

# Residence for Triple A Homes Allison Ann Lot 47 Cotton Farms - Fuquay Varina, NC



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The purpose of these drawings is to show the intent of the design and construction of this home. Contractor should verify all conditions and dimensions prior to construction. Once a permit has been issued, contractor shall assume all responsibility to the accuracy of the plans and any changes made during construction.

PROJECT INFO:  
**TRIPLE A HOMES**  
Allison Ann  
Lot 47 Cotton Farms  
Fuquay-Varina, North Carolina

TITLE:  
**Cover Sheet**  
PROJECT NUMBER:  
**6625**

DRAWN BY:  
**J.A.D.**  
CHECKED BY:  
**J.T.S.**

REVISIONS:

DATE:  
**4/9/2024**

SHEET:

**C**



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COVER SHEET		<b>S1</b>	CRAWL SPACE FOUNDATION PLAN
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## GENERAL NOTES:

- ALL WORK IS TO BE DONE IN STRICT ACCORDANCE WITH NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE, 2018 EDITION (HEREWITH SHOWN AS N.C.S.R.B.C.).
- DIMENSIONS SHOWN ON DRAWINGS GOVERN OVER SCALE..
- STUD WALL DESIGN SHALL CONFORM TO ALL N.C.S.R.B.C. REQUIREMENTS.
- CONTRACTOR SHALL USE TEMPERED SAFETY GLASS IN ALL LOCATIONS AS REQUIRED BY N.C.S.R.B.C., SECTION R308.4
- ANY HABITABLE ROOM SHALL MEET ALL LIGHT/VENTILATION AND EGRESS AS REQUIRED BY N.C.S.R.B.C., SECTIONS R-303.1 AND R-310.1
- ALL WALLS SHOWN ON FLOOR PLANS ARE 2x4 FRAME UNLESS NOTED OTHERWISE.
- ALL ANGLED WALLS SHOWN ON FLOOR PLANS ARE 45° UNLESS NOTED OTHERWISE.
- ALL WINDOWS SHALL HAVE A MINIMUM DPI RATING OF 25. BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT UNITS INSTALLED MEET THESE REQUIREMENTS AS PER N.C.S.R.B.C., TABLE 301.2(6).
- ENERGY EFFICIENCY REQUIREMENTS FOR THE SPECIFIC CLIMATE ZONE WHERE STRUCTURE IS BEING BUILT SHALL BE IN ACCORDANCE WITH CHAPTER 11 OF THE NORTH CAROLINA RESIDENTIAL BUILDING CODE, AS SHOWN IN TABLES N1101.2 AND N1102.1.
- TERMITE TREATMENT - BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" AFF.

## RESIDENTIAL BUILDING CODE SUMMARY

- PLANS ARE DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.
- HOUSE IS DESIGNED FOR 115 MPH, 3 SECOND GUST (89 MPH FASTEST WIND), EXPOSURE B.
- ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER WITH STANDARD WASHER AND NUT AND SHALL EXTEND 7" MIN. INTO MASONRY OR CONCRETE. BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF CORNERS. ALTERNATE ANCHOR STRAPS CAN BE USED INSTEAD OF ANCHOR BOLTS SPACED AT THE EQUIVALENT SPACING AND INSTALLED PER MANUFACTURER'S SPECIFICATION'S EXCEPT AT GARAGE LUG FTG.
- MEAN ROOF HEIGHT: 24'-0"
- COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS:  
MEAN ROOF HGT: UP TO 30' 30'-1" TO 35' 35'-1" TO 40' 40'-1" TO 45'  

ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0
- MINIMUM VALUES FOR ENERGY COMPLIANCE: ZONE 4
- MAXIMUM GLAZING U-FACTOR: 0.35
- INSULATING VALUES: CEILING: R-30\* / WALLS: R-15 / FLOOR: R-19 / SLABS: R-10. CODE REFERENCE: TABLE N1102.1 (\*R-30 ONLY IF UNCOMPRESSED, R-38 REQUIRED IF COMPRESSED)
- FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R703.8 OF THE N.C.R.B.C.
- FIREBLOCKING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R602.8 OF THE N.C.R.B.C.
- DRAFTSTOPPING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R302.12 OF THE N.C.R.B.C.

## MATERIALS LEGEND

	EARTH/COMPACT FILL		FINISH WOOD
	CONCRETE		ROUGH WOOD
	BRICK		BLOCKING
	CONCRETE BLOCK/STONE		PLYWOOD
	STEEL		BATT INSULATION
	ALUMINUM		RIGID INSULATION

## TOILET ACCESSORIES LEGEND

PROVIDE 2x4 BLOCKING IN THE WALL FOR THE FOLLOWING:

TB	TOILET BAR
TP	TOILET PAPER HOLDER
TR	TOILET RING
MC	MEDICINE CABINET
MR	MAGAZINE RACK

THE PURPOSE OF THESE DRAWINGS IS TO SHOW THE INTENT OF THE DESIGN AND CONSTRUCTION OF THIS HOME. ANY ERRORS AND/OR OMISSIONS FOUND IN THIS SET SHOULD IMMEDIATELY BE REPORTED TO HOMES UNIQUE FOR CLARIFICATION OR CORRECTION. THE CONTRACTOR SHOULD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ONCE A PERMIT HAS BEEN ISSUED FOR CONSTRUCTION, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AS TO THE ACCURACY OF THE PLANS AND TO ANY CHANGES MADE BY THE CONTRACTOR AND/OR THE OWNER.

DUE TO VARYING LOCAL AND STATE CODES, HOMES UNIQUE CANNOT BE HELD RESPONSIBLE FOR ANY REQUIREMENTS THAT EXISTING SITE CONDITIONS MAY CREATE.

## AREA CALCULATIONS

	HEATED:	UNHEATED:
1ST FLOOR:	2386	GARAGE: 468
2ND FLOOR:	487	FRONT PORCH: 231
TOTAL:	2873	SCREEN PORCH: 246
		TOTAL: 1445
WIDTH:	84'-6"	OPTIONAL PATIO: 150
DEPTH:	72'-4"	

## FOUNDATION VENTING CALCULATIONS

(REFERENCE: N.C.S.R.B.C., 2018 EDITION, SECTION R408)  
THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN ONE (1) SQUARE FOOT FOR EACH 150 SQUARE FEET OF CRAWL SPACE GROUND AREA AND ONE FOUNDATION VENT SHALL BE WITHIN THREE (3) FEET OF EACH CORNER OF THE BUILDING.

EXCEPTION: THE TOTAL AREA OF VENTILATION OPENINGS MAY BE REDUCED TO 1/1500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS TREATED WITH AN APPROVED VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED SO AS TO PROVIDE CROSS-VENTILATION.

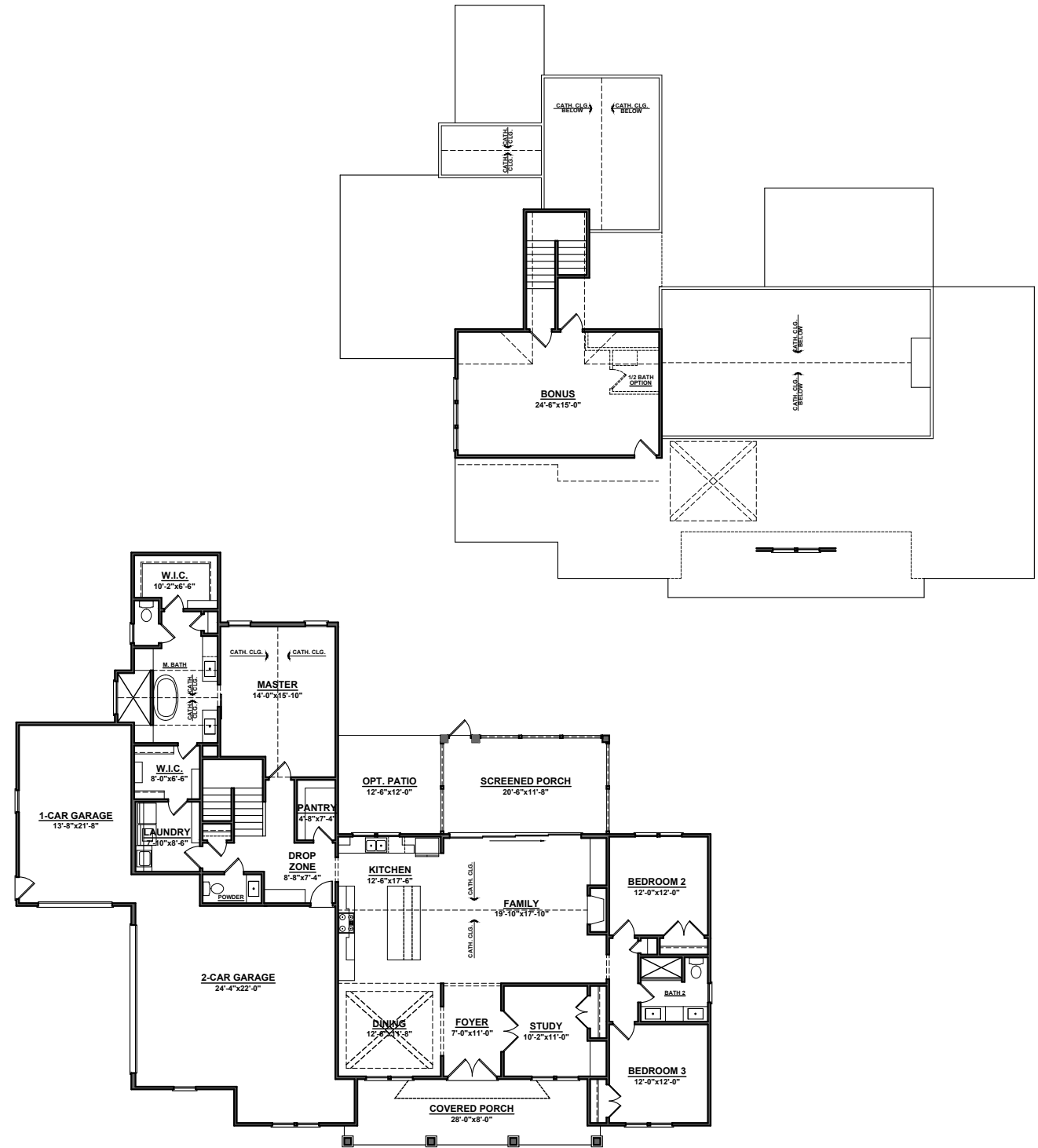
$$\frac{2386 \text{ SQUARE FEET OF CRAWL SPACE AREA}}{150} =$$

$$\underline{15.91 \text{ SQUARE FEET OF NET FREE AREA REQUIRED}}$$

## ATTIC VENTILATION REQUIREMENTS

NATURAL ROOF VENTILATION	MECHANICAL ROOF VENTILATOR
3831 SQ. FT. = 25.54 SQ. FT. VENT REQ'D.	3831 SQ. FT. = 12.77 SQ. FT. VENT REQ'D.
150	300

