Residence for

Triple A Homes Allison Ann Lot 47 Cotton Farms - Fuquay Varina, NC

INDEX TO DRAWINGS:

COVER SHEET

FRONT AND LEFT SIDE ELEVATIONS REAR AND RIGHT SIDE ELEVATIONS

FIRST FLOOR PLAN SECOND FLOOR PLAN D1

CONSTRUCTION DETAILS

CRAWL SPACE FOUNDATION PLAN S2 CRAWL SPACE FRAMING PLAN FIRST FLOOR CEILING FRAMING PLAN S3 SECOND FLOOR CEILING FRAMING PLAN

ROOF FRAMING PLAN S5 SD1 STRUCTURAL DETAILS SD2 STRUCTURAL DETAILS STRUCTURAL SPECIFICATIONS **SPECS**

GENERAL NOTES:

- ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE, 2018 EDITION (HEREWITH SHOWN AS N.C.S.R.B.C.).
- DIMENSIONS SHOWN ON DRAWINGS GOVERN OVER SCALE..
- STUD WALL DESIGN SHALL CONFORM TO ALL NOSRBO REQUIREMENTS.
- CONTRACTOR SHALL USE TEMPERED SAFETY GLASS IN ALL LOCATIONS AS REQUIRED BY N.C.S.R.B.C., SECTION R308.4
- ANY HABITABLE ROOM SHALL MEET ALL LIGHT/VENTILATION AND EGRESS AS REQUIRED BY N.C.S.R.B.C., SECTIONS R-303.I AND R-310.I
- ALL WALLS SHOWN ON FLOOR PLANS ARE 2x4 FRAME UNLESS NOTED OTHERWISE.
- ALL ANGLED WALLS SHOWN ON FLOOR PLANS ARE 45° UNLESS NOTED
- ALL WINDOWS SHALL HAVE A MINIMUM DPI RATING OF 25. BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT UNITS INSTALLED MEET THESE REQUIREMENTS AS PER N.C.S.R.B.C., TABLE 301.2(6).
- ENERGY EFFICIENCY REQUIREMENTS FOR THE SPECIFIC CLIMATE ZONE WHERE STRUCTURE IS BEING BUILT SHALL BE IN ACCORDANCE WITH CHAPTER II OF THE NORTH CAROLINA RESIDENTIAL BUILDING CODE, AS SHOWN IN TABLES NIIOL2 AND NIIO2.I.
- O. TERMITE TREATMENT BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" AFF.

MATERIALS LEGEND

	EARTH/COMPACT FILL	FINISH WOOD
	CONCRETE	ROUGH WOOD
	BRICK	BLOCKING
	CONCRETE BLOCK/STONE	PLYWOOD
	STEEL	BATT INSULATION
	ALUMINUM	RIGID INSULATIO

TOILET ACCESSORIES LEGEND

PROVIDE 2×4 BLOCKING IN THE WALL FOR THE FOLLOWING:

TOWEL BAR TOILET PAPER HOLDER TOWEL RING MEDICINE CABINET

THE PURPOSE OF THESE DRAWINGS IS TO SHOW THE INTENT OF THE DESIGN AND CONSTRUCTION OF THIS HOME. ANY ERRORS AND/OR OMISSIONS FOUND IN THIS SET SHOULD IMMEDIATELY BE REPORTED TO HOMES UNIQUE FOR CLARIFICATION OR CORRECTION. THE CONTRACTOR SHOULD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ONCE A PERMIT HAS BEEN ISSUED FOR CONSTRUCTION, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AS TO THE ACCURACY OF THE PLANS AND TO ANY CHANGES MADE BY THE CONTRACTOR AND/OR THE OWNER.

MAGAZINE RACK

DUE TO VARYING LOCAL AND STATE CODES, <u>HOMES UNIQUE</u> CANNOT BE HELD RESPONSIBLE FOR ANY REQUIREMENTS THAT EXISTING SITE CONDITIONS MAY CREATE.

RESIDENTIAL BUILDING CODE SUMMARY

- PLANS ARE DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.
- 2. HOUSE IS DESIGNED FOR 115 MPH, 3 SECOND GUST (89 MPH FASTEST WIND), EXPOSURE B.
- 3. ANCHOR BOLTS SHALL BE MIN. I/2" DIAMETER WITH STANDARD WASHER AND NUT AND SHALL EXTEND 7" MIN. INTO MASONRY OR CONCRETE. BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF CORNERS. ALTERNATE ANCHOR STRAPS CAN BE USED INSTEAD OF ANCHOR BOLTS SPACED AT THE EQUIVALENT SPACING AND INSTALLED PER MANUFACTURER'S SPECIFICATION'S EXCEPT AT GARAGE LUG FTG.
- MEAN ROOF HEIGHT: 24'-0"

5. COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS: MEAN ROOF HGT: UP TO 30' 30'-1"TO 35' 35'-1"TO 40' 40'-1"TO 45'

ZONE 4 18.0, -19.5 18.9, -20.5 19.6, -21.3 20.2, -21.8	TIET TO THE	0 10 00	00 1 10 00	00 10	10 10 15
ZONE 3 16.5, -21.0 17.3, -22.1 18.0, -22.9 18.5, -23.5 20NE 4 18.0, -19.5 18.9, -20.5 19.6, -21.3 20.2, -21.8	ZONE I	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, - 20.2
ZONE 4 18.0, -19.5 18.9, -20.5 19.6, -21.3 20.2, -21.8	ZONE 2	16.5, - 21.0	17.3, - 22.1	18.0, -22.9	18.5, -23.5
	ZONE 3	16.5, - 21.0	17.3, - 22.1	18.0, - 22.9	18.5, - 23.5
ZONE 5 18.0, -24.1 18.9, -25.3 19.6, -26.3 20.2, -27.0	ZONE 4	18.0, -19.5	18.9, - 20.5	19.6, -21.3	20.2, -21.8
	ZONE 5	18.0, - 24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0

- 6. MINIMUM VALUES FOR ENERGY COMPLIANCE: ZONE 4
- 7. MAXIMUM GLAZING U-FACTOR: 0.35
- INSULATING VALUES: CEILING: R-30* / WALLS: R-15 / FLOOR: R-19 SLABS: R-IO. CODE REFERENCE: TABLE NIIO2.I (*R-30 ONLY IF UNCOMPRESSED, R-38 REQUIRED IF COMPRESSED)
- 9. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R703.8 OF THE N.C.R.B.C.
- IO. FIREBLOCKING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R602.8 OF THE N.C.R.B.C.
- DRAFTSTOPPING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R302.12 OF THE N.C.R.B.C.

AREA CALCULATIONS

HEATE	D:	UNHEATED:				
IST FLOOR: 2386		GARAGE:	968			
2ND FLOOR:	487	FRONT PORCH:	231			
TOTAL: 2873		SCREEN PORCH:	246			
		TOTAL:	1445			
MIDTH:	84'-6" 72'-4"	OPTIONAL PATIO:	150			

FOUNDATION VENTING CALCULATIONS

(REFERENCE: N.C.S.R.B.C., 2018 EDITION, SECTION R408) THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN ONE (I) SQUARE FOOT FOR EACH 150 SQUARE THET OF CRAML SPACE GROUND AREA AND ONE FOUNDATION VENT SHALL BE WITHIN THREE (3) FEET OF EACH EXCENSER OF T BUILDING.

EXCEPTION: THE TOTAL AREA OF VENTILATION OPENINGS MAY BE REDUCED TO 1/1500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS TREATED WITH AN APPROVED VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED SO AS TO PROVIDE CROSS-VENTILATION.

2386 SQUARE FEET OF CRAWL SPACE AREA / 150 =

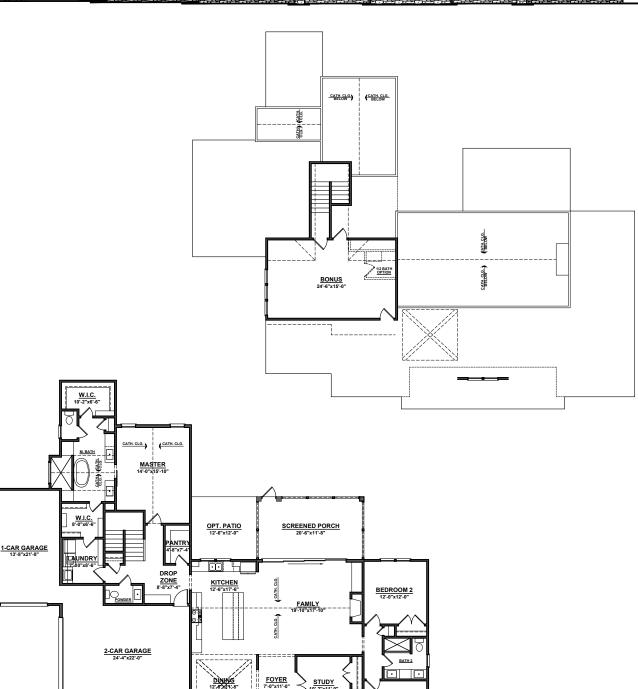
15.91 SQUARE FEET OF NET FREE AREA REQUIRED

ATTIC VENTILATION REQUIREMENTS

NATURAL ROOF VENTILATION	MECHANICAL ROOF VENTILATOR
383 SQ. FT. = 25.54 SQ. FT. VENT REQ'D.	363 50. FT. = 12.77 50. FT. VENT REQ'D.

BUILDER TO PROVIDE APPROPRIATE VENTILATING AS REQUIRED PER CODE





COVERED PORCH

residential design

1027 Hwy 70 West Suite 223

Garner, NC 27529 919-779-6005

www.homesunique.com This document is the

Inis accument is the property of HOMES UNIQUE, INC. and may be used for above titled project. All rights reserved and protected under federal law. Copyright © 2024

The purpose of these drawings is to show the intent of the design and construction of this home. Contractor should verifu all conditions and dimensions prior to construction. Once a permit has been issued, contractor shall assume al responsibility to the accuracy of the plans and any changes made during construction.

