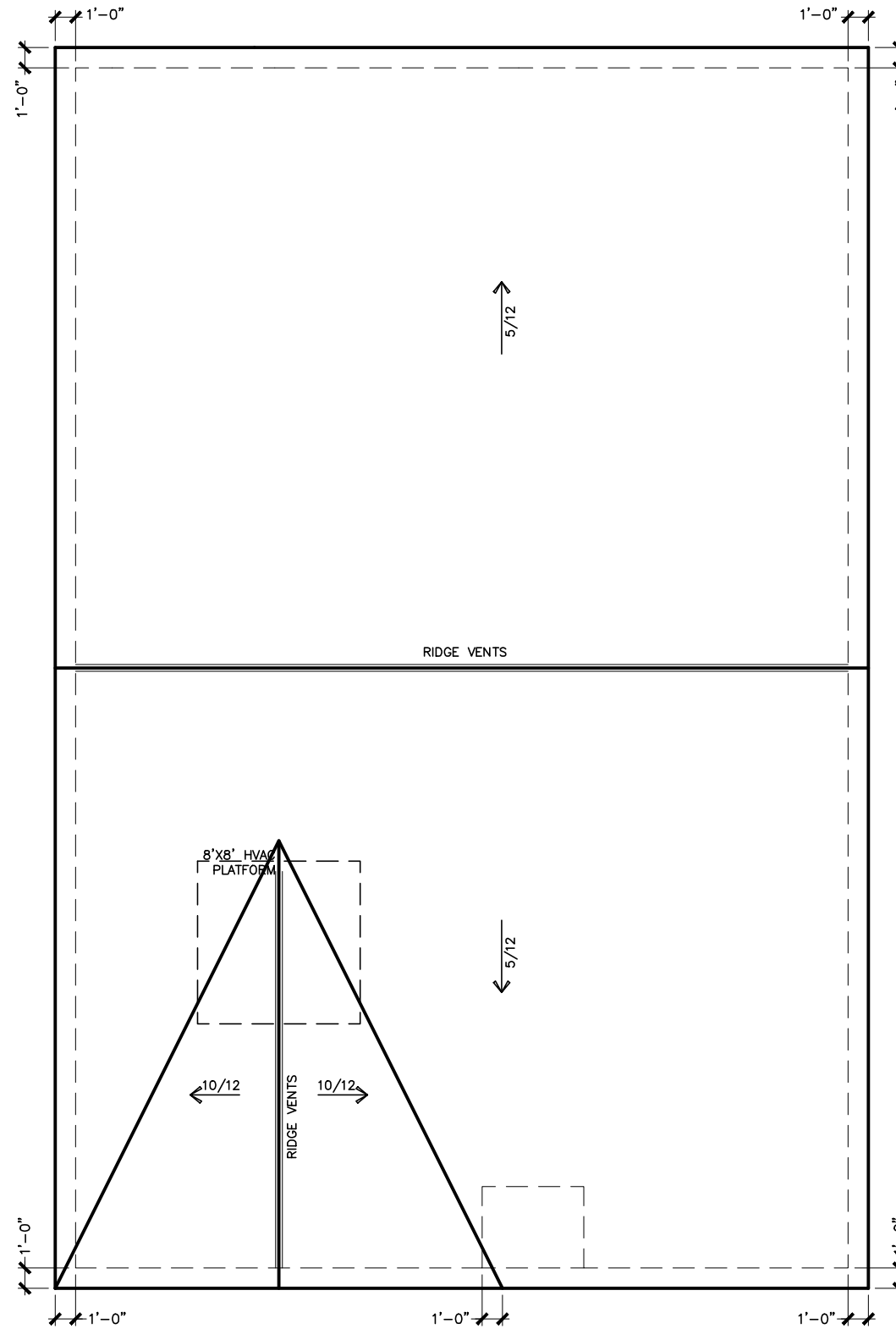
FLOOR PLAN  
FIRST FLOOR  
CRAWFORD

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FND: ALL	BLV: D
PAGE NO:	A5.1

# TOBACCO ROAD LOT 0179



ROOF PLAN "D"  
SCALE : 1/8" = 1'-0"

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#	#	#
#	#	#



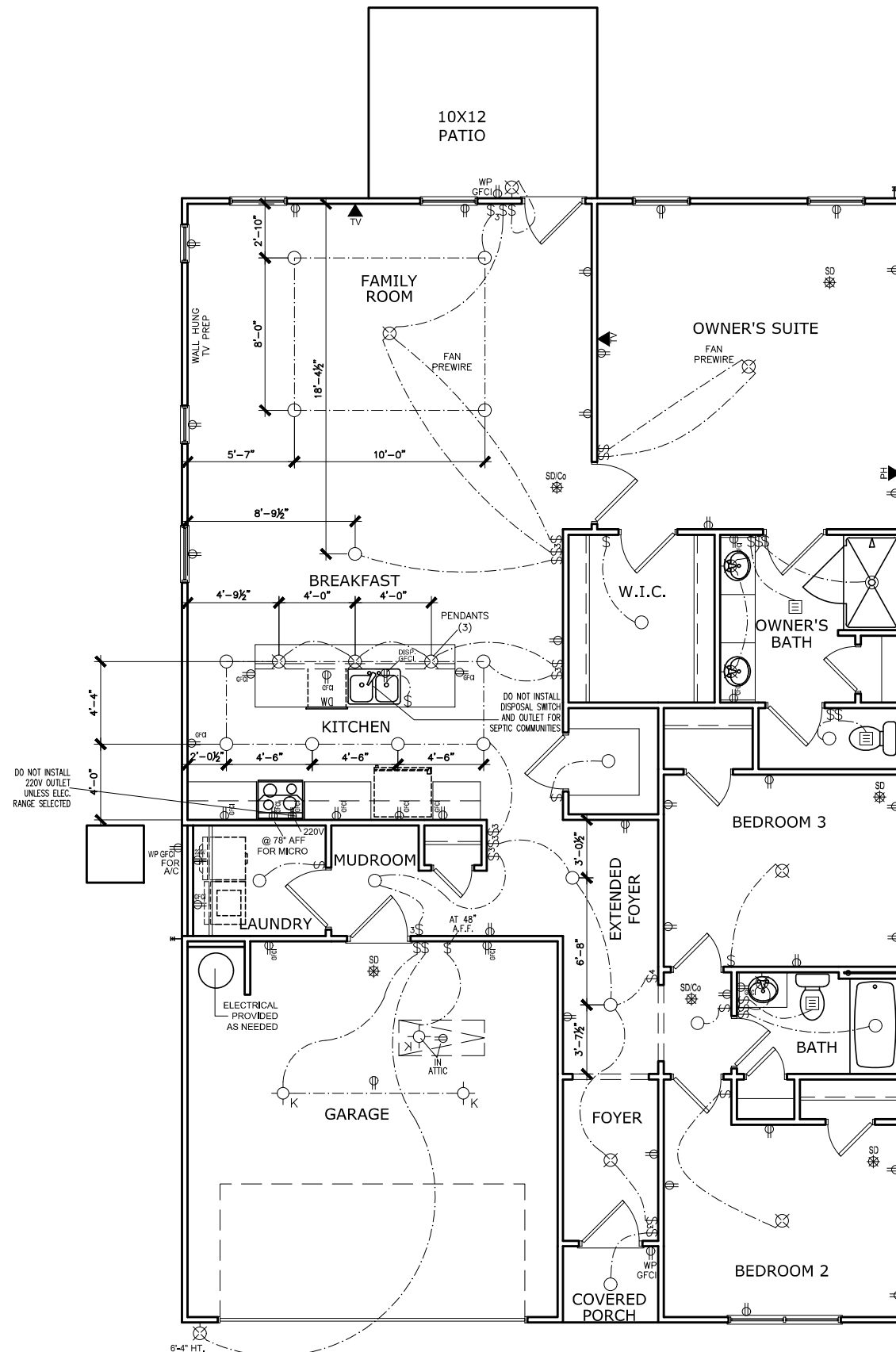
ROOF PLAN  
ROOF PLAN  
CRAWFORD

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PLAN ID:	
FND: ALL	ELEV: D
PAGE NO: A6.1	

# TOBACCO ROAD LOT 0179



## ELECTRICAL LEGEND

\$	SWITCH	▼	TV
\$3	3 WAY SWITCH	⊕	120V RECEPTACLE
\$4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕ <sub>K</sub>	KEYLESS	⊕ <sub>GFCI</sub>	GFCI OUTLET
⊕ <sub>W</sub>	WALL MOUNT FIXTURE	⊕ <sub>AFCI</sub>	ARCH FAULT CIRCUIT INTERRUPTER
⊕	CEILING FIXTURE	† <sub>GL</sub>	GAS LINE
⊕	FLEX CONDUIT	† <sub>WL</sub>	WATER LINE
CH	CHIMES	⊕	HOSE BIBB
▼	TELEPHONE	⊕	FLOOD LIGHT
SD/Co	SMOKE DETECTOR & CARBON MONOXIDE	⊕	1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET	⊕	CEILING FAN
□	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
⊕	EXHAUST FAN	⊕	CEILING FIXTURE
⊕	FAN/LIGHT		

ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES

APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)

BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR
CEILING FAN	96" ABOVE FINISHED FLOOR

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

FIRST FLOOR ELECTRICAL PLAN

BY	REVISION	#	#	#	#	#
TJJ						
AW						
DATE						



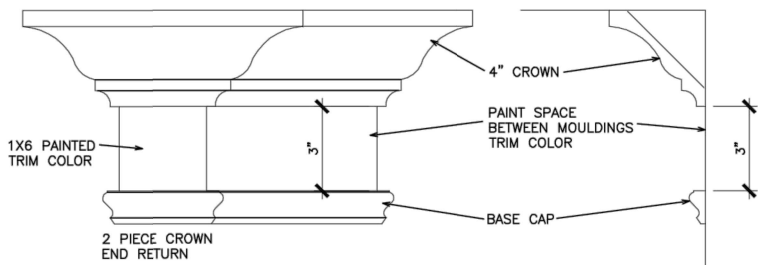
ELECTRICAL PLAN  
FIRST FLOOR  
CRAWFORD

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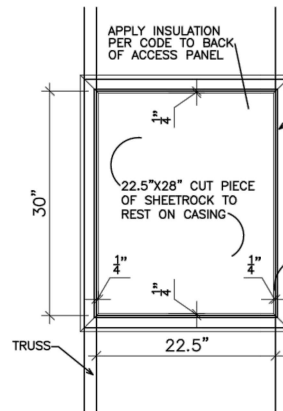
BY:	TJJ	CH:	AW
DATE:	04/16/2024		
FACADE OPT:	A		
PLAN ID:			
FND:	ALL	ELEV:	D
PAGE NO:	A7.2		

REFER TO LOT SPECIFIC PLAN TO DETERMINE WHICH DETAILS APPLY



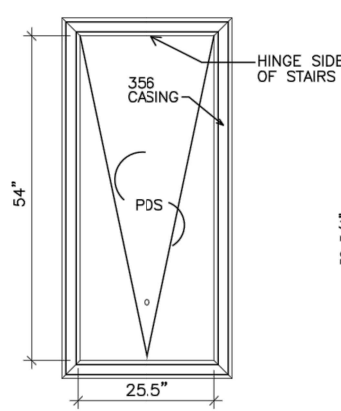
TYPICAL TWO PIECE CROWN

N.T.S.