BUILDER TO PROVIDE APPROPRIATE VENTILATING AS REQUIRED PER CODE

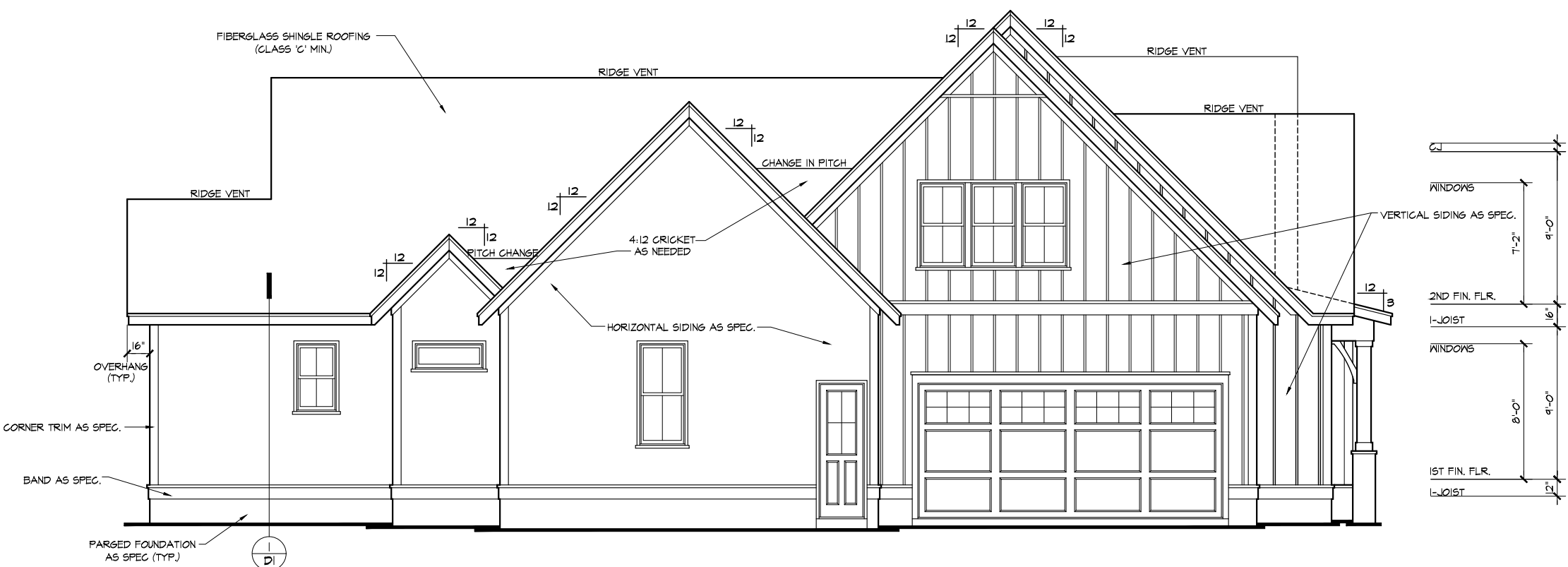




**FRONT ELEVATION**

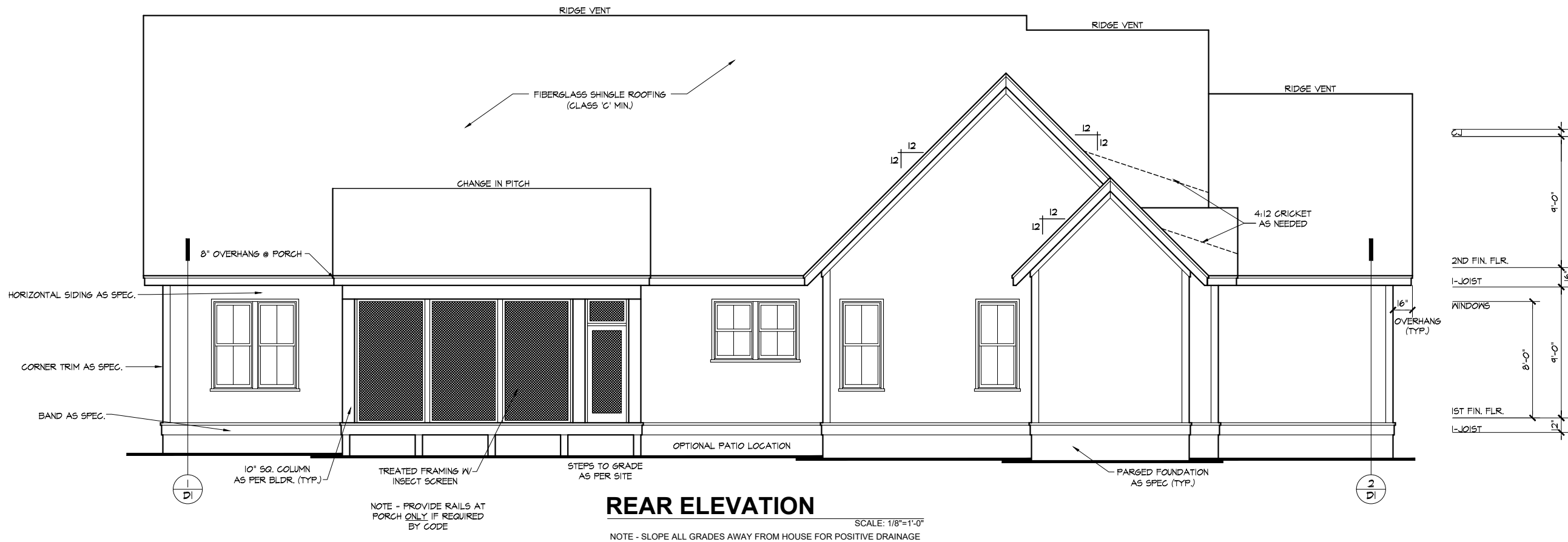
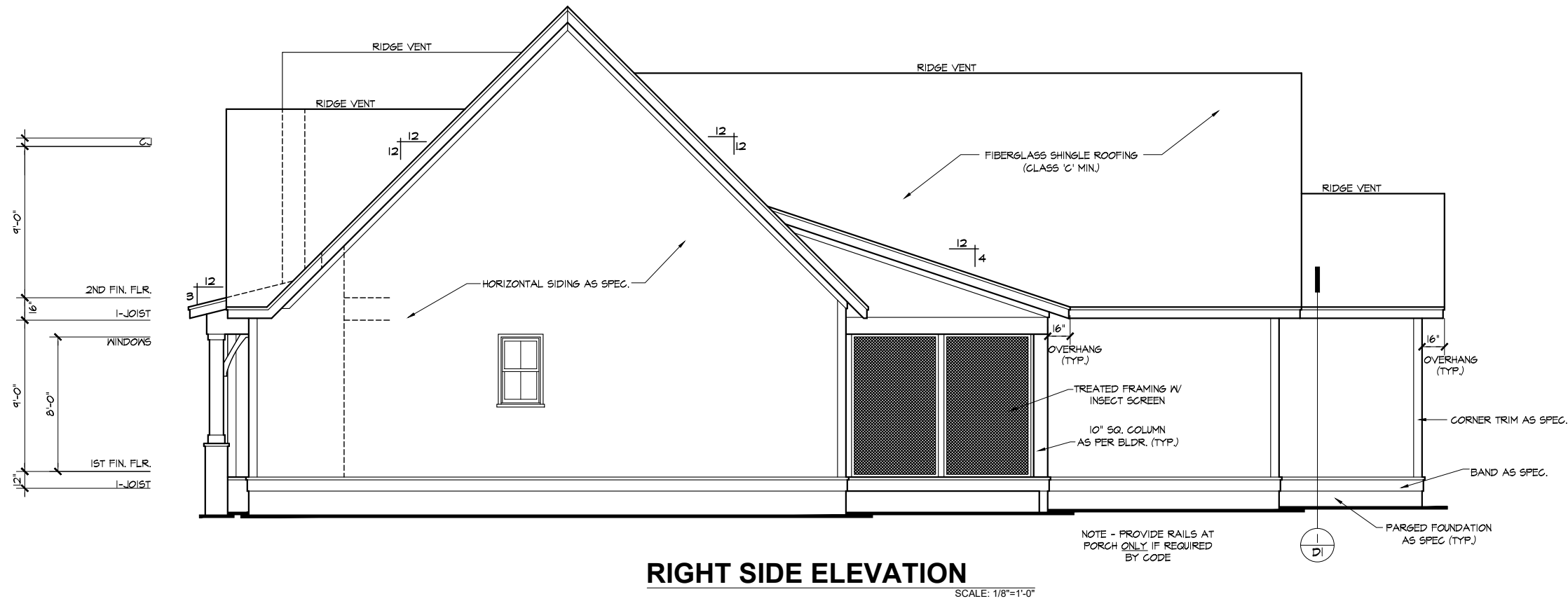
SCALE: 1/8"=1'-0"