> HOMES ∢

PROJECT NUMBER: 6625

DRAWN BY: J.A.D.

CHECKED BY: J.T.S.

REVISIONS:

DATE: 4/9/2024



SCALE: 1/8"=1'-0"

NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE

1027 Hwy 70 West Suite 223

Garner, NC 27529 919-779-6005

www.homesunique.com

This document is the property of HOMES UNIQUE, INC. and may be used for above titled project. All rights reserved and protected under federal law. Copyright © 2024

The purpose of these drawings is to show the intent of the design and construction of this home. Contractor should verify all conditions and dimensions prior to construction. Once a permit has been issued, contractor shall assume all responsibility to the accuracy of the plans and any changes made during construction.

TRIPLE A HOMES
Allison Ann
Lot 47 Cotton Farms
Fuquay-Varina, North Carolina

Elevations

PROJECT NUMBER:

6625

DRAWN BY:

CHECKED BY:

REVISIONS:

DATE:

4/9/2024

SHEET:





1027 Hwy 70 West Suite 223

Garner, NC 27529 919-779-6005

www.homesunique.com

This document is the property of HOMES UNIQUE, INC. and may be used for above titled project. All rights reserved and protected under federal law. Copyright © 2024

The purpose of these drawings is to show the littent of the design and construction of this home. Contractor should verify all conditions and dimensions prior to construction. Once a permit has been issued, contractor shall assume all responsibility to the accuracy of the plans and any changes made during construction.

TRIPLE A HOMES
Allison Ann
Lot 47 Cotton Farms
Fuquay-Varina, North Carolina

PROLECT INFO:

Elevations

PROJECT NUMBER: 6625

DRAWN BY:

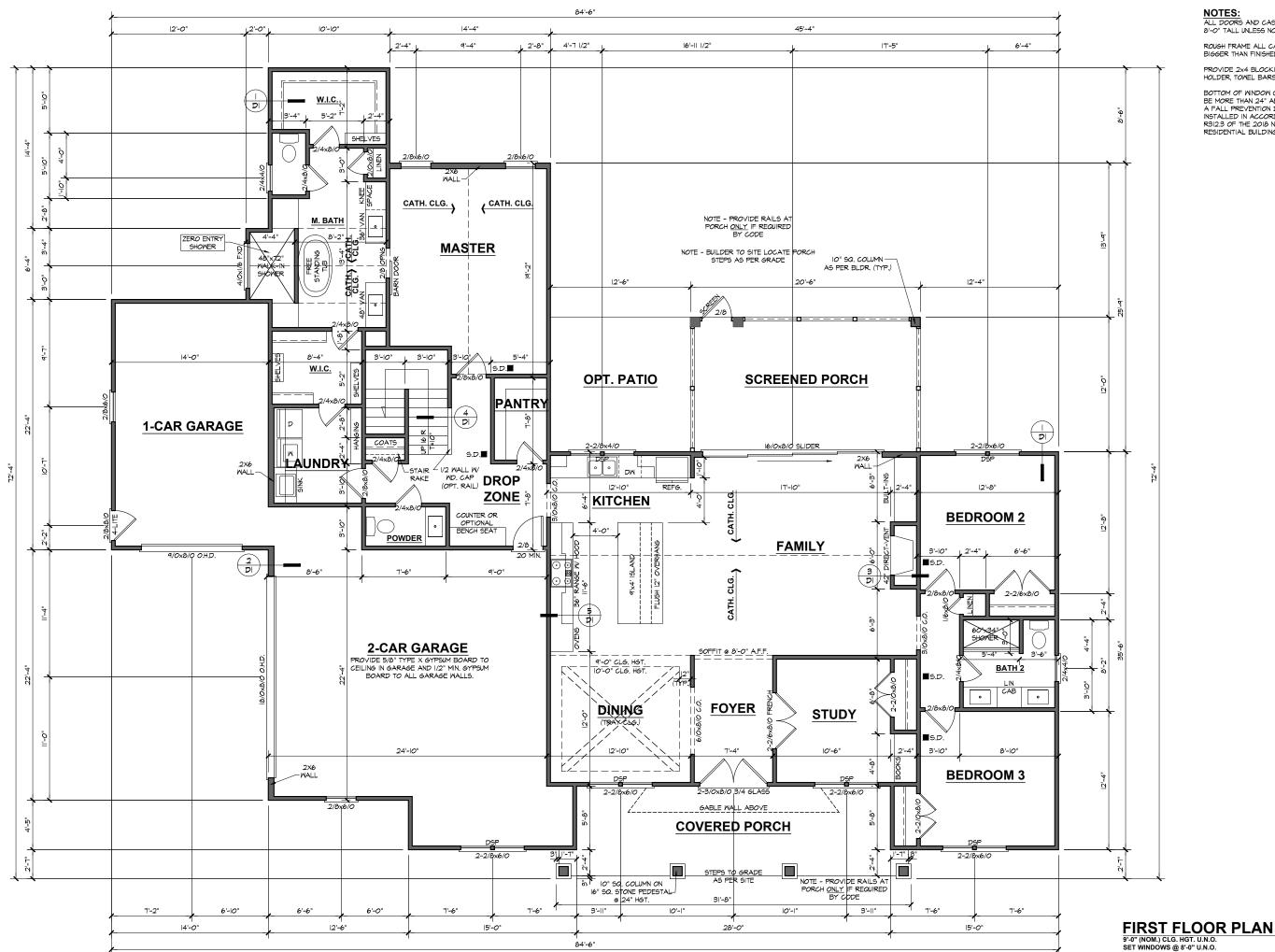
CHECKED BY:

REVISIONS:

DATE: 4/9/2024

SHEET:

2



NOTES:

ALL DOORS AND CASED OPENINGS TO BE 8'-O" TALL UNLESS NOTED OTHERWISE.

ROUGH FRAME ALL CASED OPENINGS 2" BIGGER THAN FINISHED OPENING CALL FOR

PROVIDE 2x4 BLOCKING FOR: TOILET PAPER

HOLDER, TOWEL BARS, MEDICINE CABINETS

BOTTOM OF WINDOW CLEAR OPENINGS SHALL BE MORE THAN 24" ABOVE FINISH FLOOR OR A FALL PREVENTION DEVICE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R312.3 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.

homes **V** inc residential design

> 1027 Hwy 70 West Suite 223 Garner, NC 27529

919-779-6005

www.homesunique.com

This document is the property of HOMES UNIQUE, INC. and may be used for above titled project. All rights reserved and protected under federal law. Copyright © 2024

The purpose of these drawings is to show the intent of the design and construction of this home. Contractor should verify all conditions and all conditions and dimensions prior to construction. Once a permit has been issued, contractor shall assume all responsibility to the accuracy of the plans and any changes made during construction.

TRIPLE A HOMES
Allison Ann
Lot 47 Cotton Farms
Fuquay-Varina, North Carolina

Floor

PROJECT NUMBER: 6625

DRAWN BY: J.A.D.

CHECKED BY:

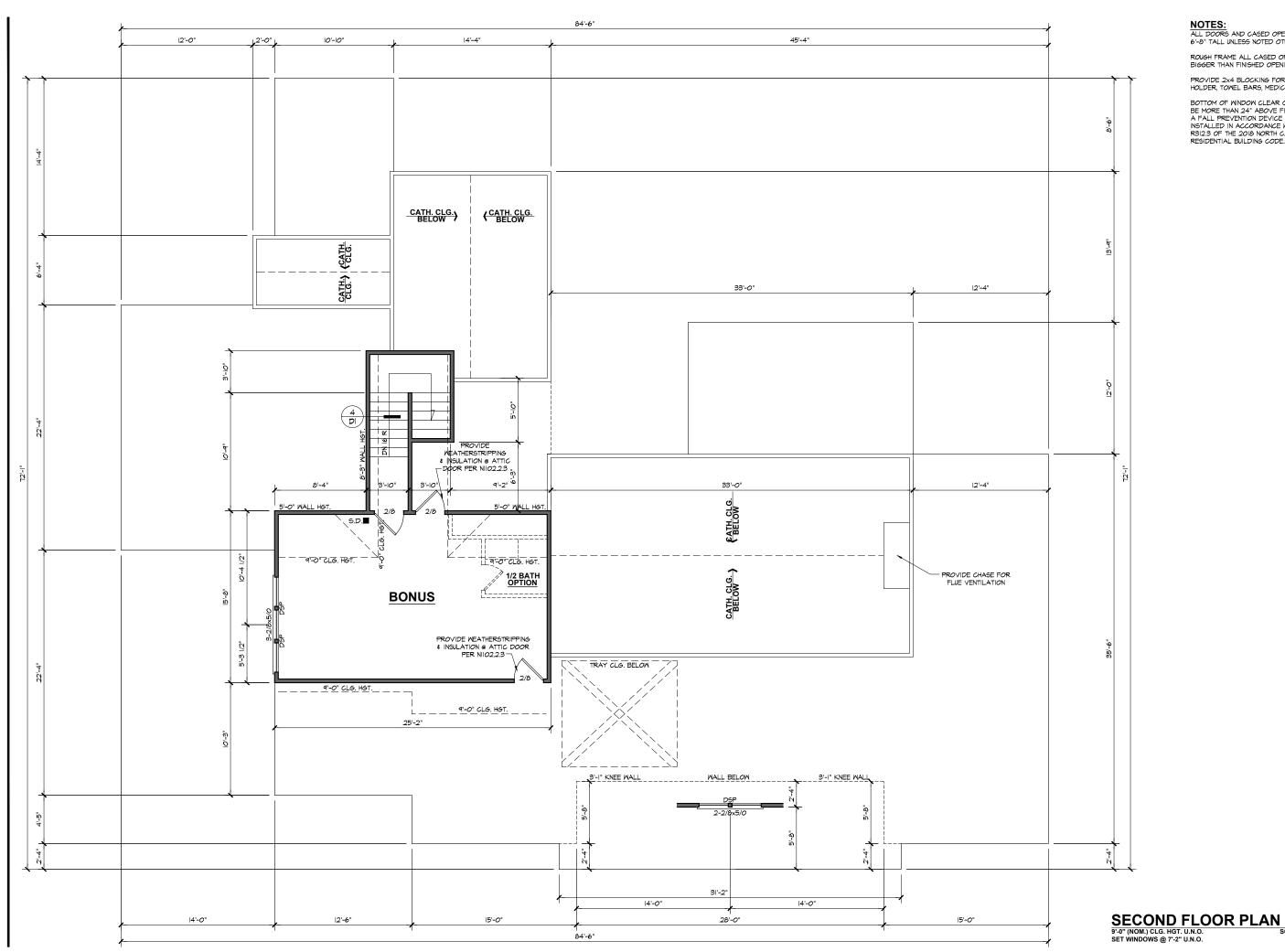
J.T.S.