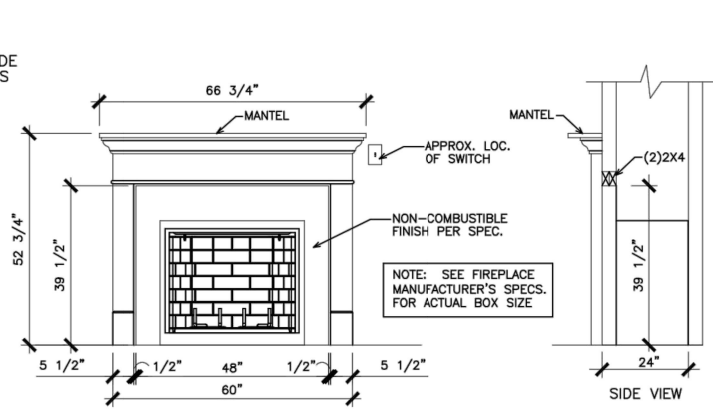
SCUTTLE HOLE DETAIL

N.T.S.



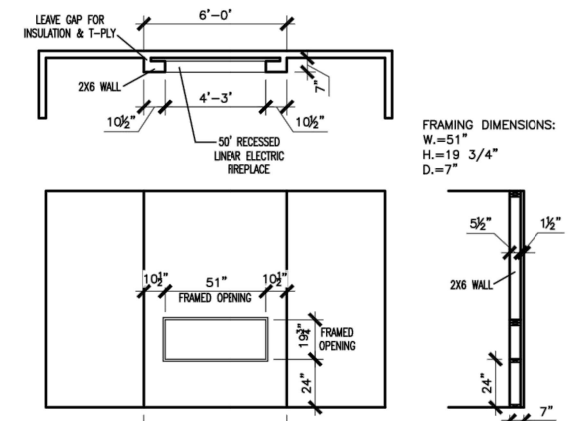
PDS TRIM DETAIL

N.T.S.



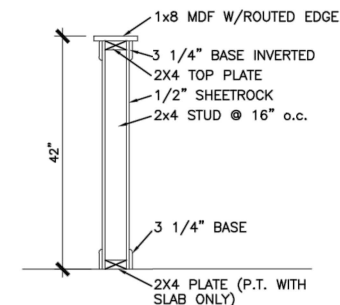
GAS/ELECTRIC FIREPLACE DETAIL WITH WESCOTT WOOD MANTEL

N.T.S.



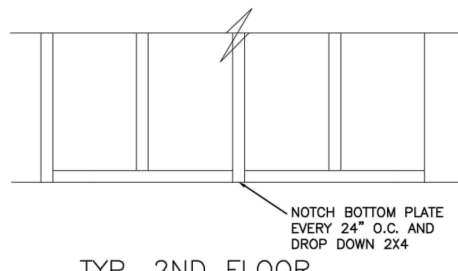
LINEAR ELECTRIC FIREPLACE DETAIL

N.T.S.



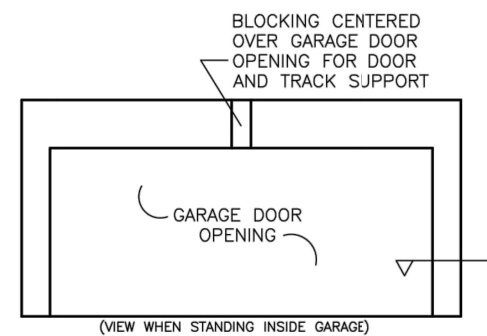
TYP. KNEEWALL SECTION

N.T.S.



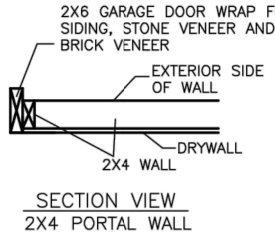
TYP. 2ND FLOOR KNEE WALL STABILITY

N.T.S.



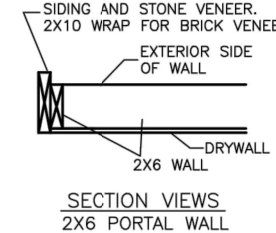
TYP. GARAGE WRAP & BLOCKING

N.T.S.



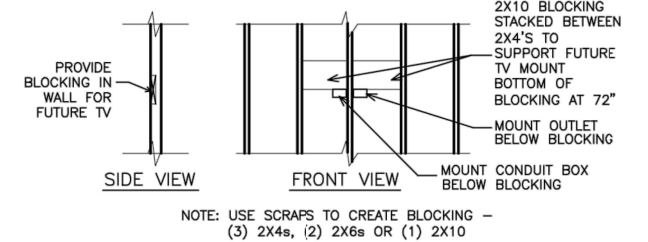
SECTION VIEW 2X4 PORTAL WALL

N.T.S.



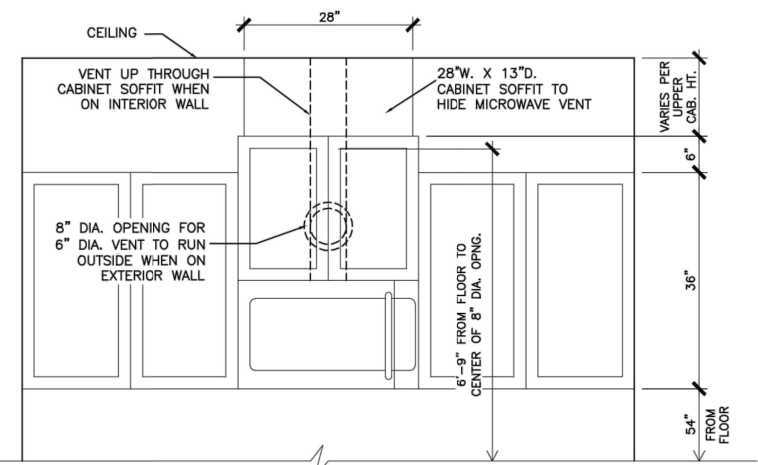
SECTION VIEWS 2X6 PORTAL WALL

N.T.S.



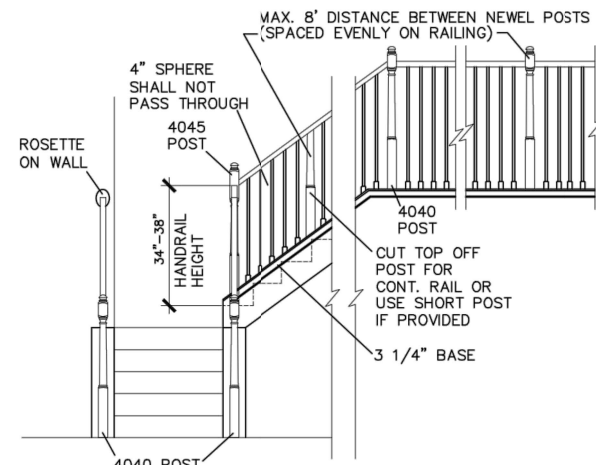
TYP. TV WALL PREP

N.T.S.



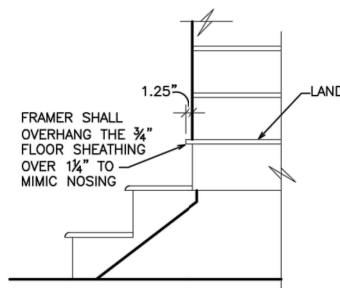
CABINET SOFFIT DETAIL ABOVE VENTED MICROWAVE W/CABINET ABOVE RANGE BUMPED UP & OUT

N.T.S.



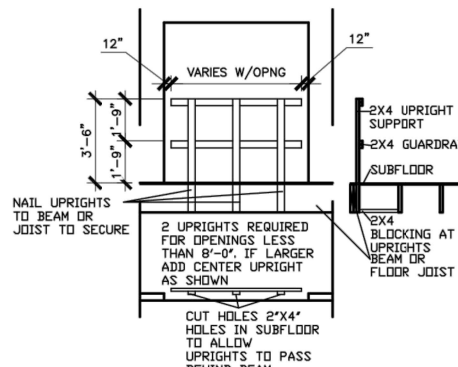
HANDRAIL/POST DETAIL @ STAIRS

N.T.S.



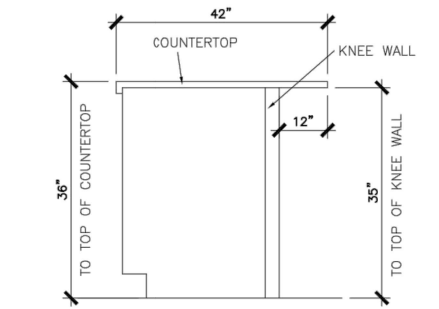
BOX STEP OVERHANG

N.T.S.



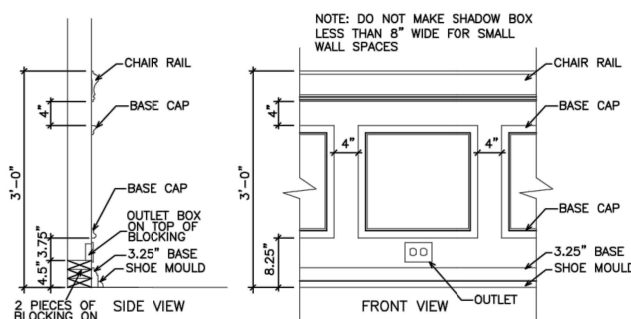
GUARD RAIL DTL. AS REQ'D

N.T.S.



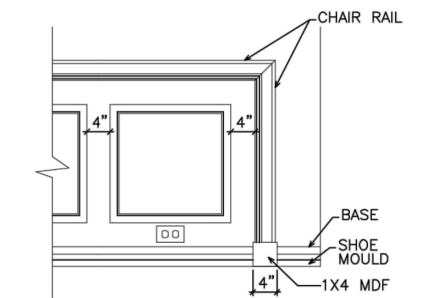
SECTION @ ISLAND KNEEWALL

N.T.S.



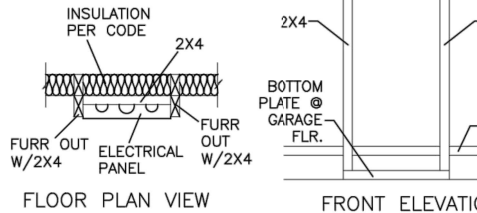
TYPICAL CHAIR RAIL & SHADOW BOX DETAIL

N.T.S.



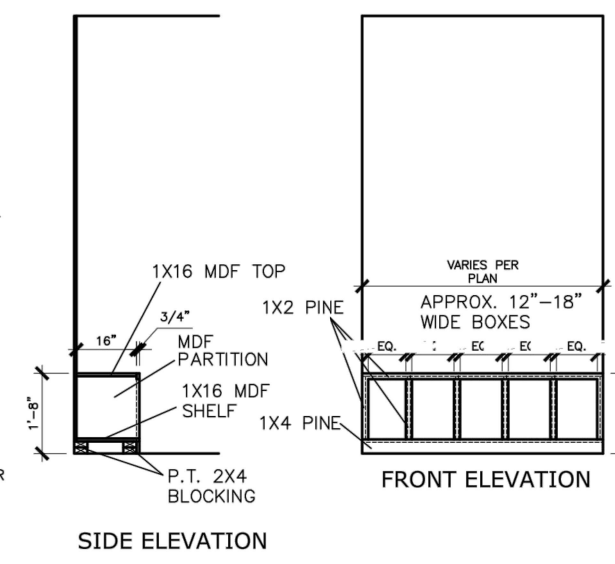
CHAIR RAIL END TRIM DETAIL

N.T.S.