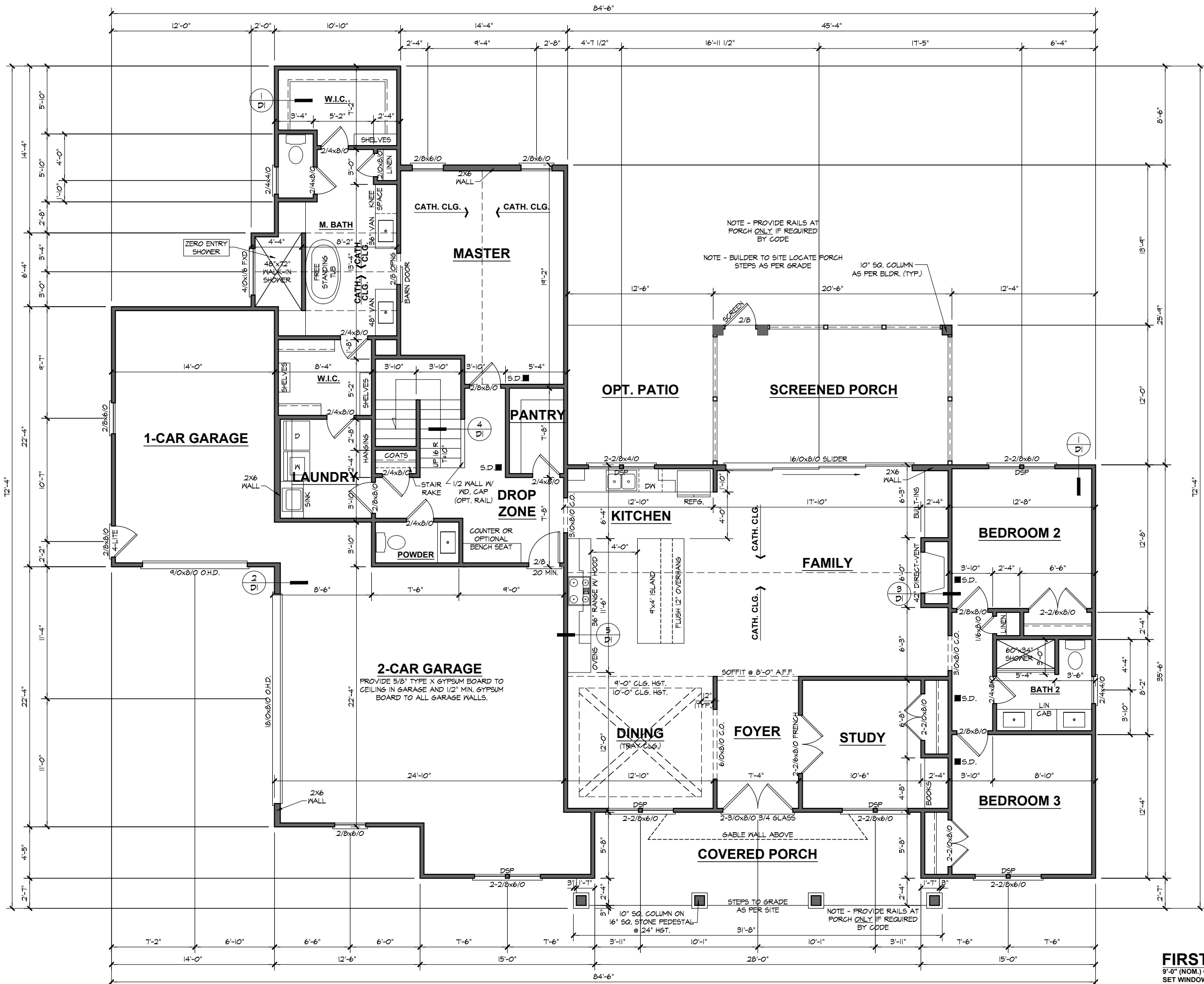
NOTE - SLOPE ALL GRADES AWAY FROM HOUSE FOR POSITIVE DRAINAGE



**LEFT SIDE ELEVATION**

SCALE: 1/8"=1'-0"





**NOTES:**  
 ALL DOORS AND CASSED OPENINGS TO BE 8'-0" TALL UNLESS NOTED OTHERWISE.  
 ROUGH FRAME ALL CASSED OPENINGS 2" BIGGER THAN FINISHED OPENING CALL FOR  
 PROVIDE 2x4 BLOCKING FOR: TOILET PAPER HOLDER, TOWEL BARS, MEDICINE CABINETS  
 BOTTOM OF WINDOW CLEAR OPENINGS SHALL BE MORE THAN 24" ABOVE FINISH FLOOR OR A FALL PREVENTION DEVICE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R312.3 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.



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 Allison Ann  
 Lot 47 Cotton Farms  
 Fuquay-Varina, North Carolina

PROJECT INFO:

**Floor Plan**

TITLE:  
 PROJECT NUMBER:  
 6625

DRAWN BY:  
 J.A.D.

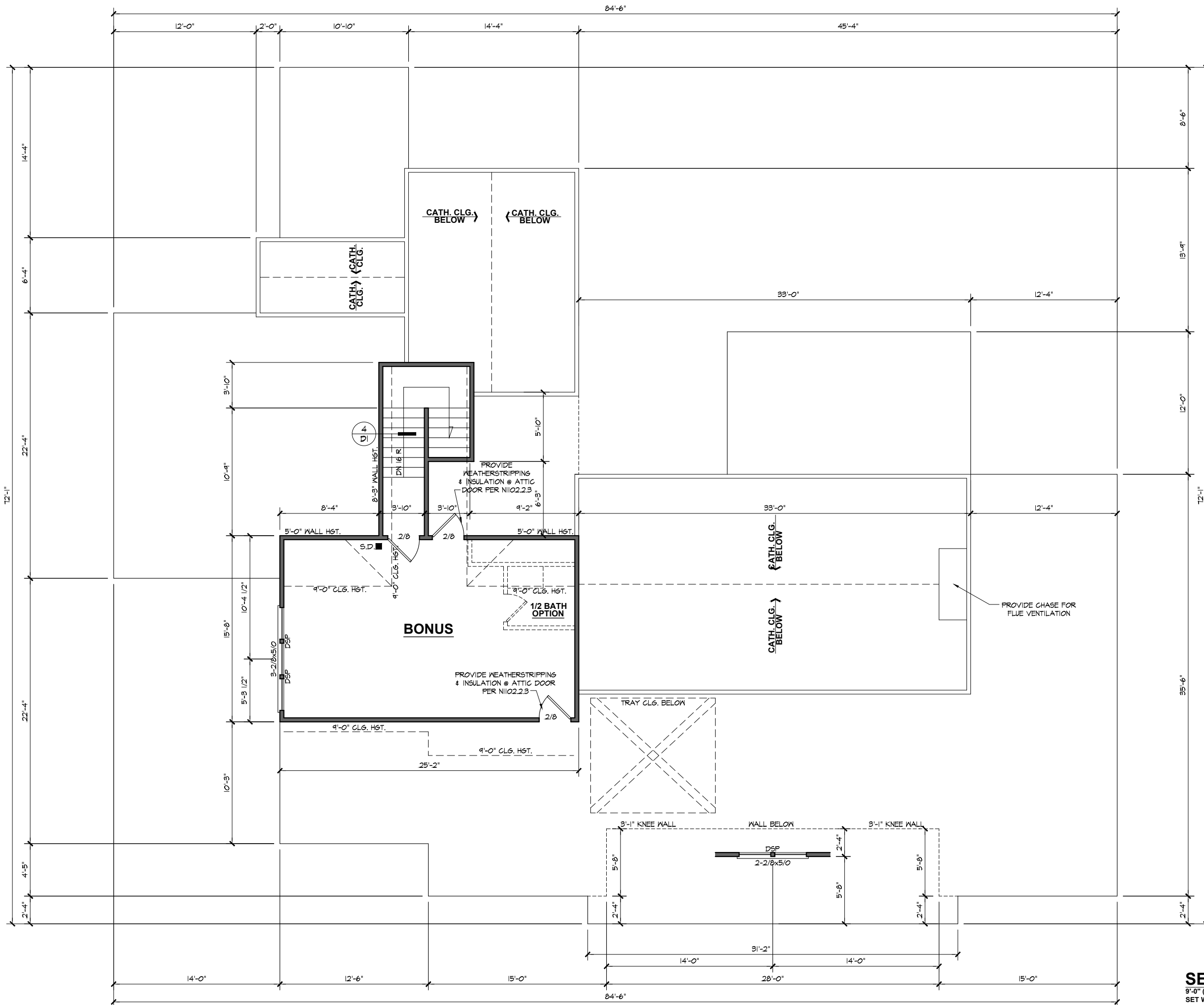
CHECKED BY:  
 J.T.S.

REVISIONS:

DATE:  
 4/9/2024

SHEET:

**FIRST FLOOR PLAN**  
 9'-0" (NOM.) CLG. HGT. U.N.O. SCALE: 1/8"=1'-0"  
 SET WINDOWS @ 8'-0" U.N.O.



**NOTES:**  
 ALL DOORS AND CASING OPENINGS TO BE 6'-8" TALL UNLESS NOTED OTHERWISE.  
 ROUGH FRAME ALL CASING OPENINGS 2" BIGGER THAN FINISHED OPENING CALL FOR  
 PROVIDE 2x4 BLOCKING FOR: TOILET PAPER HOLDER, TOWEL BARS, MEDICINE CABINETS  
 BOTTOM OF WINDOW CLEAR OPENINGS SHALL BE MORE THAN 24" ABOVE FINISH FLOOR OR A FALL PREVENTION DEVICE SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R312.3 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE.