REVISIONS:

DATE: 4/9/2024

SHEET:

SCALE: 1/8"=1'-0"



NOTES:
ALL DOORS AND CASED OPENINGS TO BE 6'-8" TALL UNLESS NOTED OTHERWISE.

ROUGH FRAME ALL CASED OPENINGS 2" BIGGER THAN FINISHED OPENING CALL FOR

PROVIDE 2x4 BLOCKING FOR: TOILET PAPER HOLDER, TOWEL BARS, MEDICINE CABINETS

BOTTOM OF WINDOW CLEAR OPENINGS SHALL BE MORE THAN 24" ABOVE FINISH FLOOR OR A FALL PREVENTION DEVICE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R312.3 OF THE 2016 NORTH CAROLINA RESIDENTIAL BUILDING CODE.

residential design

1027 Hwy 70 West Suité 223

Garner, NC 27529 919-779-6005

www.homesunique.com

This document is the property of HOMES UNIQUE. INC. and may be used for above titled project. All rights reserved and protected under federal law. Copyright © 2024

The purpose of these drawings is to show the littent of the design and construction of this home. Contractor should verify all conditions and dimensions prior to construction. Once a permit has been issued, contractor shall assume all responsibility to the accuracy of the plans and any changes made during construction.

TRIPLE A HOMES
Allison Ann
Lot 47 Cotton Farms
Fuquay-Varina, North Carolina

Floor Plan

PROJECT NUMBER: 6625

DRAWN BY:

J.A.D. CHECKED BY:

J.T.S.

REVISIONS:

DATE: 4/9/2024

SHEET:

SCALE: 1/8"=1'-0"



1027 Hwy 70 West Suite 223 Garner, NC 27529

919-779-6005 www.homesunique.com

This document is the property of HOMES UNIQUE, INC. and may be used for above titled project. All rights reserved and protected under federal law. Copyright © 2024

The purpose of these drawings is to show the intent of the design and construction of this home. Contractor should verify all conditions and dimensions prior to construction. Once a permit has been issued, contractor shall assume all responsibility to the accuracy of the plans and any changes made during construction.

TRIPLE A HOMES
Allison Ann
Lot 47 Cotton Farms
Fuquay-Varina, North Carolina

PROJECT INFO:

OPTIONAL SOFFIT (14" DEEP MIN.) (SEE BUILDER)

IX2 RAILS (TYPICAL)

3/4" PLYWOOD BACK

HARDWOOD RAISED PANEL DOORS

FACE OF WALL

13"

SCALE: 3/8"=1'-0"

3/4" PLYWOOD W/ 1/2"x3/4" HARDWOOD NOSING

ALUMINUM SHELF STANDARDS

4" HIGH BACKSPLASH W PLASTIC LAMINATE

BASE TRIM

NOTE - SEE OWNER/BUILDER FOR VERIFICATION OF CABINET DESIGN

-3/4" PLYWOOD COUI W/ PLASTIC LAMINA etails

PROJECT NUMBER:

6625

DRAWN BY: J.A.D.

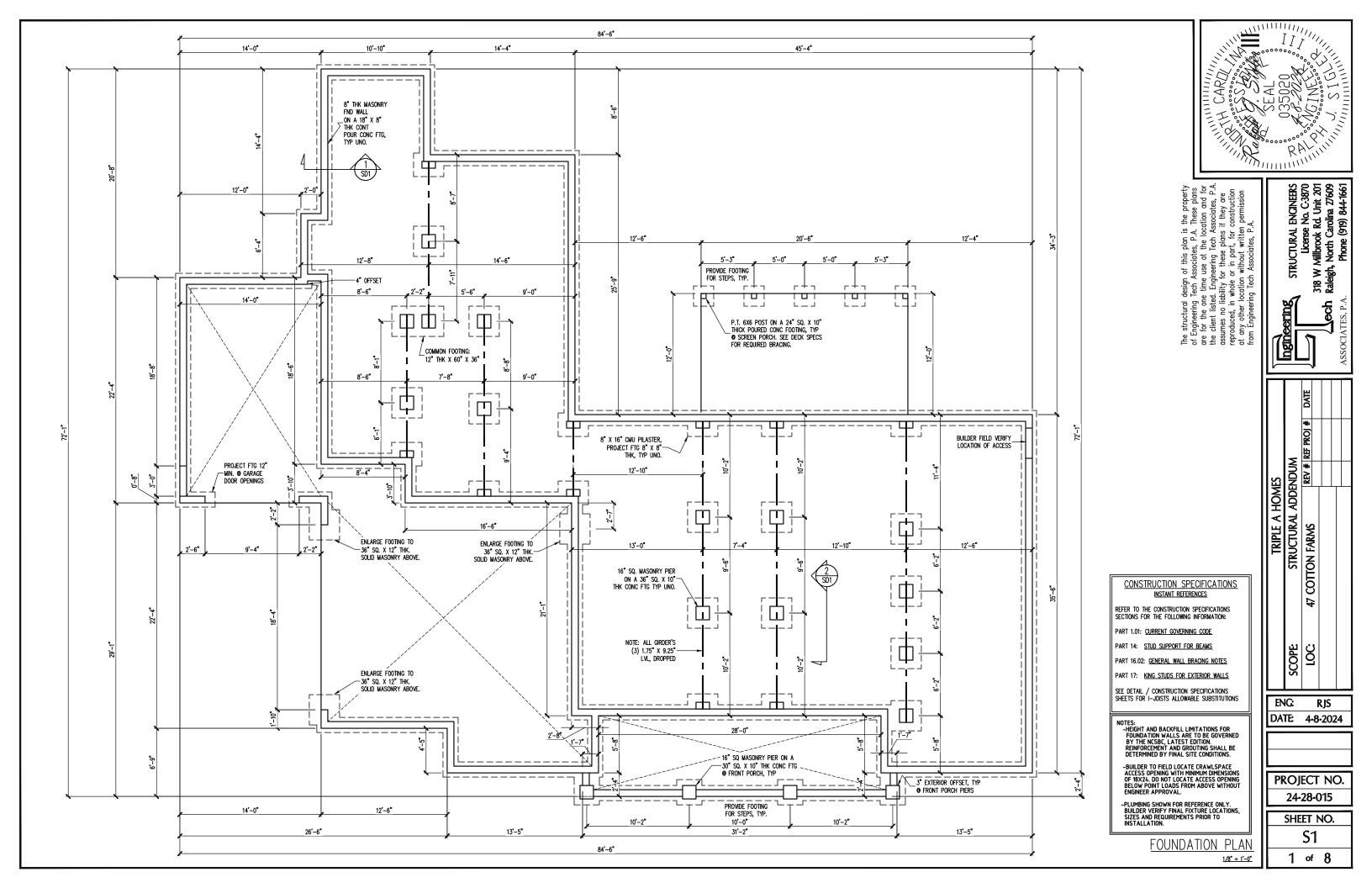
CHECKED BY:

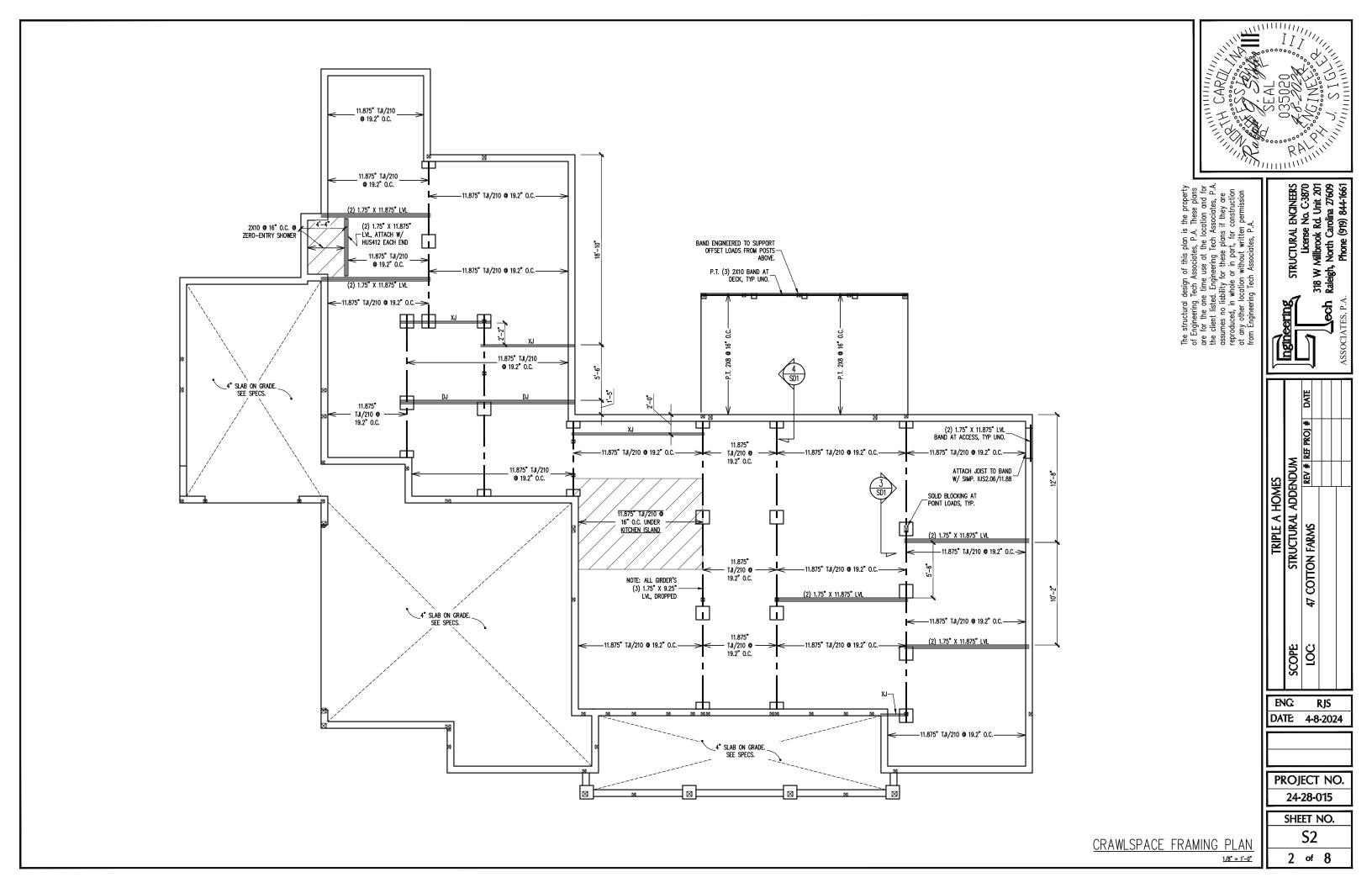
J.T.S.

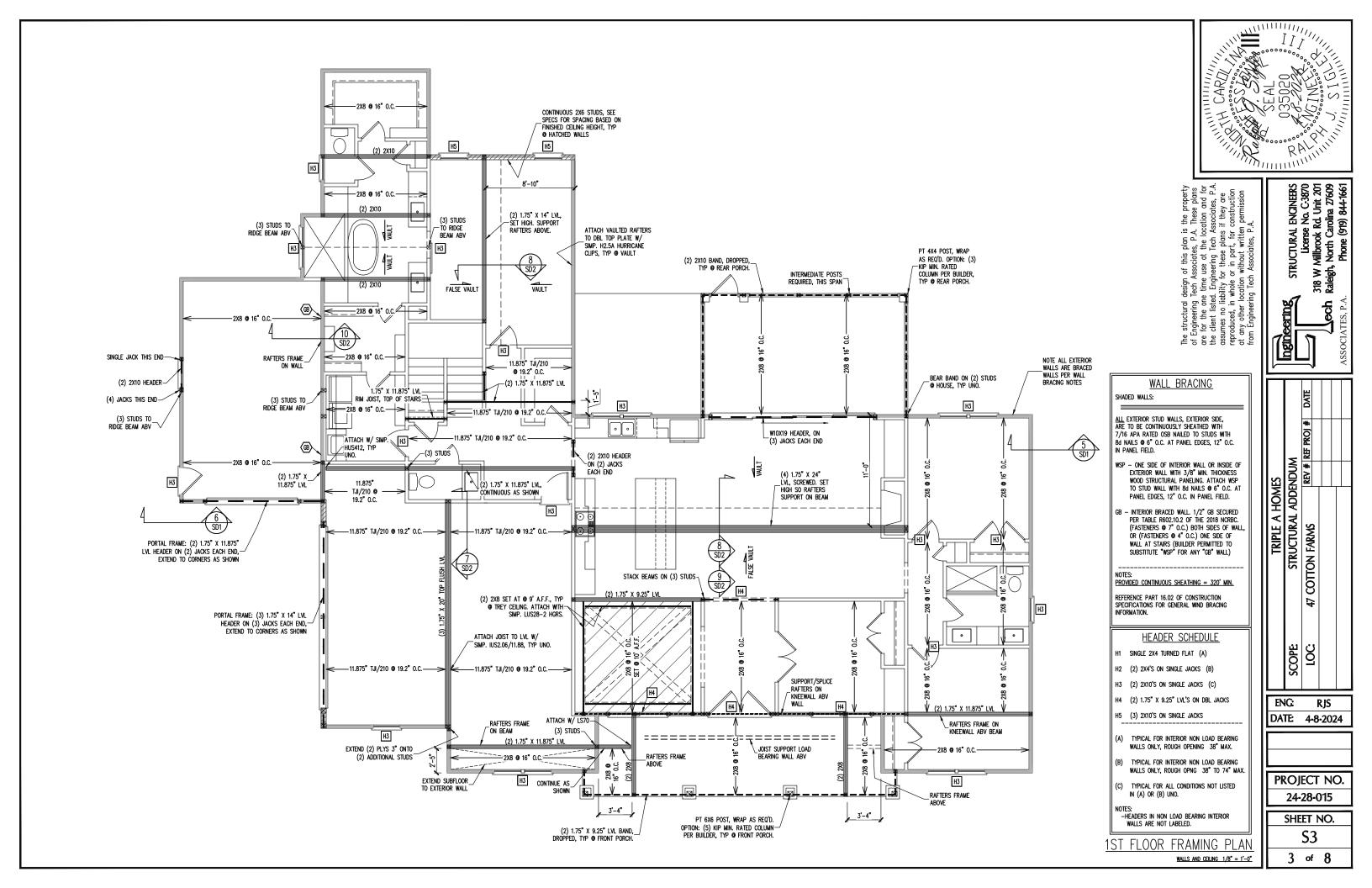
REVISIONS:

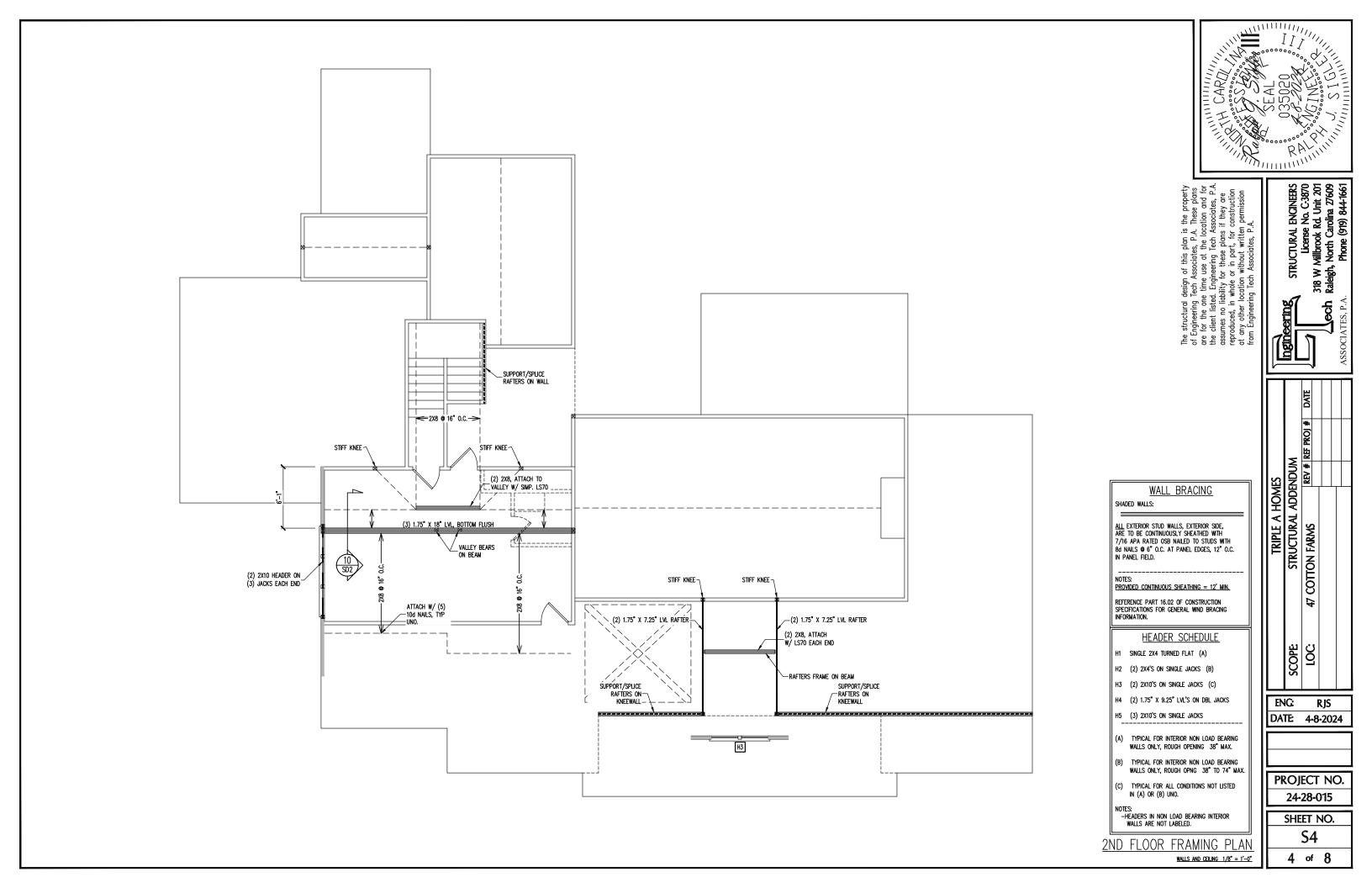
DATE: 4/9/2024

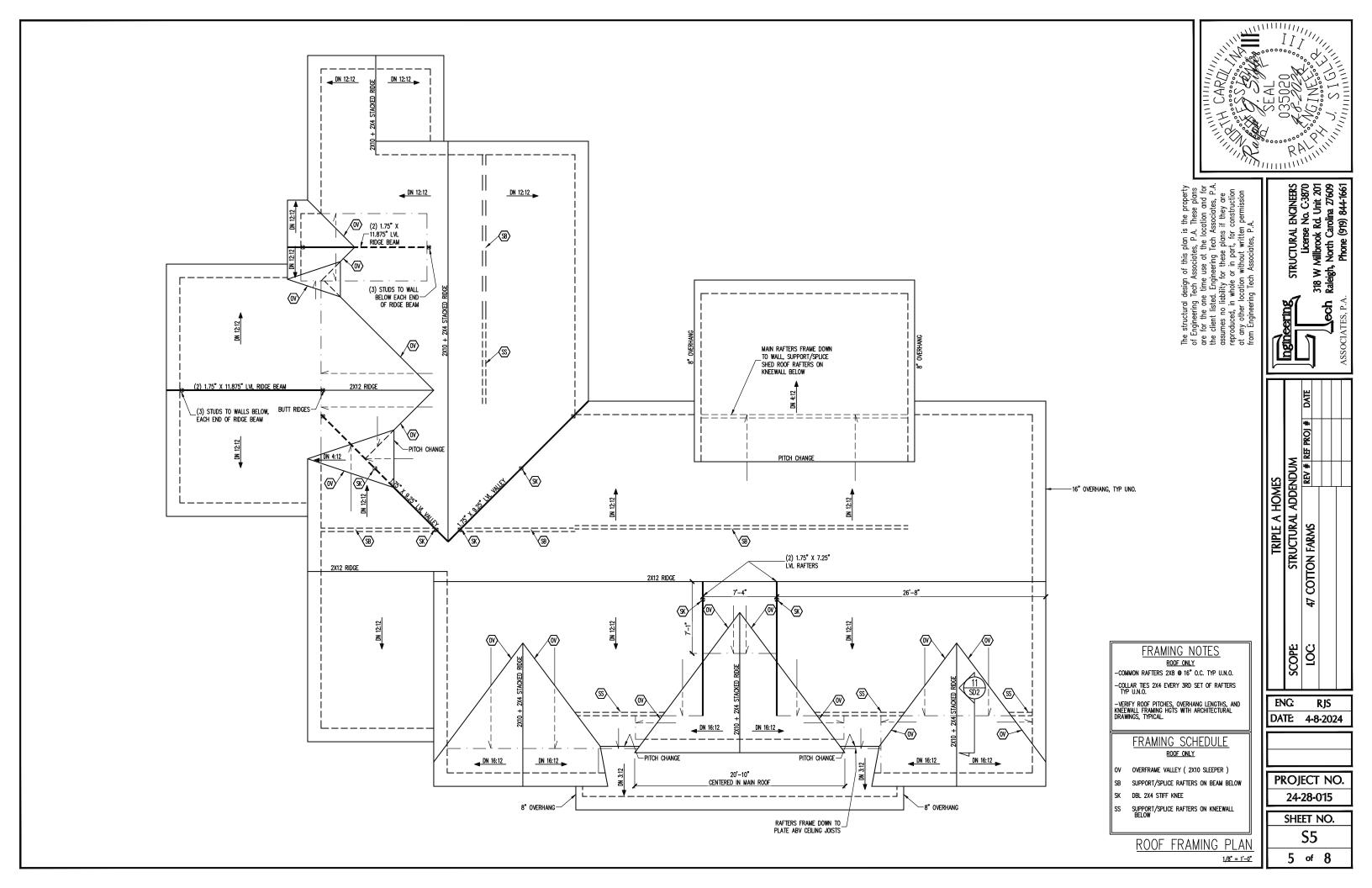
SHEET:

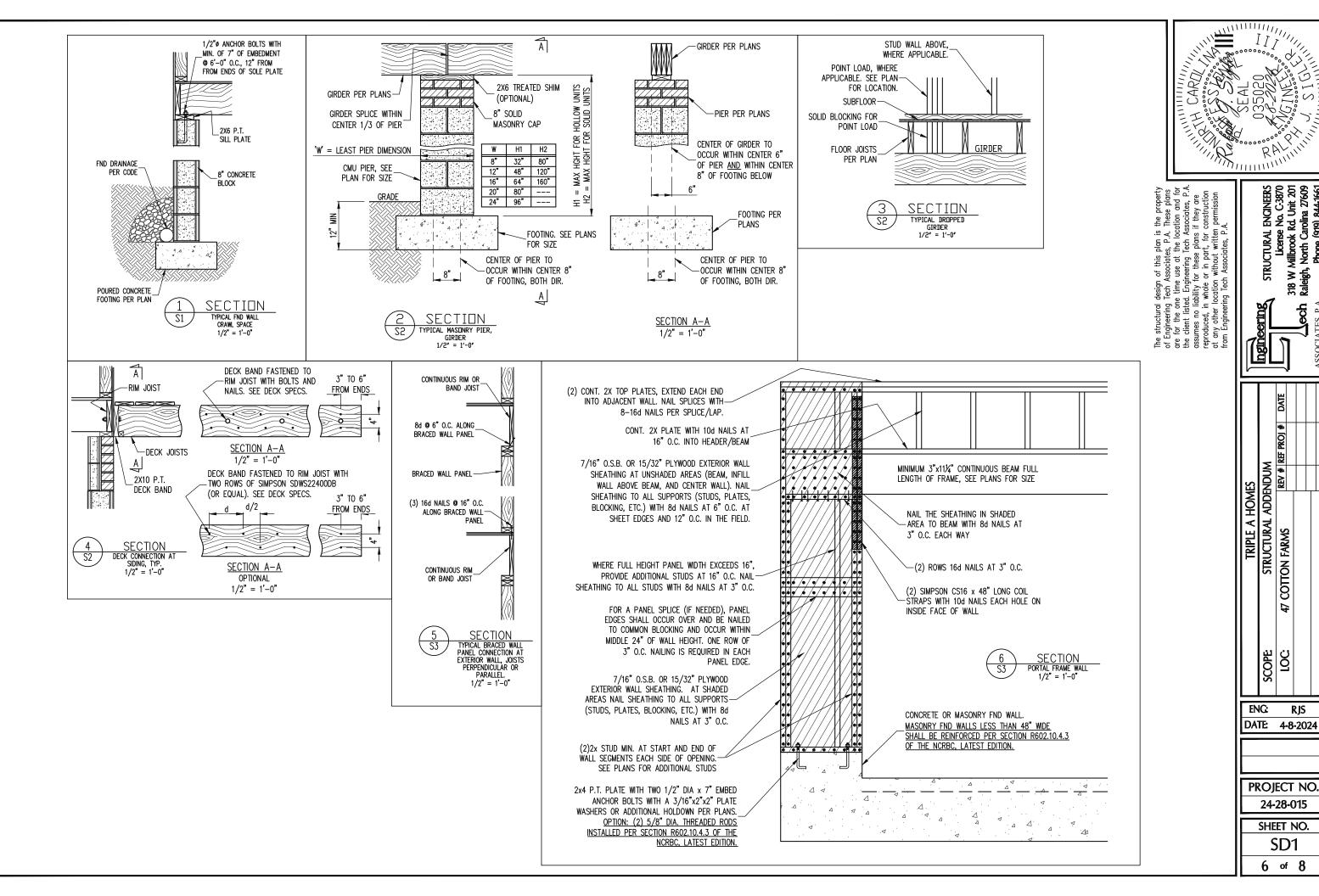


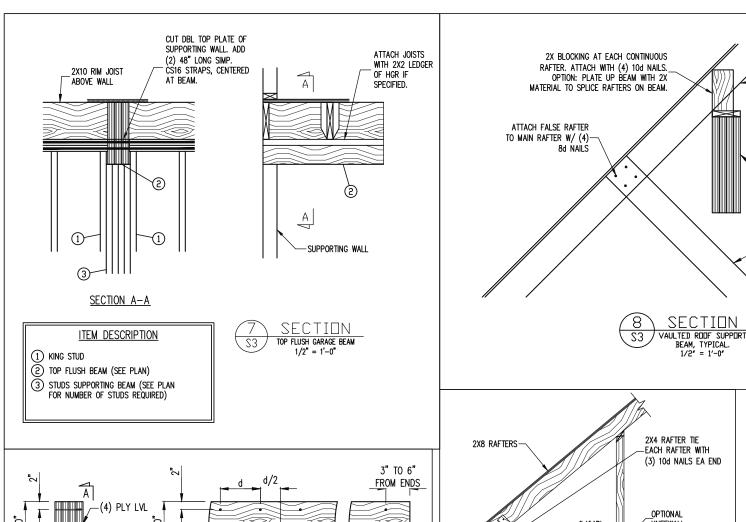












-SIMPSON SDW22634

@ EQUAL SPACING.

