

**COURT
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GROUP**

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LOWCOUNTRY FARMHOUSE

SL - 2000

LOWCOUNTRY FARMHOUSE

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GENERAL NOTES

- THESE PLANS ARE PROVIDED FOR GENERAL DESIGN & CONSTRUCTION PURPOSES ONLY. THE ARCHITECT DOES NOT WARRANT ANY MATERIAL, DESIGN DETAILS, COSTS, CONSTRUCTION METHODS, EQUIPMENT, HARDWARE, ETC. WHETHER IMPLIED OR EXPLICITLY NOTED ON THE DRAWINGS. THE INFORMATION CONTAINED IN THIS PLAN IS INTENDED TO SHOW DESIGN INTENT ONLY, AND BASIC FRAMING. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO USE STANDARD INDUSTRY APPROVED CONSTRUCTION PRACTICES THAT WILL INSURE A SAFE, STRUCTURALLY SOUND AND WATERPROOF HOME. THIS HOME WILL BE BUILT TO COMPLY WITH OR EXCEED THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND/OR THE LOCALLY APPROVED BUILDING CODE. ALL CODES SHALL HAVE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED ON THIS PLAN WHERE SAME ARE AT VARIANCE.
- OWNER'S RESPONSIBILITY: PRIOR TO CONSTRUCTION THE OWNER WILL DETERMINE THAT THIS PLAN MEETS THE OWNERS NEEDS AND DESIGN EXPECTATIONS
- DIMENSIONS & ERRORS: THE GENERAL CONTRACTOR AND OWNER WILL BECOME FAMILIAR WITH ALL DESIGN ASPECTS OF THESE PLANS. ANY QUESTIONS WILL BE CLARIFIED BY THE ARCHITECT/ DESIGNER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ERRORS NOT REPORTED. DO NOT SCALE DRAWINGS.
- MODIFICATIONS: ANY CHANGES TO THE PLAN ARE TO BE MADE BY A QUALIFIED PROFESSIONAL ARCHITECT, ENGINEER, OR RESIDENTIAL DESIGNER. THE ORIGINAL DESIGNER WILL NOT BE RESPONSIBLE FOR MODIFICATIONS MADE TO THIS PLAN.
- SEPARATE STRUCTURAL ENGINEERING DOCUMENTS WILL BE REQUIRED FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY LOCAL CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY NEED TO BE PROVIDED TO INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECTS BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY NEED TO BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER/OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD- ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.

WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

STRUCTURAL GENERAL NOTE:

THESE DOCUMENTS REQUIRE SUPPLEMENTAL STRUCTURAL ENGINEERING DOCUMENTS FOR COMPLIANCE WITH LOCAL CODE REQUIREMENTS TO BE COORDINATED AND TO INCLUDE THE FOLLOWING:

- FOUNDATION LAYOUT, REINFORCING, AND SIZING
- MOMENT FRAME LAYOUT AND DETAILS
- ENGINEERED BEAM SIZING
- LATERAL LOAD CALCULATIONS



BUILDING CODE SUMMARY

NAME OF PROJECT: Lowcountry Farmhouse

PROPOSED USE: SINGLE FAMILY RESIDENTIAL
OWNER / CONTACT PERSON:
CODE ENFORCEMENT JURISDICTION:

DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE#	TELEPHONE#
Architectural	COURT ATKINS ARCH.	#100019	843-815-2557
Electrical	--	--	--
Plumbing	--	--	--
Mechanical	--	--	--
Structural	--	--	--
Civil	--	--	--
Land Planning / Landscape	--	--	--

BUILDING DATA

OCCUPANCY CLASSIFICATION:	RESIDENTIAL GROUP R-3
MIXED OCCUPANCY: Yes	No <input checked="" type="checkbox"/> Separation <input type="checkbox"/> Hr. N/A
CONSTRUCTION TYPE:	I-A <input type="checkbox"/> I-B <input type="checkbox"/> II-A <input type="checkbox"/> II-B <input type="checkbox"/> III-A <input type="checkbox"/> III-B <input type="checkbox"/> IV <input type="checkbox"/> V-A <input type="checkbox"/> V-B <input checked="" type="checkbox"/>
MIXED CONSTRUCTION: Yes	No <input type="checkbox"/> Type <input checked="" type="checkbox"/>
SPRINKLERED:	Yes <input type="checkbox"/> No <input type="checkbox"/> X
FIRE DISTRICT:	Yes <input type="checkbox"/> No <input type="checkbox"/> X
BUILDING HEIGHT:	±30'-7" AFF Number of Stories: 2
MEZZANINE:	Yes <input type="checkbox"/> No <input type="checkbox"/> X
HIGH RISE:	Yes <input type="checkbox"/> No <input type="checkbox"/> X

GROSS BUILDING AREA:

First Floor:	
Heated and Cooled	2,036 GROSS SQ. FT.
Covered and Enclosed	855 GROSS SQ. FT.
Decks, Patios, & Terraces	0 GROSS SQ. FT.
Second Floor:	
Heated and Cooled	718 GROSS SQ. FT.
Covered and Enclosed	109 GROSS SQ. FT.
Decks, Patios, & Terraces	0 GROSS SQ. FT.
Garage:	
Heated and Cooled	670 GROSS SQ. FT.
Covered and Enclosed	704 GROSS SQ. FT.
Decks, Patios, & Terraces	0 GROSS SQ. FT.
Total Heated and Cooled Area	3,424 GROSS SQ. FT.
Total Covered and Enclosed Area	1,559 GROSS SQ. FT.
Total Gross Area (H/C & C/E)	4,982 GROSS SQ. FT.

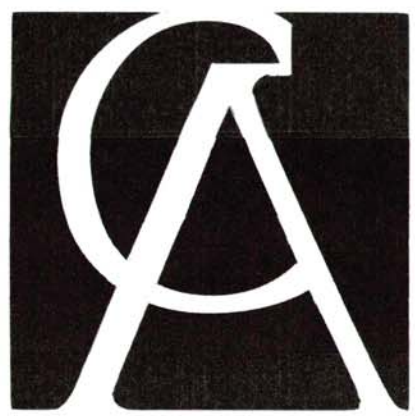
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	05/16/2023	UPDATED

PROJECT # : SL-2000
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DATE: 10/15/2018

A0.0

COVER PAGE

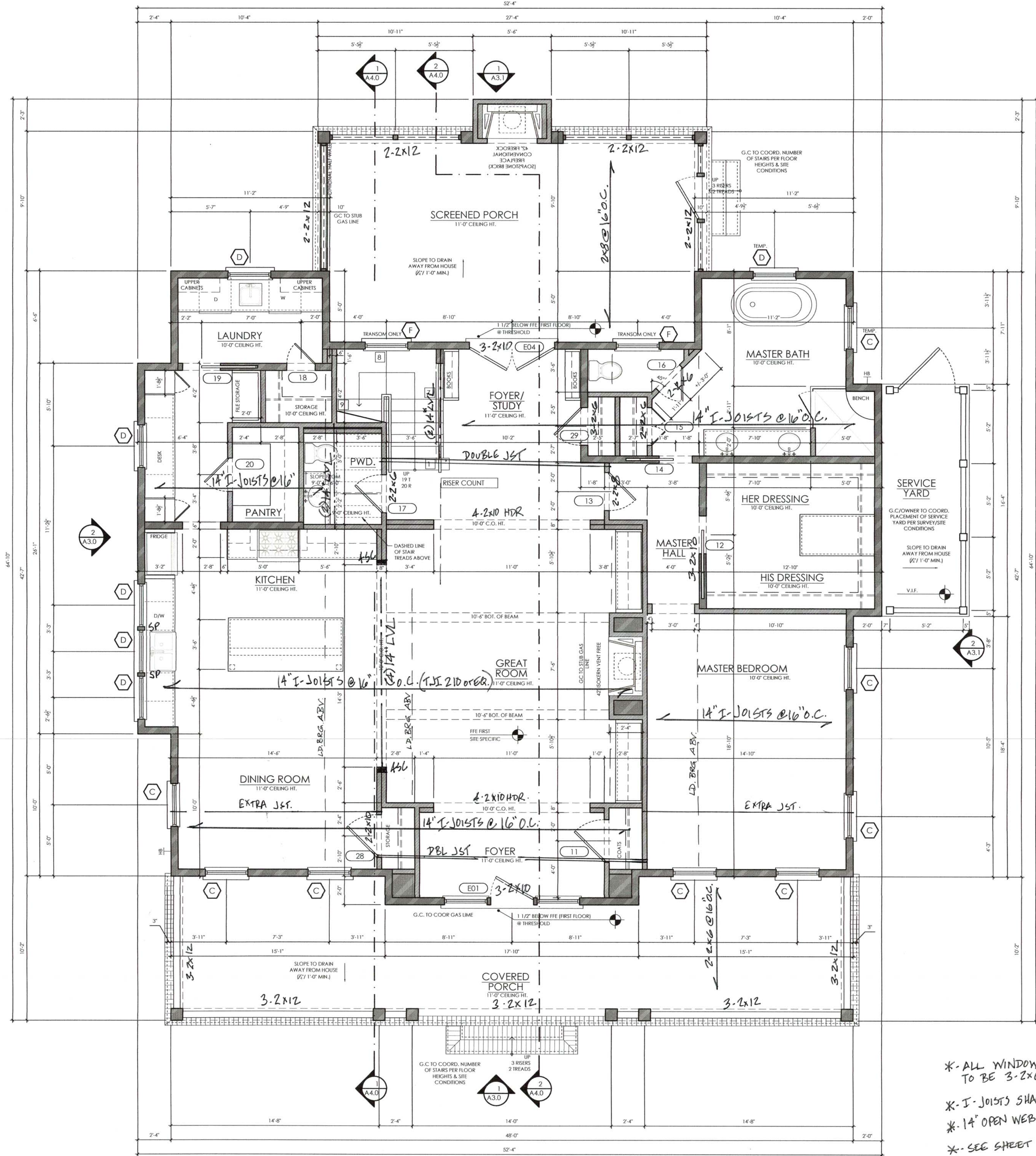


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- ALL EFFORTS ARE MADE TO PROVIDE PLANS WITH THE HIGHEST LEVELS OF DESIGN QUALITY. HOWEVER, DUE TO THE UNIQUENESS OF EACH BUILDING SITE, REGIONAL REQUIREMENTS AND VARIOUS BUILDING CODES, THE ARCHITECT DOES NOT ASSUME LIABILITY FOR COMPLIANCE WITH BUILDING CODES, STANDARD BUILDING PRACTICES OR ZONING REGULATIONS.
- THE CLIENT AND/OR CONTRACTOR WILL HAVE A LICENSED STRUCTURAL ENGINEER REVIEW THESE PLANS FOR COMPATIBILITY WITH SPECIFIC SITE CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS FOR THIS PLAN SUCH AS, BUT NOT LIMITED TO, FOOTINGS, FOUNDATION WALLS, PIERES, SLABS, HIGH IMPACT AND STEEL REINFORCEMENT, COLUMNS, BEAMS, JOISTS, RAFTERS AND OTHER FRAMING.
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- THE ARCHITECT'S LIABILITY, IF ANY, SHALL BE LIMITED TO THE SALE PRICE OF THE PLANS.
- THESE PLANS AND DERIVATIVES OF THESE PLANS ARE OWNED BY THE ARCHITECT WHO LICENSES THEM TO THE CLIENT FOR A ONE TIME USE AND ARE SUBJECT TO COPYRIGHT PROTECTION UNDER THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. UNAUTHORIZED SALE, USE OR DUPLICATION OF THE PLANS OR THE WORKS OR FORMS SHOWN ON THE PLANS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT VIOLATES FEDERAL LAW.

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.G.C.L.

CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED IN COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C./OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS, FRAMING IS TO BE AS FOLLOWS:

WALLS:
EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON 2x6S AT 16" O.C. WITH BLOCKING AT MIDSPAN.
INTERIOR: 2x4S AND 2x6S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH OPTIONAL 3/4" T&G PLYWOOD, GLEUD AND NAILED ON 1x4 SLEEPER SYSTEM WITH HARPOR BARRIER BELOW. NOTE: IF SLEEPER SYSTEM IS USED, ADJUST FRAMING HEIGHTS ACCORDINGLY.

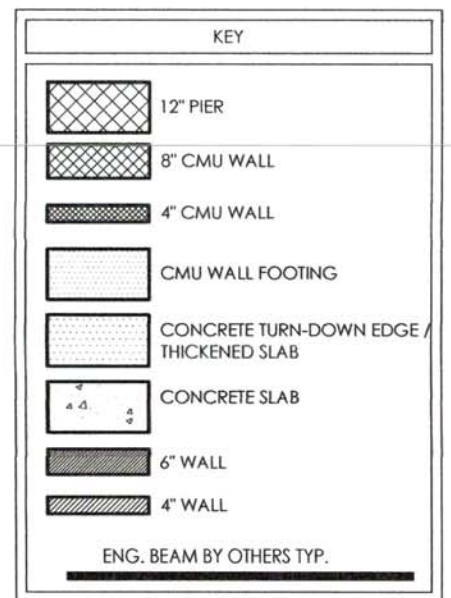
SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLEUD AND NAILED ON 1x4 OPEN WEB WOOD TRUSS SYSTEM LAYOUT AND SPACING BY STRUCTURAL ENGR. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SH-1) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)
3/4" T&G PLYWOOD, GLEUD AND NAILED ON 2x12S AT 16" O.C. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SH-1) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ENGINEER APPROVAL.

ATTIC CEILING JOISTS / PORCH CEILING:
2x6S AT 16" O.C. (2x10S FOR CERTAIN SPANS)

ROOF RAFTERS:
1/2" EXT SHEATHING, GLEUD AND NAILED ON 2x10S WITH SIMPSON HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND SIZES FOR ENGINEER APPROVAL.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.



*- ALL WINDOW HEADERS TO BE 3-2x6

*- I-JOISTS SHALL BE TJI SERIES OR EQ.

*- 14" OPEN WEB FLOOR TRUSSES BE USED IN LIEU OF I-JOISTS.

*- SEE SHEET S-2 FOR STRUCTURAL NOTES.

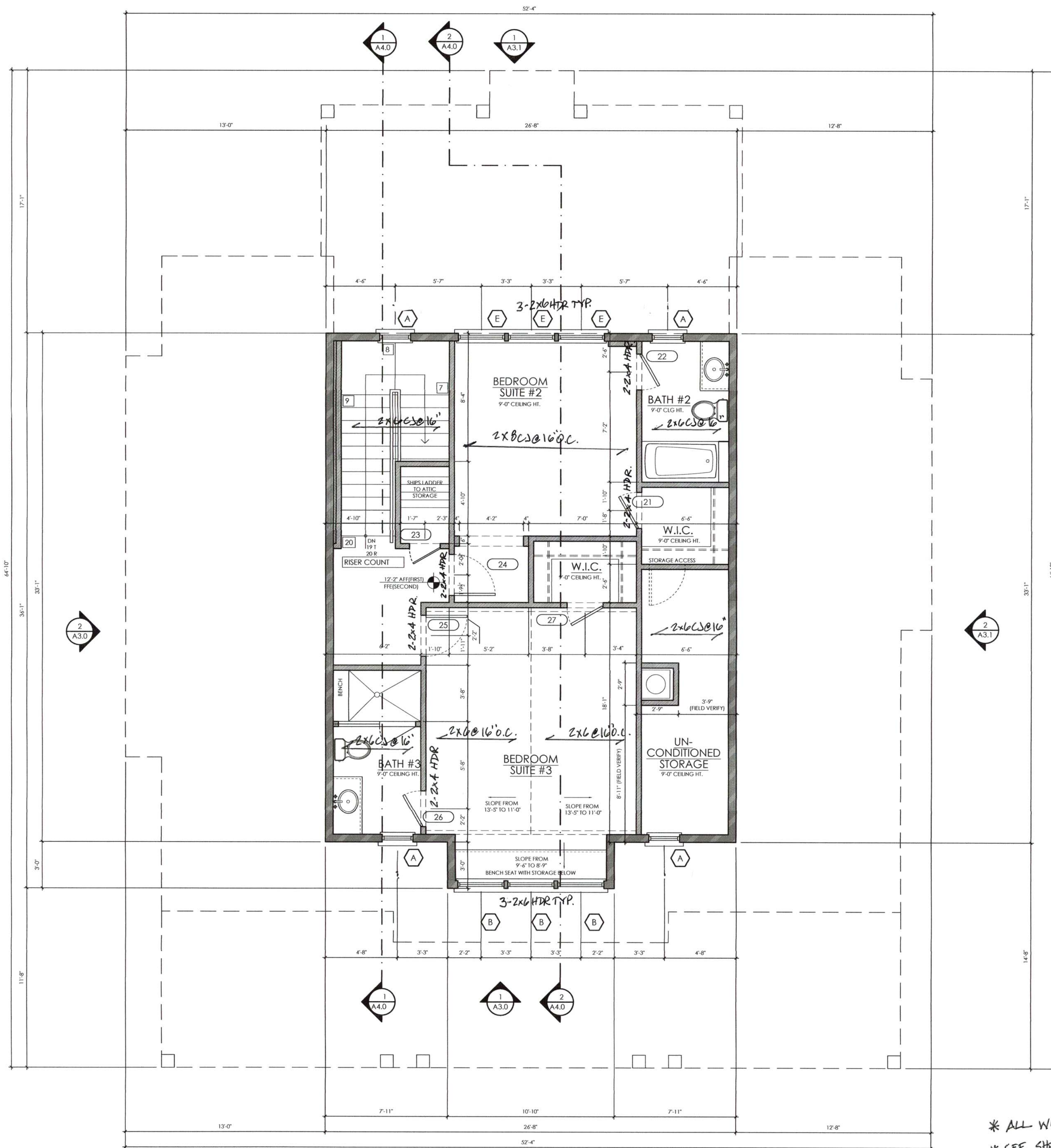
1 FIRST FLOOR PLAN
A2.1 SCALE 1/4" = 1'-0"

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ISSUE	DATE	DESCRIPTION
	05/14/2023	UPDATED

PROJECT #: SL-2000
PROJECT CONTACT:
DATE: 10/15/2018

A2.1
FIRST FLOOR PLAN



CLIENT & CONTRACTOR NOTES:

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SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
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GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
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FINISH NOTES:
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PLUMBING NOTES:
G.C./OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:
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FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH OPTIONAL 3/4" T&G PLYWOOD, GLEBS AND NAILS ON P.T. 1X4 SLEEPER SYSTEM WITH VAPOR BARRIER BELOW. NOTE: IF SLEEPER SYSTEM IS USED, ADJUST FRAMING HEIGHTS ACCORDINGLY.

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 1 1/4" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENGINEER). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SNA) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ENGINEER APPROVAL.

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KEY

[Symbol]	1/2" PIER
[Symbol]	8" CMU WALL
[Symbol]	4" CMU WALL
[Symbol]	CMU WALL FOOTING
[Symbol]	CONCRETE TURN-DOWN EDGE / THICKERED SLAB
[Symbol]	CONCRETE SLAB
[Symbol]	6" WALL
[Symbol]	4" WALL
[Symbol]	ENG. BEAM BY OTHERS TYP.

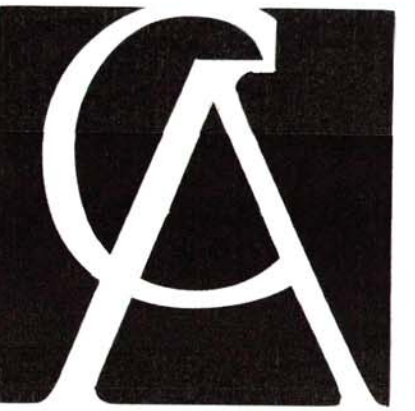
* ALL WINDOW HEADERS TO BE 3-2x4 UNLESS NOTED.
* SEE SHEET S-2 FOR STRUCTURAL NOTES.

1 SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

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LOWCOUNTRY FARMHOUSE

KEY	
	12' PIER
	8' CMU WALL
	CMU WALL FOOTING
	CONCRETE TURN-DOWN EDGE / THICKENED SLAB
	CONCRETE SLAB
	6' WALL
	4' WALL
	ENG. BEAM BY OTHERS TYP.

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

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PLUMBING NOTES:
G.C./OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS, FRAMING IS TO BE AS FOLLOWS:

WALLS:
EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON 2x6S AT 16" O.C., WITH BLOCKING AT MIDSPAN.
INTERIOR: 2x4S AND 2x6S AT 16" O.C., WITH BLOCKING AT MIDSPAN.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GULFED AND NAILED ON PT 1x4 SLEEPER SYSTEM WITH VAPOR BARRIER BELOW. SEE 1/A2.4 FOR GARAGE LOCATIONS. (ADJUST SLEEPER HEIGHT TO ACHIEVE 2" OVERALL DIMENSION)

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GULFED AND NAILED ON 1/4" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG.). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)
3/4" T&G PLYWOOD, GULFED AND NAILED ON 2x12S AT 16" O.C., SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ENGINEER APPROVAL.