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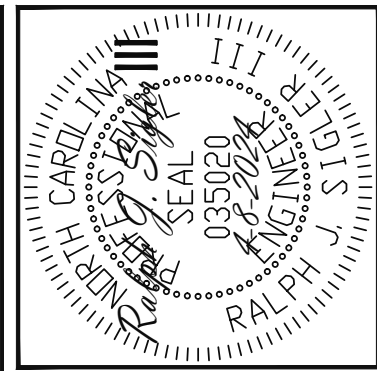
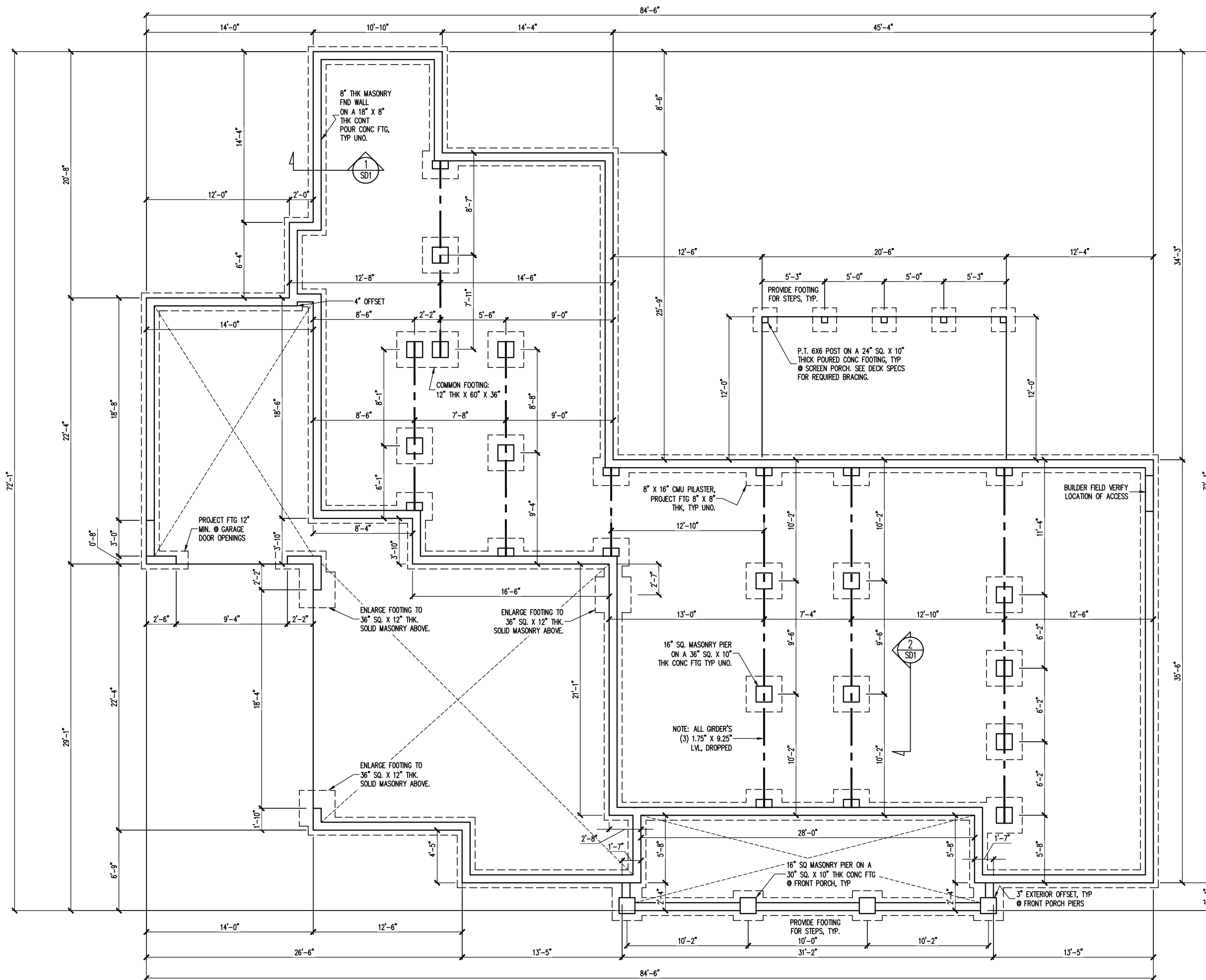
**SECOND FLOOR PLAN**

9'-0" (NOM.) CLG. HGT. U.N.O.  
 SET WINDOWS @ 7'-2" U.N.O.

SCALE: 1/8"=1'-0"

**4**





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 318 W Millbrook Rd. Unit 201  
 Raleigh, North Carolina 27609  
 Phone (919) 844-1661

**CONSTRUCTION SPECIFICATIONS**  
 INSTANT REFERENCES

REFER TO THE CONSTRUCTION SPECIFICATIONS SECTIONS FOR THE FOLLOWING INFORMATION:

PART 1.01: CURRENT GOVERNING CODE

PART 14: STUD SUPPORT FOR BEAMS

PART 16.02: GENERAL WALL BRACING NOTES

PART 17: KING STUDS FOR EXTERIOR WALLS

SEE DETAIL / CONSTRUCTION SPECIFICATIONS SHEETS FOR I-JOISTS ALLOWABLE SUBSTITUTIONS

**NOTES:**

-HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION. REINFORCEMENT AND GROUTING SHALL BE DETERMINED BY FINAL SITE CONDITIONS.

-BUILDER TO FIELD LOCATE CRAWLSPACE ACCESS OPENING WITH MINIMUM DIMENSIONS OF 18X24. DO NOT LOCATE ACCESS OPENING BELOW POINT LOADS FROM ABOVE WITHOUT ENGINEER APPROVAL.

-PLUMBING SHOWN FOR REFERENCE ONLY. BUILDER VERIFY FINAL FIXTURE LOCATIONS, SIZES AND REQUIREMENTS PRIOR TO INSTALLATION.

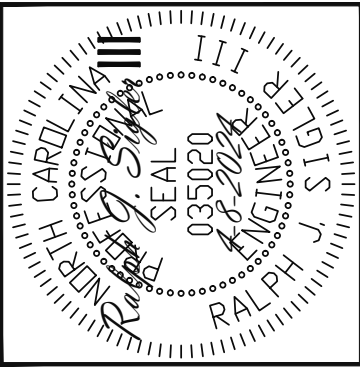
**FOUNDATION PLAN**  
 1/8" = 1'-0"

SCOPE	TRIPLE A HOMES	
	STRUCTURAL ADDENDUM	
LOC	REV #	DATE
	REF PROJ #	
	47 COTTON FARMS	

ENG: RJS  
 DATE: 4-8-2024

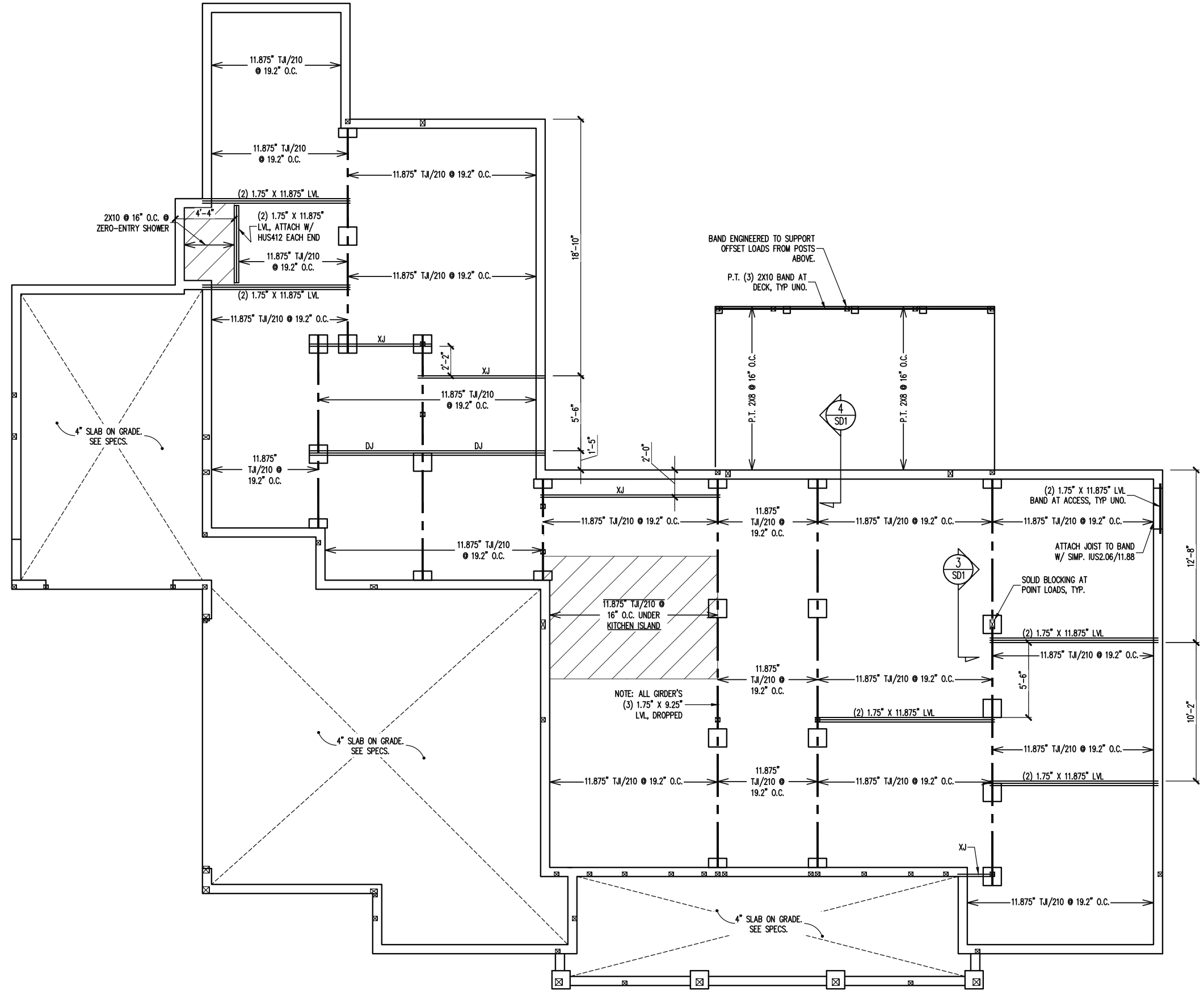
PROJECT NO.  
 24-28-015

SHEET NO.  
 S1  
 1 of 8



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CRAWLSPACE FRAMING PLAN

1/8" = 1'-0"