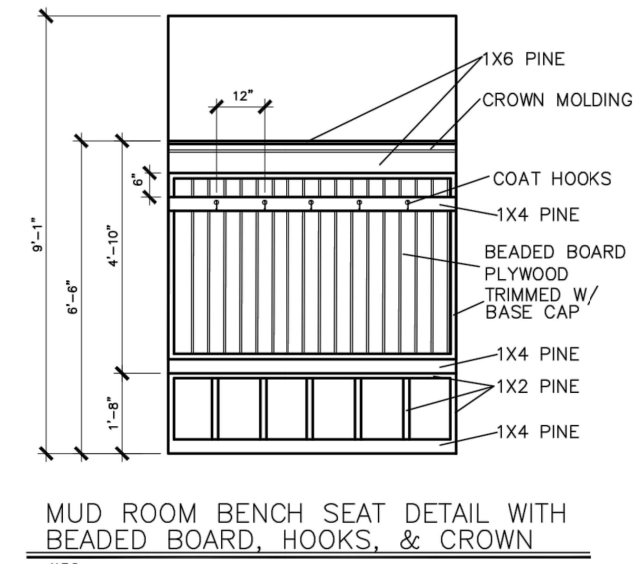
ELECTRICAL PANEL DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL

N.T.S.



MUD ROOM BENCH SEAT DETAIL WITH BEADED BOARD, HOOKS, & CROWN

N.T.S.

(IF TRIM CHOSEN WITHOUT BENCH CONTINUE TO FLOOR)

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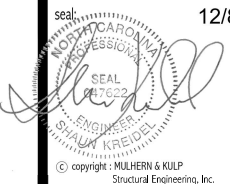
INTERIOR TRIM  
DETAILS

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ELEV:	
PAGE NO.:	D1.1





MULHERN+KULP RESIDENTIAL STRUCTURAL ENGINEERING 3025 Bluebirds Parkway, Suite 105 - Albemarle, NC 28822 919-777-4894 - mulhern@mkeng.com NC License # C-3825

Mulhern+Kulp project number: 256-21005 project mgr: SMK drawn by: MJF issue date: 08-04-2021

REVISIONS: date: 11/22/21 initial: JPP REASON: REWORK PLANS ADDED

SMITH DOUGLAS HOMES

GENERAL STRUCTURAL NOTES CRAWFORD MODEL RALEIGH, NC

sheet: TOBACCO Lot 179 SO.0

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

Table with 3 columns: DESCRIPTION OF BLDG. ELEMENT, 3"x0.131" NAILS, 3"x0.120" NAILS. Rows include JOIST TO SOLE PLATE, SOLE PL. TO JOIST/RIM OR BLK'G STUD TO PLATE, RIM TO TOP PLATE, etc.

\* 2 1/2"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE \* ARE SHOWN)

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MK FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

VENEER LINTEL SCHEDULE

Table with 3 columns: SPAN (MAX), HEIGHT OF VENEER ABOVE LINTEL, STEEL ANGLE SIZE. Rows for spans 3'-0", 6'-0", 8'-0", 9'-6".

ALL LINTELS - SHALL SUPPORT 2 3/8" - 3 1/2" VENEER w/ 40 psf MAXIMUM HEIGHT. < 10" SHALL HAVE 4" MIN. BEARING > 10" SHALL HAVE 8" MIN. BEARING < 10" SHALL NOT BE FASTENED BACK TO HEADER. > 10" SHALL BE FASTENED BACK TO WOOD HEADER IN WALL @ 48" O.C. w/ 1/2" DIA. x 3 1/2" LONG LAG SCREWS IN 2" LONG VERTICALLY SLOTTED HOLES.

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE
FOOTING DESIGN - 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING: 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C., 1" MIN. EMBEDMENT

LEGEND

- RT - INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF MANUF. (TYP. U.N.O.)
OF - INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
INTERIOR BEARING WALL
BEARING WALL ABOVE (B.W.A.)
BEAM/HEADER
METAL HANGER
INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: 115 MPH WIND IN 2018 NCSBC:RC & 115 MPH WIND IN 2018 IRC (115 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC (SECTION 1609) & ASCE 7, AS PERMITTED BY R301.3 OF THE 2018 NCSBC:RC & 2018 IRC. IF THE PARAMETERS OF SECTION R602.12 COMPLY. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC & 2018 IRC SECTION R602.11.1.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 & R602.11.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 1/32" PLYWOOD: FASTEN SHEATHING w/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.)
ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING
INDICATES HOLD-DOWN

HOLD-DOWN SCHEDULE

Table with 2 columns: SYMBOL, SPECIFICATION. Row: HD-1, USP STUDIO HOLD-DOWN

FLOOR FRAMING

- I-JOISTS SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT MK FOR EXCLUDED FLOOR DESIGNS)
PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER 'DESIGN LOADS').
FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE). HOWEVER, IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TCNA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).

ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS - w/ 2 1/2" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD.
w/ 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD.
w/ 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. FIELD.
WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPs FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
FASTEN EACH ROOF TRUSS TO TOP PLATE w/ USP RTIA CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) RTIA CLIPS AT 2-PLY GIRDER TRUSSES, (3) RTIA CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

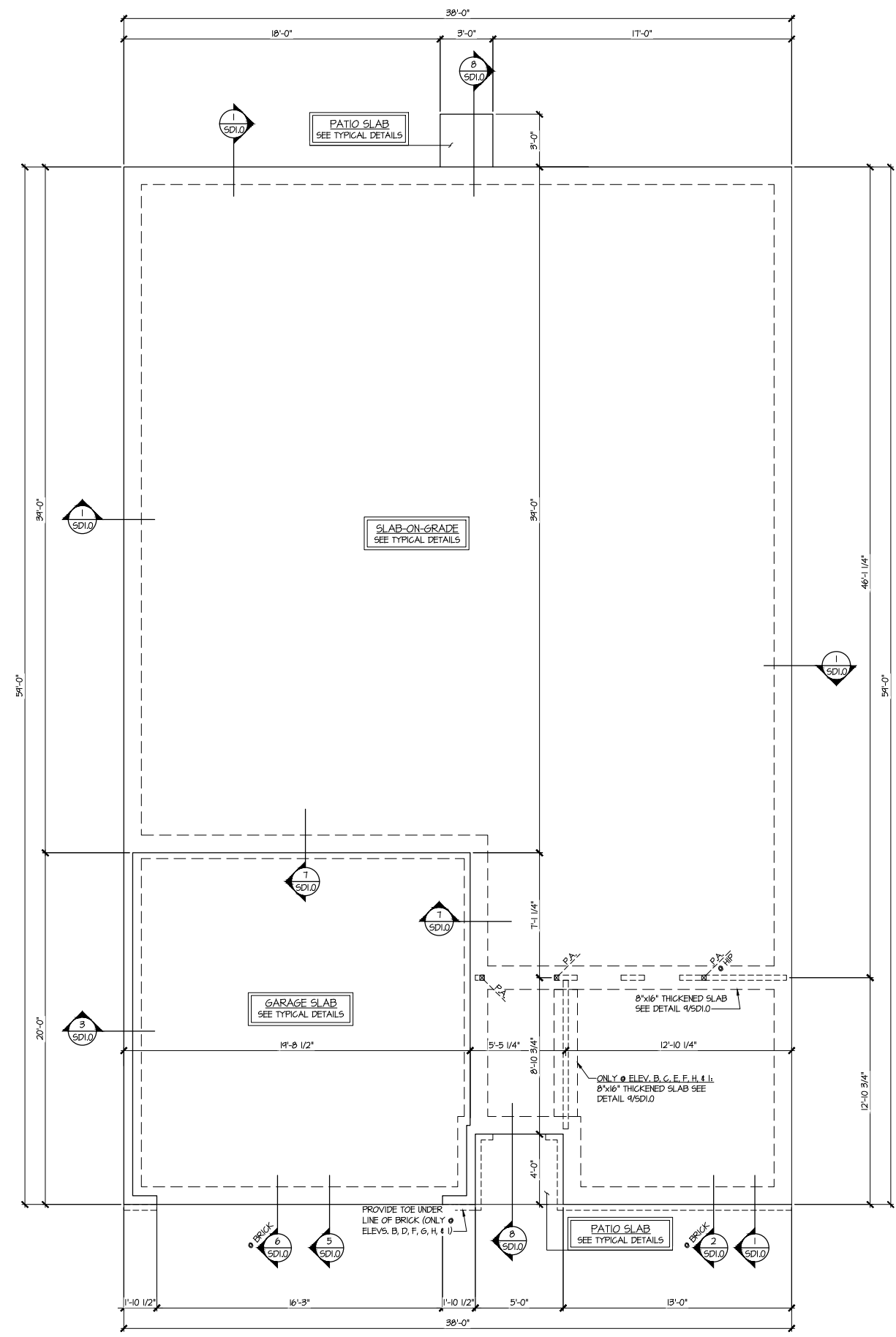
STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE
WOOD FRAME ENGINEERING IS BASED ON NDS, 'NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION' - LATEST EDITION.
DESIGN LOADS:
ROOF LIVE = 20 PSF
DEAD = 7 PSF T.C., 10 PSF B.C.
LOAD DURATION FACTOR = 1.25
FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS)
DEAD = 10 PSF (1-JOIST5)
ADD'L 10 PSF @ CERAMIC TILE IN BATHS & LAUND.
SOIL 2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3(1)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPP/SP "STUD" GRADE LUMBER, OR BETTER, U.N.O.
ALL INTERIOR BEARING WALLS ARE ASSIGNED TO BE SHEATHED w/ GYP WALL BOARD (ONE SIDE MIN) OR PROVIDE MID HT. BLOCKING.
ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER. SUPPORT ALL HEADERS/ BEAMS w/ (1)2x JACK STUD @ (1)2x KING STUD, MINIMUM.
ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x "STUD" GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.)
HEADERS IN NON-LOAD BEARING WALLS SHALL BE: (1)2x4/6 FLAT @ OPENINGS UP TO 4'; (2)2x4/6 FLAT UP TO 8'.
ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:
'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0x10^6 psi
ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
'LVL' - Fb=2400 psi; FcII=2500 psi; E=1.8x10^6 psi
FOR 2 & 3 PLY BEAMS OF EQUAL 1 3/4" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O.C. OR 2 ROWS USP W635 SCREWS (OR 3 3/8" TRUSSLOK SCREWS) @ 16" O.C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3 1/2" OR 5 1/2" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
FOR 4 PLY BEAMS OF EQUAL 1 3/4" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF USP W66 SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O.C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE. A SOLID 1" BEAM IS ACCEPTABLE.
PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND/BEARING. BLOCKING TO MATCH POST ABOVE.
ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE USP BC522-4 CAP & PA44E BASE, U.N.O.



**MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 ELEV. A SHOWN  
 (ALL ELEV. SIM.)

**TOBACCO**  
**Lot 179**

REFER TO S.O. FOR TYPICAL  
 STRUCTURAL NOTES & SCHEDULES

**NOTE:**  
 IF EXTERIOR WALLS ARE NOT CONTINUOUSLY  
 SHEATHED W/ OSB, REFER TO SHEET 54.0  
 FOR HOLDOWN REQUIREMENTS / LOCATIONS

LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANIF. (TYP. UNO.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

12/8/21  
 SEAL  
 MULHERN + KULP  
 ENGINEERS  
 PHILIP KREIDL  
 © copyright: MULHERN & KULP  
 Structural Engineering, Inc.

**MULHERN+KULP**  
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 3025 Sherrills Parkway, Suite 105 - Alpharetta, GA 30002  
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 NC License # C-3825

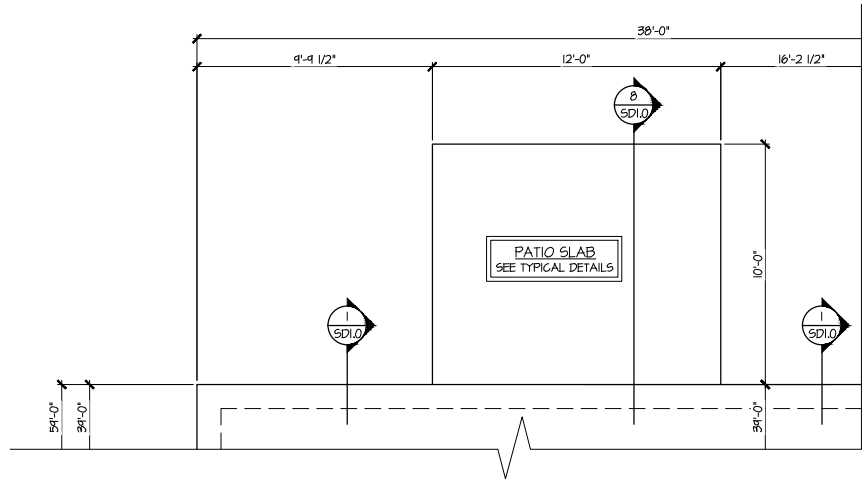
Mulhern+Kulp project number:  
**256-21005**  
 project mgr: SMK  
 drawn by: MJF  
 issue date: 08-04-2021

REVISIONS:  
 date: 11/22/21 initial: JPP  
 REVISIONS ADDED

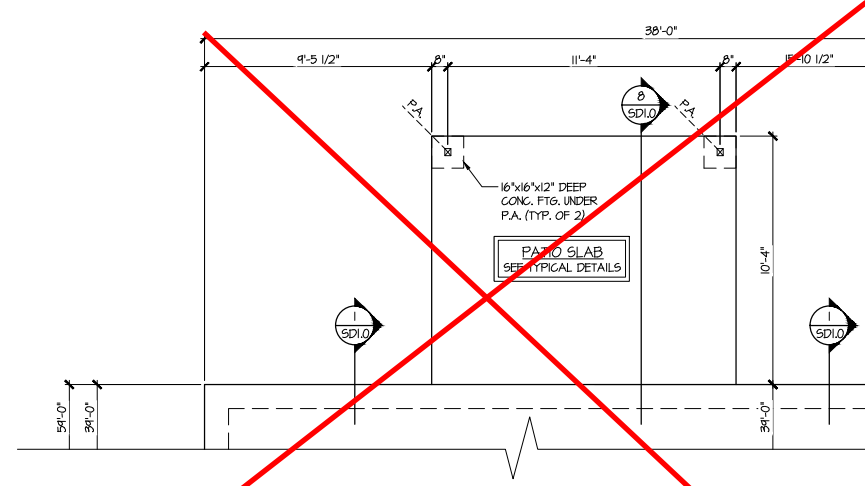
SMITH DOUGLAS  
 HOMES

MONO-SLAB FOUNDATION  
 CRAWFORD MODEL  
 RALEIGH, NC

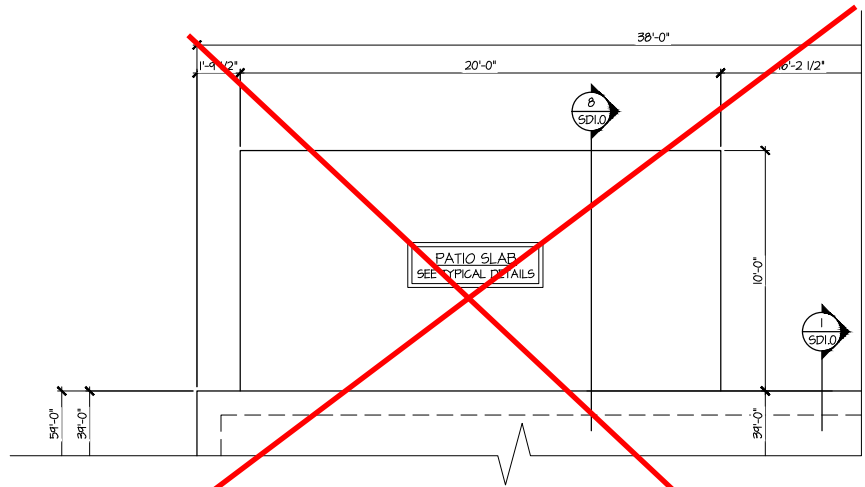
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**S1.0M**



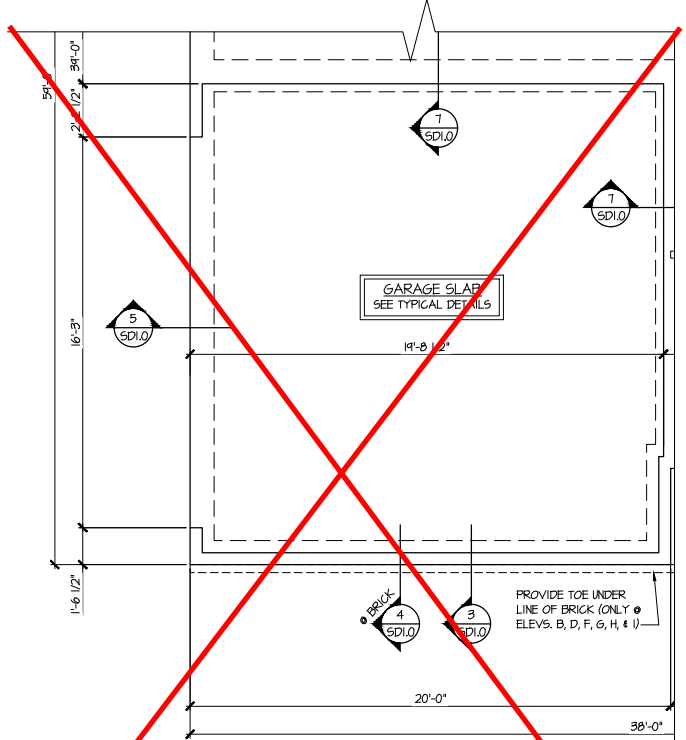
**1 PARTIAL MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. PATIO



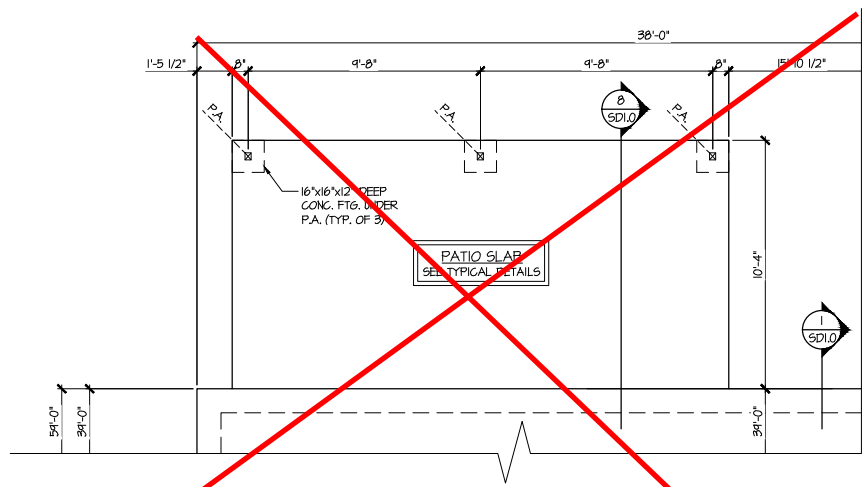
**2 PARTIAL MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. COVERED PORCH



**3 PARTIAL MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. EXT. PATIO



**5 PARTIAL MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. SIDE ENTRY GARAGE  
 ELEV. 5 SHOWN  
 (ALL ELEV. 5 1/4")



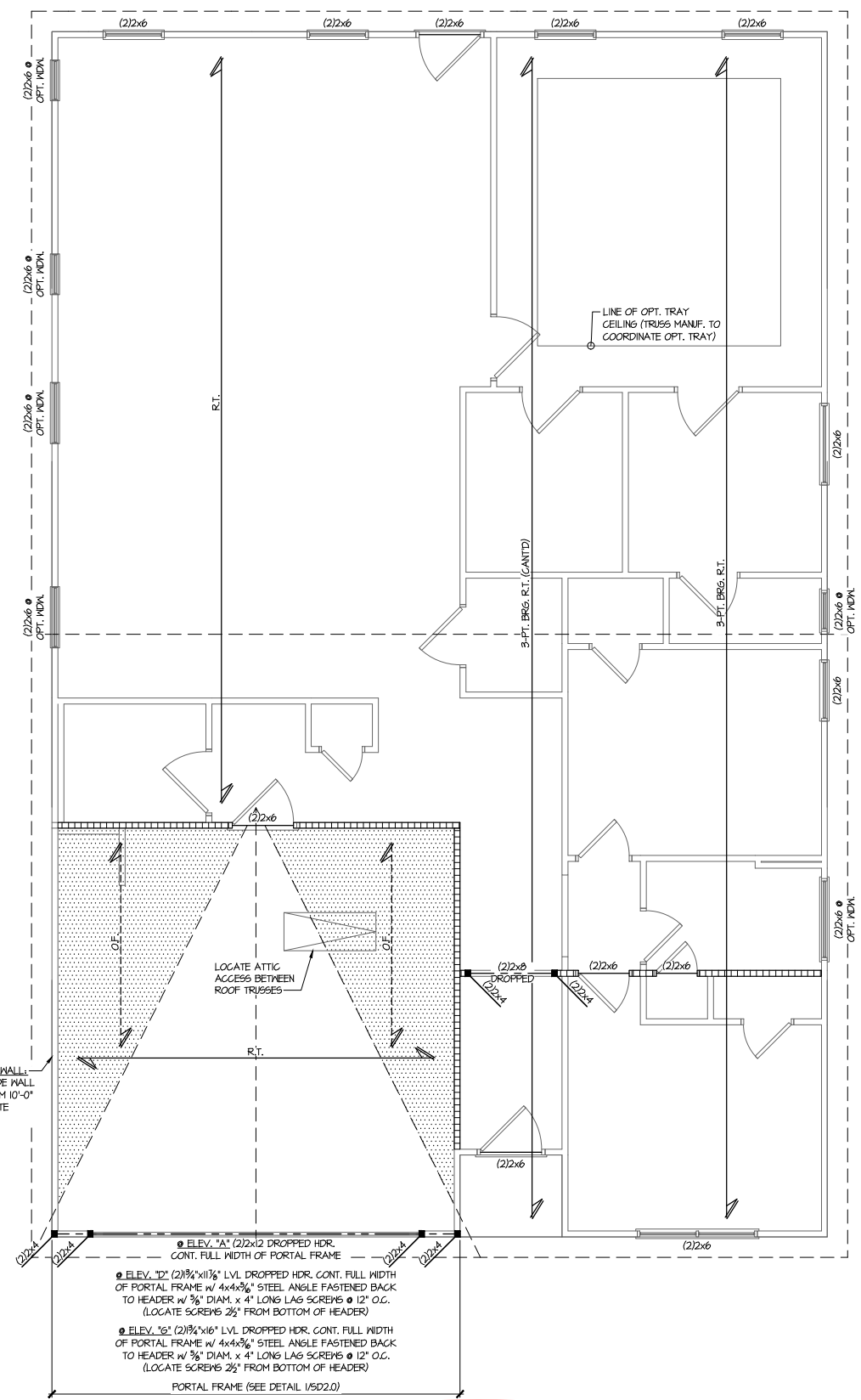
**4 PARTIAL MONO-SLAB FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. LARGE COVERED PORCH