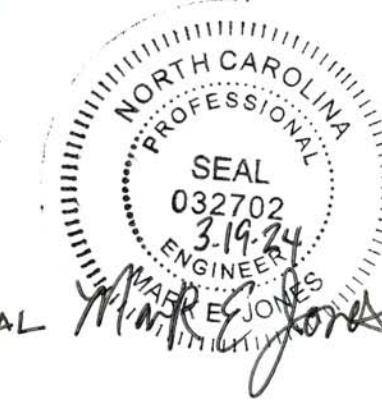
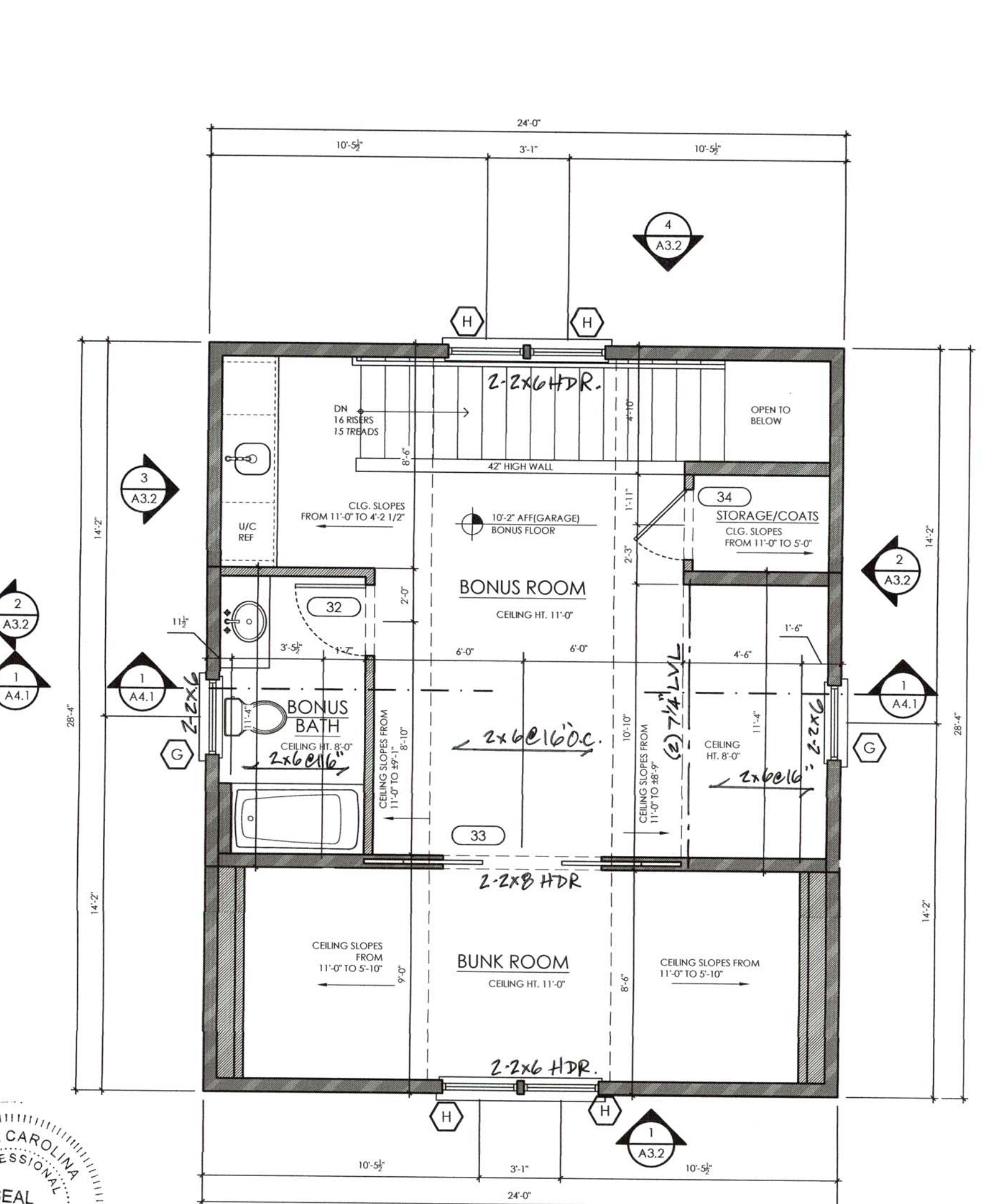
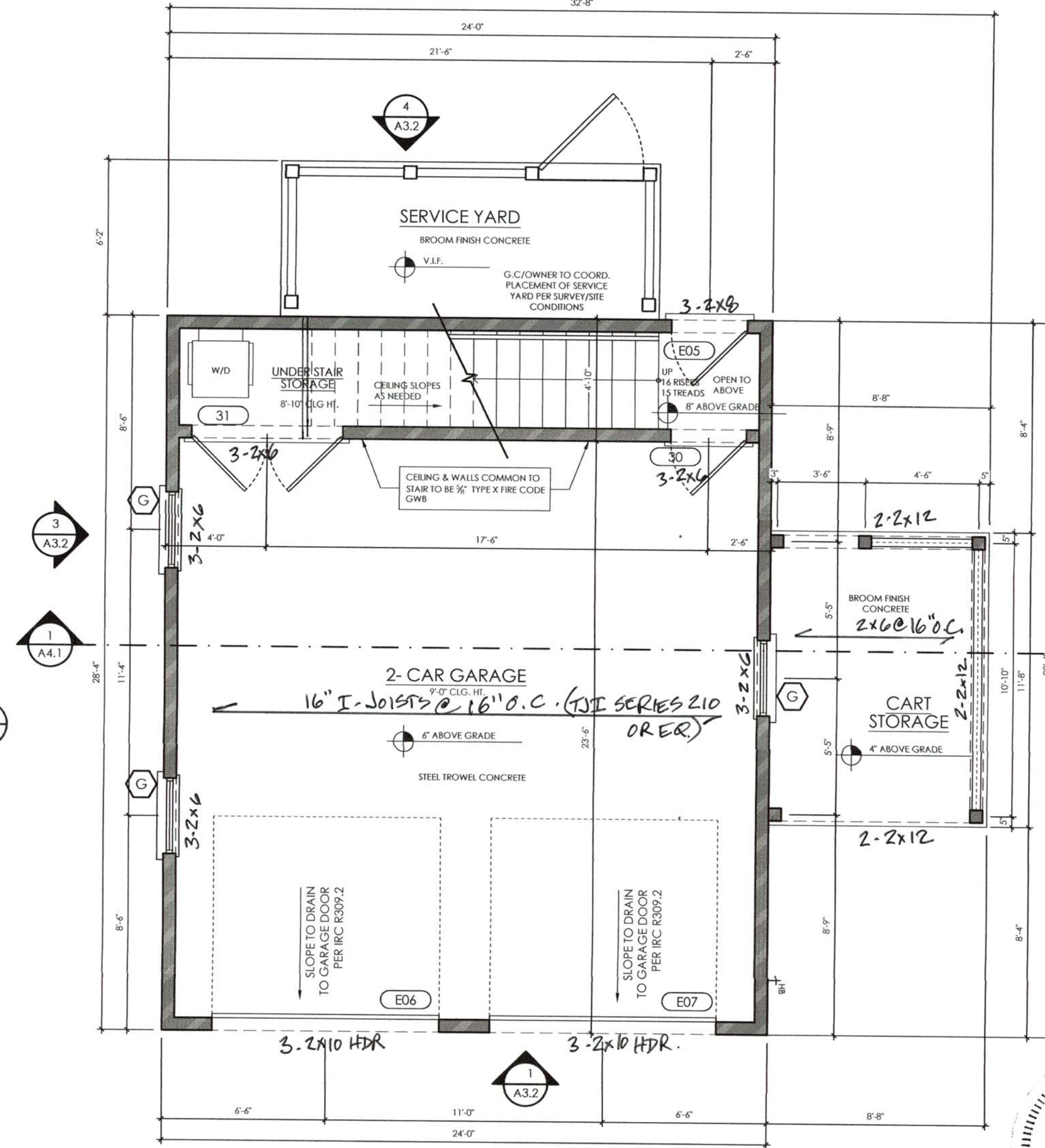
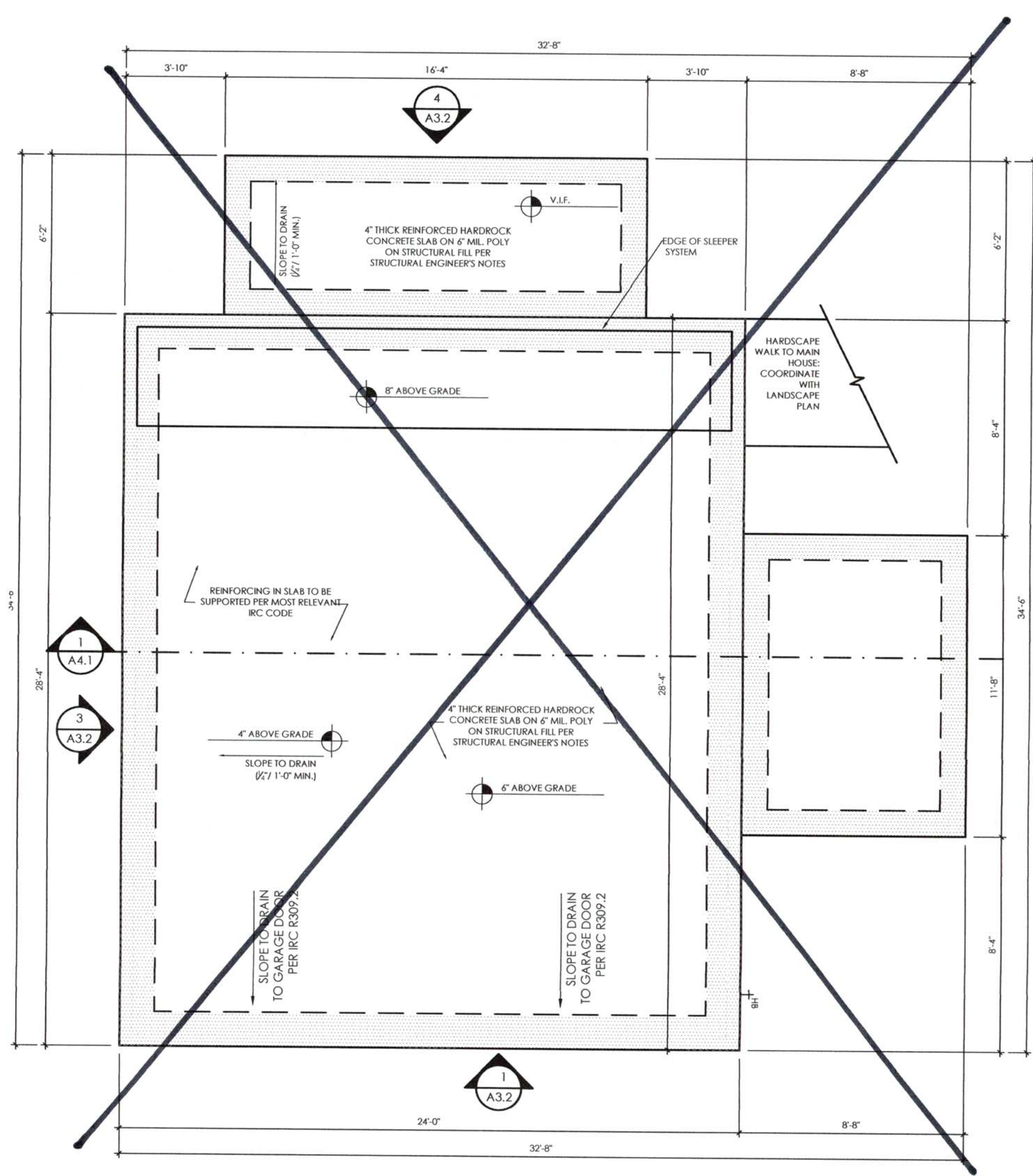
ATTIC CEILING JOISTS / PORCH CEILING:
2x6S AT 16" O.C. (2x10S FOR CERTAIN SPANS)

ROOF RAFTERS:
1/2" EYI SHEATHING, GULFED AND NAILED ON 2x10S WITH SIMPSON HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND SIZES FOR ENGINEER APPROVAL.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES, G.C. TO COORDINATE SIZE AND LOCATION OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.

CLIENT & CONTRACTOR NOTES:

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- ALL EFFORTS ARE MADE TO PROVIDE PLANS WITH THE HIGHEST LEVELS OF DESIGN QUALITY. HOWEVER, DUE TO THE UNUSUALNESS OF EACH BUILDING SITE, REGIONAL REQUIREMENTS AND VARIOUS BUILDING CODES, THE ARCHITECT DOES NOT ASSUME LIABILITY FOR COMPLIANCE WITH BUILDING CODES, STANDARD BUILDING PRACTICES OR ZONING REGULATIONS.
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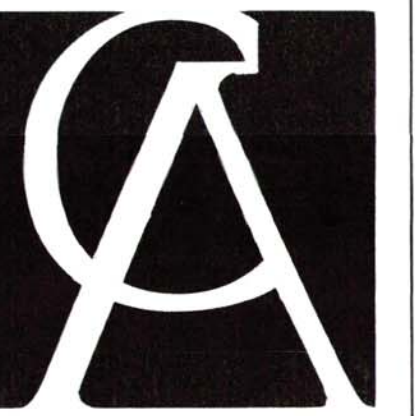


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ISSUE	DATE	DESCRIPTION
	01/16/2023	UPDATED

PROJECT #: SL-2000
PROJECT CONTACT:
DATE: 10/15/2018

A2.4
GARAGE FLOOR PLANS



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LOWCOUNTRY FARMHOUSE

KEY

	1/2" PIER
	8" CMU WALL
	4" CMU WALL
	CMU WALL FOOTING
	CONCRETE TURN-DOWN EDGE / THICKENED SLAB
	CONCRETE SLAB
	6" WALL
	4" WALL
	ENG. BEAM BY OTHERS TYP.

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON 2x6S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4S AND 2x6S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND NAILED ON PT 1x4 SLEEPER SYSTEM WITH VAPOR BARRIER BELOW. SEE 1/2" FOR GARAGE LOCATIONS. (ADJUST SLEEPER HEIGHT TO ACHIEVE 2" OVERALL DIMENSION)

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 1-4" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG.). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12S AT 16" O.C. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ENGINEER APPROVAL.

ATTIC CEILING JOISTS / PORCH CEILING:
2x6S AT 16" O.C. (2x10S FOR CERTAIN SPANS)

ROOF RAFTERS:
1/2" EXT SHEATHING, GLUED AND NAILED ON 2x10S WITH SIMPSON HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ENGINEER APPROVAL.

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FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C./OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

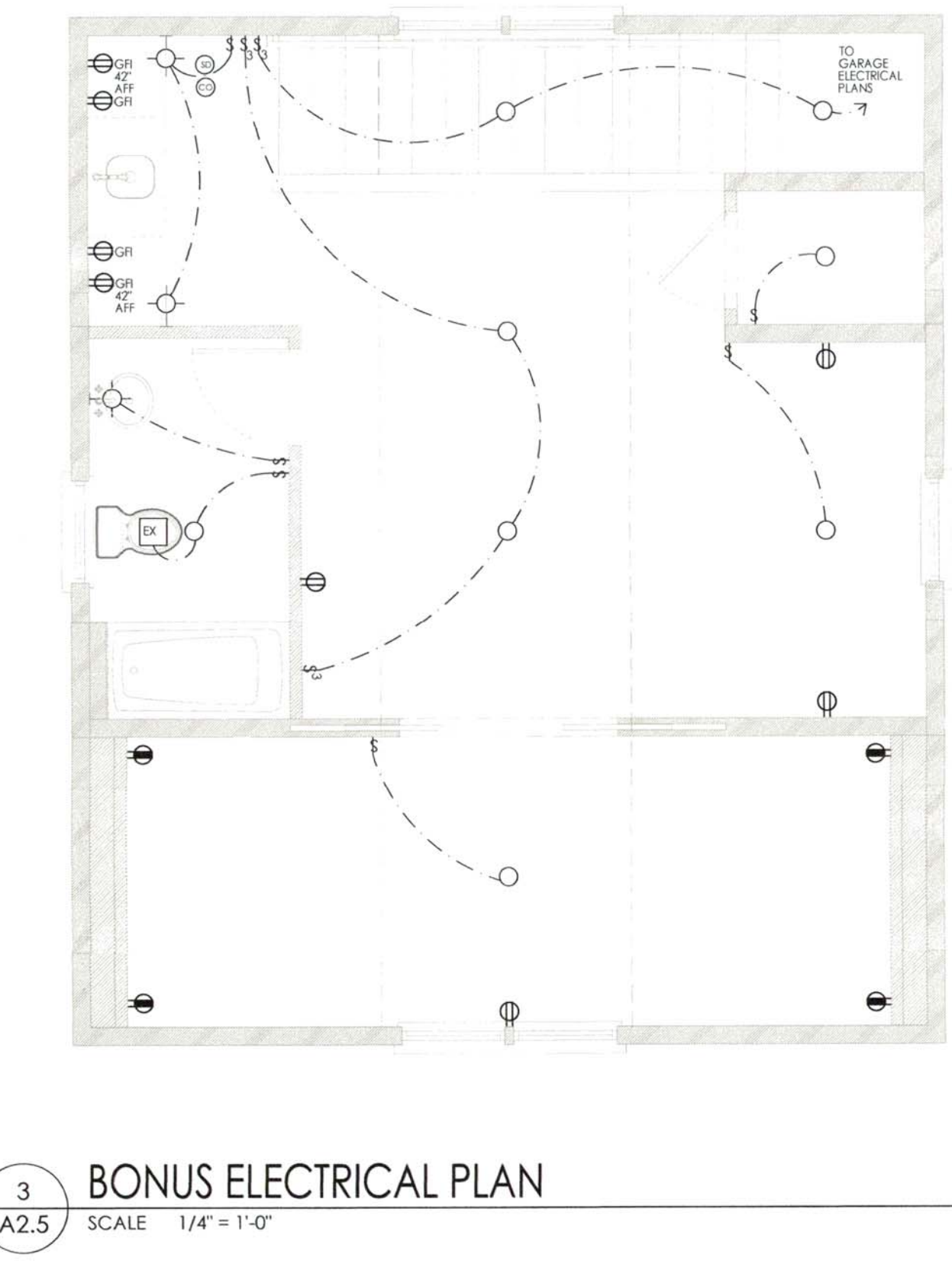
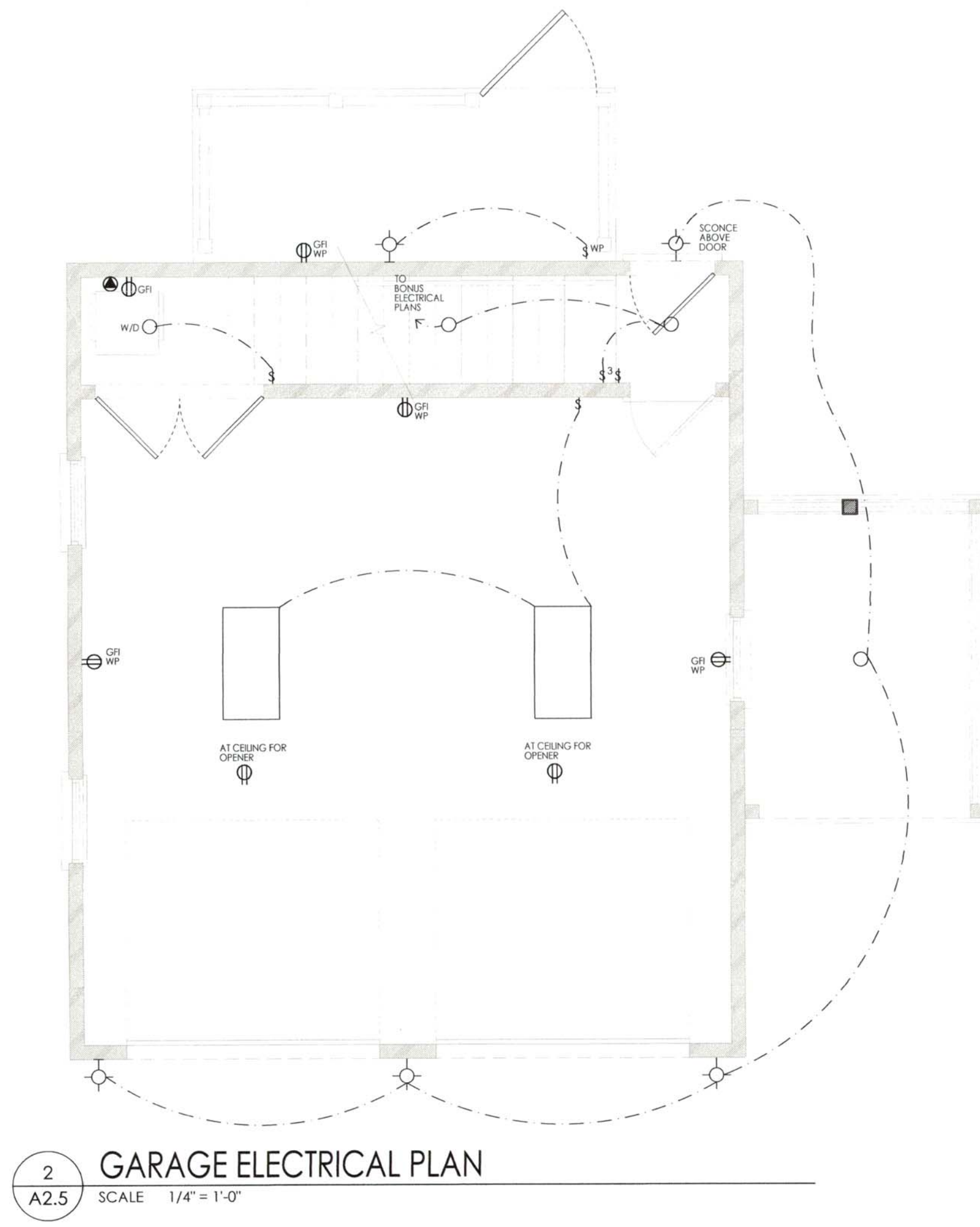
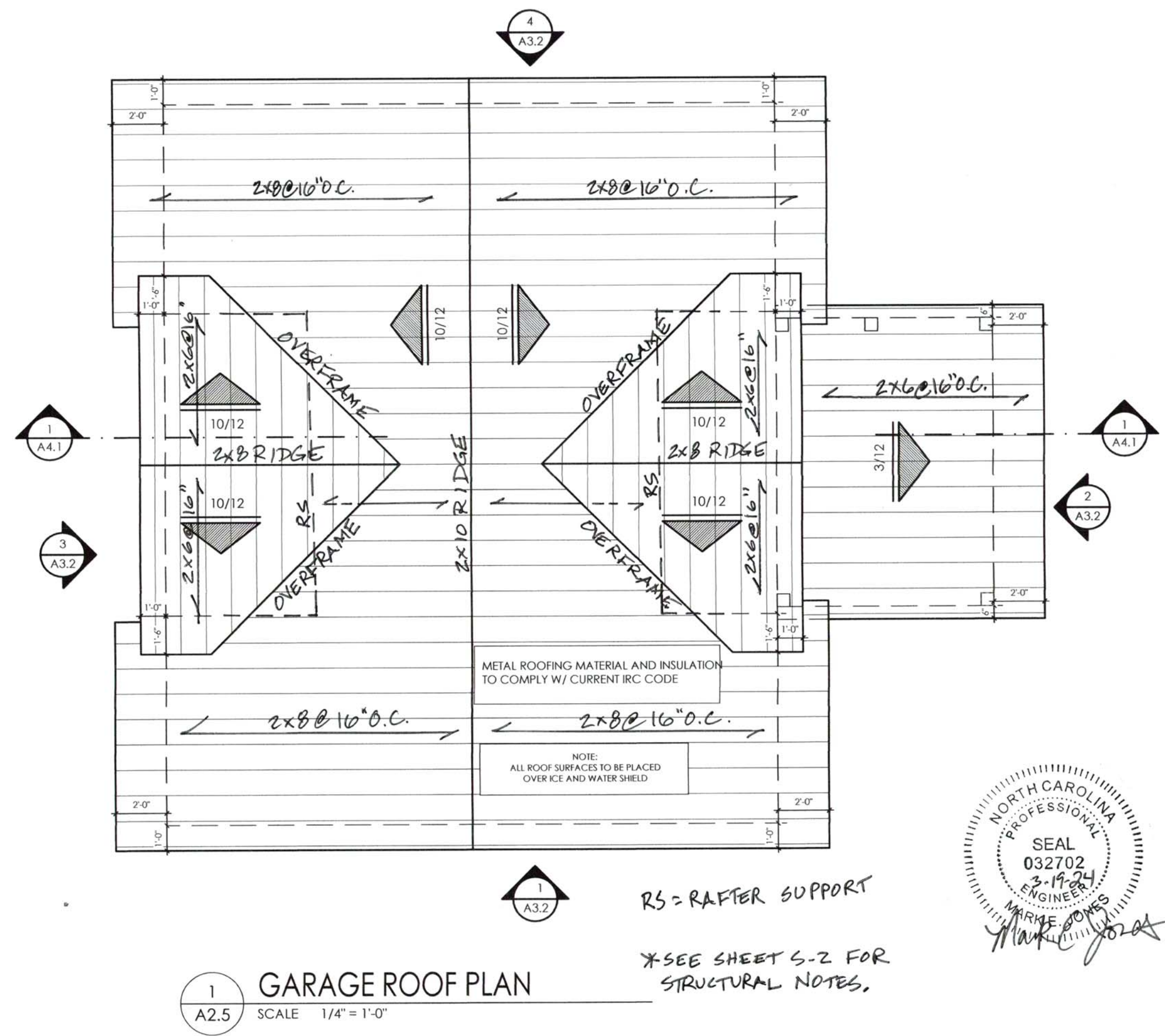
DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS, FRAMING IS TO BE AS FOLLOWS:

ELECTRICAL LEGEND

SYMB.	DESCRIPTION
	DUPLEX RECEPTICAL
	QUAD RECEPTICAL
	SWITCHED DUPLEX RECEPTICAL
	220 VOLT OUTLET
	GFH RECEPTICAL
	FLOOR RECEPTICAL
	GFH IN WATERPROOF BOX
	DATA/PHONE
	TV/CABLE JACK
	EXHAUST FAN
	EXHAUST FAN/LIGHT COMBO
	RECESSED CAN
	DIRECTIONAL LIGHTING
	RECESSED SEALED SHWR FIXTURE
	PUCK CAN LIGHT
	2x4 FLUORESCENT
	2x2 FLUORESCENT
	WALL MOUNTED SCOFFCE
	SEMI-FLUSH CEILING MOUNTED
	PENDANT
	CEILING FAN
	SINGLE POLE SWITCH
	3 WAY SWITCH
	4 WAY SWITCH
	DIMMER SWITCH
	MOTION ACTIVATED (MA) SWITCH
	ELECTRIC METER
	CIRCUIT PANEL BOX
	JUNCTION BOX
	UNDER CABINET FIXTURE
	CEILING MOUNTED STRIP FLUORESCENT
	DIRECTIONAL LIGHTING
	WALL MOUNTED UP/LIGHTING
	RECESSED LIGHTING
	STEP LIGHTS
	SOFFIT MOUNTED MOTION ACTIVATED LIGHTING WITH APPROVED SHADES
	SMOKE DETECTORS
	CARBON MONOXIDE DETECTOR
	DOOR BELL BUTTON
	DOOR BELL CHIME

- ELECTRICAL NOTES**
- COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH G.C./OWNER.
 - VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
 - ALL SWITCHES TO BE 30" A.F.F. UNLESS OTHERWISE NOTED.
 - GENERAL CONTRACTOR TO VERIFY SING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH G.C./OWNER IN FIELD.
 - ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
 - ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
 - ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND IN BASEBOARDS, WHERE POSSIBLE.
 - SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER'S G.C.
 - OWNER'S G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
 - OWNER'S G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATIONS OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
 - OWNER'S G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR AT PRIMARY LOCATIONS.
 - OWNER'S G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF REINFORCED HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
 - OWNER'S G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL IN" TECHNOLOGY.
 - OWNER'S G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN-GROUND PROPANE TANK SERVICE OR NATURAL GAS SERVICE IF APPLICABLE.
 - OWNER'S G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
 - G.C./OWNER TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
 - RECIPIENT CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. G.C./OWNER TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
 - G.C./OWNER TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
 - ALL RECEPTICALS LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION 3002.12.
 - G.C./OWNER TO COORDINATE LIGHTING FOR ALL HVAC APPLICATED LOCATED IN THE ATTIC PER IRC 2006 SECTION 1303.13.
 - G.C./OWNER TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION 313.1.
 - ALL GROUNDING POINTS AVAILABLE SHOULD BE UTILIZED PER IRC 2006 SECTION 330.1.
 - AT LEAST 50% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHOULD HAVE HIGH EFFICIENCY LAMPS PER IECC 2009 SECT. 404.