TRIPLE A HOMES	REV #	REF PROJ #	DATE
STRUCTURAL ADDENDUM			
SCOPE			
LOC	47 COTTON FARMS		

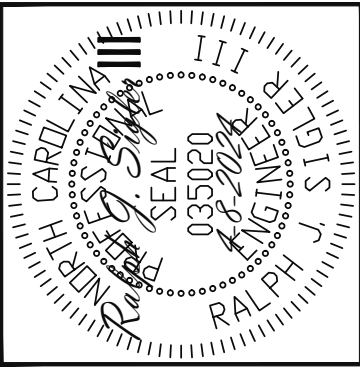
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 DATE: 4-8-2024

PROJECT NO.  
 24-28-015

SHEET NO.  
 S2

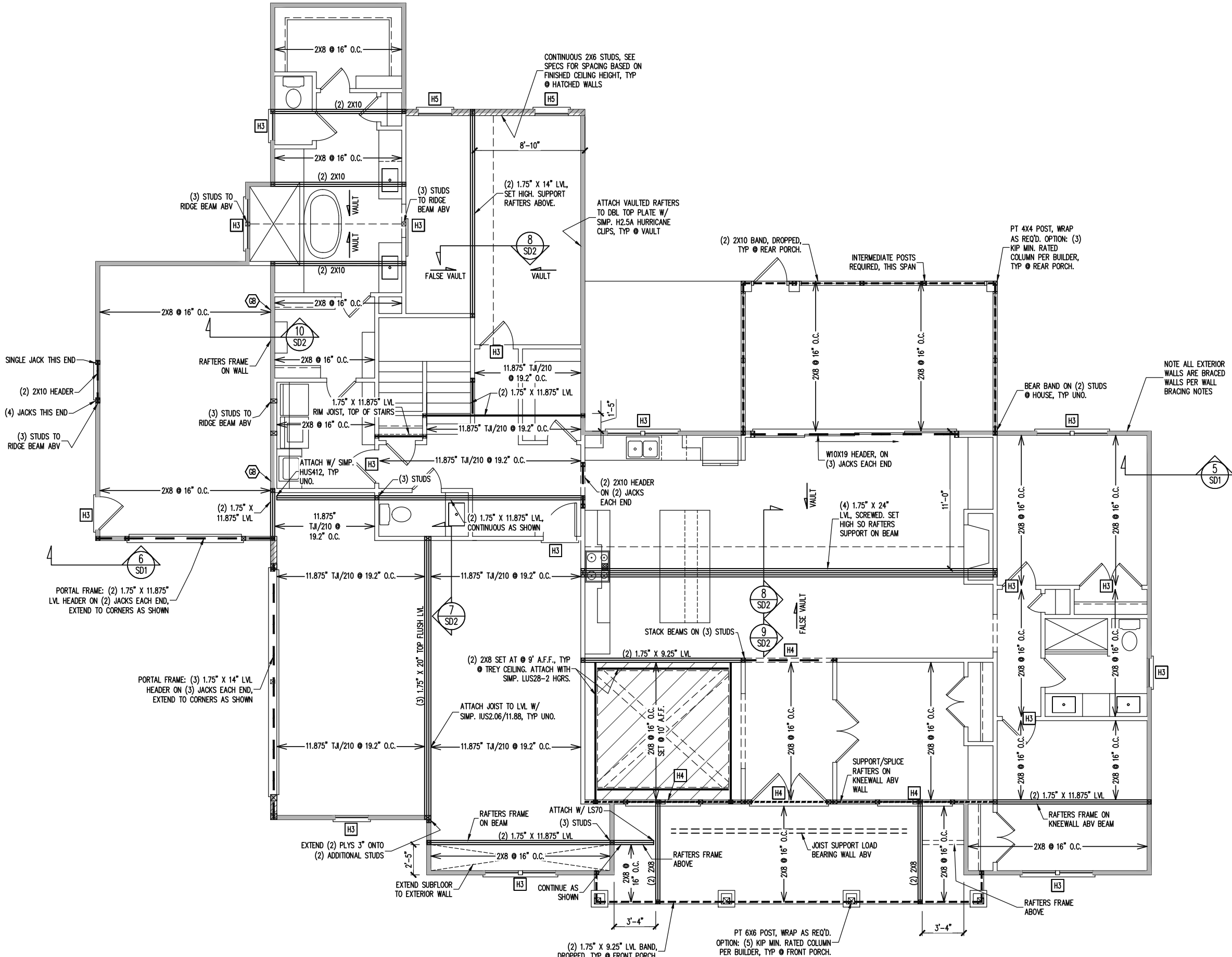
2 of 8





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**WALL BRACING**

**SHADED WALLS:**  
 ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.  
 WSP - ONE SIDE OF INTERIOR WALL OR INSIDE OF EXTERIOR WALL WITH 3/8" MIN. THICKNESS WOOD STRUCTURAL PANELING. ATTACH WSP TO STUD WALL WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.  
 GB - INTERIOR BRACED WALL 1/2" GB SECURED PER TABLE R602.10.2 OF THE 2018 NCRBC. (FASTENERS @ 7" O.C.) BOTH SIDES OF WALL, OR (FASTENERS @ 4" O.C.) ONE SIDE OF WALL AT STAIRS (BUILDER PERMITTED TO SUBSTITUTE "WSP" FOR ANY "GB" WALL)

**NOTES:**  
 PROVIDED CONTINUOUS SHEATHING = 320' MIN.  
 REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

**HEADER SCHEDULE**

- H1 SINGLE 2X4 TURNED FLAT (A)
- H2 (2) 2X4'S ON SINGLE JACKS (B)
- H3 (2) 2X10'S ON SINGLE JACKS (C)
- H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS
- H5 (3) 2X10'S ON SINGLE JACKS

- (A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.
- (B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.
- (C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

**NOTES:**  
 -HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

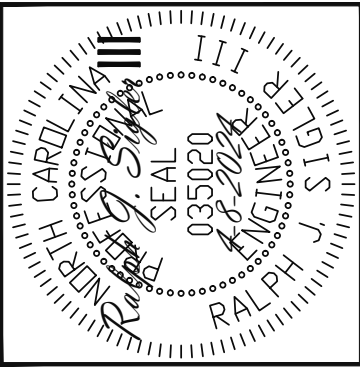
**1ST FLOOR FRAMING PLAN**  
 WALLS AND CEILING 1/8" = 1'-0"