**TOBACCO  
 Lot 179**

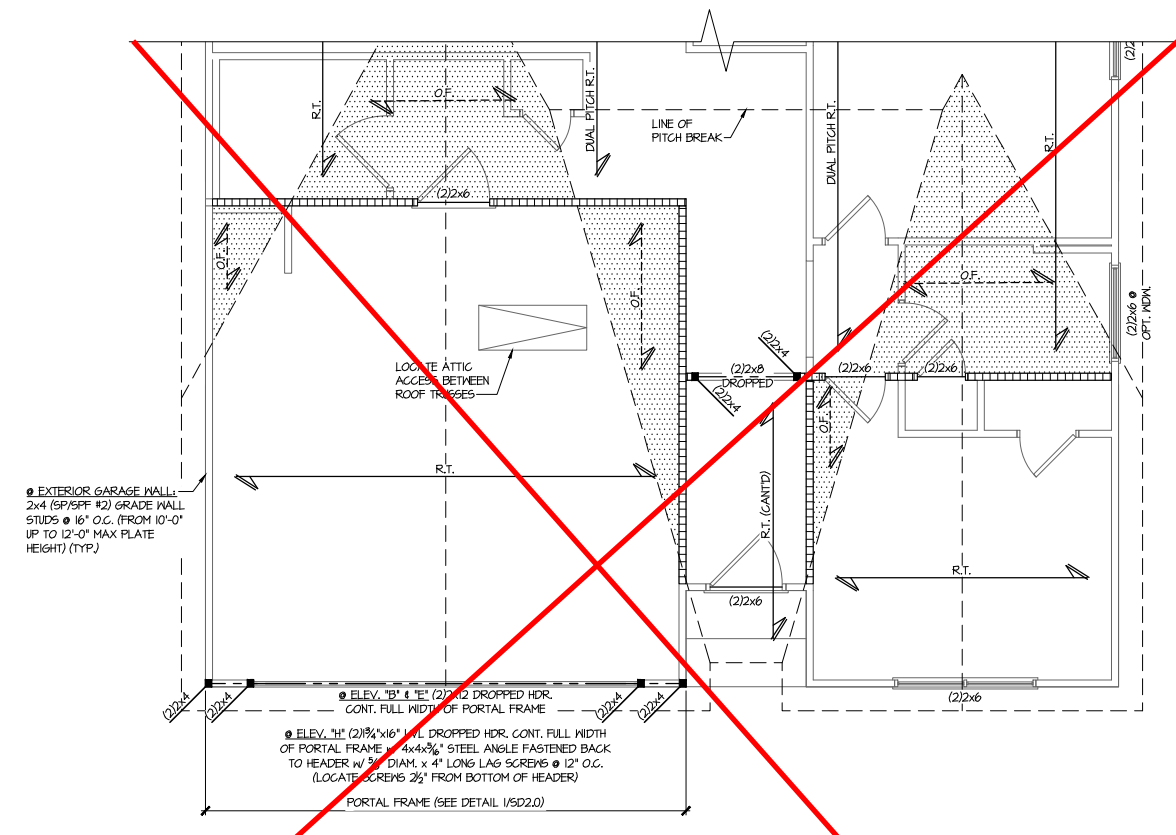
REFER TO 50.0 FOR TYPICAL  
 STRUCTURAL NOTES & SCHEDULES

NOTE:  
 IF EXTERIOR WALLS ARE NOT CONTINUOUSLY  
 SHEATHED W/ OSB, REFER TO SHEET 54.0  
 FOR HOLDDOWN REQUIREMENTS / LOCATIONS

LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	Metal Hanger
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



**1 ROOF FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 ELEV. A SHOWN  
 (ELEVS. D & G SIM.)



**2 PARTIAL ROOF FRAMING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 ELEV. B SHOWN (ELEVS. E & F SIM.)  
 (SEE ELEV. A FOR ADDL. INFO.)

**TOBACCO**  
**Lot 179**

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

REFER TO 50.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

Mulhern+Kulp project number:  
 256-21005

project mgr: SMK  
 drawn by: MJF  
 issue date: 08-04-2021

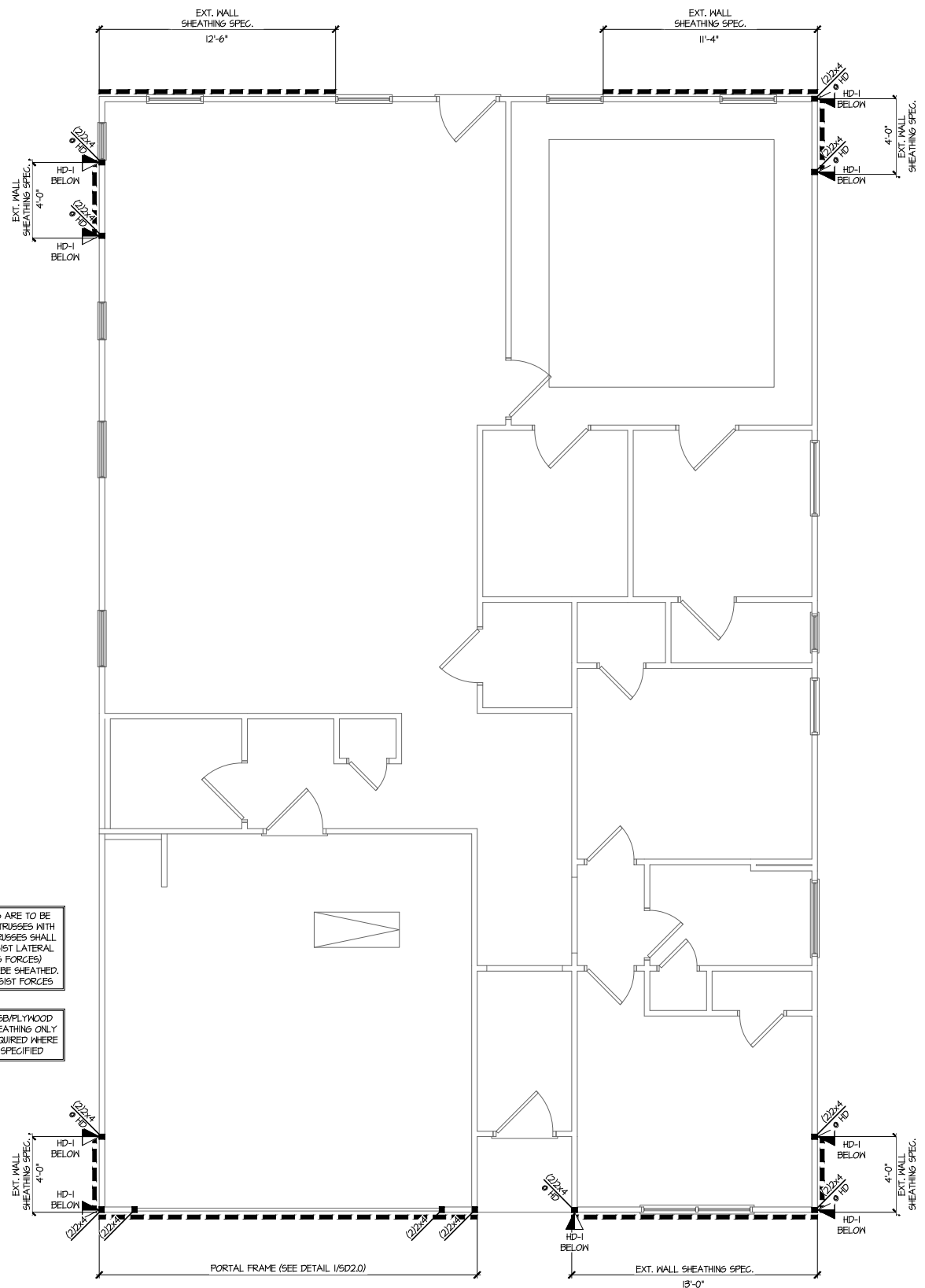
REVISIONS:

date:	initial:
11/22/21	JFP
REWORKED PLANS ADDED	

SMITH DOUGLAS  
 HOMES

OPT. LATERAL BRACING PLAN  
 CRAWFORD MODEL  
 RALEIGH, NC

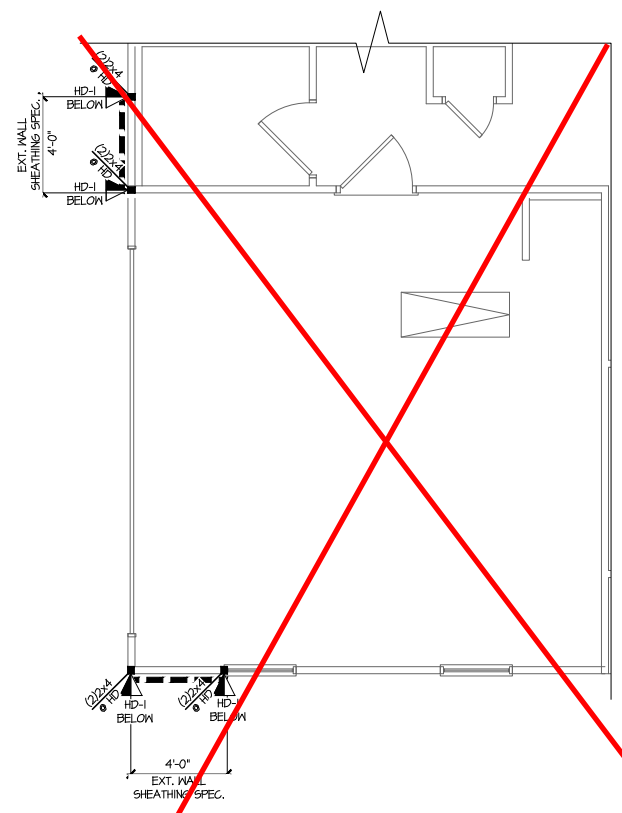
sheet:  
**S4.0M**



GABLE END TRUSSES ARE TO BE DESIGNED AS DRAG TRUSSES WITH 100 PLF CAPACITY. TRUSSES SHALL BE DESIGNED TO RESIST LATERAL FORCES (I.E. DRAG FORCES) WITHOUT THE NEED TO BE SHEATHED. DIAGONALS MUST RESIST FORCES

OSB/PLYWOOD SHEATHING ONLY REQUIRED WHERE SPECIFIED

**1 ALTERNATE LATERAL BRACING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 ALL ELEV. SIM.



**2 PARTIAL ALTERNATE LATERAL BRACING PLAN**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17  
 OPT. SIDE LOAD GARAGE  
 ALL ELEV. SIM.