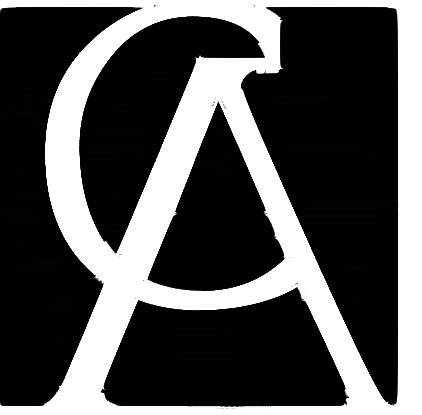


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ISSUE	DATE	DESCRIPTION
	01/16/2023	UPDATED

PROJECT # : SL-2000
PROJECT CONTACT :
DATE: 10/15/2018

A2.5
GARAGE FLOOR PLANS



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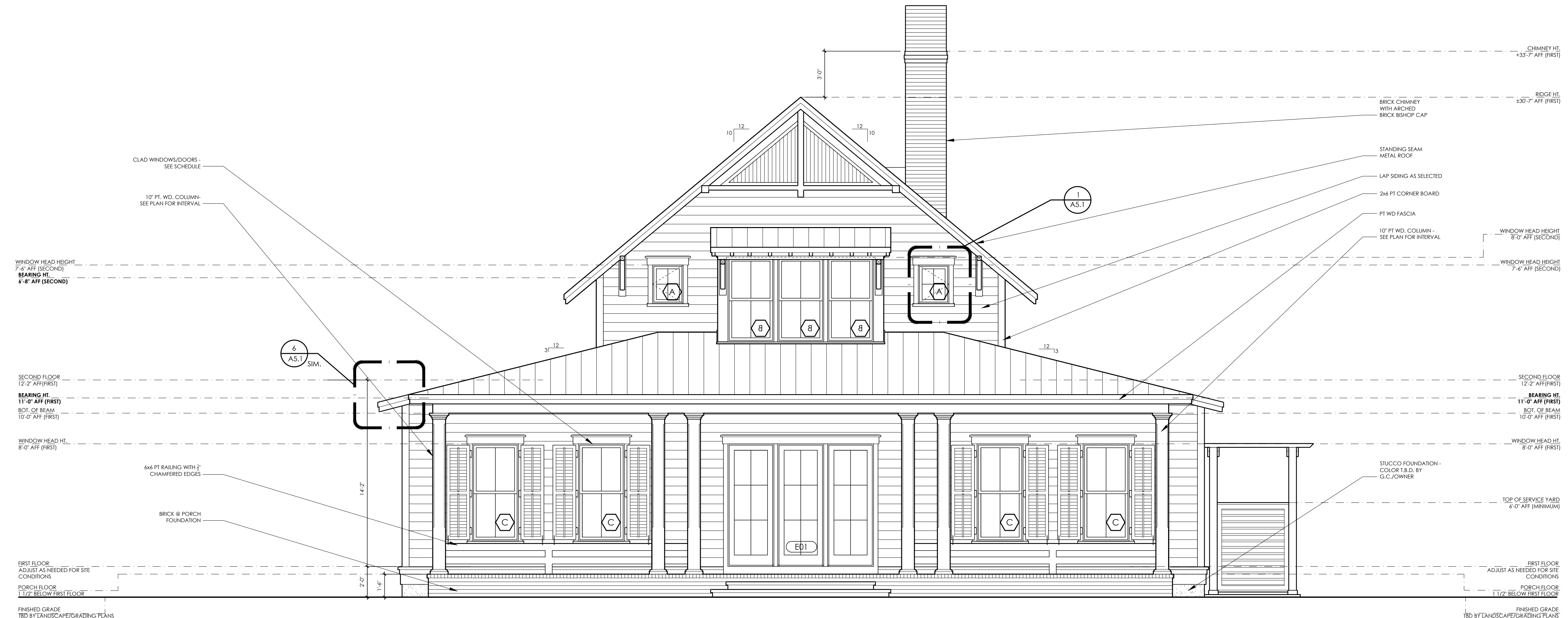
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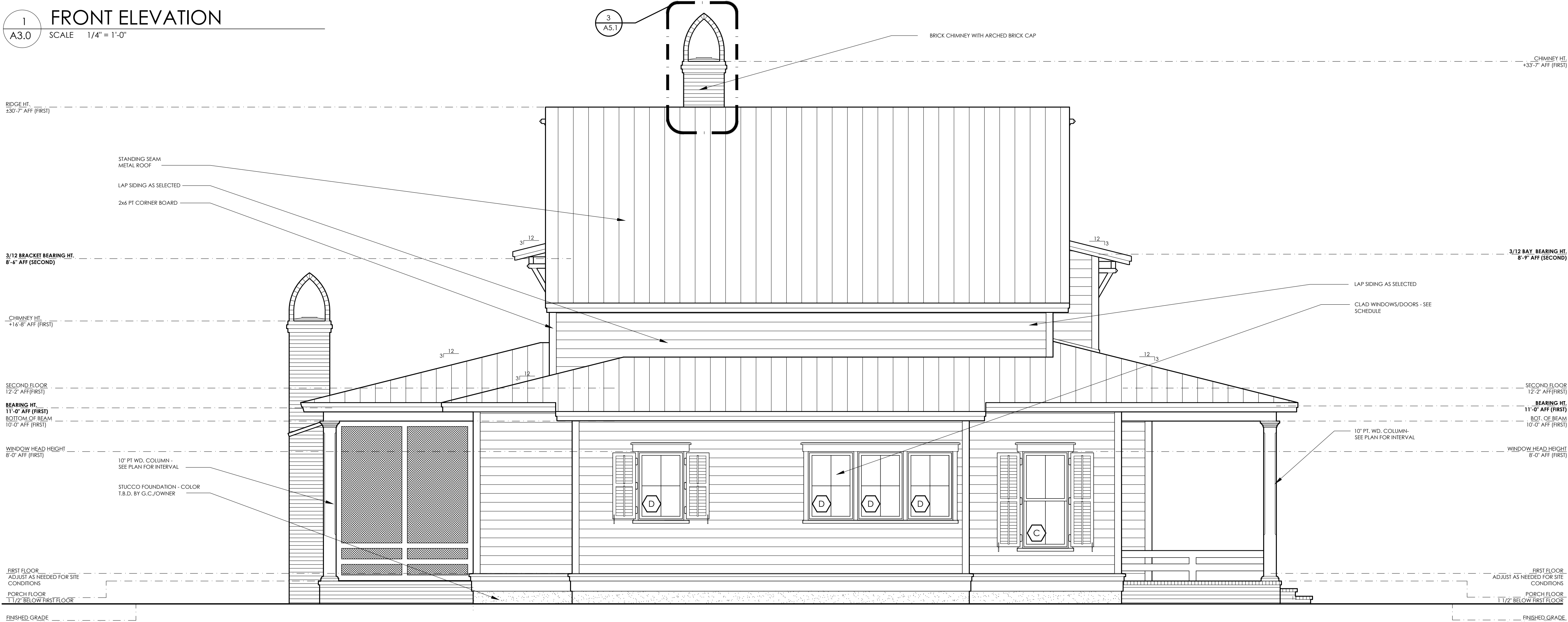
LOWCOUNTRY FARMHOUSE

CLIENT & CONTRACTOR NOTES:

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1 FRONT ELEVATION
SCALE 1/4" = 1'-0"



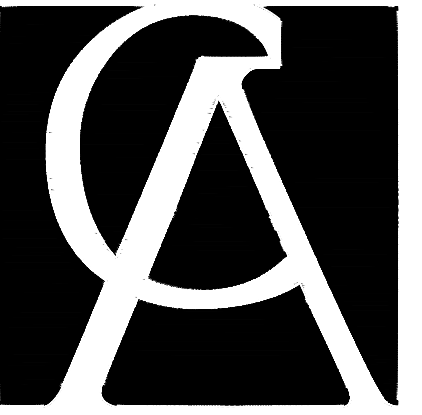
2 LEFT ELEVATION
SCALE 1/4" = 1'-0"

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A3.0
EXTERIOR ELEVATIONS



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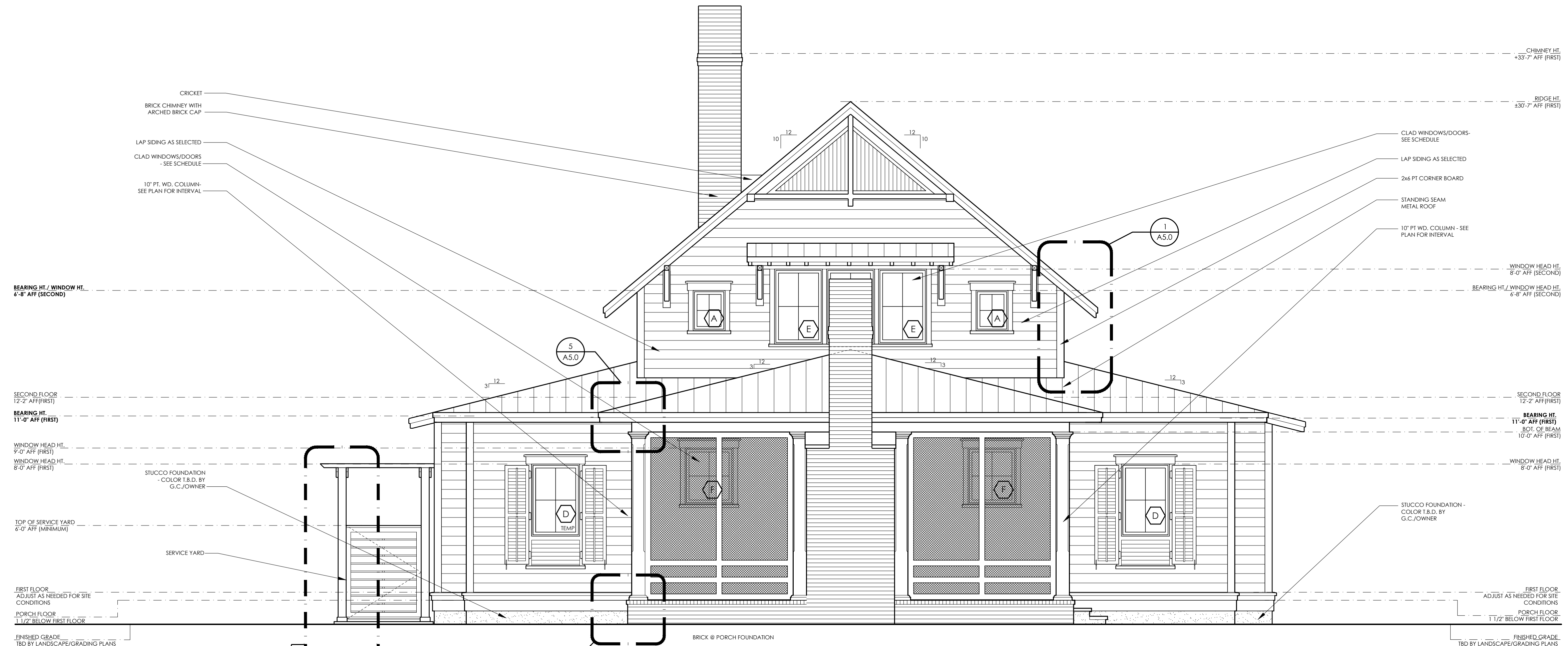
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1 REAR ELEVATION
SCALE 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE 1/4" = 1'-0"

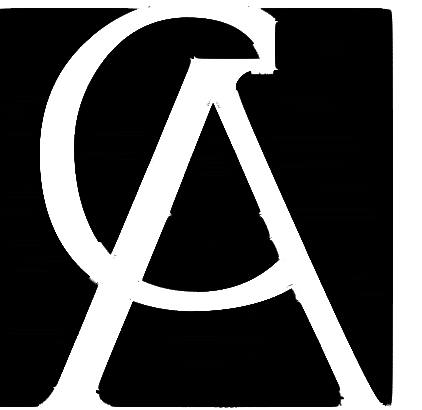
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A3.1

EXTERIOR ELEVATIONS



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LOWCOUNTRY FARMHOUSE

CLIENT & CONTRACTOR NOTES:

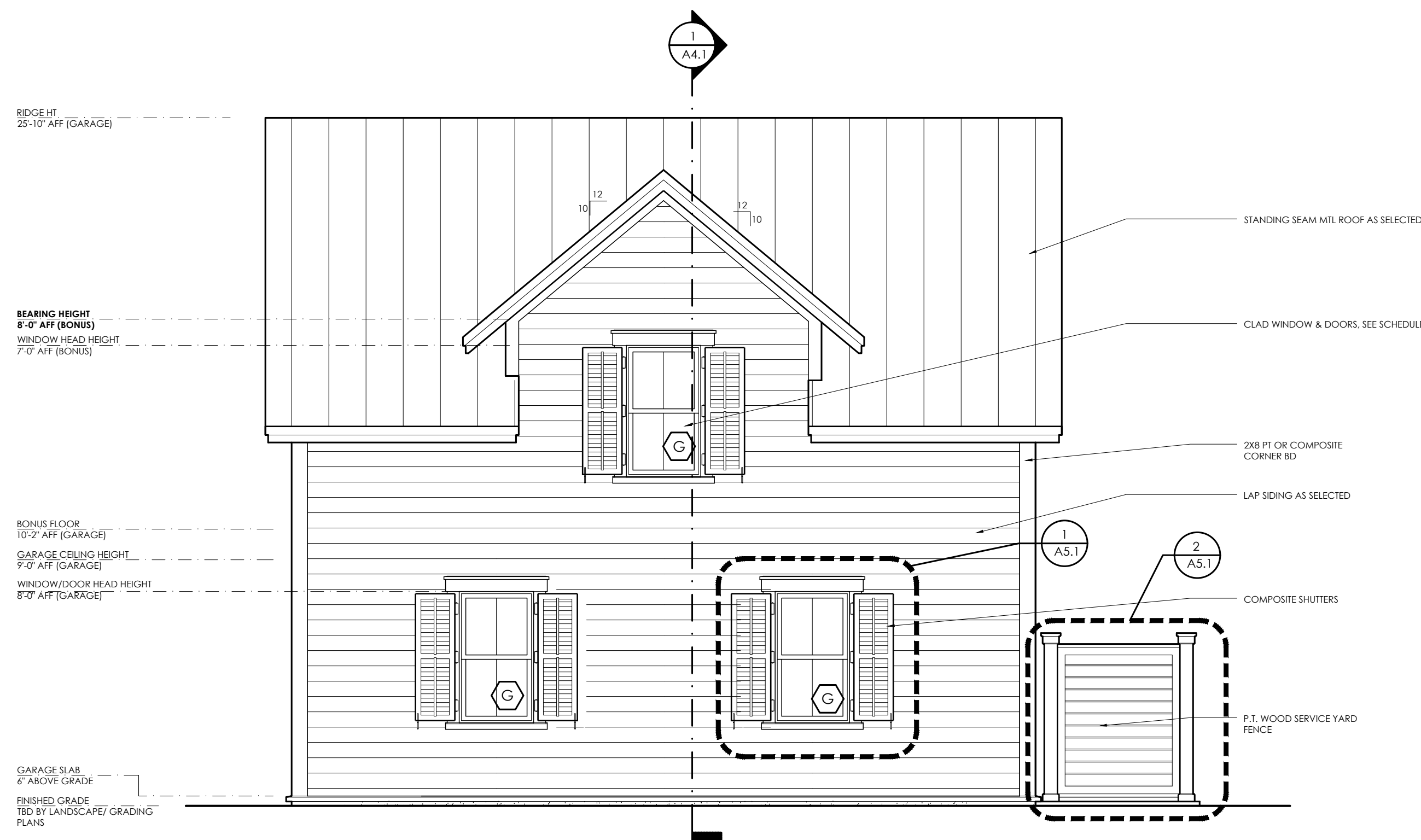
- IT IS THE RESPONSIBILITY OF THE CLIENT AND/OR CONTRACTOR TO ENSURE THAT THE CONSTRUCTION OF THIS PLAN MEETS INDUSTRY STANDARD BUILDING PRACTICES AND ALL APPLICABLE LOCAL BUILDING CODES.
- ALL EFFORTS ARE MADE TO PROVIDE PLANS WITH THE HIGHEST LEVELS OF DESIGN QUALITY. HOWEVER, DUE TO THE UNIQUENESS OF EACH BUILDING SITE, REGIONAL REQUIREMENTS AND VARIOUS BUILDING CODES, THE ARCHITECT DOES NOT ASSUME LIABILITY FOR COMPLIANCE WITH BUILDING CODES, STANDARD BUILDING PRACTICES OR ZONING REGULATIONS.
- THE CLIENT AND/OR CONTRACTOR WILL HAVE A LICENSED STRUCTURAL ENGINEER REVIEW THESE PLANS FOR COMPATIBILITY WITH SPECIFIC SITE CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS FOR THIS PLAN SUCH AS, BUT NOT LIMITED TO, FOOTINGS, FOUNDATION WALLS, PIERS, SLABS, HIGH IMPACT AND STEEL REINFORCEMENT, COLUMNS, BEAMS, JOISTS, RAFTERS AND OTHER FRAMING.
- PRIOR TO CONSTRUCTION, THE CLIENT AND/OR CONTRACTOR SHALL CHECK THE PLANS FOR ERRORS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION QUALITY, MEANS OR METHODS, PRODUCTS, SYSTEMS, COSTS, OR MATERIAL SELECTIONS USED IN THE CONSTRUCTION OF THIS PLAN.
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- THE ARCHITECT'S LIABILITY, IF ANY, SHALL BE LIMITED TO THE SALE PRICE OF THE PLANS.
- THESE PLANS AND DERIVATIVES OF THESE PLANS ARE OWNED BY THE ARCHITECT WHO LICENSES THEM TO THE CLIENT FOR A ONE TIME USE AND ARE SUBJECT TO COPYRIGHT PROTECTION UNDER THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. UNAUTHORIZED SALE, USE OR DUPLICATION OF THE PLANS OR THE WORKS OR FORMS SHOWN ON THE PLANS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT VIOLATES FEDERAL LAW.