SCOPE	TRIPLE A HOMES	
	STRUCTURAL ADDENDUM	REV # (REF PROJ) #
LOC	47 COTTON FARMS	DATE

ENG: RJS  
 DATE: 4-8-2024

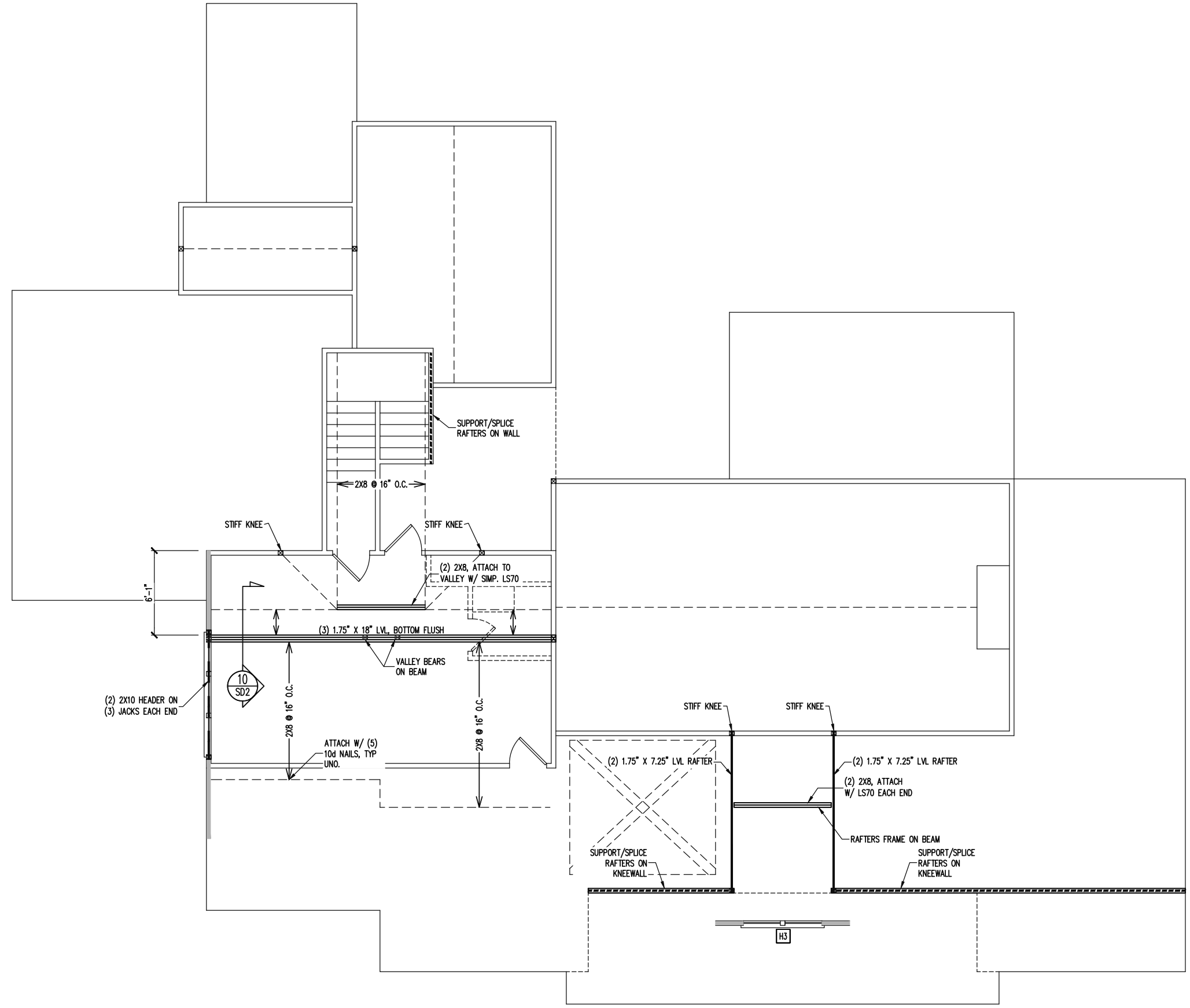
PROJECT NO.  
 24-28-015

SHEET NO.  
 S3  
 3 of 8



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 Raleigh, North Carolina 27609  
 Phone (919) 844-1661  
 ASSOCIATES, P.A.



**WALL BRACING**

SHADED WALLS:

ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

NOTES:  
 PROVIDED CONTINUOUS SHEATHING = 12" MIN.

REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

**HEADER SCHEDULE**

H1	SINGLE 2X4 TURNED FLAT (A)
H2	(2) 2X4'S ON SINGLE JACKS (B)
H3	(2) 2X10'S ON SINGLE JACKS (C)
H4	(2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5	(3) 2X10'S ON SINGLE JACKS

NOTES:  
 -HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

TRIPLE A HOMES	
SCOPE	STRUCTURAL ADDENDUM
LOC	47 COTTON FARMS
REV #	REF PROJ #
DATE	

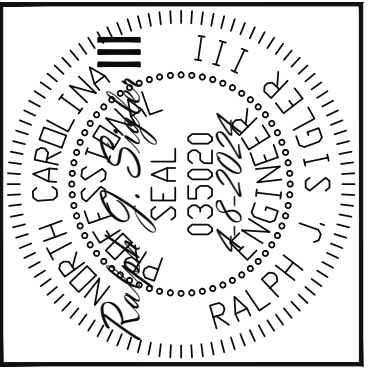
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 DATE: 4-8-2024

PROJECT NO.  
 24-28-015

SHEET NO.  
 S4

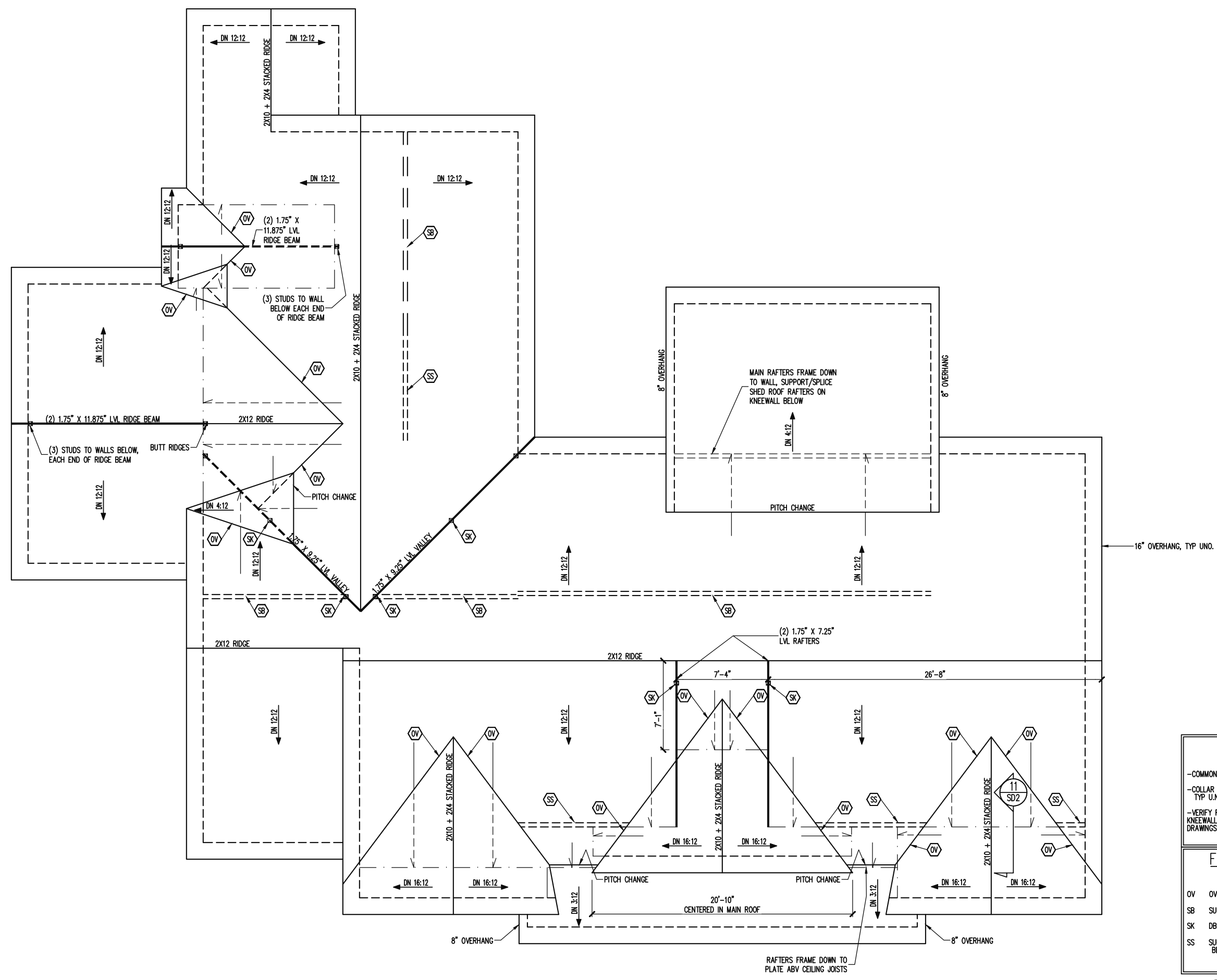
4 of 8

2ND FLOOR FRAMING PLAN  
 WALLS AND CEILING 1/8" = 1'-0"



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**FRAMING NOTES**  
 ROOF ONLY  
 -COMMON RAFTERS 2X8 @ 16" O.C. TYP U.N.O.  
 -COLLAR TIES 2X4 EVERY 3RD SET OF RAFTERS TYP U.N.O.  
 -VERIFY ROOF PITCHES, OVERHANG LENGTHS, AND KNEEWALL FRAMING HGTS WITH ARCHITECTURAL DRAWINGS, TYPICAL.

**FRAMING SCHEDULE**  
 ROOF ONLY  
 OV OVERFRAME VALLEY ( 2X10 SLEEPER )  
 SB SUPPORT/SPLICE RAFTERS ON BEAM BELOW  
 SK DBL 2X4 STIFF KNEE  
 SS SUPPORT/SPLICE RAFTERS ON KNEEWALL BELOW

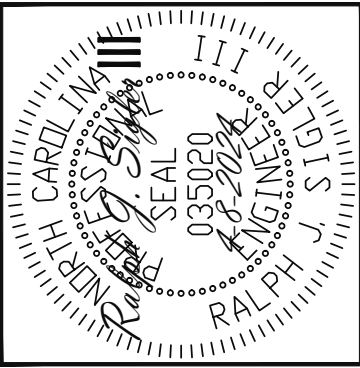
**ROOF FRAMING PLAN**  
 1/8" = 1'-0"

SCOPE	TRIPLE A HOMES
LOC	47 COTTON FARMS
REV #	REF PROJ #
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ENG: RJS  
 DATE: 4-8-2024