**TOBACCO**  
 Lot 179

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

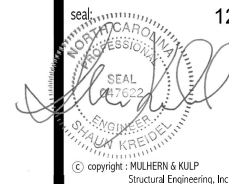
REFER TO 50.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

**HOLD-DOWN SCHEDULE**

SYMBOL	SPECIFICATION
HD-1	USP STADIO HOLD-DOWN

**LEGEND**

RT	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
OF	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
▬	INTERIOR BEARING WALL
▬	BEARING WALL ABOVE (B.W.A.)
---	BEAM/HEADER
JL	METAL HANGER
*	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



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978-777-4874 - mulhern+kulp.com  
NC License # C-3825



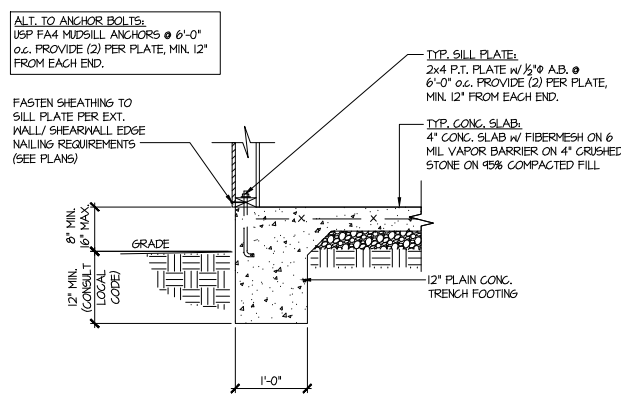
Mulhern+Kulp project number:  
**256-21005**  
project mgr: **SMK**  
drawn by: **MJF**  
issue date: **08-04-2021**

REVISIONS:  
date: 11/22/21 initial: JPP  
REVISIONS ADDED

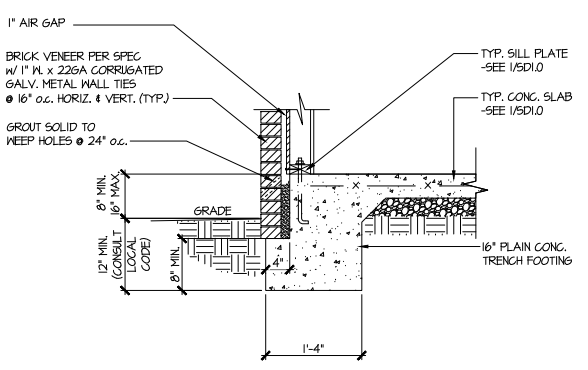
**SMITH DOUGLAS  
HOMES**

**FOUNDATION DETAILS**  
**CRAWFORD MODEL**  
RALEIGH, NC

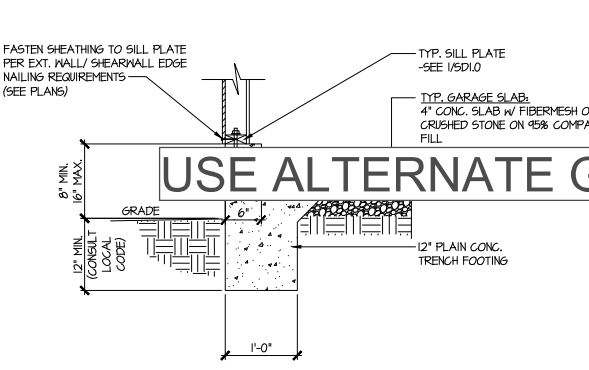
sheet:  
**SD1.0**



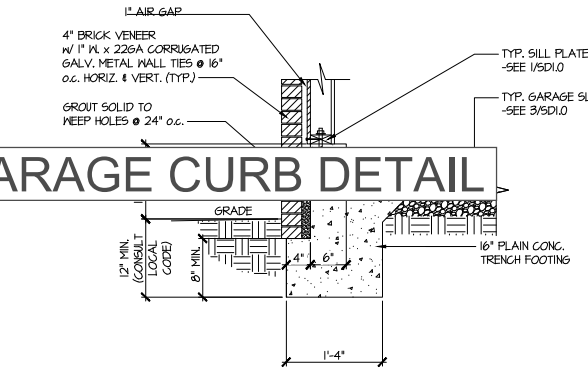
**1** TYPICAL SLAB ON GRADE PERIMETER FOOTING



**2** TYPICAL SLAB ON GRADE PERIMETER FOOTING w/ BRICK VENEER

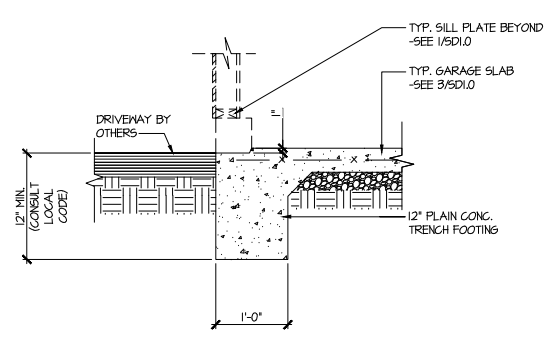


**3** TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING

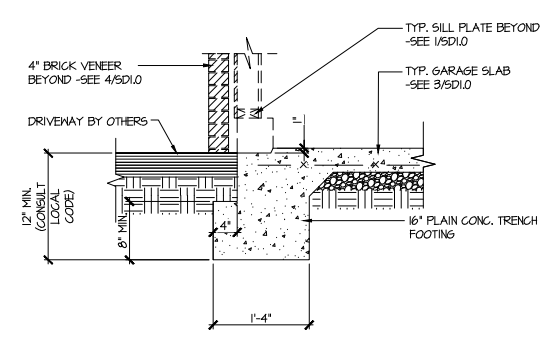


**4** TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER

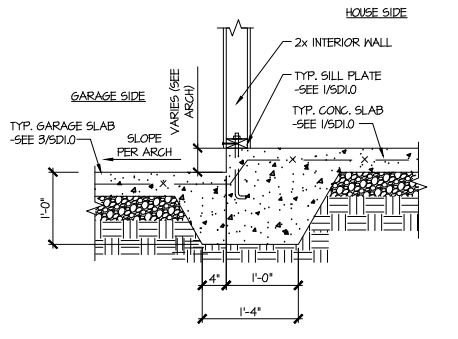
**USE ALTERNATE GARAGE CURB DETAIL**



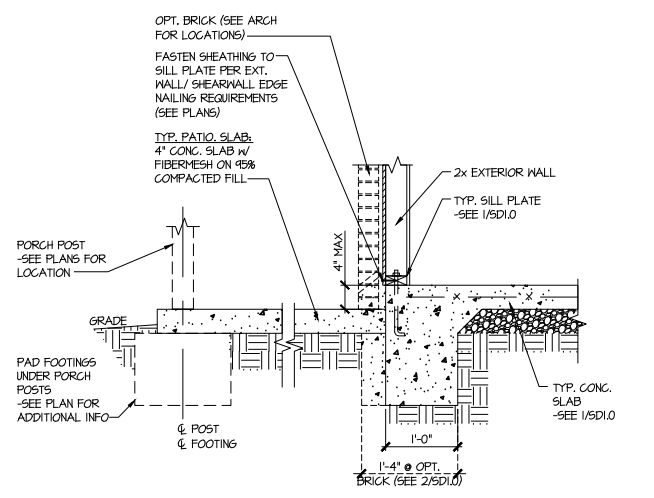
**5** TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



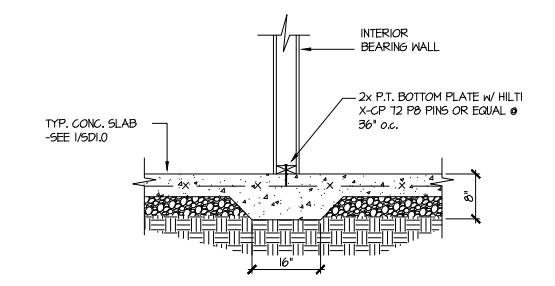
**6** TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING w/ BRICK VENEER



**7** TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



**8** TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



**9** TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

**TOBACCO  
Lot 179**



**MULHERN+KULP**  
RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

August 18, 2023

Jody Hunt

Director of Product Development

**SMITH DOUGLAS HOMES**

110 Village Trail, Suite 215  
Woodstock, GA 30188

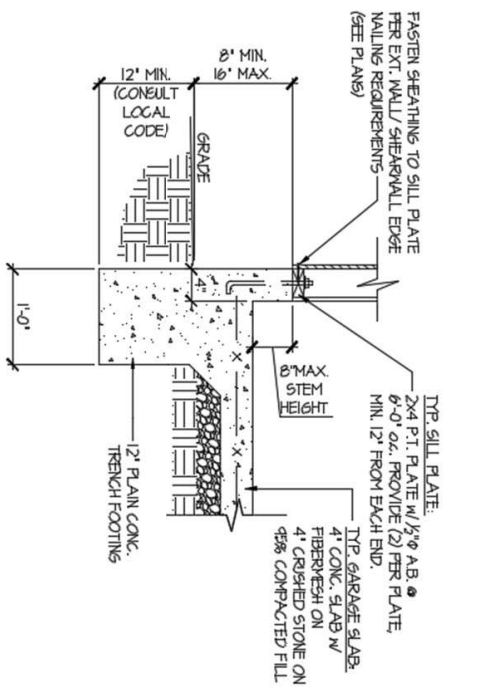
**ALTERNATE GARAGE CURB DETAIL**  
Smith Douglas Homes

*Reference*

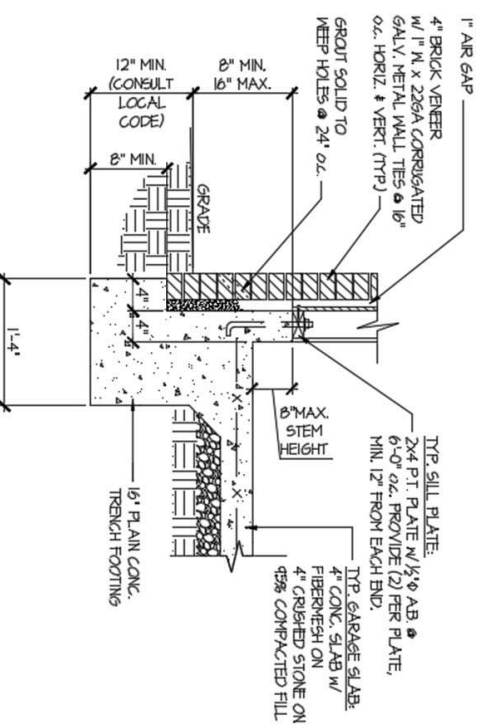
*Current Structural Plans prepared by Mulhern & Kulp*

Jody:

Pursuant to your request, we have prepared this letter to address the "Alternate Garage Curb Details", prepared by Mulhern & Kulp for Smith Douglas Homes shown below. The foundation details shown below call for a 4" wide curb with a maximum of 8" stem wall height; these are an acceptable alternative to the 6" wide curb at the garage per M&K foundation details 3 & 4 on sheet SD-1.0 at 2x4 garage wall locations.