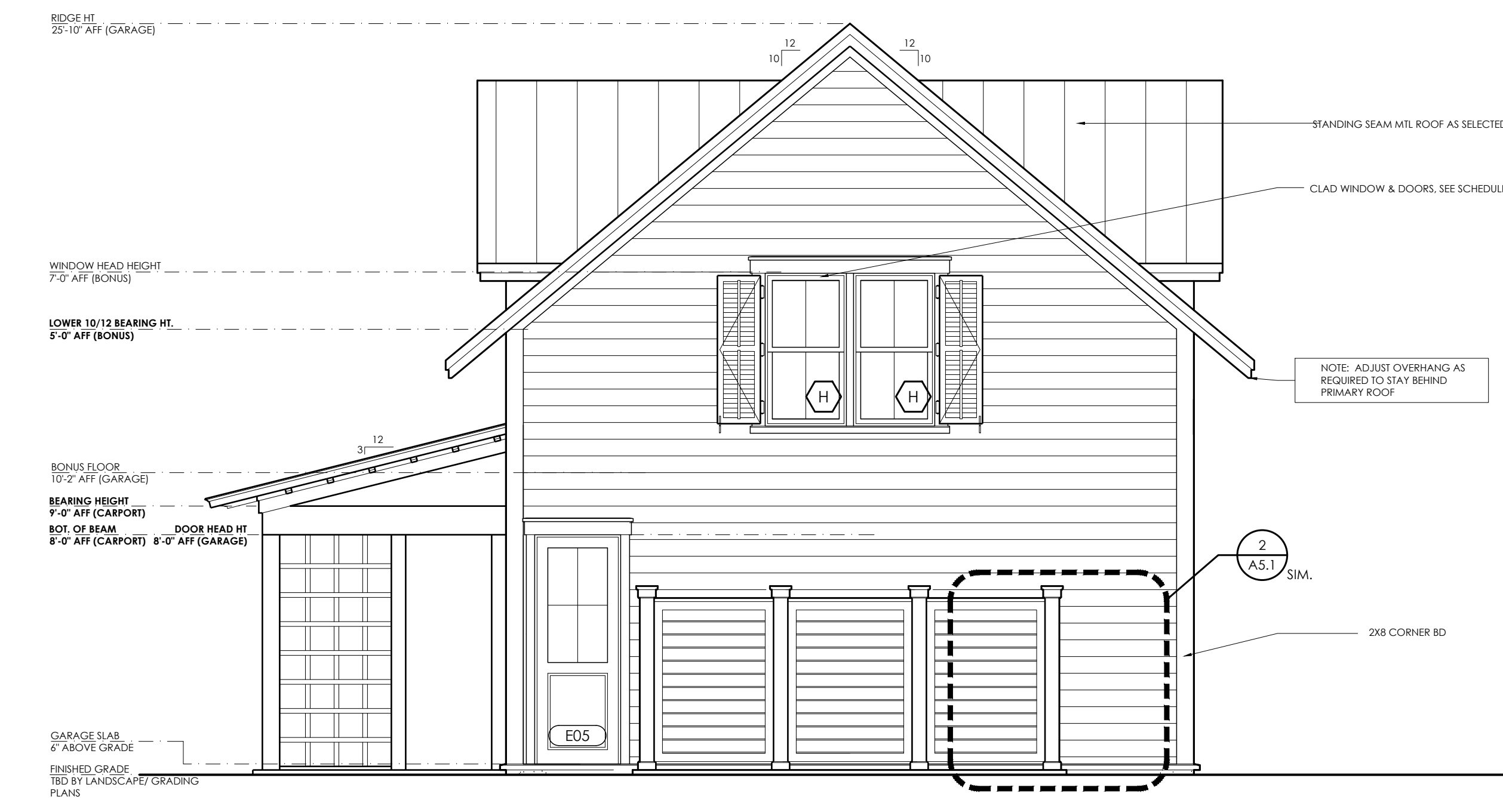
1 GARAGE FRONT ELEVATION
SCALE 1/4" = 1'-0"



2 GARAGE RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



3 GARAGE LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"



4 GARAGE REAR ELEVATION
SCALE 1/4" = 1'-0"

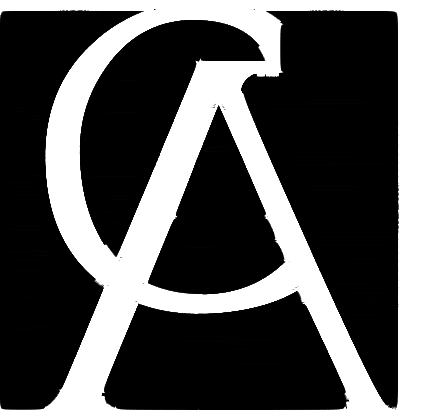
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ISSUE	DATE	DESCRIPTION
	05/16/2023	UPDATED

PROJECT # : SL-2000
PROJECT CONTACT :
DATE : 10/15/2018

A3.2

GARAGE EXTERIOR ELEVATIONS



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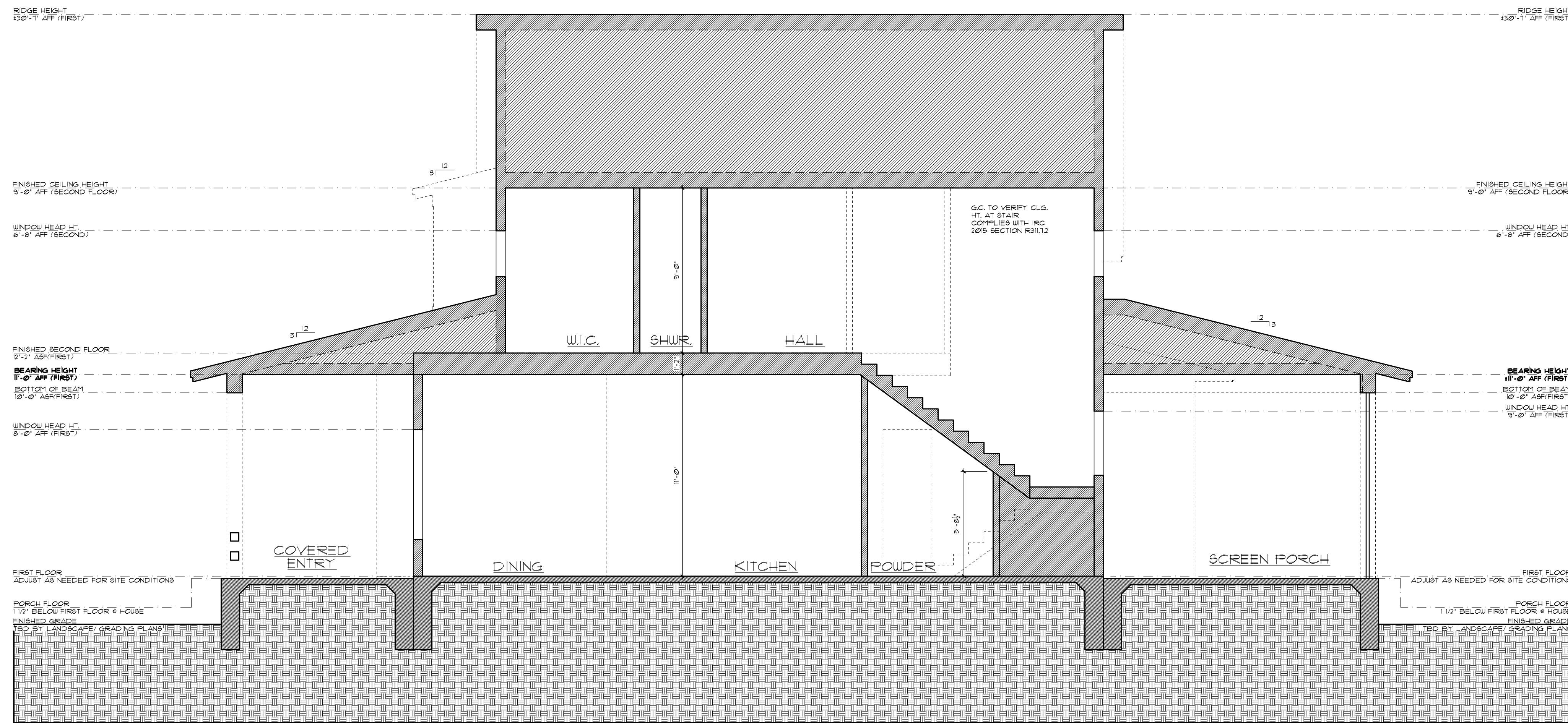
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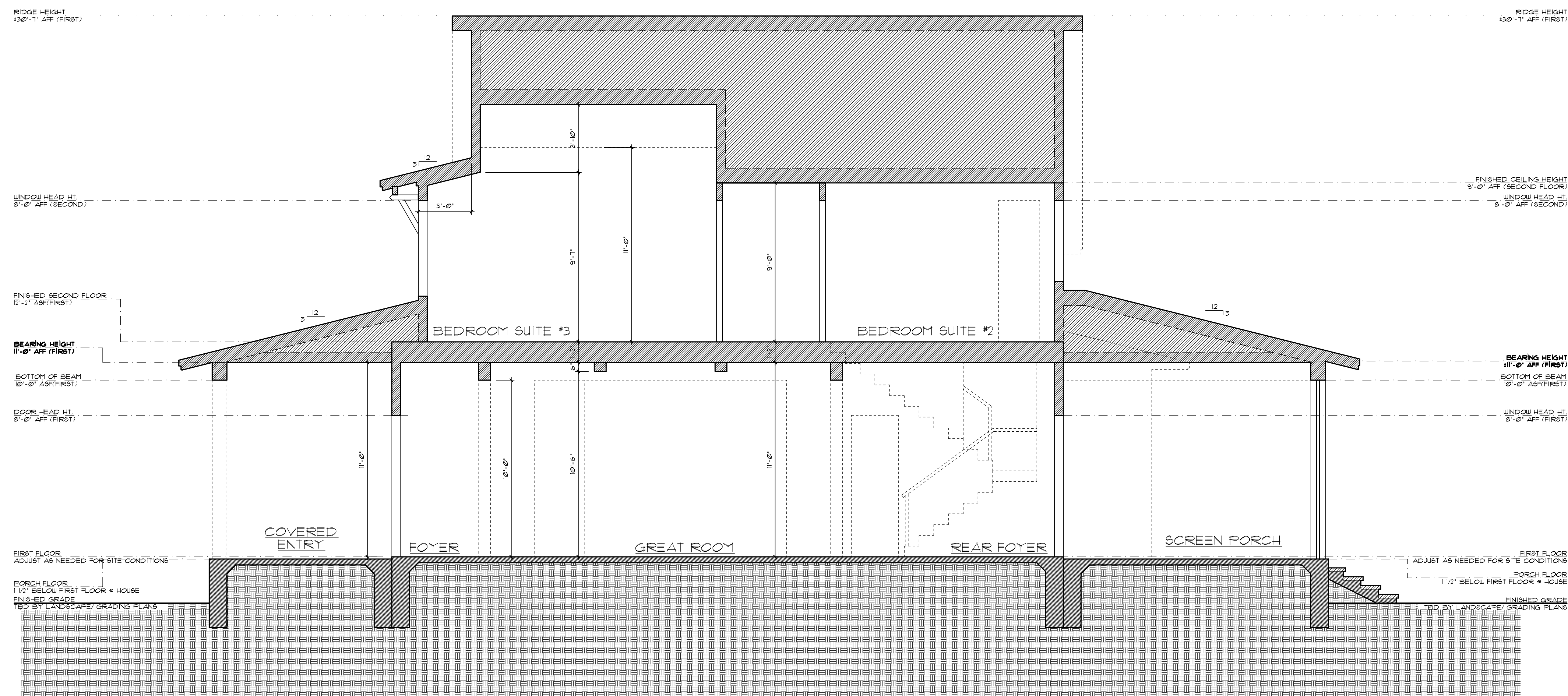
LOWCOUNTRY FARMHOUSE

CLIENT & CONTRACTOR NOTES:

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1 VERTICAL SECTION
SCALE 1/4" = 1'-0"



2 VERTICAL SECTION
SCALE 1/4" = 1'-0"

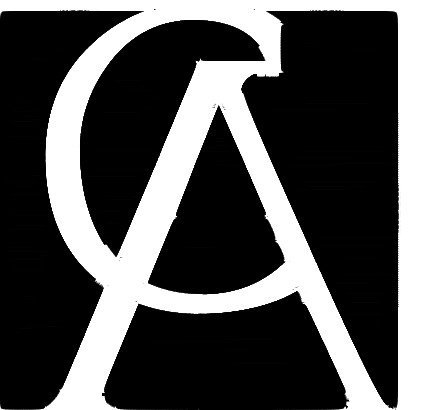
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ISSUE	DATE	DESCRIPTION
	05/16/2023	UPDATED

PROJECT #: SL-2000
PROJECT CONTACT:
DATE: 10/15/2018

A4.0

VERTICAL SECTIONS

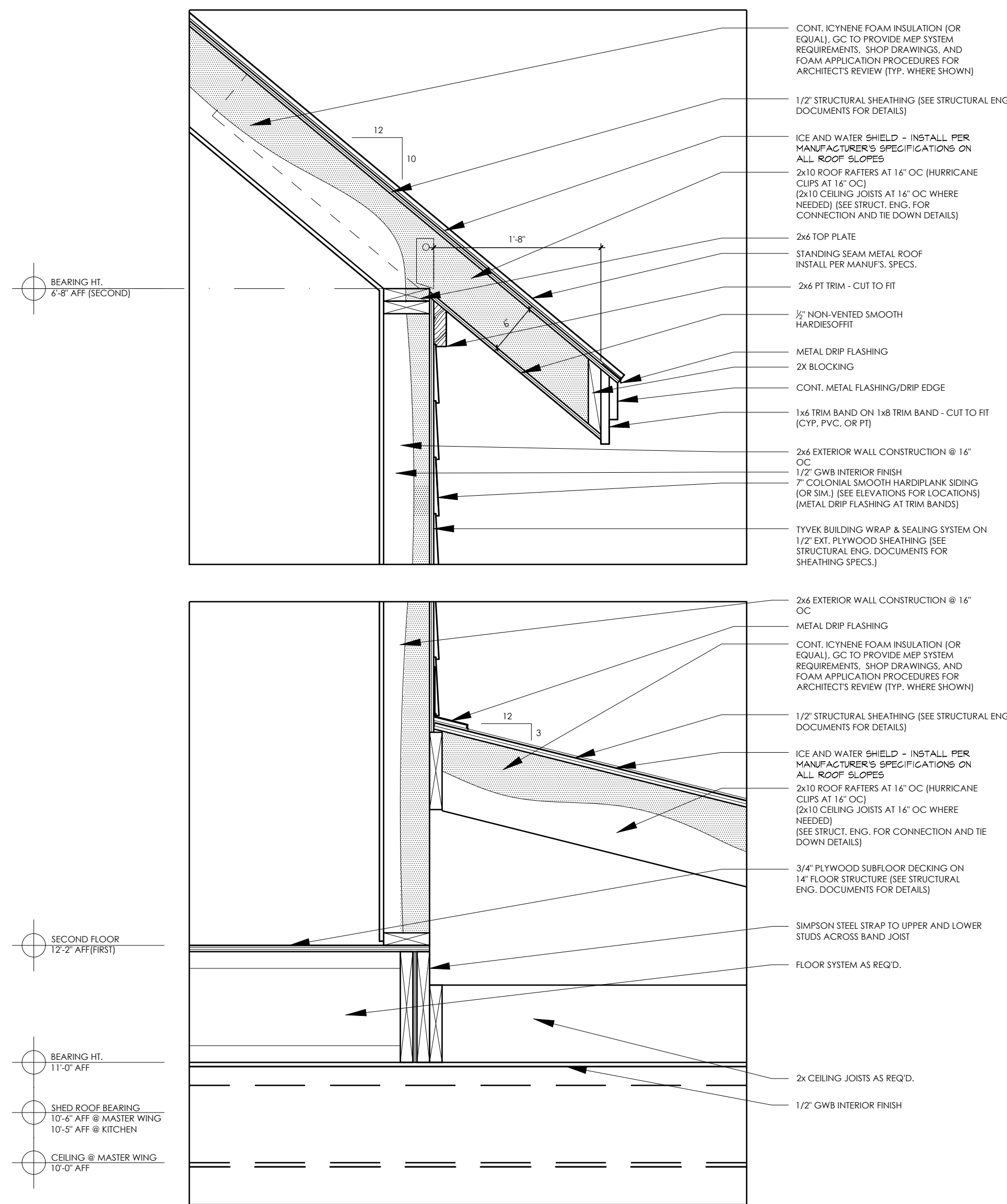


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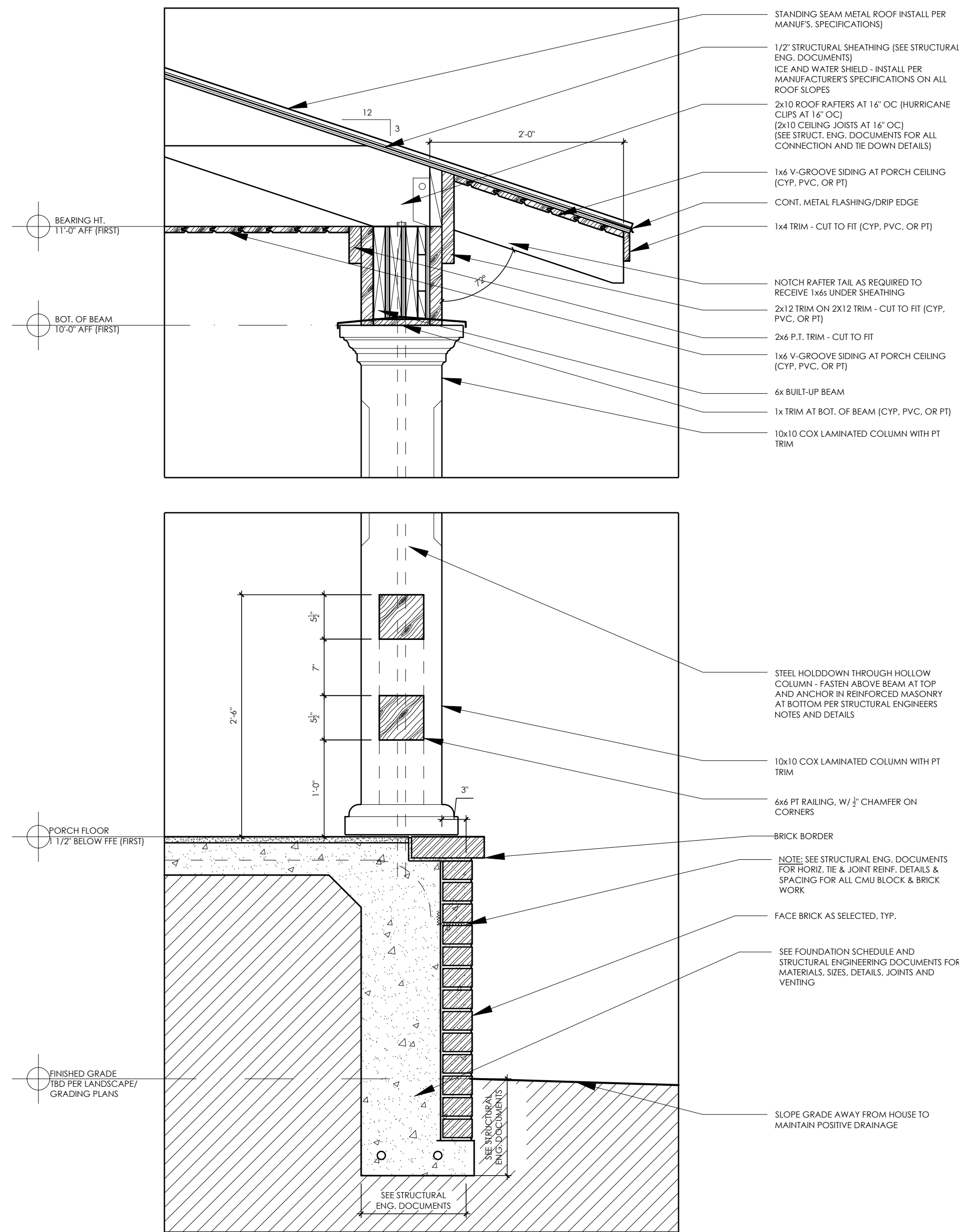
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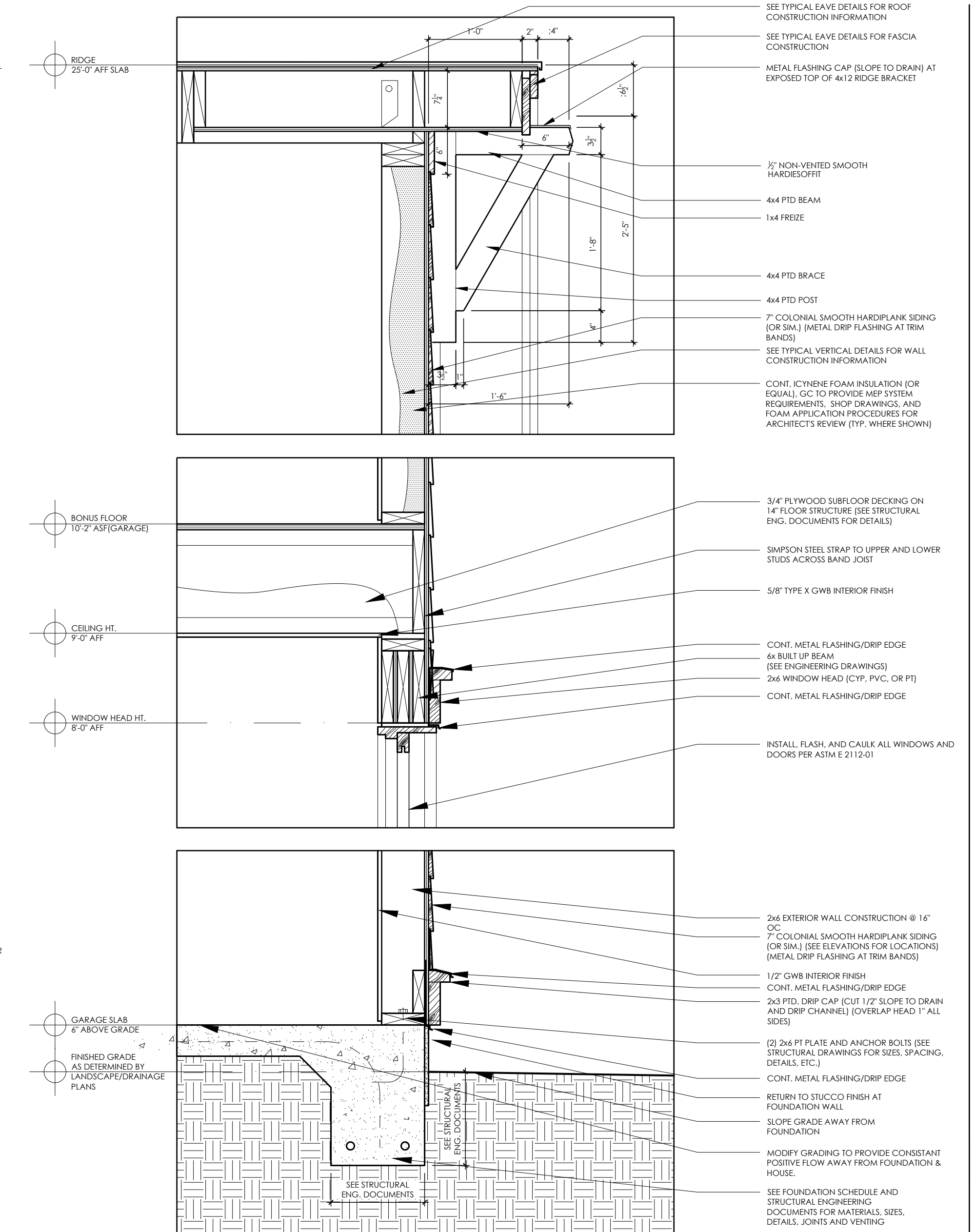
LOWCOUNTRY FARMHOUSE