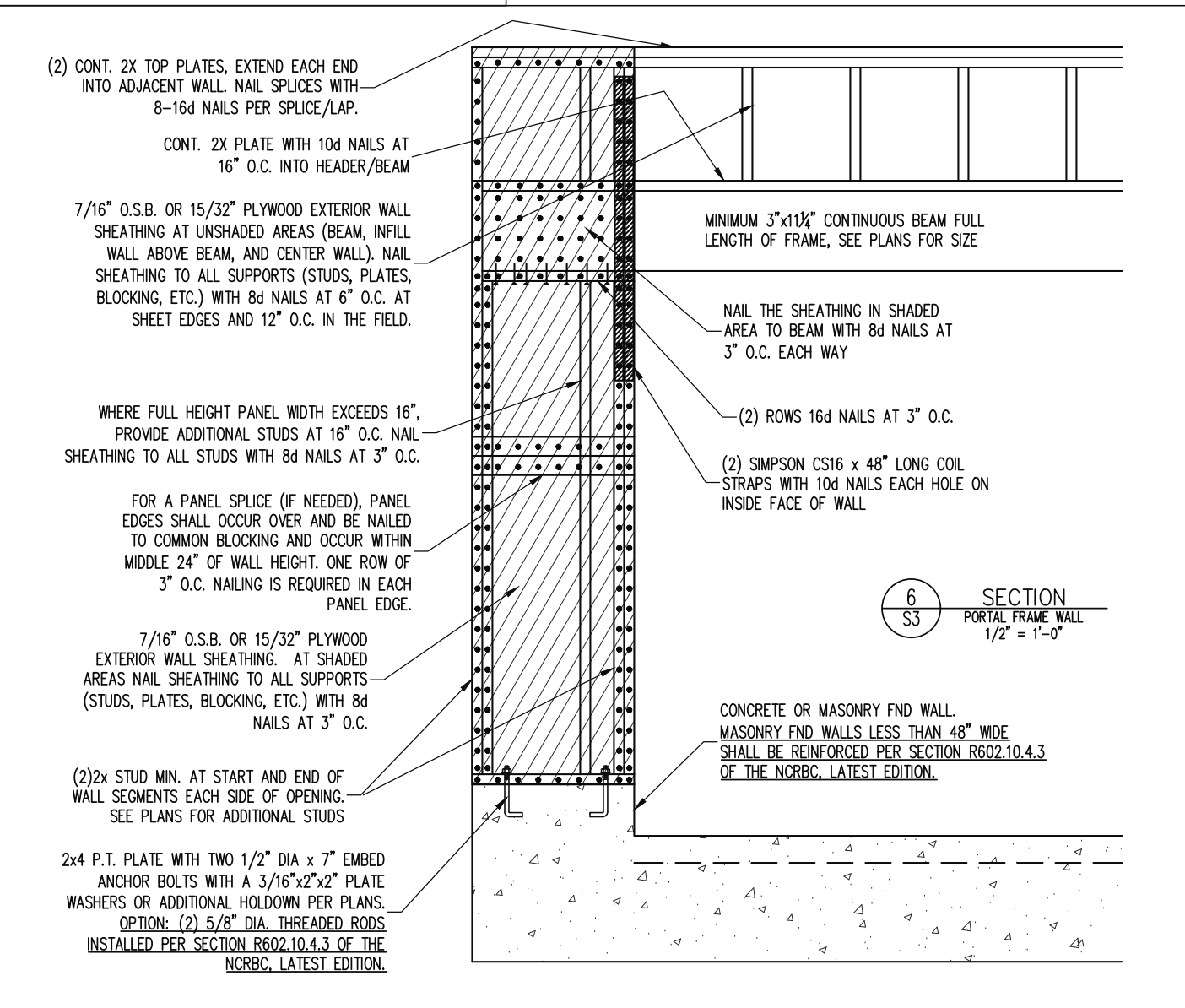
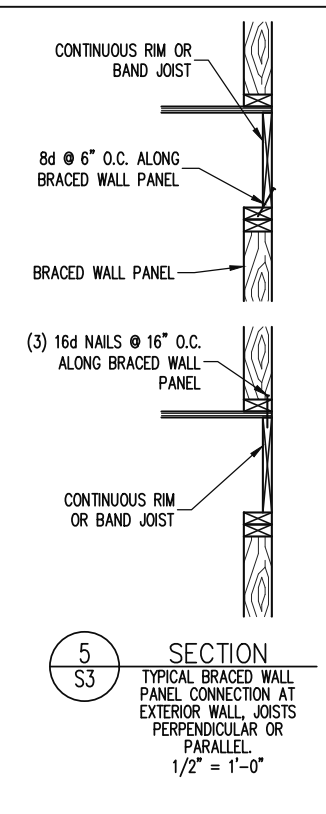
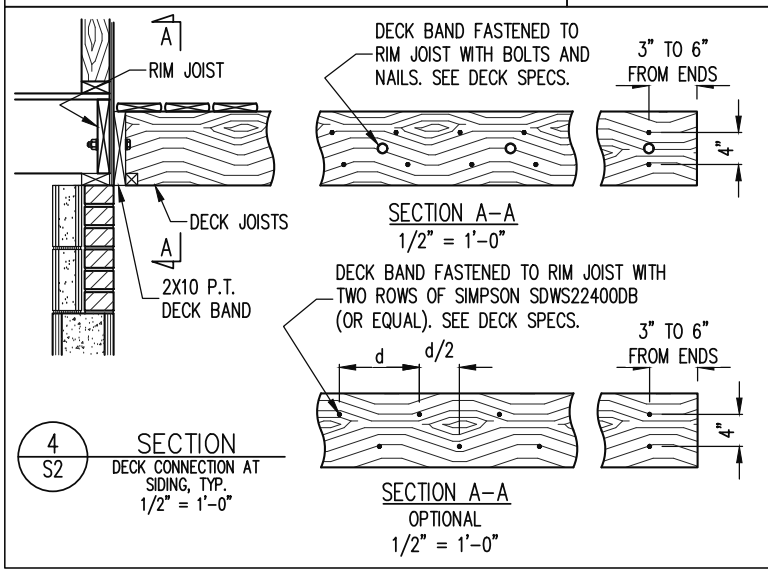
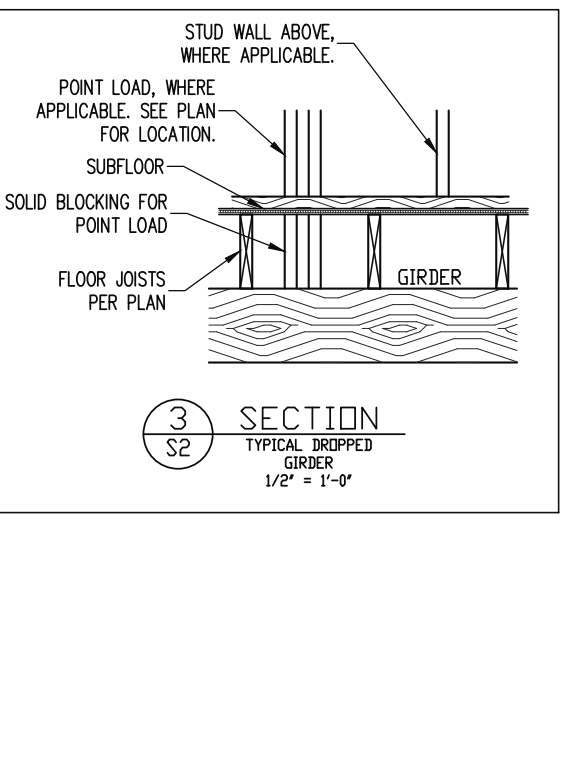
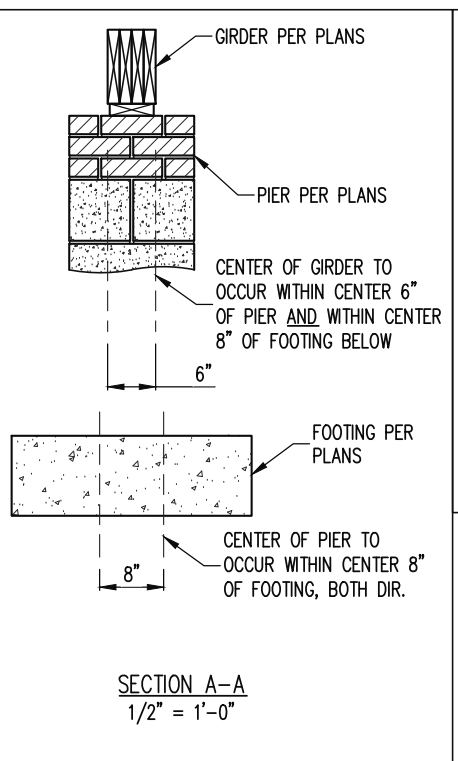
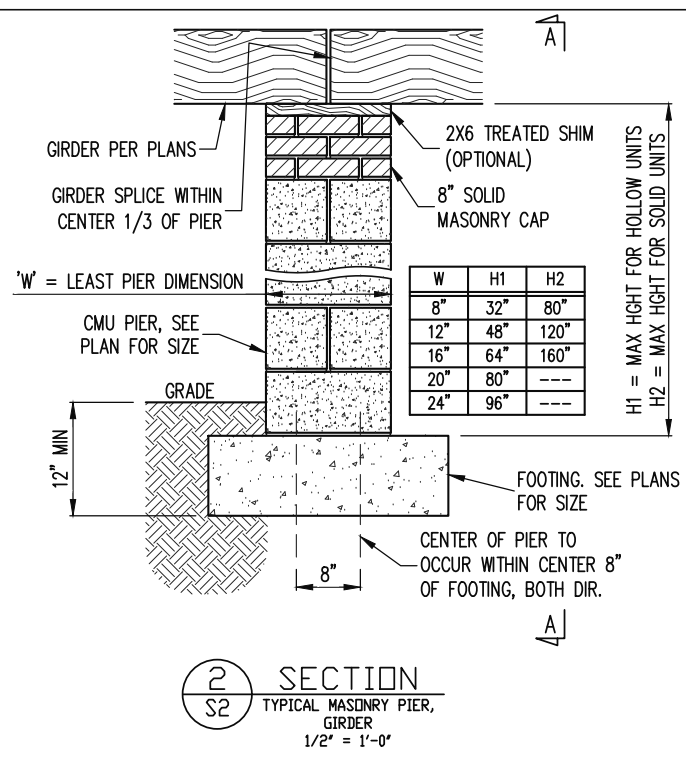
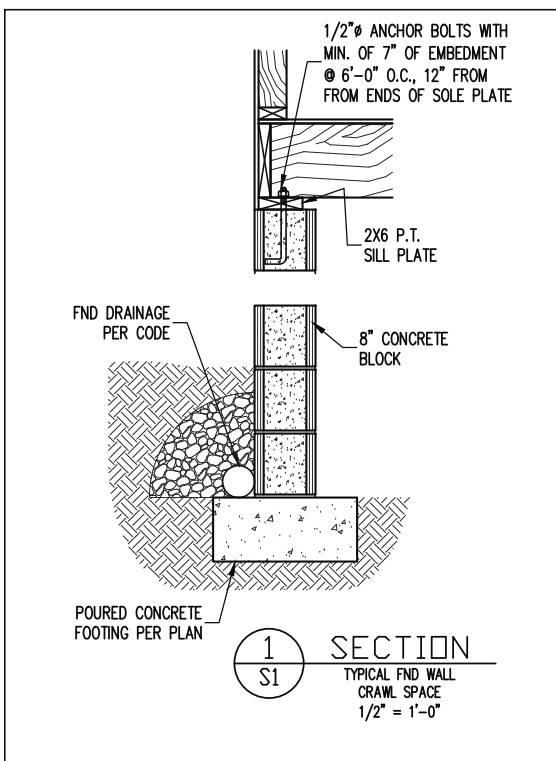
PROJECT NO.  
 24-28-015