**A** TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



**B** TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING  
w/ BRICK VENEER

Please feel free to call if you have any questions.

Respectfully,

**MULHERN & KULP STRUCTURAL ENGINEERING, INC.**

NC License # C-3825

Shaun M. Kreidel, P.E. Project Manager + Atlanta Office Director

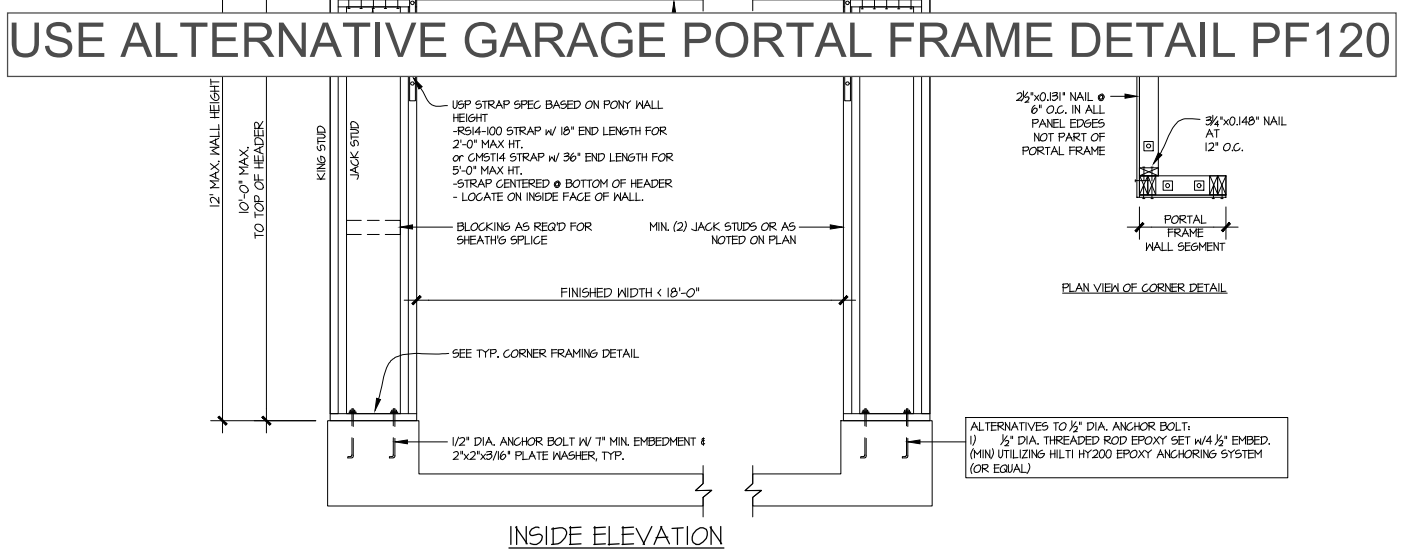
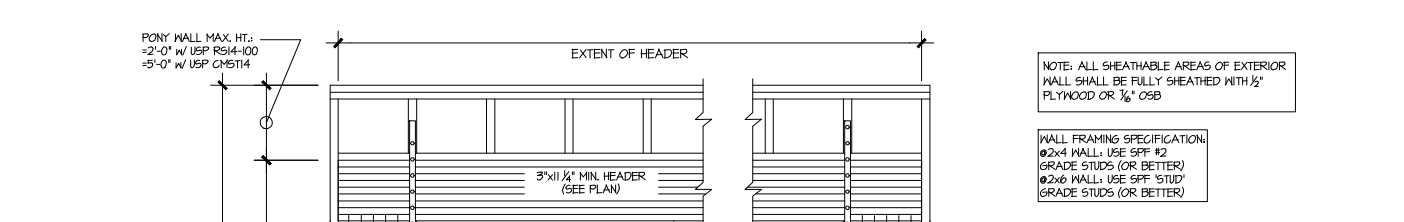
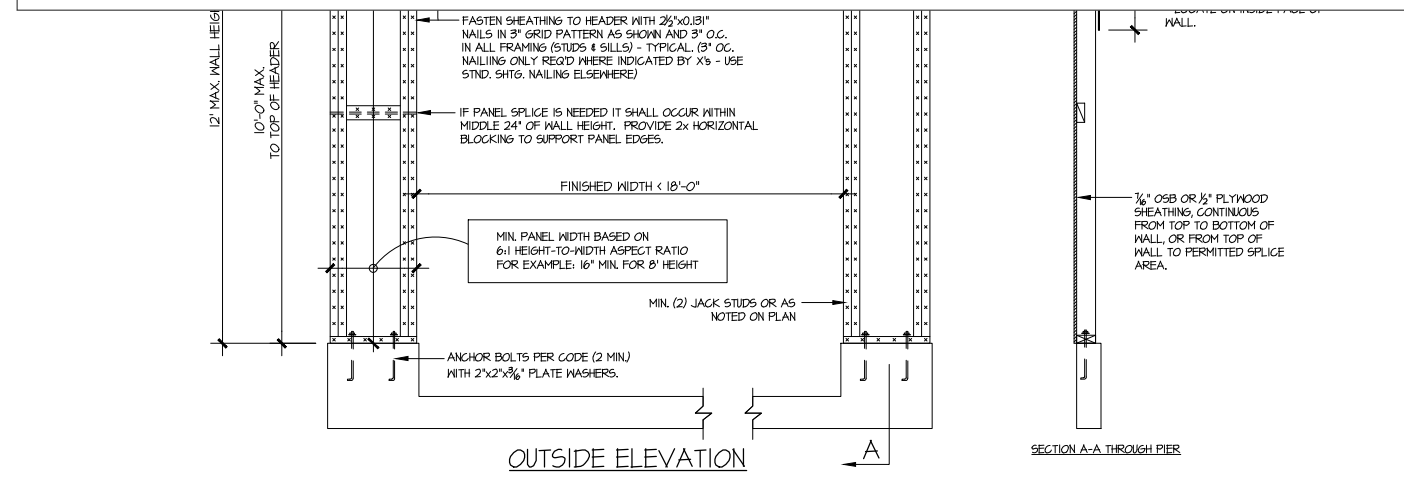
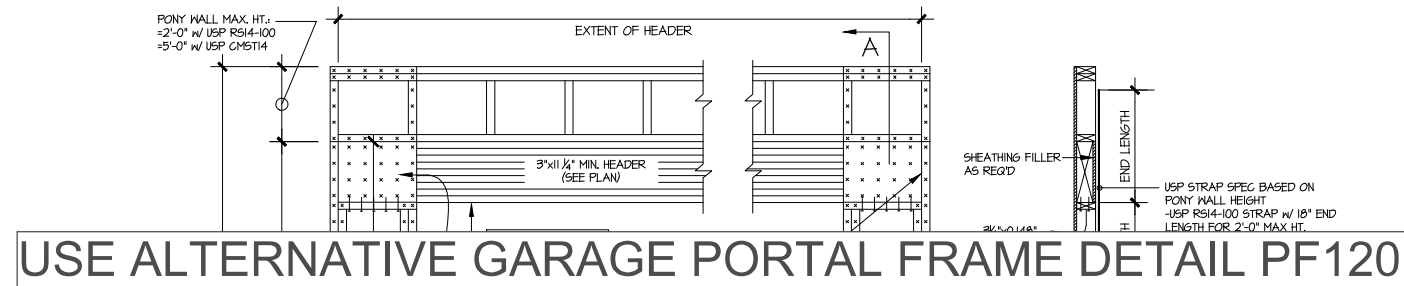
Signature + Seal 08/18/2023



Mulhern+Kulp project number:	256-21005
project mgr:	SMK
drawn by:	MJF
issue date:	08-04-2021
REVISIONS:	
date:	initial:
11/22/21	JPP
PROPOSED PLANS ADDED	

SMITH DOUGLAS  
 HOMES

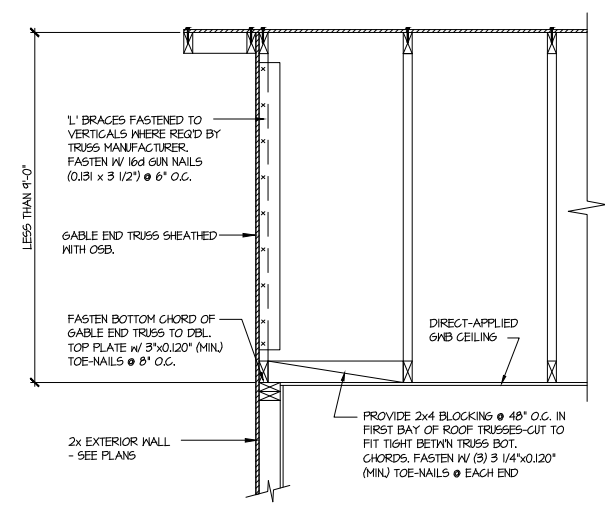
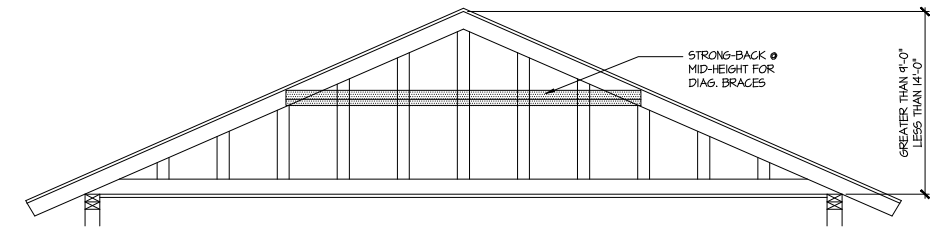
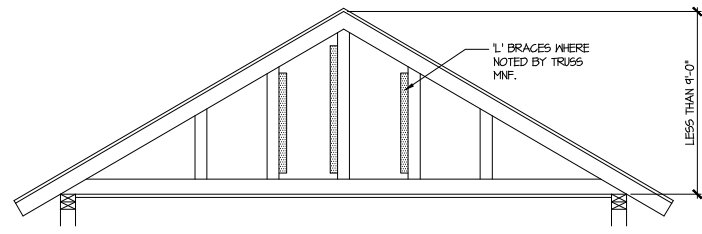
FRAMING DETAILS  
 CRAWFORD MODEL  
 RALEIGH, NC



**GARAGE PORTAL FRAME BRACING ELEVATION**  
 SCALE: N.T.S.  
 BOTH SIDES OF GARAGE DOOR  
 115 MPH WIND SPEED (ULT)

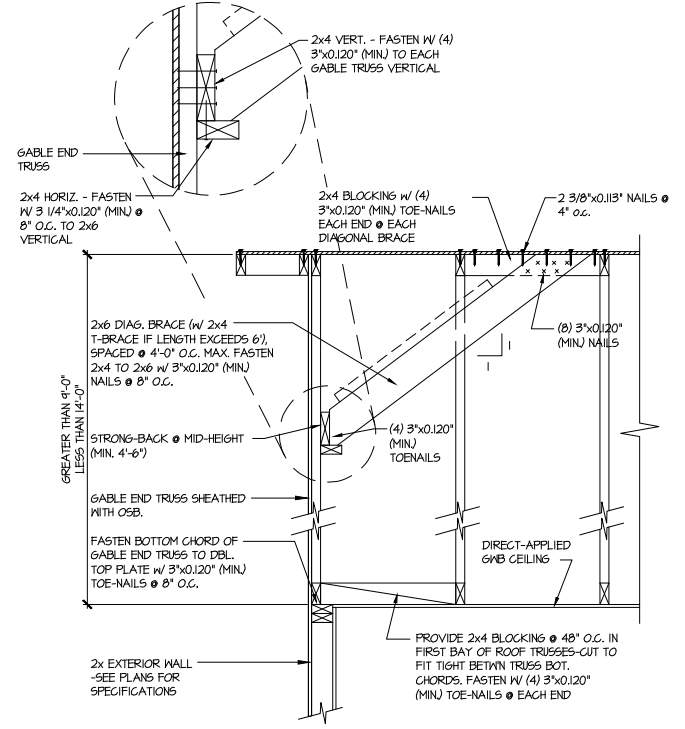
**TOBACCO**  
 Lot 179





**A** TYPICAL GABLE END BRACING DETAIL  
 SCALE: NONE  
 REQ'D @ GABLE END TRUSS  
 HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE  
 HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY  
 TRUSS MANUFACTURER.