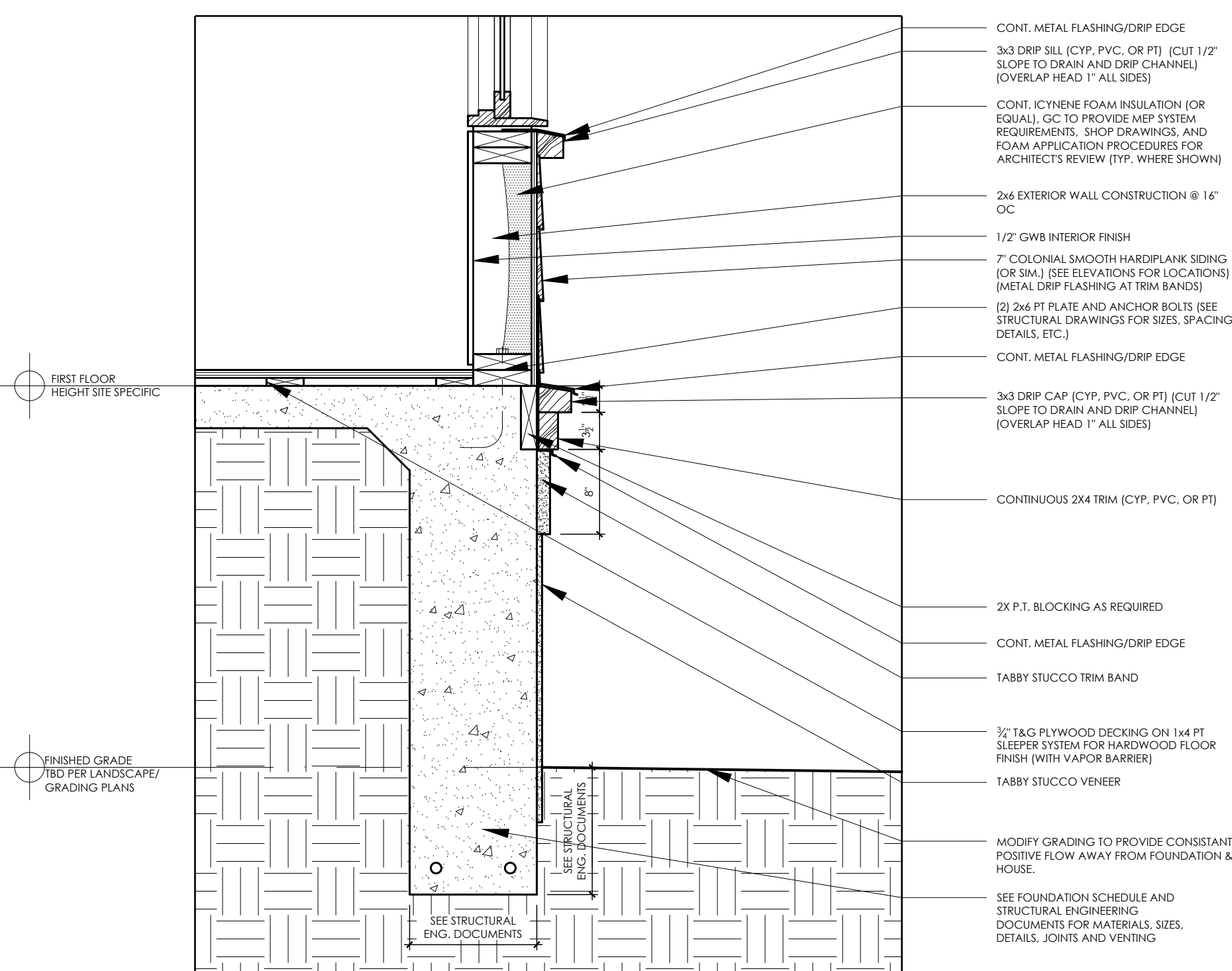
1 TYP. 10/12 DETAIL
A5.0 SCALE 1" = 1'-0"



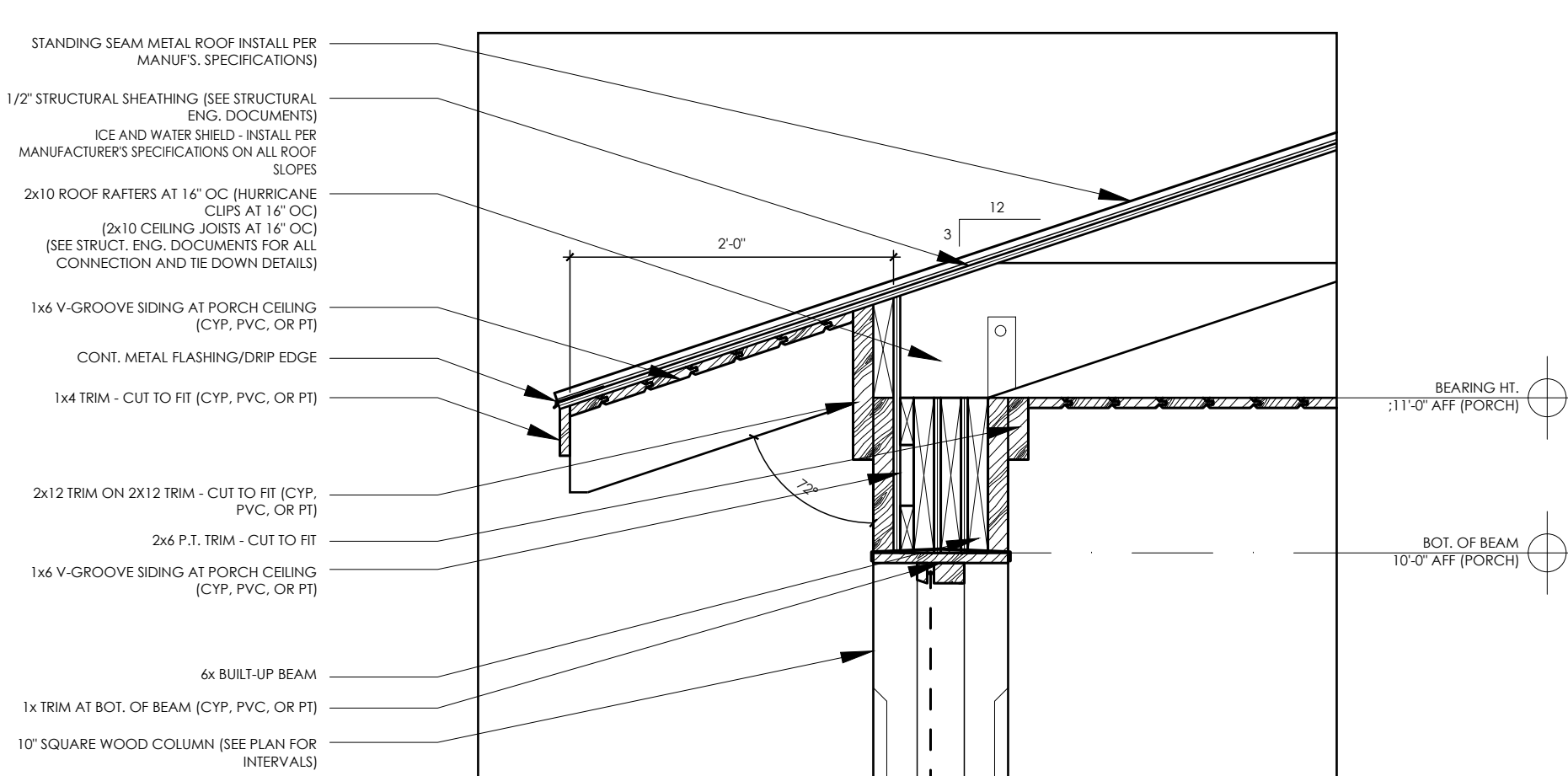
2 TYP. PORCH DETAIL
A5.0 SCALE 1" = 1'-0"



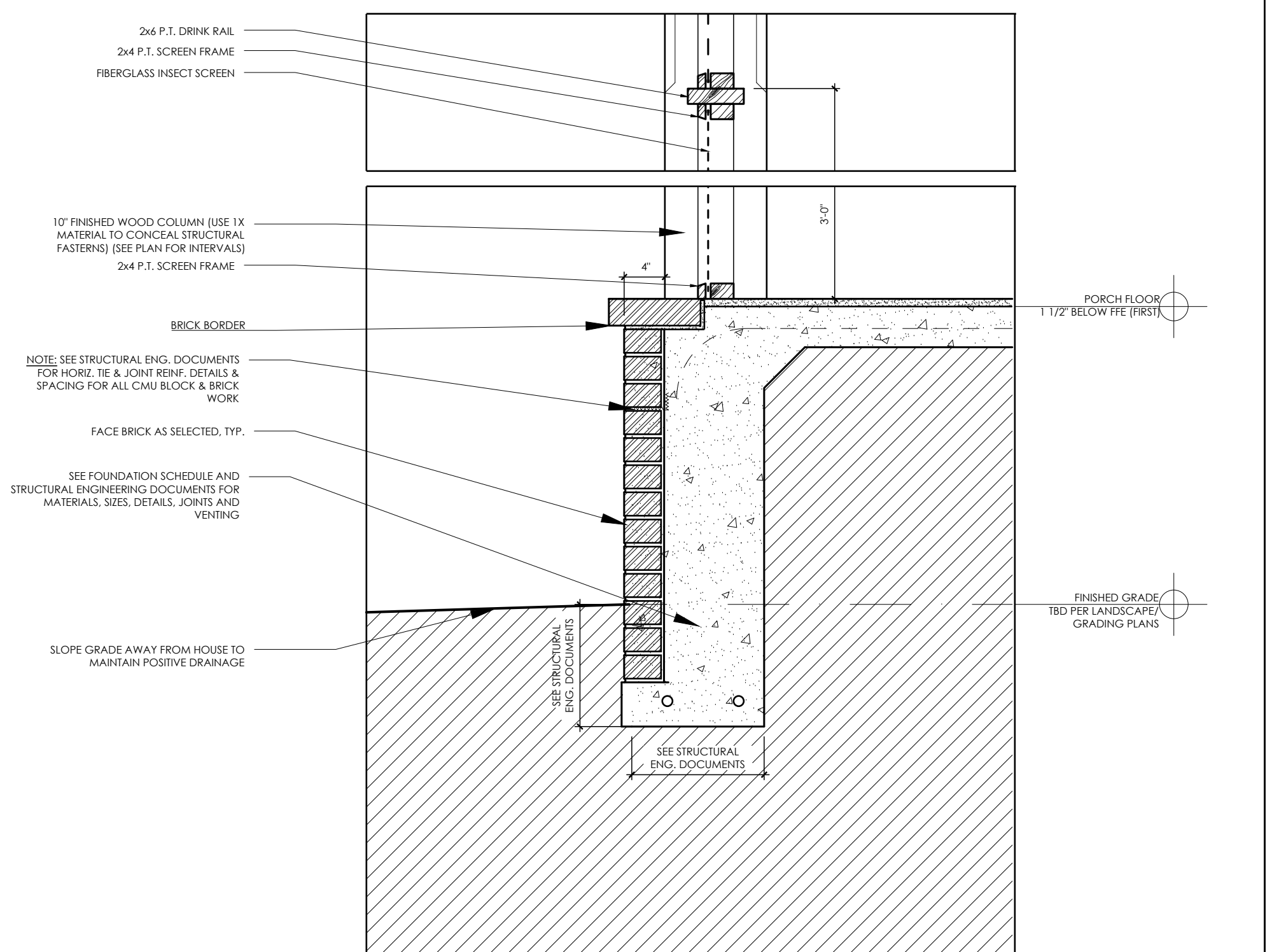
3 GARAGE TYPICAL TWO STORY SECTION
A5.0 SCALE 1" = 1'-0"



4 TYP. MAIN HOUSE FOUNDATION DETAIL
A5.0 SCALE 1" = 1'-0"



5 REAR PORCH EAVES DETAIL
A5.0 SCALE 1" = 1'-0"



6 REAR PORCH FOUNDATION DETAIL
A5.0 SCALE 1" = 1'-0"

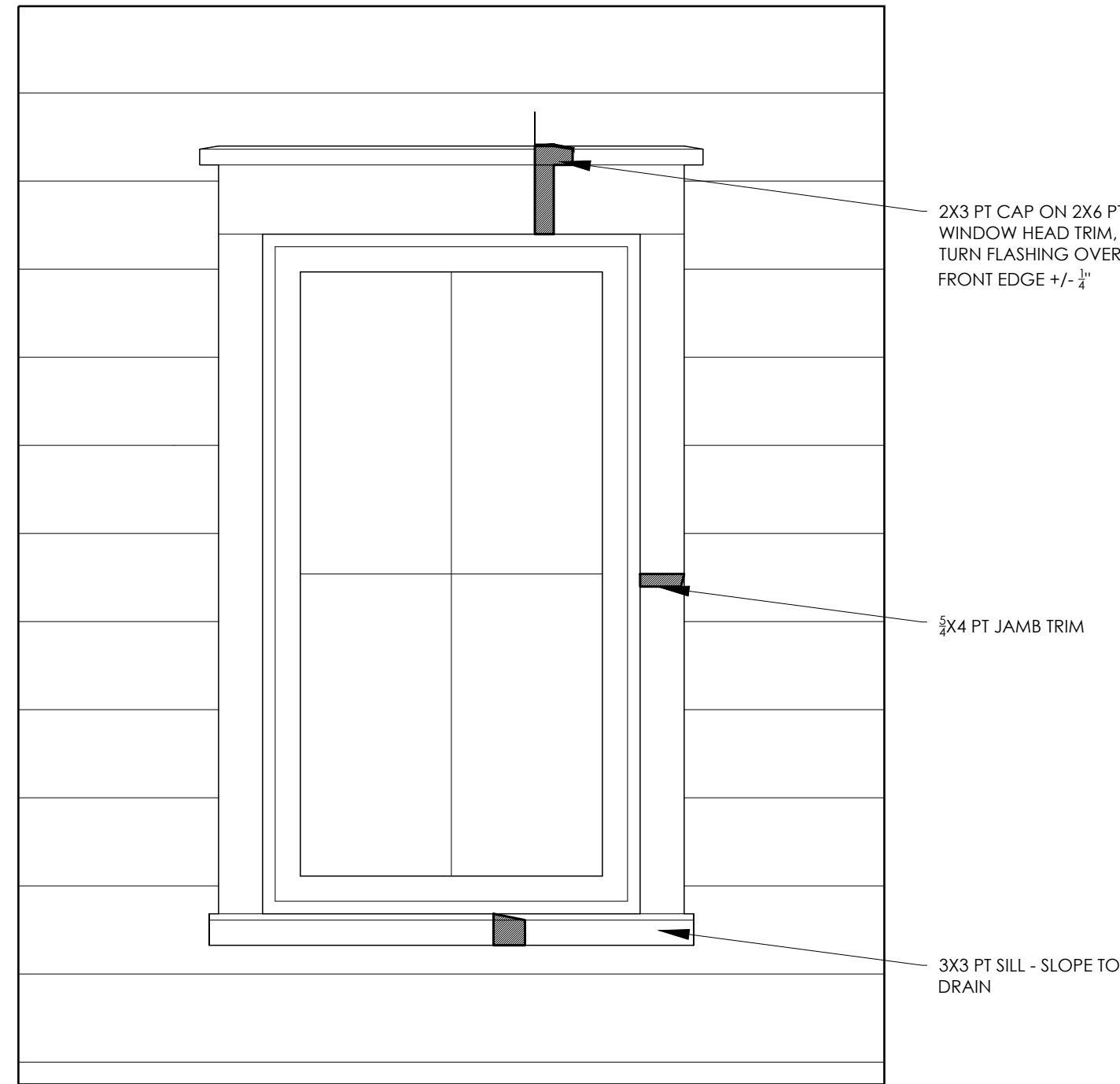
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ISSUE	DATE	DESCRIPTION
	05/16/2023	UPDATED

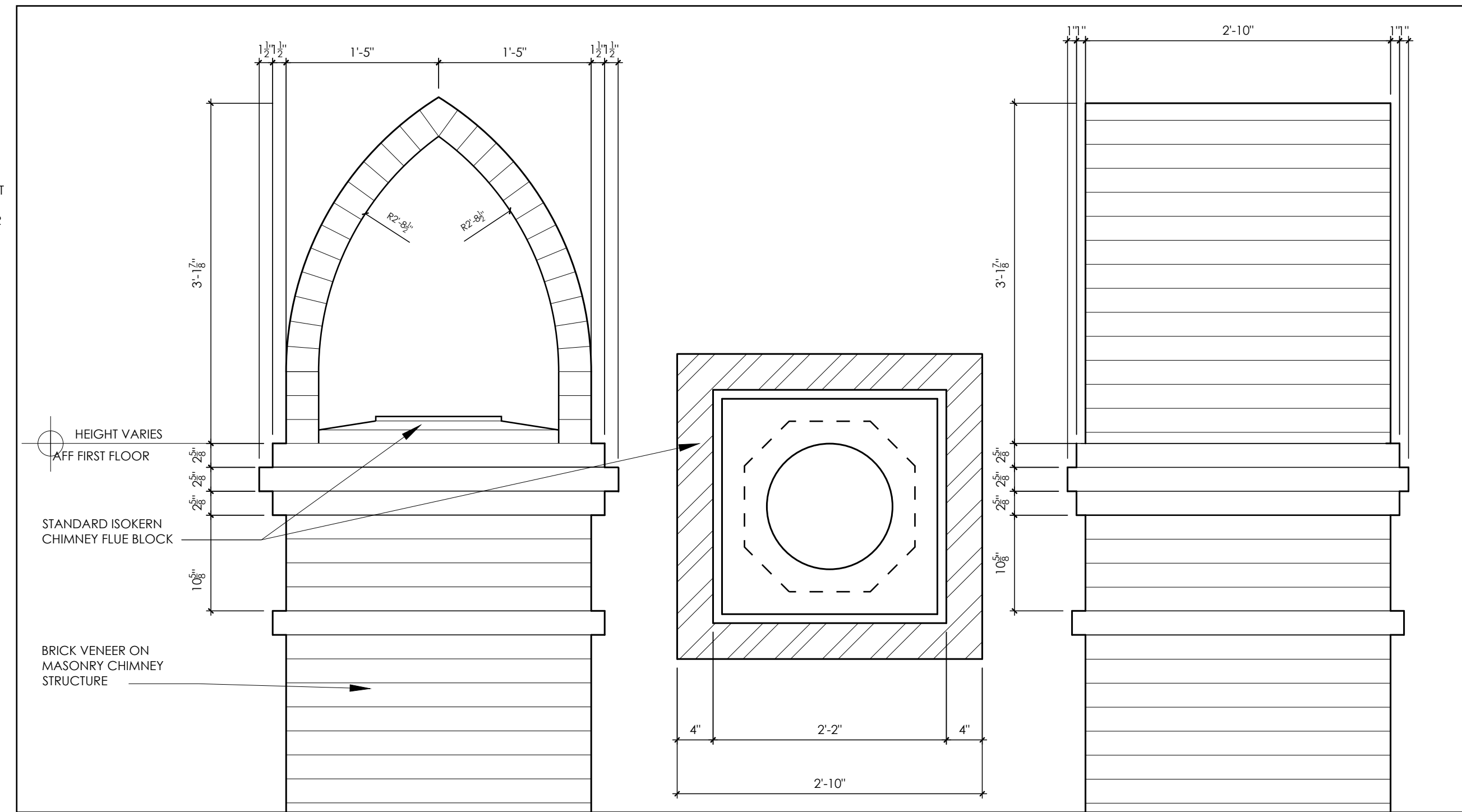
PROJECT #: SL-2000
PROJECT CONTACT:
DATE: 10/15/2018

A5.0

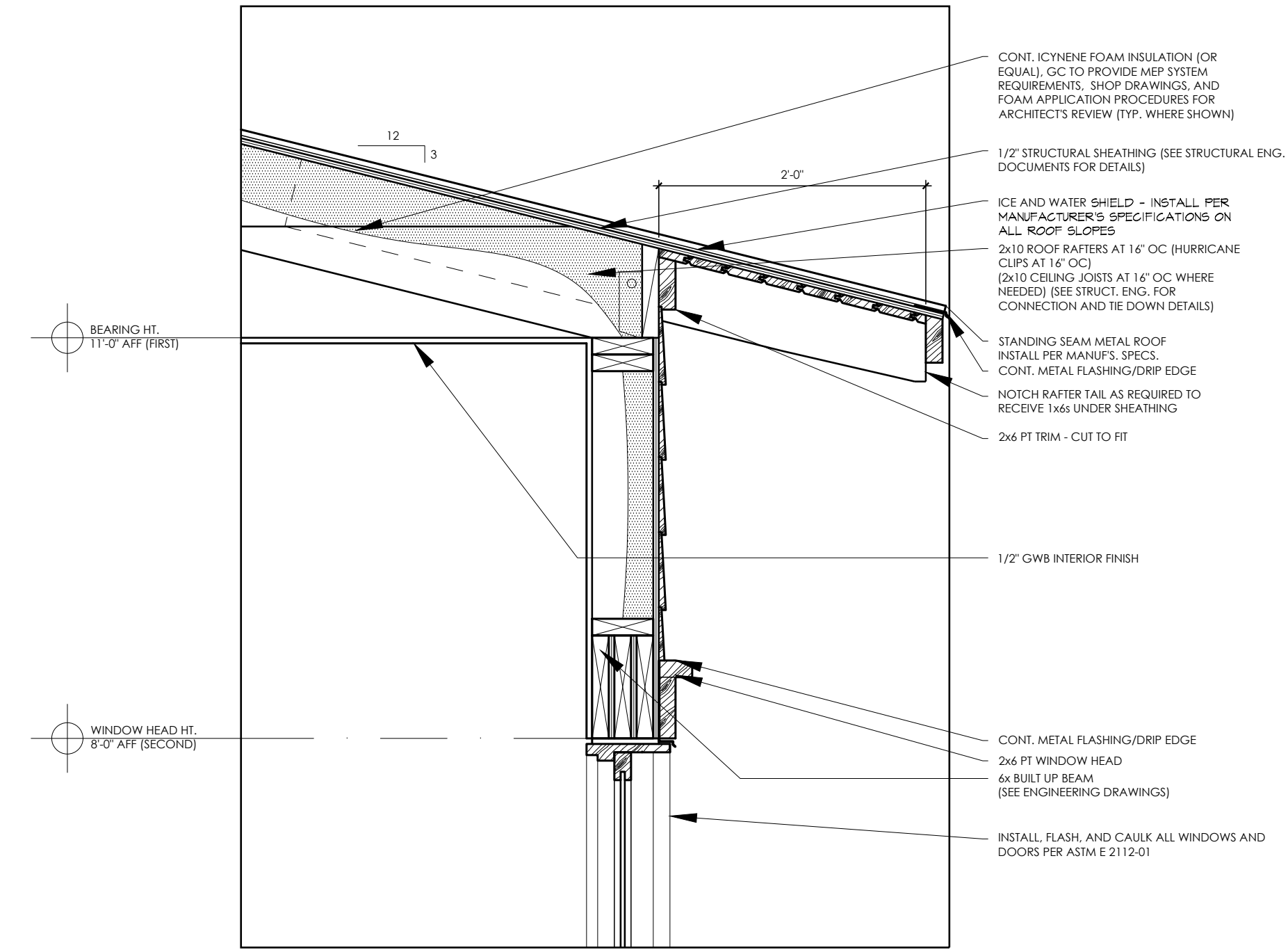
VERTICAL DETAILS



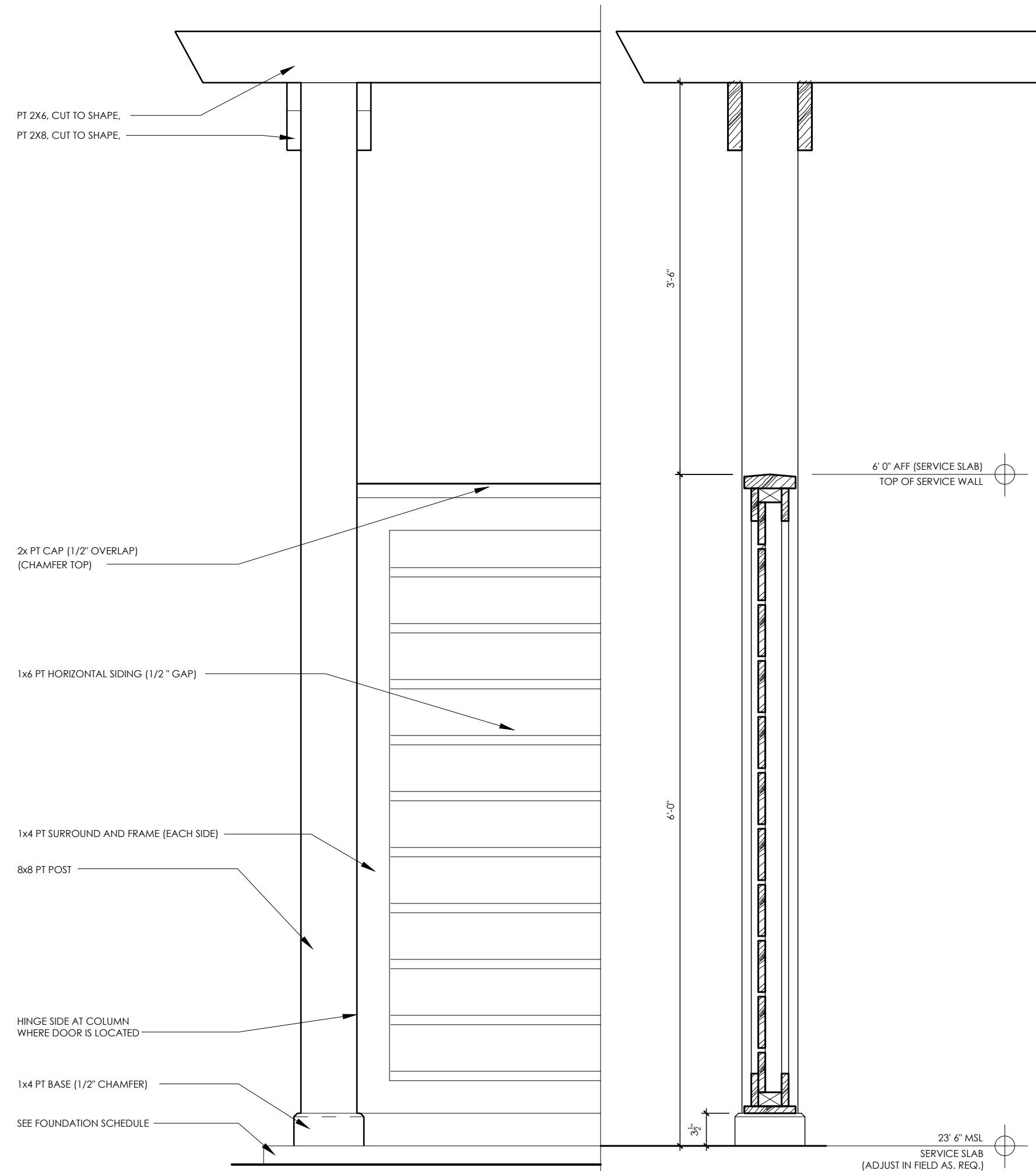
1 TYP. WINDOW DETAIL
A5.1 SCALE 1" = 1'-0"