SHEET NO.  
 S5  
 5 of 8



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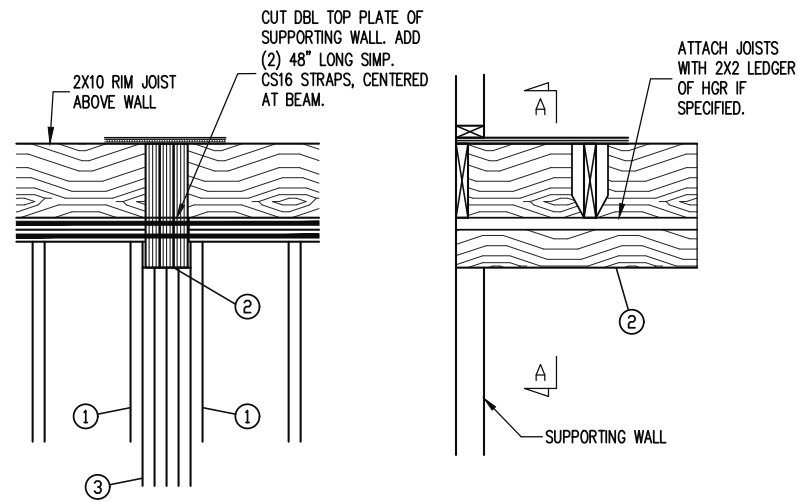


TRIPLE A HOMES		REV #	REF PROJ #	DATE
SCOPE	STRUCTURAL ADDENDUM			
LOC	47 COTTON FARMS			

ENG: RJS  
 DATE: 4-8-2024

PROJECT NO.  
 24-28-015

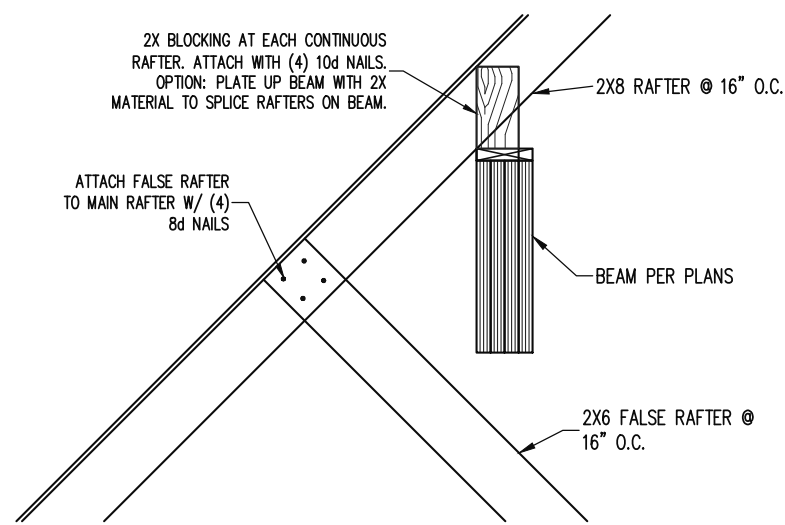
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 SD1



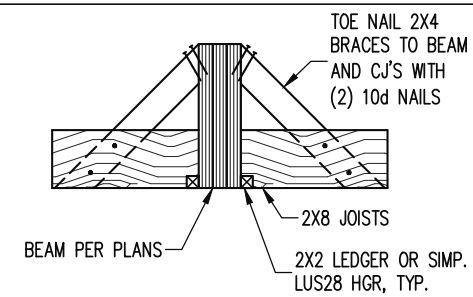
SECTION A-A

ITEM DESCRIPTION	
1	KING STUD
2	TOP FLUSH BEAM (SEE PLAN)
3	STUDS SUPPORTING BEAM (SEE PLAN FOR NUMBER OF STUDS REQUIRED)

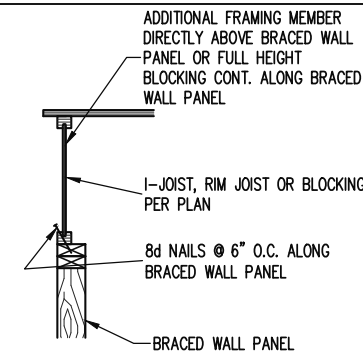
7 SECTION  
S3 TOP FLUSH GARAGE BEAM  
1/2" = 1'-0"



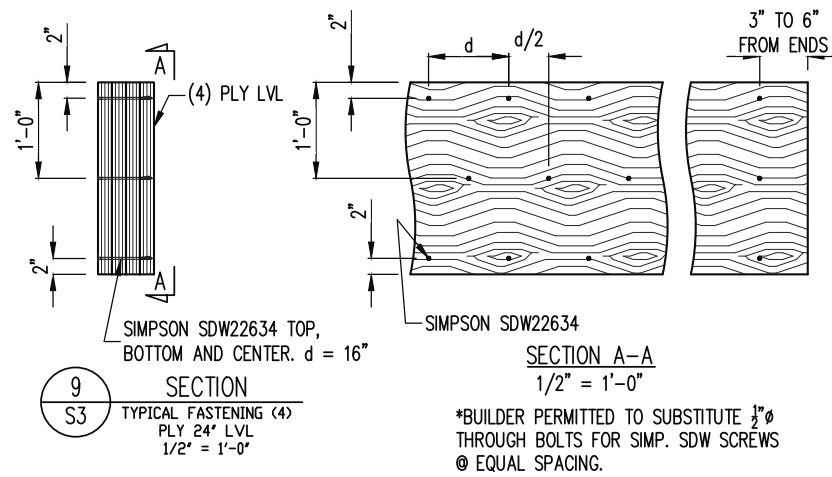
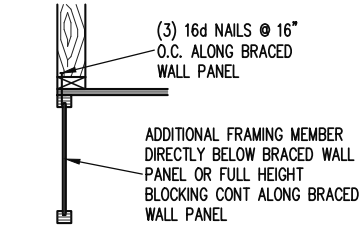
8 SECTION  
S3 VAULTED ROOF SUPPORT BEAM, TYPICAL.  
1/2" = 1'-0"



10 SECTION  
S4 FLUSH BEAM BRACING EVERY 3RD JOIST  
1/2" = 1'-0"



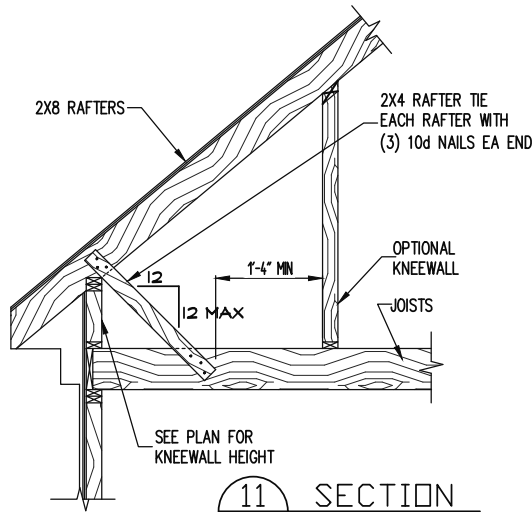
10 SECTION  
S3 TYPICAL BRACED WALL PANEL CONNECTION AT INTERIOR WALL, JOISTS PERPENDICULAR OR PARALLEL.  
1/2" = 1'-0"



9 SECTION  
S3 TYPICAL FASTENING (4) PLY 24" LVL  
1/2" = 1'-0"

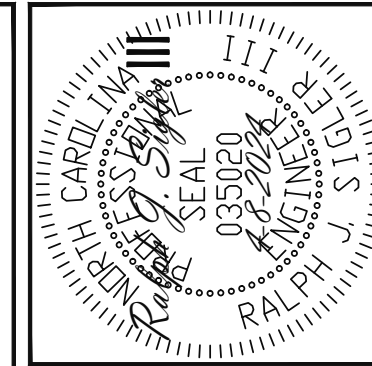
SECTION A-A  
1/2" = 1'-0"

\*BUILDER PERMITTED TO SUBSTITUTE 1/2" THROUGH BOLTS FOR SIMP. SDW SCREWS @ EQUAL SPACING.



11 SECTION  
S5 KNEEWALL PARALLEL TO JOIST  
3/4" = 1'-0"

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TRIPLE A HOMES	
SCOPE	STRUCTURAL ADDENDUM
LOC	47 COTTON FARMS
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SD2

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