SECTION A-A

*BUILDER PERMITTED TO SUBSTITUTE 1/2 ø

THROUGH BOLTS FOR SIMP. SDW SCREWS

1/2" = 1'-0"

SIMPSON SDW22634 TOP,

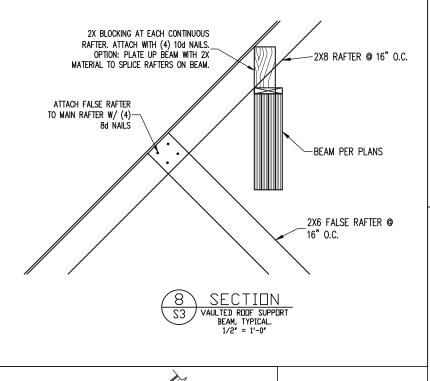
SECTION

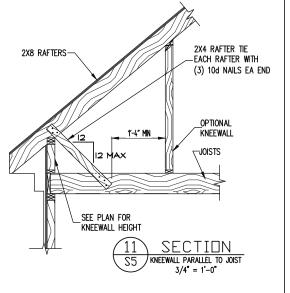
TYPICAL FASTENING (4)

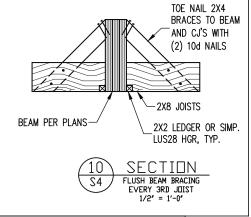
PLY 24" LVL 1/2" = 1'-0"

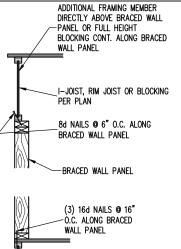
S3 /

BOTTOM AND CENTER. d = 16"





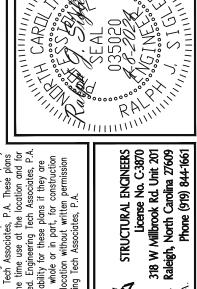




ADDITIONAL FRAMING MEMBER DIRECTLY BELOW BRACED WALL -PANEL OR FULL HEIGHT BLOCKING CONT ALONG BRACED WALL PANEL SECTION
TYPICAL BRACED WALL
PANEL CONNECTION AT 10 S3 INTERIOR WALL, JOISTS PERPENDICULAR OR

PARALLEL.

1/2" = 1'-0"



		ATE			
S	MUM	REV # REF PROJ # DATE			
TRIPLE A HOMES	STRUCTURAL ADDENDUM	47 COTTON FARMS			
	SCOPE	٥	3		

ENG: RJS DATE: 4-8-2024

> PROJECT NO. 24-28-015

SHEET NO. SD2

7 of 8

PART 1: GENERAL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION. 1.02 DIMENSIONS SHOWN SHALL GOVERN OVER SCALE ON THESE DRAWINGS. 1.05 METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION. PART 2: DESIGN LOADS 2.01 DESIGN LOADS SHALL CONFORM WITH THE TABLE BELOW: BALCONIES, DECKS, ATTICS WITH FIXED STAIR ACCESS, DWELLING UNITS INCLUDING ATTICS WITH FIXED STAIR ACCESS, STAIRS, FIRE ESCAPES GARAGES (PASSENGER CARS ONLY) ATTICS (NO STORAGE, LESS THAN 5' HEADROOM) ATTICS (WITH STORAGE) Notes: — Individual stair treads are to be designed for the Uniformly distributed Live Load of 40 ps? or a 300 lb. Concentrated Load acting over an area of 4 sq. Whichever produces the greater stress. — Bulder to Verify Dead Load does not exceed 10 ps? When Heavy Floor or Roof Finishes such as tile or slate are utilized. Notify engineering under These Conditions 2.02 INTERIOR WALLS: 5 PSF LATERAL. 2.03 BASIC WIND DESIGN VELOCITY OF 120 MPH. 2.04 SOIL BEARING CAPACITY 2000 PSF (PRESUMPTIVE). PART 3: STRUCTURAL STEEL 3.01 WIDE FLANGE BEAMS AND TEE SECTIONS SHALL CONFORM TO ASTM A992 MINIMUM GRADF 3.02 SQUARE AND RECTANGULAR TUBING SHALL CONFORM TO ASTM A500 GRADE B MINIMUM GRADE. 3.03 STEEL PIPE SHALL CONFORM TO ASTM A53 GRADE B. TYPE S. MINIMUM GRADE 3.04 ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 MINIMUM GRADE WELDING ELECTRODES SHALL BE E70XX AND ALL WELDING SHALL BE PERFORMED BY AN AWS CERTIFIED WELDER PART 5: CONCRETE AND SLABS ON GRADE 5.01 CAST IN PLACE CONCRETE SHALL BE OF NORMAL WEIGHT, 4—6% AIR ENTRAINMENT, FOR EXTERIOR CONCRETE AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS TYP UNO. ALL ITEMS NOTED AS 'CONCRETE' ARE TO BE CAST IN PLACE, TYP UNO. 5.02 REINFORCED CAST IN PLACE CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED II ACCORDANCE WITH THE SPECIFICATIONS OF ACI 318, LATEST EDITION. 5.03 SLABS ON GRADE, IF ANY, SHALL BE CAST IN PLACE, CONTAIN SYNTHETIC POLYPROPYLENE FIBRILLATED MICRO FIBERS, FIBER LENGTH 1 1/2", DOSAGE RATE 1 1/3 LBS/CU YD. SLAB TO BE PLACED ON A 6 MIL VAPOR BARRIER ON 4" MIN GRANULAR FILL ON SOIL WITH 90X MIN STANDARD PROCTOR DENSITY. VAPOR BARRIER MAY BE OMITTED FOR SLABS NOT IN ENCLOSED AREAS PART 6: REBAR AND WIRE REINFORCEMENT PART 7: MASONRY

6.01 REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60 TYP UNO 6.02 LAP SPLICES SHALL BE CLASS B AS DEFINED BY ACI 318, TYP UNO

6.03 WIRE REINFORCEMENT SHALL BE 9 GA AND SHALL CONFORM TO ASTM A1064.

7.01 CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90 AND C55, NORMAL WEIGHT,

fM = 1.500 PSI MIN

CONSTRUCTION SPECIFICATIONS

LIVE LOAD (PSF) DEAD LOAD (PSF)

20

ROOF

10

10

10 (15 FOR VAULTS)

7.02 CLAY MASONRY UNITS SHALL CONFORM TO ASTM C62-17 GRADE SW

MORTAR SHALL BE TYPE S. MORTAR AND GROUT SHALL CONFORM TO ASTM C476, MIN COMPRESSIVE STRENGTH OF 2000 PSI.

7.04 MASONRY CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS OF ACI 530

7.05 LADDER WIRE REINFORCEMENT SHALL CONFORM TO ASTM A951. 6" MIN LAPS FOR CONTINUOUS WALL APPLICATIONS

PART 8: BOLTS AND LAG SCREWS

8.01 BOLTS SHALL CONFORM TO ASTM A307 MINIMUM GRADE TYP UNO. INSTALL STANDARD STEEL WASHERS (ASTM F844—070) FOR THE NUT / BOLT HEAD WHEN BOLTING WOOD MEMBERS, HOLES FOR BOLTS SHALL BE AISC STANDARD HOLES UNC

8.02 LAG SCREWS SHALL CONFORM TO ANSI/ASME STANDARD B18.2.1—1981. PILOT HOLES SHALL BE USED FOR LAG SCREW INSTALLATION AND SHALL BE BORED ACCORDING TO NDS SPECIFICATIONS. INSTALL STANDARD STEEL WASHERS (ASTM F844—076) FOR SCREW HEAD

8.03 ANCHOR RODS AND BOLTS SHALL CONFORM TO ASTM F1554-15 GRADE 36 UNO. BENT ANCHOR BOLTS SHALL HAVE A 2° MIN HOOK UNO

PART 9: DRIVEN FASTENERS

NAILS, SPIKES AND STAPLES SHALL CONFORM TO ASTM F 1667- 05. NAILS ARE TO BE COMMON WIRE OR BOX

PART 10: DIMENSIONAL LUMBER

10.01 SOLID SAWN WOOD FRAMING DESIGN IS BASED ON NO. 2 SPRUCE PINE FIR OR SYP #2 FOR JOISTS, RAFTERS, GROEFS, BEAMS, STUDS, ETC. MINIMUM ALLOWABLE DESIGN PROPERTIES ARE AS FOLLOWS: $E=1,400,000 \ \text{PS}, F_c \ \text{pmp} = 425 \ \text{PS}, F_v = 285 \ \text{PS}, \ \text{SPECIFIC GRAVITY} = 0.42 \ \text{MIN} \\ F_b = 875 \ \text{PS} \ \text{FOR ZAL'2S} \ \text{CAL'4} \ \text{ZAL'5}. 248. \\ F_b = 800 \ \text{PS} \ \text{FOR ZAL'5}. \\ \text{Follows:}$

PART 11: ENGINEERED LUMBER

11.01 LV. OR PSL MINIMUM ALLOWABLE DESIGN PROPERTIES ARE AS FOLLOWS: E= 1,900,000 PSI, $\Gamma_b=2600$ PSI, $\Gamma_v=285$ PSI, Γ_{c} pmp = 750 PSI LS. MINIMUM ALLOWABLE DESIGN STRESSES ARE AS FOLLOWS: E= 1.3 \times 10E6 PSI, $\Gamma_b=1700$ PSI, $\Gamma_v=400$ PSI, Γ_c pmp = 680 PSI

11.02 LVL OR PSL MEMBERS MAY BE RIPPED FROM DEEPER MEMBERS TO MATCH THE MEMBER DEPTH SPECIFIED IN THE PLANS

PART 12: PRESSURE TREATED LUMBER

LUMBER IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA STANDARD C-15. ALL OTHER EXPOSED LUMBER SHALL BE ITERATED IN ACCORDANCE WITH AWPA STANDARD. C-2 OR BY ANY METHOD GIVINE GUAL PROTECTION. THE BUILDING CODE OFFICE MAY ALSO APPROVE A NATURAL DECAY RESISTANT WOOD PER SECTION 19-60.