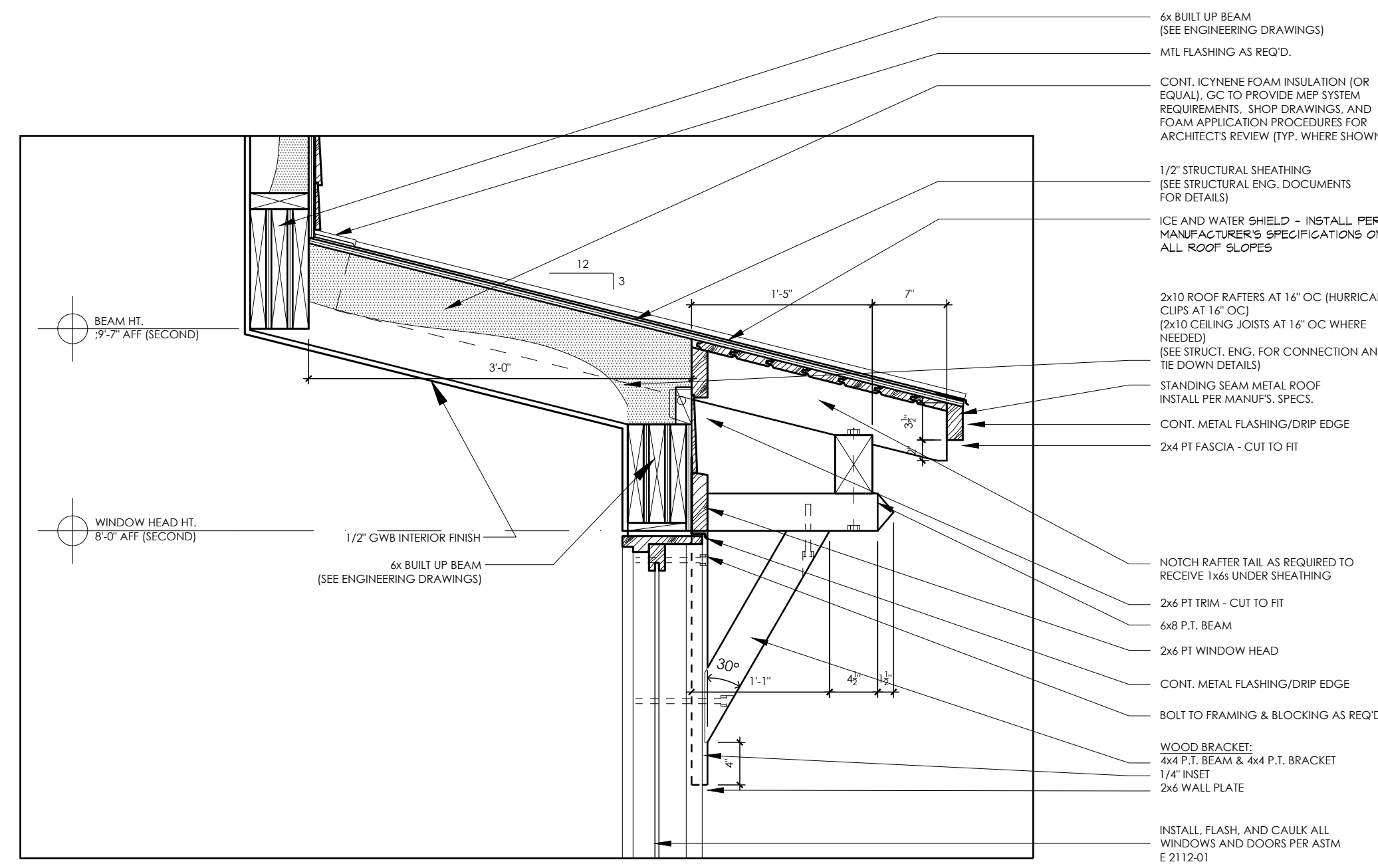
3 TYP. CHIMNEY DETAIL
A5.1 SCALE 1" = 1'-0"



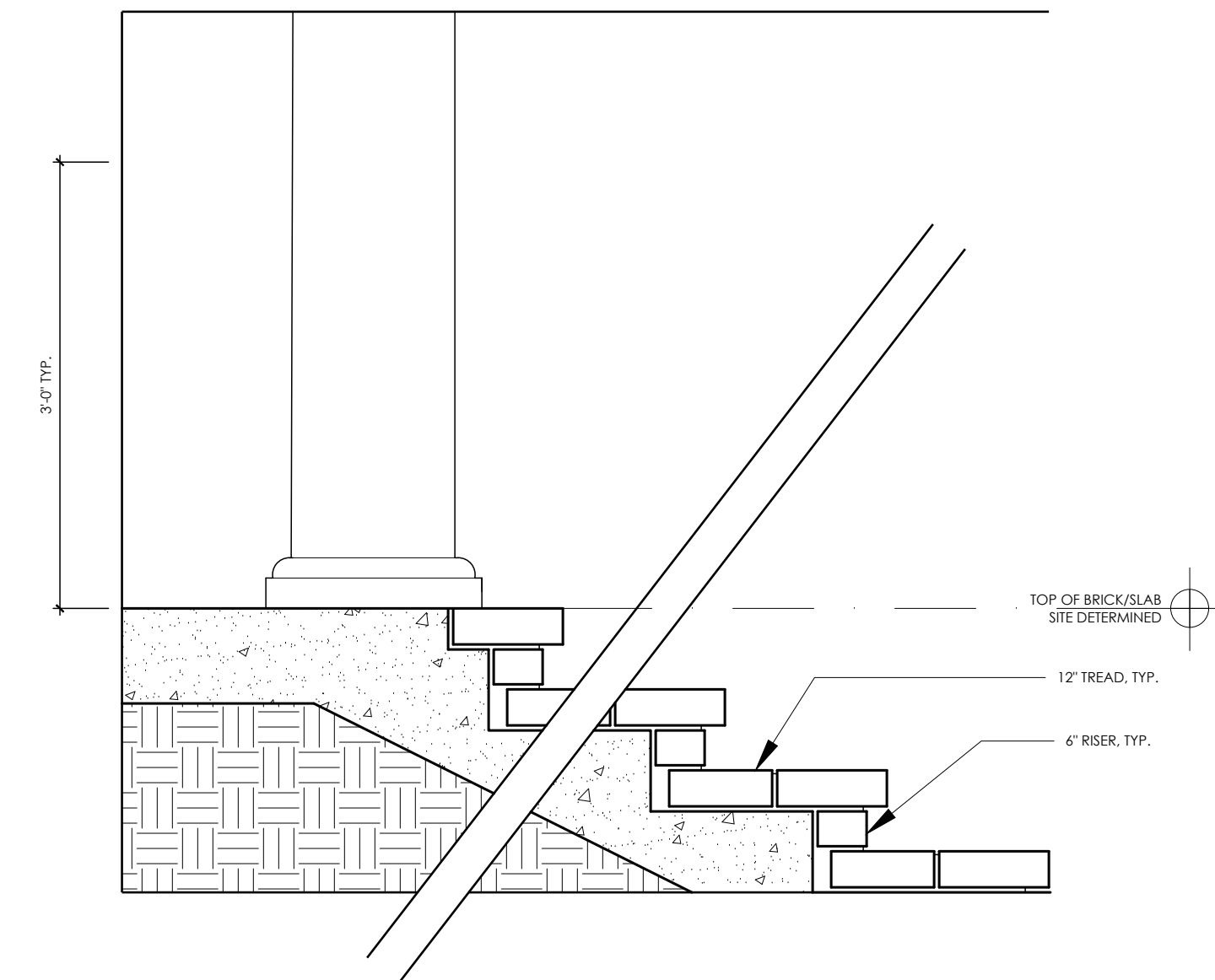
6 TYP. 3/12 DETAIL
A5.1 SCALE 1" = 1'-0"



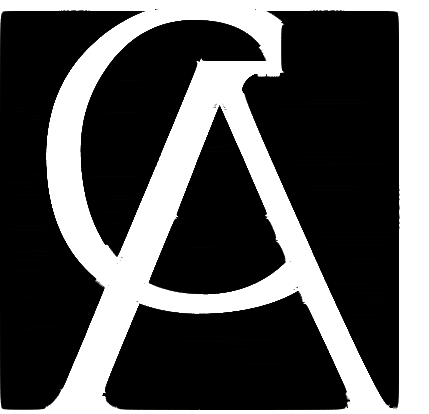
2 TYP. SERVICE YARD DETAIL
A5.1 SCALE 1" = 1'-0"



4 TYP. 3/12 DORMER DETAIL
A5.1 SCALE 1" = 1'-0"



6 BRICK STAIR DETAIL
A5.1 SCALE 1" = 1'-0"



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ISSUE	DATE	DESCRIPTION
	05/16/2023	UPDATED

PROJECT #: SL-2000
PROJECT CONTACT:
DATE: 10/15/2018

A5.1

VERTICAL DETAILS

G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS.
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-01.

WINDOW SCHEDULE

MARK	DESCRIPTION	NOMINAL SIZE		HEAD HEIGHT	DESIGN PRESSURE	ENERGY CODE	REMARKS
		WIDTH	HEIGHT				
A	CLAD CASEMENT UNIT	2'-0"	2'-6"	VARIES			SEE ELEVATION -
B	CLAD DOUBLE HUNG UNIT	3'-0"	5'-6"	8'-0"			SEE ELEVATION -
C	CLAD DOUBLE HUNG UNIT	3'-0"	6'-4"	8'-0"			SEE ELEVATION -
D	CLAD CASEMENT UNIT	3'-0"	4'-6"	8'-0"			SEE ELEVATION -
E	CLAD CASEMENT UNIT	3'-0"	4'-8"	8'-0"			SEE ELEVATION -
F	CLAD CASEMENT UNIT	3'-0"	3'-6"	9'-0"			SEE ELEVATION -
G	CLAD DOUBLE HUNG UNIT	2'-10"	5'-0"	8'-0"			SEE ELEVATION -
H	CLAD DOUBLE HUNG UNIT	3'-0"	5'-4"	8'-0"			SEE ELEVATION -
J	NOT USED	0'-0"	0'-0"	0'-0"			SEE ELEVATION -
K	NOT USED	0'-0"	0'-0"	0'-0"			SEE ELEVATION -
L	NOT USED	0'-0"	0'-0"	0'-0"			SEE ELEVATION -
M	NOT USED	0'-0"	0'-0"	0'-0"			SEE ELEVATION -
N	NOT USED	0'-0"	0'-0"	0'-0"			SEE ELEVATION -

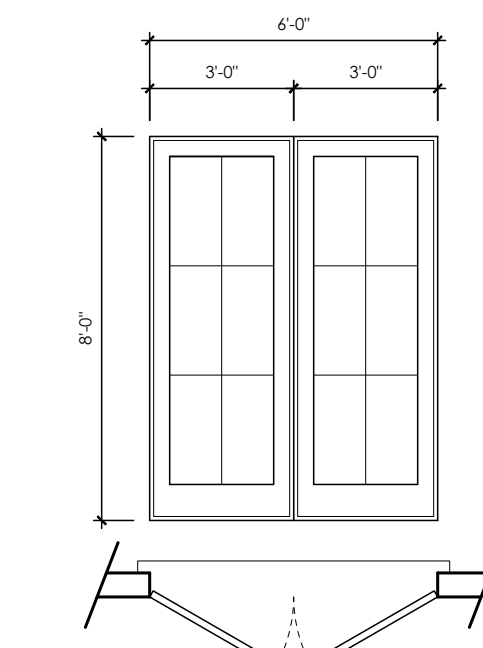
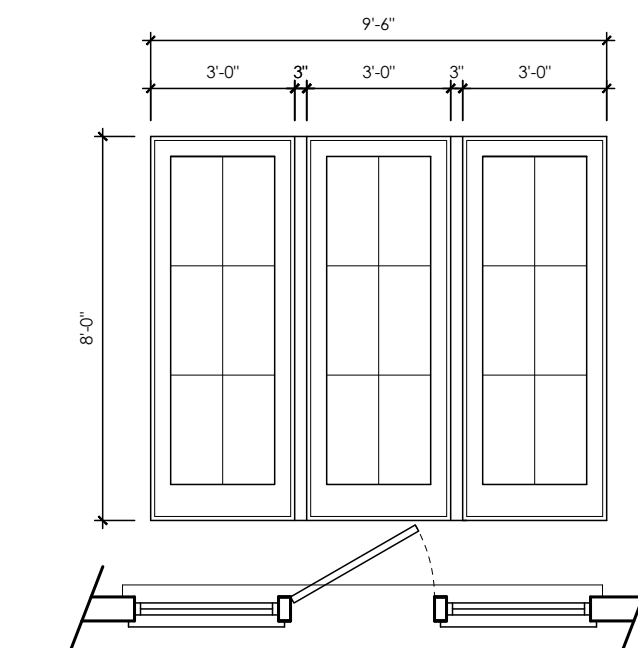
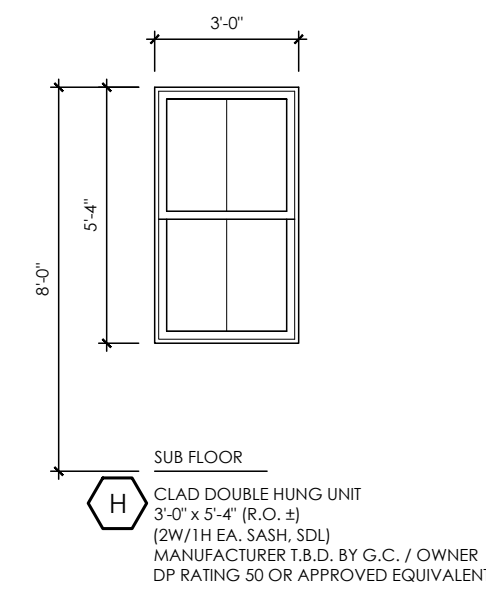
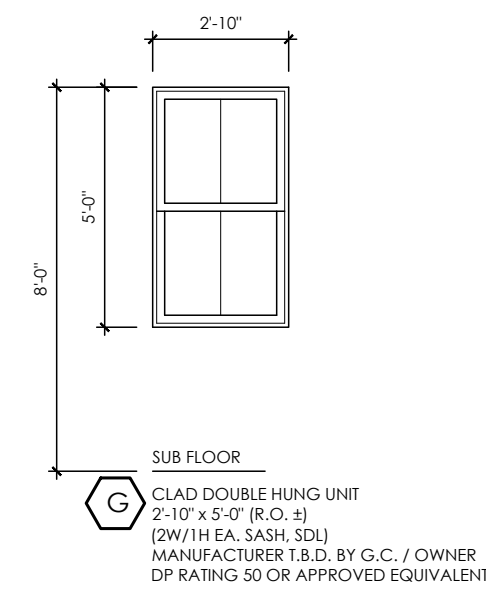
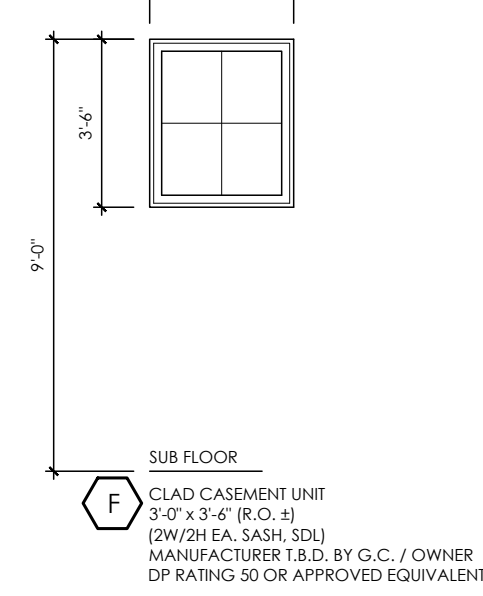
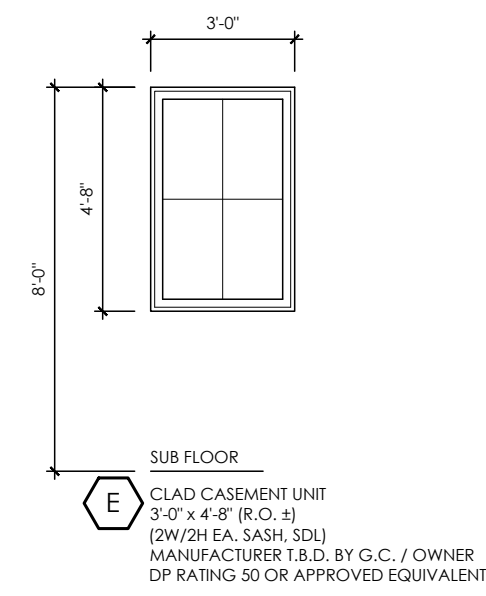
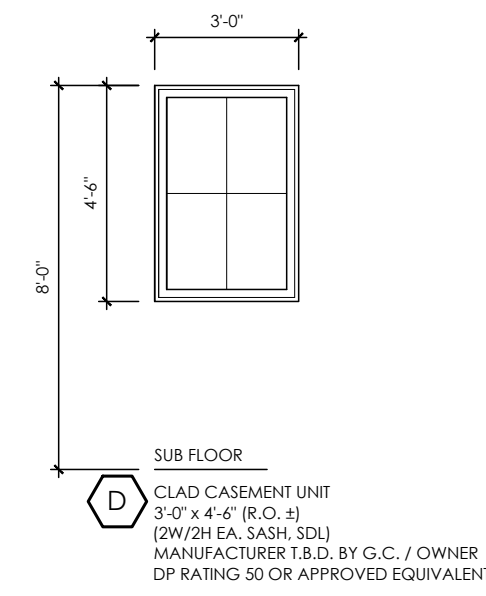
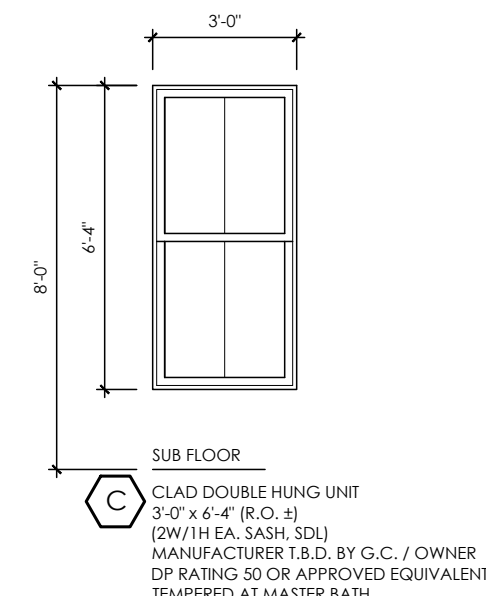
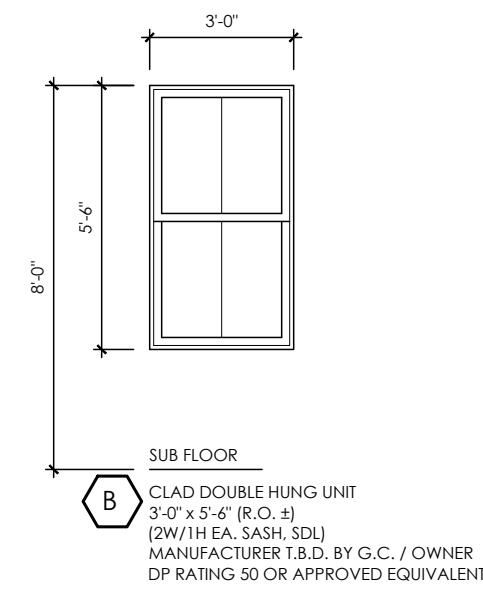
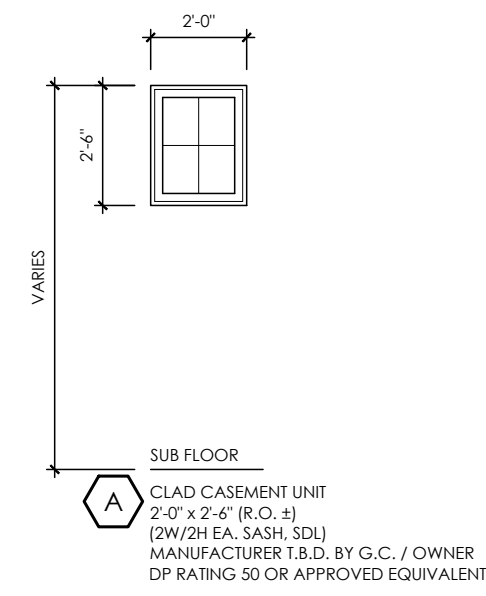
PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS.
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-07.