**B** TYPICAL GABLE END BRACING DETAIL  
 SCALE: NONE  
 REQ'D @ GABLE END TRUSS  
 HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE  
 HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

**MULHERN+KULP**  
 RESIDENTIAL STRUCTURAL ENGINEERING  
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 770-777-4874 - mulhern+kulp.com  
 NC License # C-3825

Mulhern+Kulp project number:  
 256-21005  
 project mgr: SMK  
 drawn by: MJF  
 issue date: 08-04-2021

REVISIONS:  
 date: 11/22/21 initial: JPP  
 PROPOSED PLANS ADDED

SMITH DOUGLAS  
 HOMES

FRAMING DETAILS  
 CRAWFORD MODEL  
 RALEIGH, NC

TOBACCO  
 Lot 179

sheet:  
**SD2.1**



**MULHERN+KULP**  
RESIDENTIAL STRUCTURAL ENGINEERING

3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 ▶ p 770-777-0074 ▶ mulhernkulp.com

July 28, 2023

Jody Hunt

Director of Product Development

**SMITH DOUGLAS HOMES**

110 Village Trail, Suite 215  
Woodstock, GA 30188

**ALTERNATE GARAGE PORTAL FRAME DETAIL**  
**Smith Douglas Homes**

*Reference*

*"Alternate Garage Portal Frame Detail" on sheet PF-120 & PF-130, prepared by Mulhern & Kulp dated 07/28/2023 - attached*

Jody:

Pursuant to your request, we have prepared this letter to address the "Alternate Garage Portal Frame Detail", prepared by Mulhern & Kulp for Smith Douglas Homes.

The "Alternate Garage Portal Frame Detail" on sheet "PF-120" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than or equal to 120mph ultimate wind speed per ASCE 7-16. The "Alternate Garage Portal Frame Detail" on sheet "PF-130" is an acceptable alternative portal frame design for anywhere in North Carolina with a wind speed less than or equal to 130mph ultimate wind speed per ASCE 7-16. These details only apply to structural plans that have been designed by Mulhern & Kulp. It is the responsibility of "SDH" to provide the correct "Alternate Garage Portal Frame Detail", to the building department that matches the jurisdiction's wind speed requirements.

Please feel free to call if you have any questions.

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Respectfully,

**MULHERN & KULP STRUCTURAL ENGINEERING, INC.**

NC License # C-3825

Shaun M. Kreidel, P.E.     *Project Manager + Atlanta Office Director*

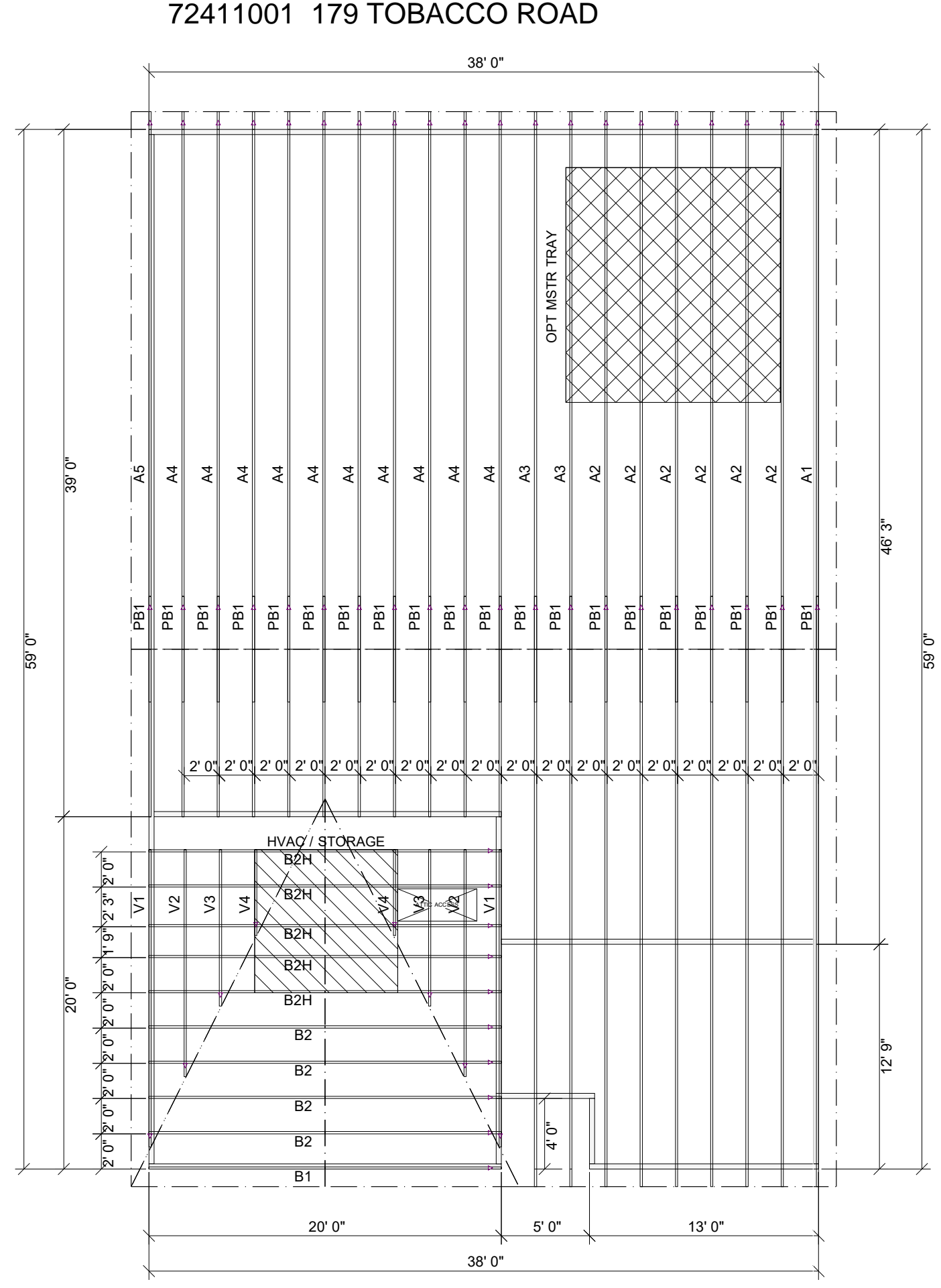


Signature + Seal     07/28/2023

TRUSS TO WALL CONNECTIONS, IF SHOWN, ARE FOR UPLIFT ONLY AND DO NOT CONSIDER LATERAL LOADS. ALL CONNECTORS ON THIS PROJECT ARE TO BE INSTALLED PER THE CONNECTOR MANUFACTURER'S SPECIFICATIONS. ALL CONNECTORS SHOWN THAT ARE NOT "TRUSS TO TRUSS" ARE SUGGESTIONS ONLY AND ARE TO BE VERIFIED BY THE BUILDING DESIGNER OR ENGINEER OF RECORD FOR SUITABILITY TO THIS PARTICULAR PROJECT. UFP MID-ATLANTIC, LLC. ACCEPTS NO RESPONSIBILITY FOR THE SPECIFIC APPLICATION OR SUITABILITY OF ANY CONNECTOR THAT IS NOT "TRUSS TO TRUSS" AS THEY APPLY TO THIS SPECIFIC STRUCTURE.

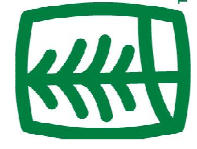
CRAWFORD ADG

DO NOT INSTALL TRUSSES BACKWARDS



ROOF AREA: 2696.18 ft<sup>2</sup> RIDGE LINE: 62 ft VALLEY LINES: 52.5 HIP LINES: 0 Indicates Left End of Truss

Customer <b>SMITH DOUGLAS</b>	
Job Name <b>CRAWFORD</b>	
Date: 6-21-21	Quality Products for Quality Builders
Scale: NTS	
Revision Date1:	
Revision Date2:	
Drawn By: AS	
Checked By: ***	
Drawing Number	
<b>MASTER</b>	



**UFP MID-ATLANTIC, LLC**  
A UFP INDUSTRIES COMPANY

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CONWAY, SC	PHONE (800) 397-9572
JEFFERSON, GA	PHONE (800) 648-4038
LOCUST, NC	PHONE (704) 888-0920
LIBERTY, NC	PHONE (800) 648-4038
OOLTEWAH, TN	PHONE (644) 497-0056
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NOTES: THIS DRAWING IS THE PROPERTY OF UFP MID-ATLANTIC, LLC AND IS NOT TO BE USED FOR ANY PURPOSE DETRIMENTAL TO THE INTEREST OF UFP MID-ATLANTIC, LLC. THIS DRAWING MUST BE USED IN CONJUNCTION WITH ALL OTHER TECHNICAL DRAWINGS SUPPLIED BY UFP MID-ATLANTIC, LLC AND "BRACING WOOD TRUSS, COMMENTARY AND RECOMMENDATIONS" AS PUBLISHED BY THE TRUSS PLATE INSTITUTE FOR INDUSTRY STANDARDS IN ERECTING TRUSSES. (TFI) IS LOCATED AT 583 D'ONOFRIO DR. SUITE 200 MADISON, WI 53719 (608) 833-5900

1. TEMPORARY BRACING TO BE INSTALLED w/ P.I. STANDARD BCS-B1.
2. SEE ENGINEERED DRAWING FOR PERMANENT BRACING MINIMUM REQUIREMENTS.
3. FRAMER TO VERIFY ALL DIMENSIONS, DROP, & RISE LOCATIONS PRIOR TO TRUSS PLACEMENT.
4. BLDRFRAMER RESPONSIBLE FOR ADJUSTMENT OF TRUSS SPACING TO MISS PLUMBING DROPS, UNLESS NOTED OTHERWISE.
5. THIS LAYOUT IS NOT AN ENGINEERED DRAWING. THIS DRAWING WAS CREATED TO ESTABLISH TRUSS PLACEMENT ONLY. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE ADEQUATE SUPPORT FOR ALL THE ELEMENTS SHOWN IN THIS DRAWING.