PART 13: STEEL FLITCH PLATE BEAMS

13.01 FLITCH PLATE BEAMS SHALL CONSIST OF A CONTINUOUS STEEL PLATE BOLTED BETWEEN TWO PIECES OF CONTINUOUS LUMBER AS SIZED ON THE PLANS. BOLT PIECES TOGETHER USING 1/2" & BOLTS SPACED AT 16" O.C. STAGGERED TOP TO BOTTOM OF THE BEAM. MAINTAIN A 2" EDGE DISTANCE. PLACE TWO BOLTS, ONE ABOVE THE OTHER, 16" MAX FROM EACH END OF THE BEAM. TYP UNO

PART 14: STUD SUPPORTS FOR BEAMS

4.01 STEEL, ENGINEERED LUMBER, AND FLITCH PLATE BEAMS BEARING ON A STUD WALL SHALL BEAR AS FOLLOWS:

1-WHEN THE BEAM IS PERPENDICULAR TO, OR SKEWED RELATIVE TO THE WALL, THE BEAM SHALL BEAR FULL WIDTH ON THE SUPPORTING WALL INDICATED AND SHALL BE SUPPORTED BY A MINIMUM OF THREE GANGED STUDS, OR A GANGED STUD OCULAIN WITH A NUMBER OF STUDS SUCH THAT THE STUD COLUAIN IS AT LEAST AS MIDE AS THE TRUE WIDTH OF THE BEAM BEING SUPPORTED, WHICHEVER IS GREATER, TYP UND. FOR THE SKEWED CONDITION PARTICULAR CARE SHALL BE TAKEN TO ENSURE STUD COLUMN IS CENTERED ON

THE BEAM

2-BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR

A MINIMUM OF 4 1/2" ONTO THE WALL AND BE SUPPORTED BY A TRPL STUD GANGED

4.02 DIMENSIONAL LUMBER BEAMS BEARING ON A STUD WALL SHALL BEAR AS FOLLOWS:

1-WHEN THE BEAM IS PERPENDICULAR TO, OR SKEWED RELATIVE TO THE WALL, THE BEAM SHALL BEAR <u>FULL WIDTH</u> ON THE SUPPORTING WALL INDICATED (LESS 1 1/2" TO ALLOW FOR A CONTINUOUS RIM JOIST WHERE APPLICABLE) AND SHALL BE SUPPORTED BY A GANGED STUD COLUMN THE SAME WIDTH AS THE BEAM TYP UNO. (E.G. A TRIPLE 2X10 IS TO BE SUPPORTED BY (3) STUDS). FOR THE SKEWED CONDITION PARTICULAR CARE SHALL BE TAKEN TO ENSURE STUD COLUMN IS CENTERED ON THE BEAM

2—BEAMS BEARING ONTO THE END OF A STUD WALL PARALLEL TO THE BEAM SHALL BEAR A MINIMUM OF 3" ONTO THE WALL AND BE SUPPORTED BY A DBL STUD GANGED COLUMN

14.03 Extra joists bearing on a stud wall perpendicular to or skewed relative to the beam shall be supported by one additional stud.

STUDS THAT ARE GANGED TO FORM A COLUMN SHALL HAVE ADJACENT STUDS WITHIN THE COLUMN NAILED TOGETHER WITH ONE ROW OF 10d NAILS AT 8" O.C. (TWO ROWS OF 10d NAILS & 8" O.C., 3" APART, FOR 208 OR 2210 STUDS) ALL COLUMNS SHALL BE CONTINUOUS DOWN TO THE FOUNDATION OF OTHER PROPERTY DESIGNED STRUCTURAL ELEMENT SUCH AS A BEAM. COLUMNS TRANSFERRING LOADS THROUGH FLOOR LEYELS SHALL BE SOULLY BILOCKED FOR THE FULL WIDTH OF THE STUD COLUMN WITHIN THE CAVITY FORMED BY THE FLOOR JUSTIS.

PART 15: NAILING OF MULTI PLY WOOD BEAMS

15.01 SOLID SAWN LUMBER JOISTS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM NAILED TOCETHER WITH THREE ROWS OF 104 NAILS © 16" O.C. FOR 2X10 OR LARGER, THO ROWS OF 104 NAILS © 16" O.C. FOR 2X8, ONE ROW OF 104 NAILS © 16" O.C. FOR 2X6 OR SMALLER. STAGGER ROWS 5" MIN.

15.02 LV. MEMBERS THAT ARE GANGED TO FORM A BEAM SHALL HAVE ADJACENT MEMBERS IN THE BEAM FASTENED TOGETHER PER MANUFACTURERS RECOMMENDATIONS, TYP

PART 16: WALL FRAMING AND BRACING

16.01 STUD WALLS CHAILL CONSIST OF 224 STUDS SPACED AT 16" O.C. UNO. STUDS SHALL BE CONTINUOUS FROM SOLE PLATE AT FLOOR TO DOUBLE TOP PLATE AT THE CELLING OR ROPE. NO INTERBURIATE BANDS OR PLATES SHALL CAUSE DECONTINUITIES IN A STUD WALL EXCEPT AS REQUIRED FOR DOOR OR WINDOW OPENINGS. THE KING STUDS FOR SUCH OPENINGS. SHALL BE COMMINUOUS, TYPU.

MAX. ALLOWABLE WALL HEIGHTS FOR EXTERIOR STUD WALLS, INCLUSIVE OF SOLE PLATE AND DBL TOP PLATE AND 7/16" OSB EXTERIOR BRACING AND ROW OF 2X4 2X6 PURLINS AT 8" HEIGHT (AND AT 16" HEIGHT FOR TALL WALLS), TYP UNC: 2X4 0 16" O.C.: 11"-1 1/2" 2X6 0 16" O.C.: 17"-0"

DBL 2X4 0 16" O.C.: 13"-4" DBL 2X6 0 16" O.C.: 21"-0"

16.02 FOR WALL BRACING THE FOLLOWING SHALL APPLY:

BLOCKING AT UNSUPPORTED PANEL EDGES IS REQUIRED TYP UNO.

WALL BRACING IS BY ENGEREED DESIN AND NOT PRESCRIPTIVE PER SECTION 602.10 OF THE 2018 NORE. CONTINUOUS SHEATHING HAS BEEN PROVIDED, ALONG WITH ALTERNATIVE METHODS TO INSURE THE MINIMUM INTENT OF SECTION 602.10 OF THE 2018 NORE HAS BEEN MET AND EXCEEDING.

BRACED WALL PANELS SHALL BE FASTENED IN ACCORDANCE WITH TABLE 602.3(1) TO PROVIDE CONTINUOUS PANEL UPIT RESISTANCE AND COMPLIANCE WITH NORSE REGULATION OF THE STATEMEN ON STRUCTURAL PLANS.

MAY SUBSTITUTE WERE FOR GR.

SINGLE JOIST, CONTINUOUS RIM JOIST, OR BLOCKING OF EQUAL DEPTH IS REQUIRED ABOVE AND BELOW ALL BRACED WALLS, NAIL BLOCKING ABOVE WALL TO TOP PLATE WITH 164 TOE NAILS 06 °O.C. NAIL SOLE PLATE OF BRACED WALL TO BLOCKING BELOW WITH (3) 164 MAILS 06 °O.C. BAIL SOLE PLATE OF BRACED WALL TO BLOCKING BELOW WITH (3) 164 MAILS 06 °O.C. BAIL SOLE PLATE OF BRACED WALL TO BRACED WALL LINES ONLY REQUIRED AT SHADED WALLS, UNO.

PART 17: KING STUDS

7.01 KING STUDS FOR OPENINGS IN EXTERIOR WALLS SHALL BE AS FOLLOWS:

MAX OPENING WIDTH 5'-0" 9'-0" 13'-0" 17'-0" 21'-0" STUD SIZE 2X4 2X6 2X8

PART 18: SURSTITUTIONS

MATERIAL OR MEMBER SIZE SUBSTITUTIONS OR PLAN DEVIATIONS REQUIRE THE WRITTEN AUTHORIZATION OF THE DESIGNERS. UNAUTHORIZED DEVIATIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

PART 19: OWNERSHIP OF STRUCTURAL DESIGN

THE STRUCTURAL DESIGN OF THIS PLAN IS THE PROPERTY OF ENGINEERING TECH ASSOCIATES (ETA). THESE PLANS ARE FOR THE ONE TIME USE AT THE LOCATION INDICATED AND FOR THE CUENT LISTED. ETA ASSUMES NO LUABILITY FOR THESE PLANS I FIRLY ARE REPRODUCED, IN PHOLO OR IN PART, FOR CONSTRUCTION AT ANY OTHER LOCATION WITHOUT WRITTEN PERMISSION FROM ETA

DECK SPECIFICATIONS

A DECK IS AN EXPOSED EXTERIOR WOOD FLOOR STRUCTURE WHICH MAY BE ATTACHED TO A STRUCTURE OR BE FREE STANDING, ROOFED PORCHES, OPEN OR SCREENED IN, MAY BE CONSTRUCTED USING THESE PROVISIONS.

WHEN ATTACHED TO A STRUCTURE, THE STRUCTURE TO WHICH ATTACHED SHALL HAVE A TREATED WOOD BAND FOR THE LENGTH OF THE DECK, OR CORROSION RESISTANT FLASHING 9 SHALL BE USED TO PREVENT MOISTURE FROM COMING IN CONTACT WITH THE UNTREATED FRAMING OF THE STRUCTURE. THE DECK BAND AND THE STRUCTURE BAND SHALL BE CONSTRUCTED IN CONTACT WITH EACH OTHER EXCEPT AT BRICK VENEER AND WHERE PLYWOOD SHEATHING IS REQUIRED AND PROPERLY FLASHED. SIDING SHALL NOT BE

INSTALLED BETWEEN THE STRUCTURE AND THE DECK BAND, IF ATTACHED TO A BRICK

WHEN THE DECK IS SUPPORTED AT THE STRUCTURE BY ATTACHING THE DECK TO THE

UP TO 8' MAX.

9 d = 32" O.C. STAGGERED

UP TO 8' MAX.

ONE- 5/8" ø BOLT @ 28" O.C.