DOOR SCHEDULE

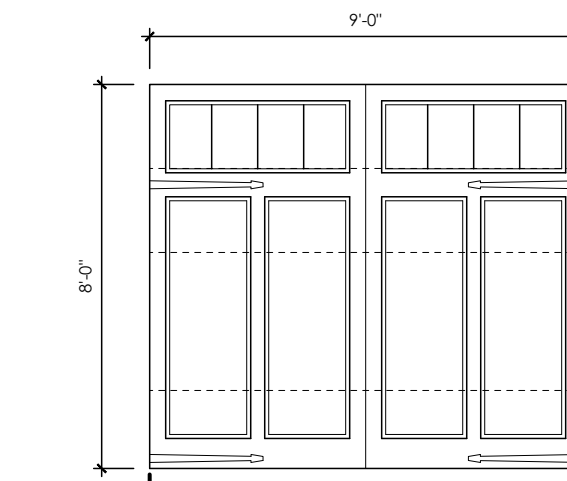
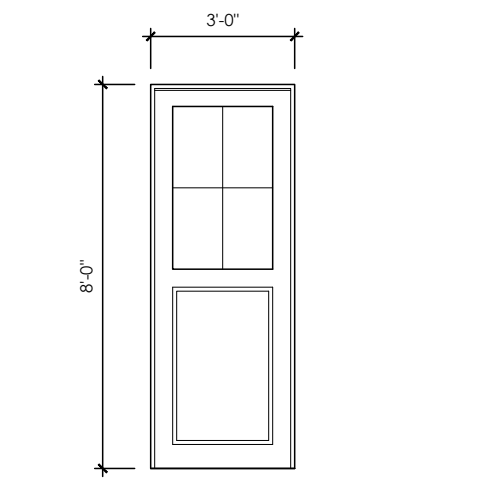
DOOR NUMBER	SIZE			MATERIAL	DOOR TYPE	HEAD HEIGHT	DESIGN PRESSURE	ELEVATION	REMARKS
	W	H	T						
E01	3'-0" R.O. 9'-6"	8'-0"	1'-8"	T.B.D.	EXTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER'S SEE ELEVATION
E02	NOT USED	---	---	---	---	---			NOT USED
E03	NOT USED	---	---	---	---	---			NOT USED
E04	(2) 3'-0" R.O. 6'-0"	8'-0"	1'-8"	T.B.D.	EXTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER'S SEE ELEVATION
E05	3'-0"	8'-0"	1'-8"	T.B.D.	EXTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER'S SEE ELEVATION
E06	9'-0"	8'-0"	1'-8"	T.B.D.	GARAGE DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER'S SEE ELEVATION
E07	9'-0"	8'-0"	1'-8"	T.B.D.	GARAGE DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER'S SEE ELEVATION
E08	NOT USED	---	---	---	---	---			NOT USED
E09	NOT USED	---	---	---	---	---			NOT USED
E10	NOT USED	---	---	---	---	---			NOT USED
11	3'-0"	8'-0"	1'-8"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
12	2'-8"	8'-0"	1'-8"	T.B.D.	INTERIOR POCKET DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
13	2'-8"	8'-0"	1'-8"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
14	2'-4"	8'-0"	1'-8"	T.B.D.	INTERIOR POCKET DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
15	(2) 1'-4" R.O. 2'-8"	8'-0"	1'-8"	T.B.D.	INTERIOR DOUBLE DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
16	2'-4"	8'-0"	1'-8"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
17	2'-8"	7'-0"	1'-8"	T.B.D.	INTERIOR DOOR	7'-0"			TYPE & FINISH BY G.C./ OWNER
18	2'-0"	8'-0"	1'-8"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
19	2'-10"	8'-0"	1'-8"	T.B.D.	INTERIOR POCKET DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
20	2'-4"	8'-0"	1'-8"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
21	2'-4"	8'-0"	1'-8"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
22	2'-4"	8'-0"	1'-8"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
23	2'-0"	8'-0"	1'-8"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
24	2'-8"	8'-0"	1'-8"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
25	2'-8"	8'-0"	1'-8"	T.B.A.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
26	2'-4"	8'-0"	1'-8"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
27	2'-4"	8'-0"	1'-8"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
28	3'-0"	8'-0"	1'-8"	T.B.A.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
29	2'-8"	8'-0"	1'-8"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER
30	3'-0"	8'-0"	1'-8"	T.B.D.	INTERIOR DOOR	8'-0"			20 MINUTE DOOR± TYPE & FINISH BY G.C./ OWNER
31	(2) 3'-0" R.O. 6'-0"	8'-0"	1'-8"	T.B.D.	INTERIOR DOORS	8'-0"			TYPE & FINISH BY G.C./ OWNER
32	2'-8"	7'-0"	1'-8"	T.B.A.	INTERIOR DOOR	7'-0"			TYPE & FINISH BY G.C./ OWNER
33	(2) 3'-0" R.O. 6'-0"	7'-0"	1'-8"	T.B.D.	INTERIOR POCKET DOOR	7'-0"			TYPE & FINISH BY G.C./ OWNER
34	2'-8"	7'-0"	1'-8"	T.B.D.	INTERIOR DOOR	7'-0"			TYPE & FINISH BY G.C./ OWNER

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.



ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0" ROUGH OPENINGS - TOP OF DOOR TO ALIGN W/ TOP OF ADJACENT WINDOWS

ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0" ROUGH OPENINGS - TOP OF DOOR TO ALIGN W/ TOP OF ADJACENT WINDOWS

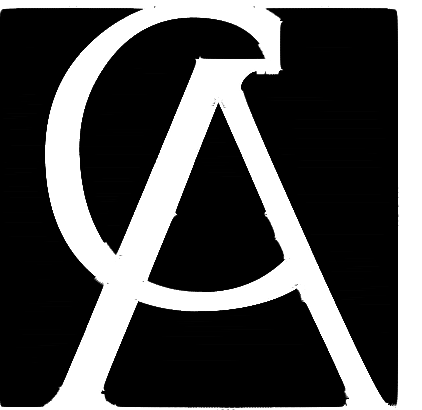


ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0" ROUGH OPENINGS - TOP OF DOOR TO ALIGN W/ TOP OF ADJACENT WINDOWS

ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0" ROUGH OPENINGS - TOP OF DOOR TO ALIGN W/ TOP OF ADJACENT WINDOWS

CLIENT & CONTRACTOR NOTES:

- IT IS THE RESPONSIBILITY OF THE CLIENT AND/OR CONTRACTOR TO ENSURE THAT THE CONSTRUCTION OF THIS PLAN MEETS INDUSTRY STANDARD BUILDING PRACTICES AND ALL APPLICABLE LOCAL BUILDING CODES.
- ALL EFFORTS ARE MADE TO PROVIDE PLANS WITH THE HIGHEST LEVELS OF DESIGN QUALITY. HOWEVER, DUE TO THE UNIQUENESS OF EACH BUILDING SITE, REGIONAL REQUIREMENTS AND VARIOUS BUILDING CODES, THE ARCHITECT DOES NOT ASSUME LIABILITY FOR COMPLIANCE WITH BUILDING CODES, STANDARD BUILDING PRACTICES OR ZONING REGULATIONS.
- THE CLIENT AND/OR CONTRACTOR WILL HAVE PLANS FOR COMPATIBILITY WITH SPECIFIC SITE CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS FOR THIS PLAN SUCH AS, BUT NOT LIMITED TO, FOOTINGS, FOUNDATION WALLS, PIER, SLABS, HIGH IMPACT AND STEEL REINFORCEMENT, COLUMNS, BEAMS, JOISTS, RAFTERS AND OTHER FRAMING.
- PRIOR TO CONSTRUCTION, THE CLIENT AND/OR CONTRACTOR SHALL CHECK THE PLANS FOR ERRORS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION QUALITY, MEANS OR METHODS, PRODUCTS, SYSTEMS, COSTS, OR MATERIAL SELECTIONS USED IN THE CONSTRUCTION OF THE PLAN.
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- THE ARCHITECT'S LIABILITY, IF ANY, SHALL BE LIMITED TO THE SALE PRICE OF THE PLANS.
- THESE PLANS AND DERIVATIVES OF THESE PLANS ARE OWNED BY THE ARCHITECT WHO LICENSES THEM TO THE CLIENT FOR A ONE TIME USE AND ARE SUBJECT TO COPYRIGHT PROTECTION UNDER THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. UNAUTHORIZED SALE, USE OR DUPLICATION OF THE PLANS OR THE WORKS OR FORMS SHOWN ON THE PLANS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT VIOLATES FEDERAL LAW.



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LOWCOUNTRY FARMHOUSE

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ISSUE	DATE	DESCRIPTION
	05/16/2023	UPDATED

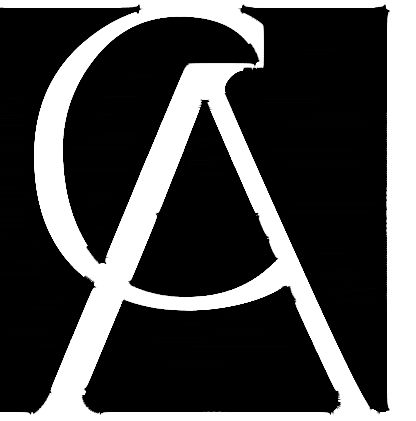
PROJECT #: SL-2000

PROJECT CONTACT:

DATE: 10/15/2018

A6.0

DOOR & WINDOW SCHEDULES

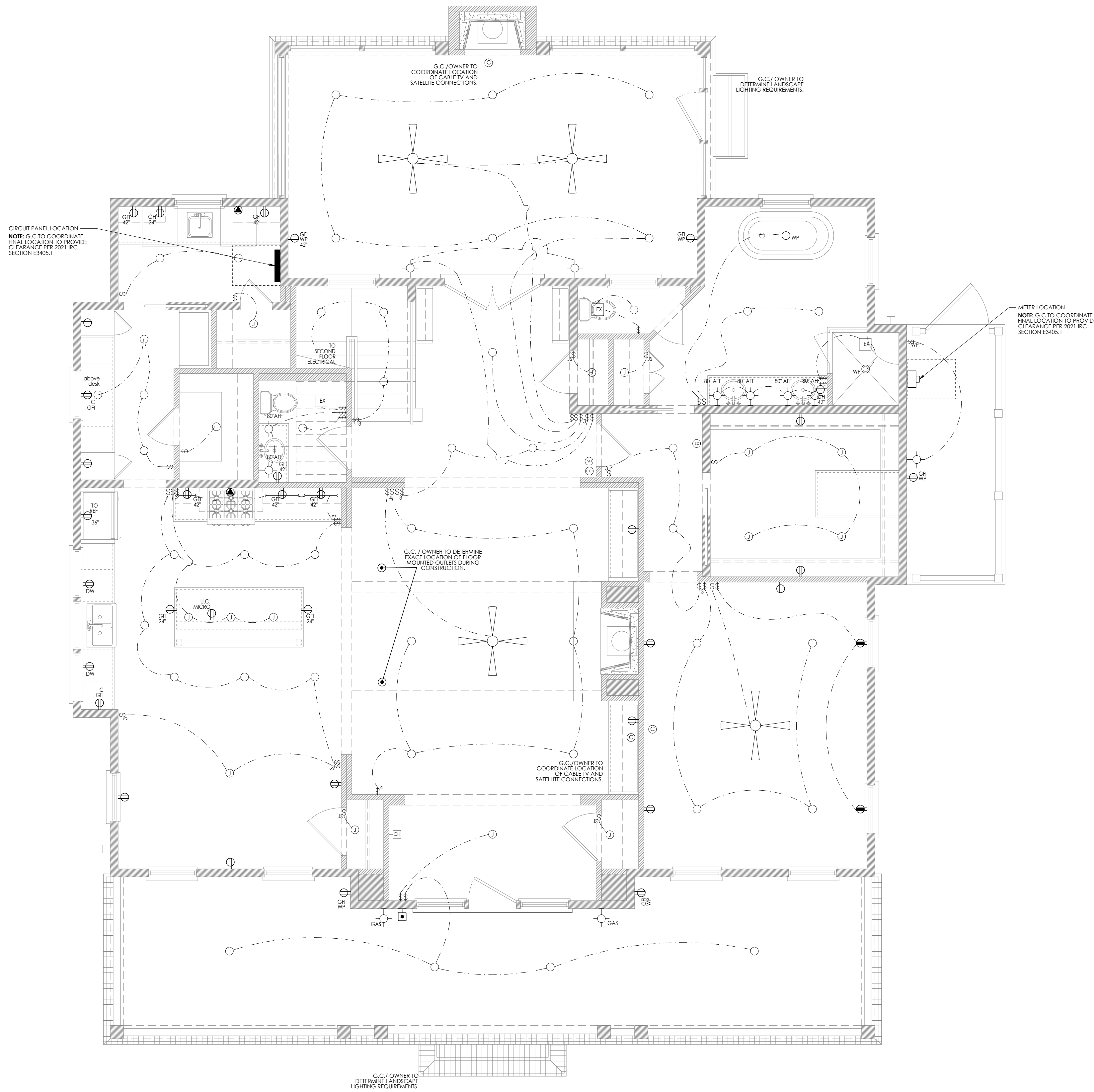


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ELECTRICAL LEGEND

Table with 2 columns: SYMB. and DESCRIPTION. Lists various electrical symbols and their corresponding descriptions, such as duplex receptacle, quad receptacle, switched duplex receptacle, 220 volt outlet, floor receptacle, etc.

ELECTRICAL NOTES

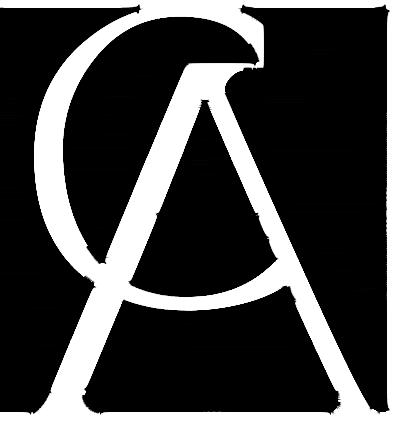
- 1. COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH G.C./OWNER.
2. VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
3. ALL SWITCHES TO BE 36" AFF. UNLESS OTHERWISE NOTED.
4. GENERAL CONTRACTOR TO VERIFY FORM OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH G.C./OWNER BY FIELD.
5. ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
6. ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
7. ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND IN BASEBOARDS, WHERE POSSIBLE.
8. SEE LIGHTING SCHEDULE FOR FIXTURE TYPES, ALL FIXTURES BY OWNER/G.C.
9. OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
10. OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATIONS OR PROVIDE FOR REMOTE THERMOSTAT REQUIREMENTS.
11. OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR AT PRIMARY LOCATIONS.
12. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF REMOTE INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACKUP WATER TREATMENT. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
13. OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOME TECHNOLOGY, INCLUDING RADIO BA OR CRESTION SYSTEMS, PC INTEGRATION, ANY REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND SMART TV TECHNOLOGY.
14. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN-GROUND PROPANE TANK SERVICE OR NATURAL GAS SERVICE IF APPLICABLE.
15. OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
16. OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
17. KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
18. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
19. ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3002.16.
20. OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021 IRC SECTION M300.13.
21. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
22. ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021 IRC SECTIONS 3607-3611.
23. AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021 IRC SECTION N1104.1.

CLIENT & CONTRACTOR NOTES:

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Table with 3 columns: ISSUE, DATE, DESCRIPTION. Row 1: 05/16/2023, UPDATED.

PROJECT #: SL-2000
PROJECT CONTACT:
DATE: 10/15/2018



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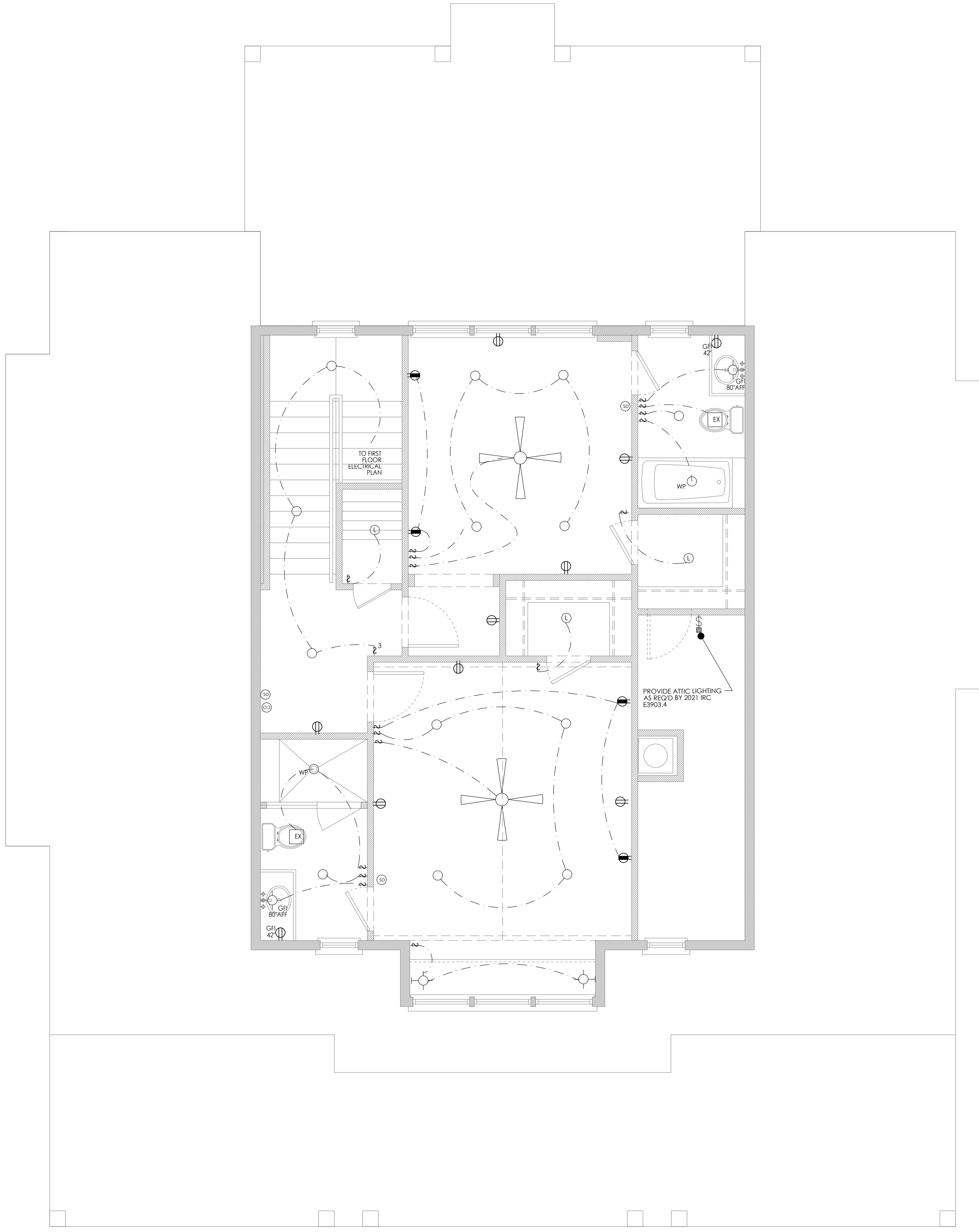
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ELECTRICAL LEGEND

SYMB.	DESCRIPTION
	DUPLEX RECEPTACLE
	QUAD RECEPTACLE
	SWITCHED DUPLEX RECEPTACLE
	220 VOLT OUTLET
	FLOOR RECEPTACLE
	GFI RECEPTACLE
	COUNTERTOP LEVEL GFI RECEPTACLE
	GFI IN WATERPROOF BOX
	DATA/PHONE
	TV/CABLE JACK
	EXHAUST FAN
	EXHAUST FANLIGHT COMBO
	RECESSED CAN
	DIRECTIONAL CAN LIGHTING
	RECESSED SEALED SHOWER FIXTURE
	PUCK CAN LIGHT
	2x4 FLUORESCENT
	2x2 FLUORESCENT
	WALL MOUNTED SCONCE
	SEMI-FLUSH CEILING MOUNTED FLUORESCENT
	CEILING MOUNTED STRIP FLUORESCENT
	HEADER MOUNTED STRIP FLUORESCENT
	PENDANT LIGHT
	CEILING FAN
	SINGLE POLE SWITCH
	3 WAY SWITCH
	4 WAY SWITCH
	DIMMER SWITCH
	JAMB SWITCH
	MOTION ACTIVATED (MA) SWITCH
	SWITCH IN WATERPROOF BOX
	SWITCH W/ INDICATOR LIGHT
	ELECTRIC METER NOTE: ELC TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1
	CIRCUIT PANEL BOX NOTE: ELC TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1
	JUNCTION BOX
	UNDER CABINET FIXTURE
	RECESSED PIN LIGHT
	DIRECTIONAL RECESSED PIN LIGHT
	WALL MOUNTED UPLIGHTING
	STEP LIGHTS
	SOFFIT MTD. MOTION ACTIVATED LIGHTING WITH APPROVED SHADE(S)
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	DOOR BELL BUTTON
	DOOR BELL CHIME

ELECTRICAL NOTES

- COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
- VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
- ALL SWITCHES TO BE 30" A.T.F., UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR TO VERIFY SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
- ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
- ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
- ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND IN BASEBOARDS, WHERE POSSIBLE.
- SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
- OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
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- OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOME TECHNOLOGY, INCLUDING RADIO FREQ. IDENTIFICATION, TV, SECURITY, AV REQUIREMENTS, HVAC INTEGRATION, SECURITY, AND LIGHTING INTEGRATION, AND DIAL IN TECHNOLOGY.
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- OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
- ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E307.14.
- OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021 IRC SECTION M1305.1.3.
- OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R104.
- ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021 IRC SECTIONS 3607-3611.
- AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021 IRC SECTION N1104.1.



1 SECOND FLOOR ELECTRICAL
E2.2 SCALE 8" = 1'-0"

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ISSUE	DATE	DESCRIPTION
	05/14/2023	UPDATED

PROJECT # : SL-2000
PROJECT CONTACT :
DATE: 10/15/2018

E2.2
SECOND FLOOR ELECTRICAL

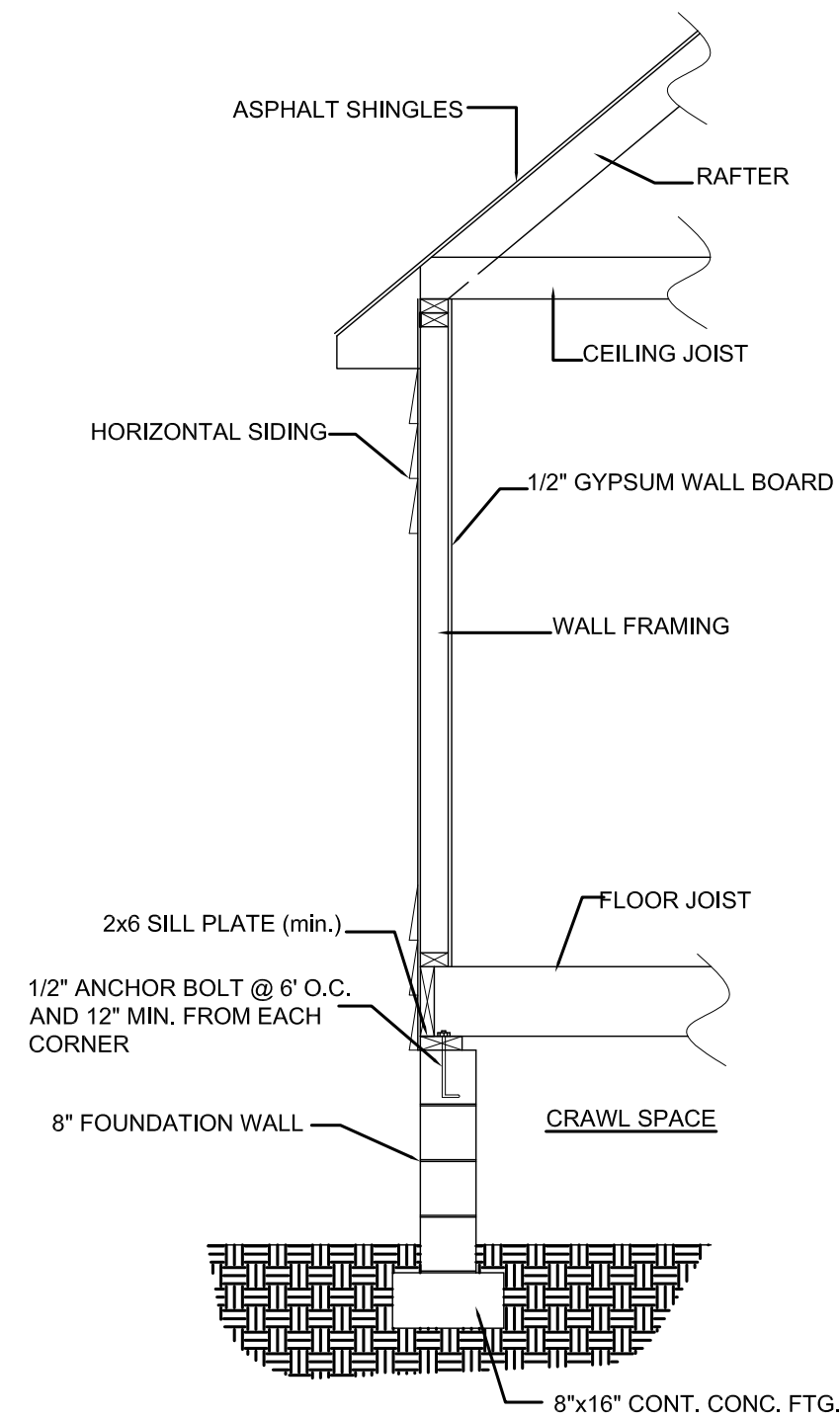
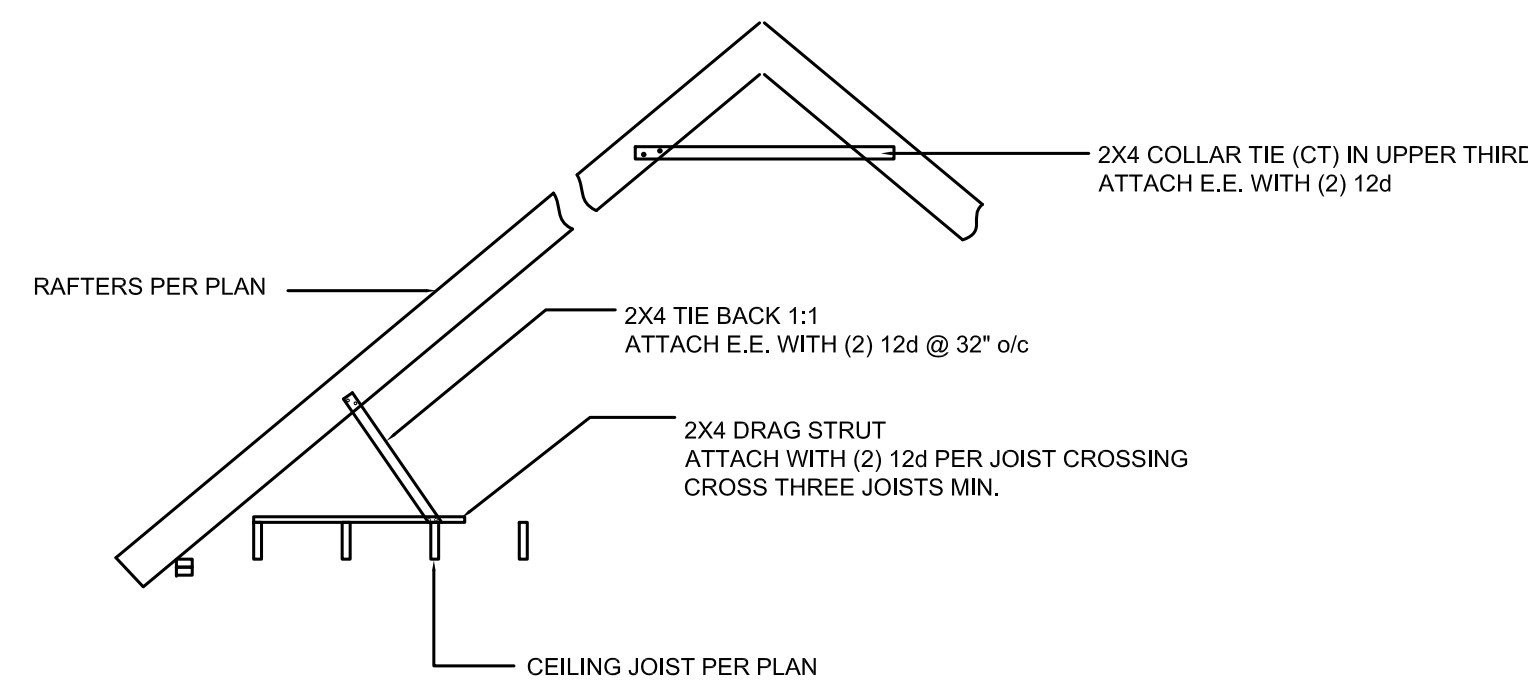
STRUCTURAL NOTES

- 1) ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF "NORTH CAROLINA STATE 2018 RESIDENTIAL BUILDING CODE", IN ADDITION TO ALL LOCAL CODES AND REGULATIONS.
- 2) DESIGN LOADS:

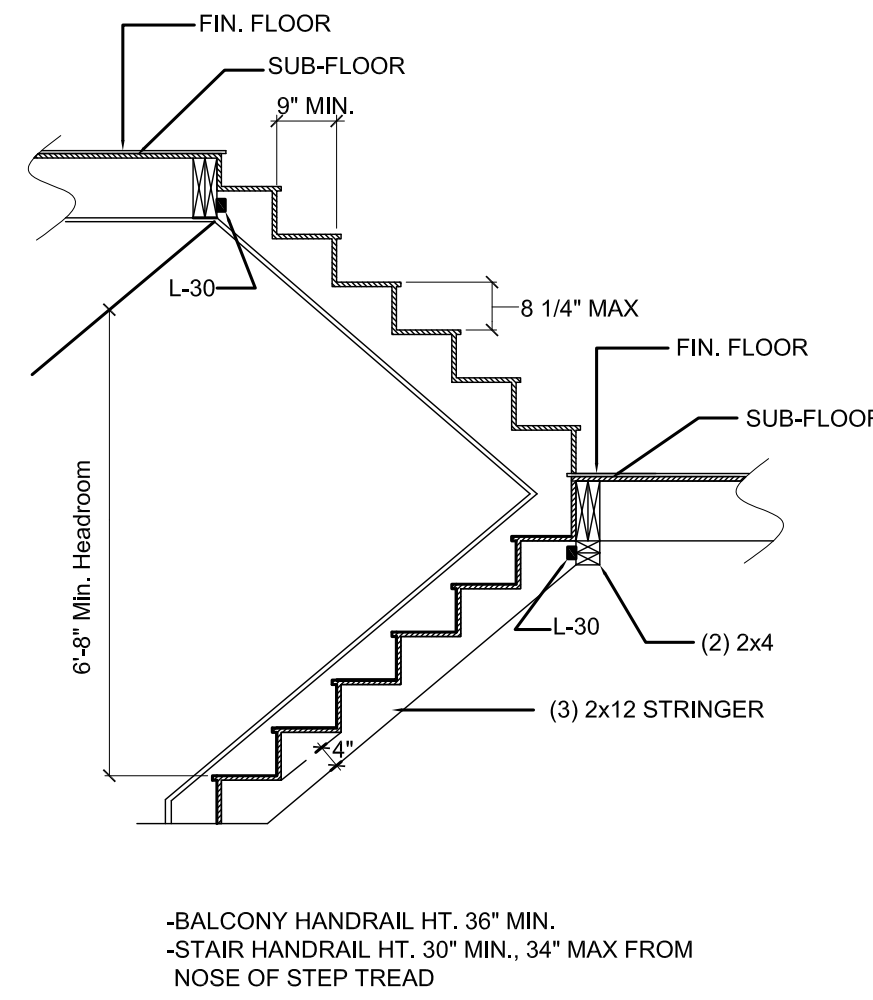
	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (DL & LL)
ALL FLOORS	40	10	L/360
ATTIC (full down access)	20	10	L/240
ATTIC (no access)	10	5	L/240
EXTERNAL BALCONY	60	10	L/360
ROOF	20	10	L/180
ROOF TRUSS	20	20	L/240
WIND LOAD	(BASED ON 115 MPH (3-second gusts))		

- 3) MINIMUM ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF
- 4) CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF FIVE INCHES UNLESS NOTED OTHERWISE (UNO).
- 5) MAXIMUM DEPTH OF UNBALANCED FILL AGAINST FOUNDATION WALLS TO BE LESS THAN 4'-0" WITHOUT USING SUFFICIENT WALL BRACING. REFER TO SECTION R404 OF 2018 NC BUILDING CODE FOR BACKFILL LIMITATIONS BASED ON WALL HEIGHT, WALL THICKNESS, SOIL TYPE, AND UNBALANCED BACKFILL HEIGHT.
- 6) ALL FRAMING LUMBER SHALL BE SYP #2 (Fb = 800 PSI) UNO. ALL FRAMING LUMBER EXPOSED TO THE ELEMENTS SHALL BE TREATED MATERIAL.
- 7) ALL LOAD BEARING HEADERS SHALL BE (2)x10 (UNO). ALL WINDOW AND DOOR HEADERS SHALL BE SUPPORTED BY (1) JACK STUD AND (1) KING STUD AT EACH END UNLESS NOTED. ALL OTHER BEAMS SHALL BE SUPPORTED BY 2 STUDS OR THE AMOUNT OF STUDS REQUIRED FOR FULL BEARING AT EACH END UNLESS NOTED. POINT LOADS (STIFF KNEES, ETC.) SHALL CONSIST OF 2 STUDS UNLESS NOTED. ALL SUPPORTS OF 2 STUDS OR MORE SHALL BE TRANSFERRED THROUGH EACH FLOOR TO THE FOUNDATION.
- 8) ALL EXTERIOR WALLS TO BE SHEATHED WITH MIN. 7/16" WOOD STRUCTURAL PANELS FASTENED WITH 8D NAILS 6" O.C. AT EDGES AND 12" O.C. AT INT. SUPPORTS. BLOCKING SHALL BE INSTALLED IF LESS THAN 50 PERCENT OF THE WALL LENGTH IS SHEATHED. WHERE BLOCKING IS REQD, ALL PANELS SHALL BE FASTENED AT 3" O.C. AT EDGES AND 8" O.C. AT INT. SUPPORTS.
- 9) ALL STRUCTURAL STEEL SHALL ASTM A-36. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3-1/2" INCHES AND FULL FLANGE WIDTH. PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED TO EACH SUPPORT WITH TWO LAG SCREWS (1/2" DIAMETER AND 4" LONG). LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE SOLE PLATES, AND THE SOLE PLATES ARE NAILED OR BOLTED TO THE BEAM FLANGES @ 48" O.C.
- 10) ANCHOR BOLT PLACEMENT PER SECTION R403.1.6. 1/2" DIAMETER ANCHOR BOLTS SPACED AT 6'-0" O.C. AND PLACED 12" FROM THE END OF EACH PLATE SECTION.
- 11) FOUNDATION DRAINAGE-DAMP PROOFING OR WATERPROOFING PER SECTION 405 AND 406 OF 2018 NC BUILDING CODE
- 12) WALL AND ROOF GLAZING VALUES:
WALL CLADDING SHALL BE DESIGNED FOR A 24.1 SQ. FT. OR GREATER POSITIVE AND NEGATIVE PRESSURE ROOF VALUES BOTH POSITIVE AND NEGATIVE SHALL BE AS FOLLOWS:
45.5 LBS/SQFT FOR ROOF PITCHES OF 0/12 TO 2.25/12
34.8 LBS/SQFT FOR ROOF PITCHES OF 2.25/12 TO 7/12
21.0 LBS/SQFT FOR ROOF PITCHES OF 7/12 TO 12/12
** MEAN ROOF HEIGHT 30' OR LESS
- 13) FOR ROOF SLOPES FROM 2-12 THROUGH 4-12, BUILDER TO INSTALL 2 LAYERS OF 15# FELT PAPER
- 14) IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND SQ. FTG. ARE CORRECT PRIOR TO CONSTRUCTION. DESIGNER IS NOT RESPONSIBLE FOR DIMENSIONING OR SQ. FTG. ERRORS ONCE CONSTRUCTION BEGINS

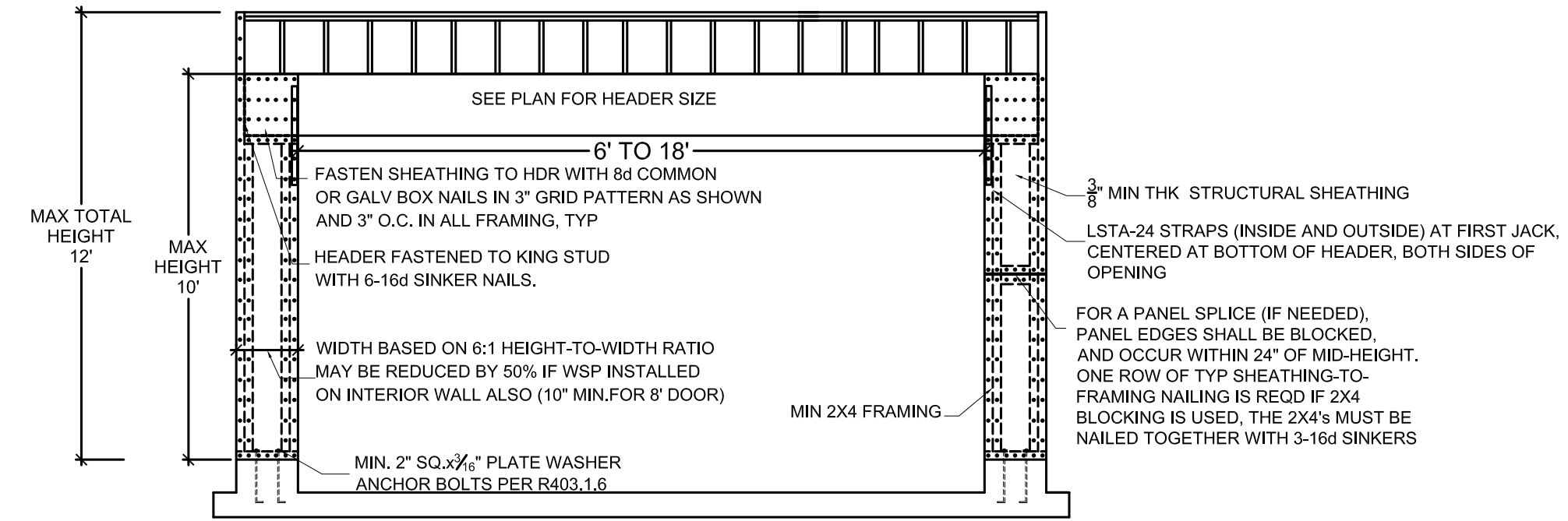
CLIMATE ZONE	MAXIMUM GLAZING U-FACTOR	MINIMUM INSULATION R-VALUE					
		CEILING	WALLS	FLOORS	BASEMENT WALLS	SLAB PERIMETER	CRAWL SPACE WALLS
3	.35	R-38 or R-30	R-15	R-19	R-9/13	R-0	R-9/13
4	.35	R-38 or R-30	R-15	R-19	R-10/15	R-10	R-10/15



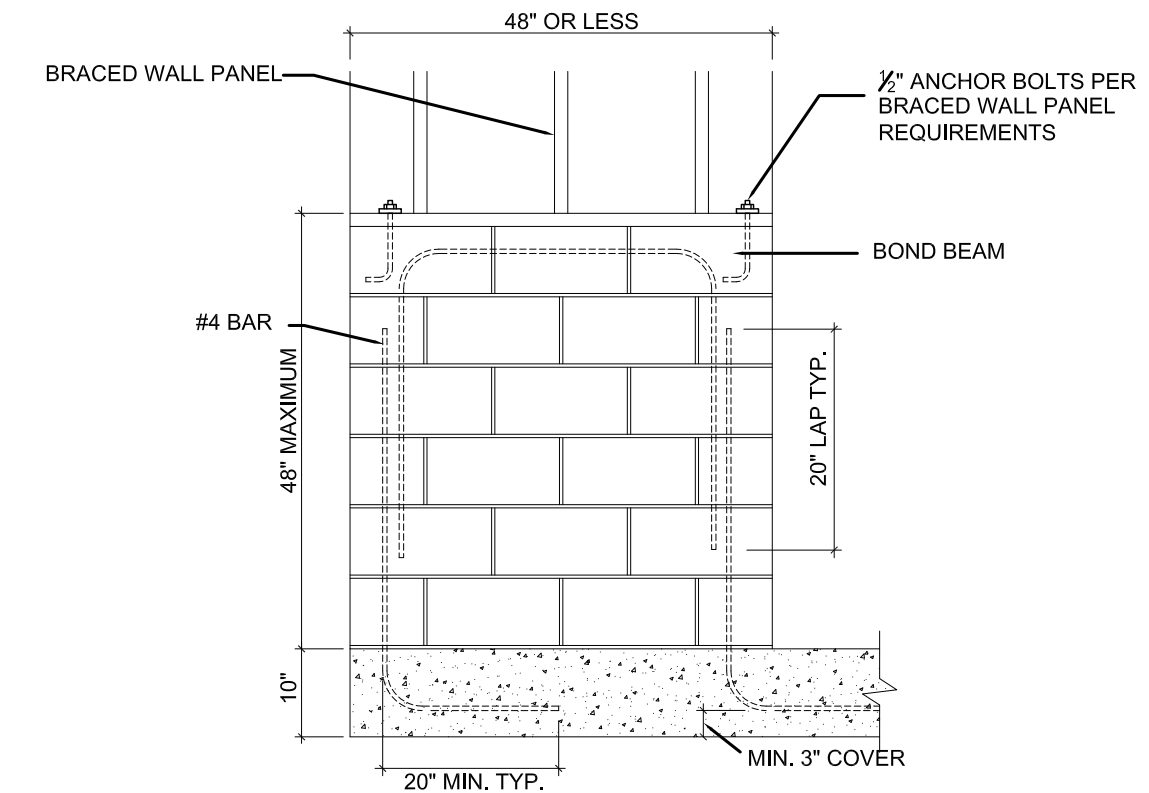
TYPICAL WALL DETAIL



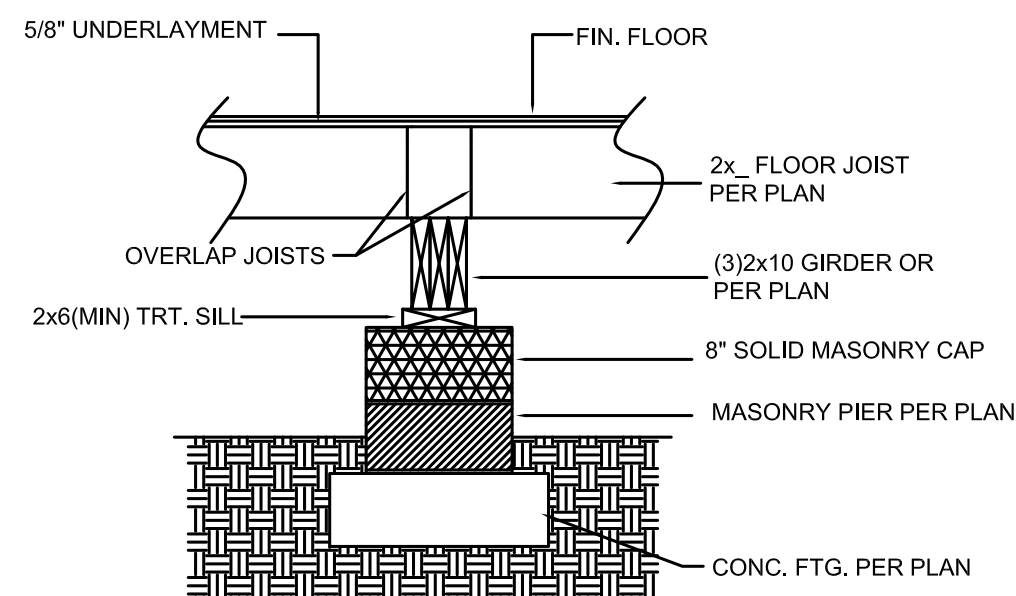
TYPICAL STAIRWAY DETAIL



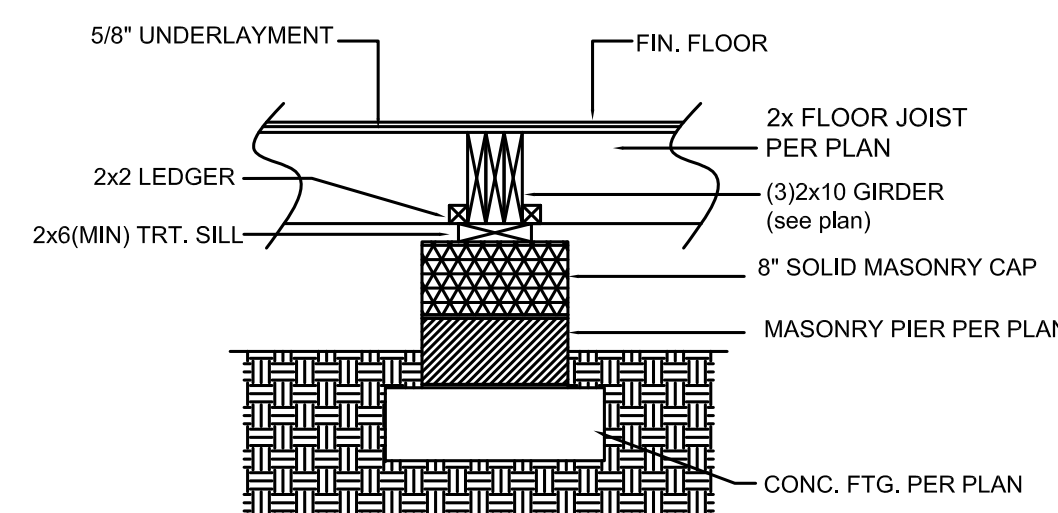
PORTAL FRAMING DETAIL



BRACED WALL LINE STEMWALL DETAIL

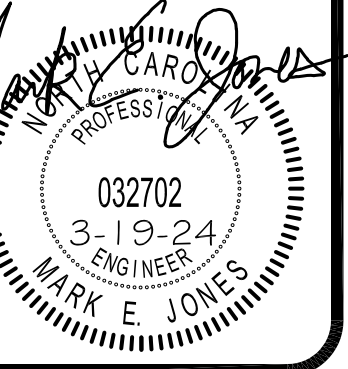


DROPPED GIRDER DETAIL



FLUSH GIRDER DETAIL

Engineers seal does not include construction means, methods, techniques, sequences, procedures or safety precautions.
* Any deviations or discrepancies on plans are to be brought to the immediate attention of Mark E. Jones, PE.
* Failure to do so will void Mark E. Jones, PE liability.
* Please review these documents carefully. Mark E. Jones, PE will interpret that all dimensions, recommendations, etc. presented in these documents were deemed acceptable once construction begins.



Mark E. Jones, PE
6425 Glen Dean Court
Raleigh, NC 27603
(919) 395-5618

Hijek Residence

Glenwood Builders
215 Progress Dr.
Fuquay-Varina, NC 27526

Project #:	24-034
Date:	3/19/24
Drawn/Design By:	MEJ
DWG. Checked By:	MEJ
Scale:	1/4"=1'-0"

REVISIONS		
No.	Date:	Remarks
1		
2		
3		
4		

DETAILS

Sheet Number

S2

of 2