IF THE DECK BAND IS SUPPORTED BY A 1/2" MINIMUM MASONRY LEDGE ALONG THE

FOUNDATION WALL, 5/8" Ø BOLTS SPACED @ 48" O.C. MAY BE USED FOR SUPPORT.

OTHER MEANS OF SUPPORT, SUCH AS JOIST HANGERS, MAY BE USED TO CONNECT DECK

GIRDERS SHALL BEAR DIRECTLY ON POSTS OR BE BE CONNECTED TO THE SIDES OF POST

FLOOR DECKING SHALL BE NO. 2 GRADE TREATED SOUTHERN PINE OR EQUIVALENT. THE MINIMUM FLOOR DECKING THICKNESS SHALL BE AS FOLLOWS:

STRUCTURE, THE FOLLOWING ATTACHMENT SCHEDULES SHALL APPLY FOR ATTACHING THE DECK BAND TO THE STRUCTURE:

JOIST LENGTH

ONE - 5/8" Ø BOLT @ 42" O.C. AND ONE - 5/8" Ø BOLT @ 20" O.C. AND (2) ROWS OF 12d NAILS @ 8" O.C. OR (3) ROWS OF 12d NAILS @ 6" O.C. OR

TWO ROWS OF SIMPSON SDWS22400DB TWO ROWS OF SIMPSON SDWS22400DB

JOIST LENGTH

UP TO 16' MAX.

@ d = 16" O.C. STAGGERED

UP TO 16' MAX.

ONE- 5/8" Ø BOLT @ 16" O.C.

STRUCTURE NEITHER FLASHING NOR A TREATED BAND FOR THE BRICK STRUCTUR STREQUIRED. IN ADDITION, THE TREATED BAND FOR THE BRICK STRUCTURE IS REQUIRED. IN ADDITION, THE TREATED DECK BAND SHALL BE CONSTRUCTED IN CONTACT WITH THE BRICK

SUPPORT POSTS SHALL BE SUPPORTED BY A FOOTING.

A. ALL STRUCTURES EXCEPT BRICK STRUCTURES

. BRICK VENEER STRUCTURES

JOISTS TO A TREATED STRUCTURE BAND

WITH 2- 5/8" # BOLTS

REQUIRED

00131 31 AN	DEGINING					
12" O.C.	1" S4S					
16" O.C.	1" T&G					
24" O.C.	1 1/4" S4S					
32" O.C.	2" S4S					
MAXIMUM HEIGHT OF DECK SUPPORT POSTS IS AS FOLLOWS:						

POST SIZE	MAX POST HEIGHT
4X4	8'
6X6	20'
ENGINEERED	20' +

NOTES: 1) THIS TABLE IS BASED ON NO. 2 TREATED SOUTHERN PINE POSTS. 2) THIS TABLE IS BASED ON A MAXIMUM TRIBUTARY AREA OF 128 SQ. FT. 3) POST HEIGHT IS FROM TOP OF FOOTING TO BOTTOM OF GIRDER.

DECKS SHALL BE BRACED TO PROVIDE LATERAL STABILITY BY ONE OF THE FOLLOWING

WHEN THE DECK FLOOR HEIGHT IS LESS THAN 4'-0" AND THE DECK IS ATTACHED TO STRUCTURE IN ACCORDANCE WITH SECTION 4, LATERAL BRACING IS NOT REQUIRED.

B. 4X4 WOOD KNEE BRACES MAY BE PROVIDED ON EACH COLUMN IN BOTH DIRECTIONS. 4X4 MOOD KINE BRACES SHALL ATTACH TO EACH POST AT A POINT NOT LESS THAN 1/3 OF THE POST LENGTH FROM THE TOP OF THE POST, AND THE BRACES SHALL BE ANGLED BETWEEN 45' AND 60' FROM THE HORIZONTAL KNEE BRACES SHALL BE ATTACHED AT THE ENDS TO THE GIRDER AND THE POST WITH ONE - 5/8" BOLT

C. FOR FREE STANDING DECKS WITHOUT KNEE BRACES OR DIAGONAL BRACING, LATERAL STABILITY MAY BE PROVIDED BY EMBEDDING THE POSTS IN CONCRETE IN ACCORDANCE WITH THE FOLLOWING:

POST SIZE	TRIBUT. AREA	POST HEIGHT	EMB. DEPTH	CONC. DIAM.
4X4	48 SQ. FT.	4'-0"	2'-6"	1'-0"
6X6	120 SQ. FT.	6'-0"	3'-6"	1'-8"

D. 226 DIAGONAL VERTICAL CROSS BRACING SHALL BE PROVIDED IN TWO PERPENDICULAR DIRECTIONS FOR FREE STANDING DECKS OR PARALLEL TO THE STRUCTURE AT THE EXTERIOR COLUMN LINE FOR ATTACHED DOCS. THE BRACES SHALL BE ATTACHED TO THE POSTS WITH ONE - 5/8" Ø BOLT AT EACH END OF THE BRACE.

NOTES: 1) ALL NAILS AND BOLTS ARE TO BE HOT DIPPED GALVANIZED. 2) MINIMUM EDGE DISTANCE FOR BOLTS IS 2 1/2".

3) NAILS MUST PENETRATE THE SUPPORTING STRUCTURE BAND A MINIMUM OF 1 1/2".

SEAL OSSORO RALLING RALLING

re structural design of this plic. Fugineering Tech Associates, e for the one time use at the client listed. Engineering Tech ssumes no liability for these p produced, in whole or in part, any other location without will ome Engineering Tech Associate

RAL ENGINERS arse No. C-3870 ok Rd. Unit 201 Carolina 27609 è (919) 844-1661 STRUCTURAL E License N 3 W Millbrook Ru leigh, North Card 318 W / Raleigh, C nginek Taginek

S	MDUM	REV # REF PROJ # DATE				
TRIPLE A HOMES	STRUCTURAL ADDENDUM	47 COTTON FARMS				
SCOPE		<u>ن</u>	3			
EN	ENG: RJS					
DATE		1.	Ω.	20	2	1

DATE: 4-8-2024

PROJECT NO. 24-28-015

> SHEET NO. **SPECS** 8 of 8

NOTES

THE BUILDER IS RESPONSIBLE FOR REVIEWING PLANS PRIOR TO CONSTRUCTION. THE BUILDER SHALL IMMEDIATELY CONTACT THE ENGINEER OF RECORD (EOR) BEFORE PROCEEDING IF THE FOLLOWING CONDITIONS ARE NOTED BEFORE OR DURING CONSTRUCTION: THE WORKING PLANS DO NOT BEAR THE SEAL OF THE EOR

2) THE PLANS CONTAIN DISCREPANT OR INCOMPLETE INFORMATION

any errors due to a failure to follow the above procedures shall not be the responsibility of the Eor. Furthermore, it is the responsibility of the builder to ENSURE THAN ANY REVISIONS ISSUED BY THE EOR ARE PROMPLY DISTRIBUTED TO THE

THE EOR DOES NOT PERFORM FENESTRATION OR VENTING CALCULATIONS OR ANY OTHER CALCULATIONS THAT ARE NOT DIRECTLY RELATED TO STRUCTURAL ENGINEERING.

ROOF AND FLOOR TRUSSES TO BE DESIGNED BY AN ENGINEER REGISTERED BY THE STATE, FINA TRUSS DRAWING SHOULD BE SUBMITTED TO THE EOR FOR REVIEW

ABBREVIATIONS

TJ TRIPLE JOIST
TYP TYPICAL
TRPL TRIPLE
TSP TRIPLE STUD POCKET FND FOLINDATION ABV ABOVE B. BOTH B. BOTH B.E. BOTH ENDS FTG FOOTING HDG HOT DIPPED BTWN BETWEEN GALVANIZED CIP CAST IN PLACE HGR HANGER UNO UNLESS NOTED LVL LAMINATED VENEER
LUMBER OTHERWISE XJ EXTRA JOIST NTS NOT TO SCALE DIA DIAMETER DBL DOUBLE O.C. ON CENTER DOUBLE JOIST PSI PARALIFI STRAND LUMBER
PT PRESSURE TREATED
QJ QUAD JOIST DBL STUD POCKET EQ EQUAL EA EACH FLG FLANGE SP SPACE (OR SPACING)
SSP SINGLE STUD POCKET
SQ SQUARE FL PL FLITCH PLATE FLR FLOOR

ALLOWABLE I-JOIST SUBSTITUTION

NOTE: MAINTAIN JOIST DEPTH, DIRECTION, AND SPACING SPECIFIED OF

MANUFACTURER	DEPTH	SERIES	SIMPSON FACE MOUNT HGR	SIMPSON TOP FLANGE HGR
BLUELINX BOISE CASCADE BOISE CASCADE INTERNATIONAL BEAMS	11.875" 11.875" 11.875" 11.875"	BLI 40 BCI 5000s BCI 6000s IB 400	IUS2.56/11.88 IUS2.06/11.88 IUS2.37/11.88 IUS2.56/11.88	ITS2.56/11.88 ITS2.06/11.88 ITS2.37/11.88 ITS2.56/11.88
LP CORP NORDIC ROSEBURG WEYERHAEUSER WEYERHAEUSER	11.875" 11.875" 11.875" 11.875" 11.875"	LPI 20+ NI 40X RFPI 40s TJI 210 EEI-20	IUS2.56/11.88 IUS2.56/11.88 IUS2.56/11.88 IUS2.06/11.88 IUS2.37/11.88	ITS2.56/11.88 ITS2.56/11.88 ITS2.56/11.88 ITS2.06/11.88 ITS2.37/11.88

JOISTS NOT LISTED IN THE ABOVE TABLE MAY BE USED PROVIDED THEY MEET OR EXCEED THE PROPERTIES OF THOSE LISTED. SUBSTITUTE USP BRAND HANGERS WITH EQUIVALENT VALUES AS DESIRED.