

SOPHIA

SOPHIA REVISION LIST - STRUCTURAL:

1.) ADDED PLUMBING DROP TO SLAB AND STEM WALL SHEETS (4-25)

- 2.)
- 3.)
- 4.)
- 5.)
- 6.)
- 7.)
- 8.)
- 9.)
- 10.
- 11.)
- 12.)
- 13.)
- 14.)
- 15.)
- 16.)
- 17.)
- 18.)
- 19.)
- 20.)
- 21.)
- 22.)
- 23.)
- 24.)
- 25.)
- 26.)
- 27.)
- 28.)
- 29.)
- 30.)

SOPHIA REVISION LIST - ARCHITECTURAL:

- 1.) NEW. (12-24)
- 2.) REMOVED WALL FROM END OF CABINETS IN KITCHEN (4-25)
- 3.) MADE WALL BETWEEN PANTRY AND COAT CLOSET 2x6 PLUMBING WALL (4-25)
- 4.) MADE WALL BETWEEN BEDROOM #5 CLOSET AND HALL BATH 2x6 PLUMBING WALL (4-25)
- 5.) REMOVED DROP ZONE UNDER STAIRS AND REPLACED WITH DOOR TO STORAGE UNDER STAIRS (4-25)
- 6.)
- 7.)
- 8.)
- 9.)
- 10.
- 11.)
- 12.)
- 13.)
- 14.)
- 15.)
- 16.)
- 17.)
- 18.)
- 19.)
- 20.)
- 21.)
- 22.)
- 23.)
- 24.)
- 25.)
- 26.)
- 27.)
- 28.)
- 29.)
- 30.)

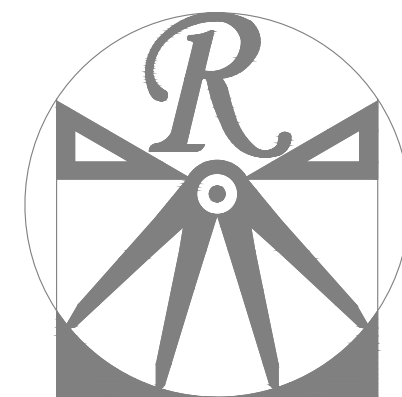


COVER SHEET

A&G RESIDENTIAL
SOPHIA

DATE: 12-15-24
REV.:
DRAWN BY: WG
ENGINEERED BY:
REVIEWED BY:

CS



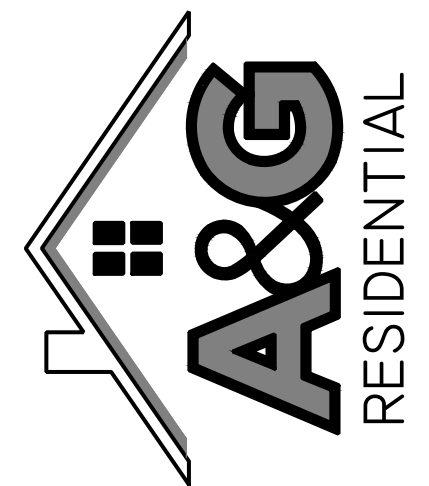
RENAISSANCE
RESIDENTIAL DESIGN, INC.
WILMINGTON, NC 28401

(919) 649-4128
WWW.RRDNCAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC.
RESERVES THE RIGHT TO MAKE
MODIFICATIONS TO FLOOR PLANS,
DIMENSIONS, MATERIALS, AND
SPECIFICATIONS WITHOUT NOTICE.
THESE DRAWINGS ARE FOR THE
PURPOSE OF CONVEYING AN
ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC.
HEREBY EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT
TO BE REPRODUCED, CHANGED, OR
COPIED IN ANY FORM OR MANNER
WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN CONSENT OF RENAISSANCE
RESIDENTIAL DESIGN, INC. NOR ARE
THEY TO BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING SAID
WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
331 E. SIX FORKS RD. SUITE 150
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS,
FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND
DIMENSIONS, SQUARE FOOTAGE AND DIMENSIONS ARE
ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF
HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN
AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS
ARE FOR INFORMATION ONLY. OUR OFFICE DOES NOT
GUARANTEE THE ACCURACY OF ANY INFORMATION.
REPRODUCTION, ADAPTATION OR DISPLAY OF THE PLANS IS
STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT
FOR CURRENT DETAILS. COPYRIGHT ©2024 XXXX

A&G RESIDENTIAL
SOPHIA

DATE: DECEMBER 15, 2024

REV.: 4-1-25

SCALE: AS NOTED

DRAWN BY: WG

ENGINEERED BY: WFB

REVIEWED BY: MGS

A ELEVATIONS

A-1



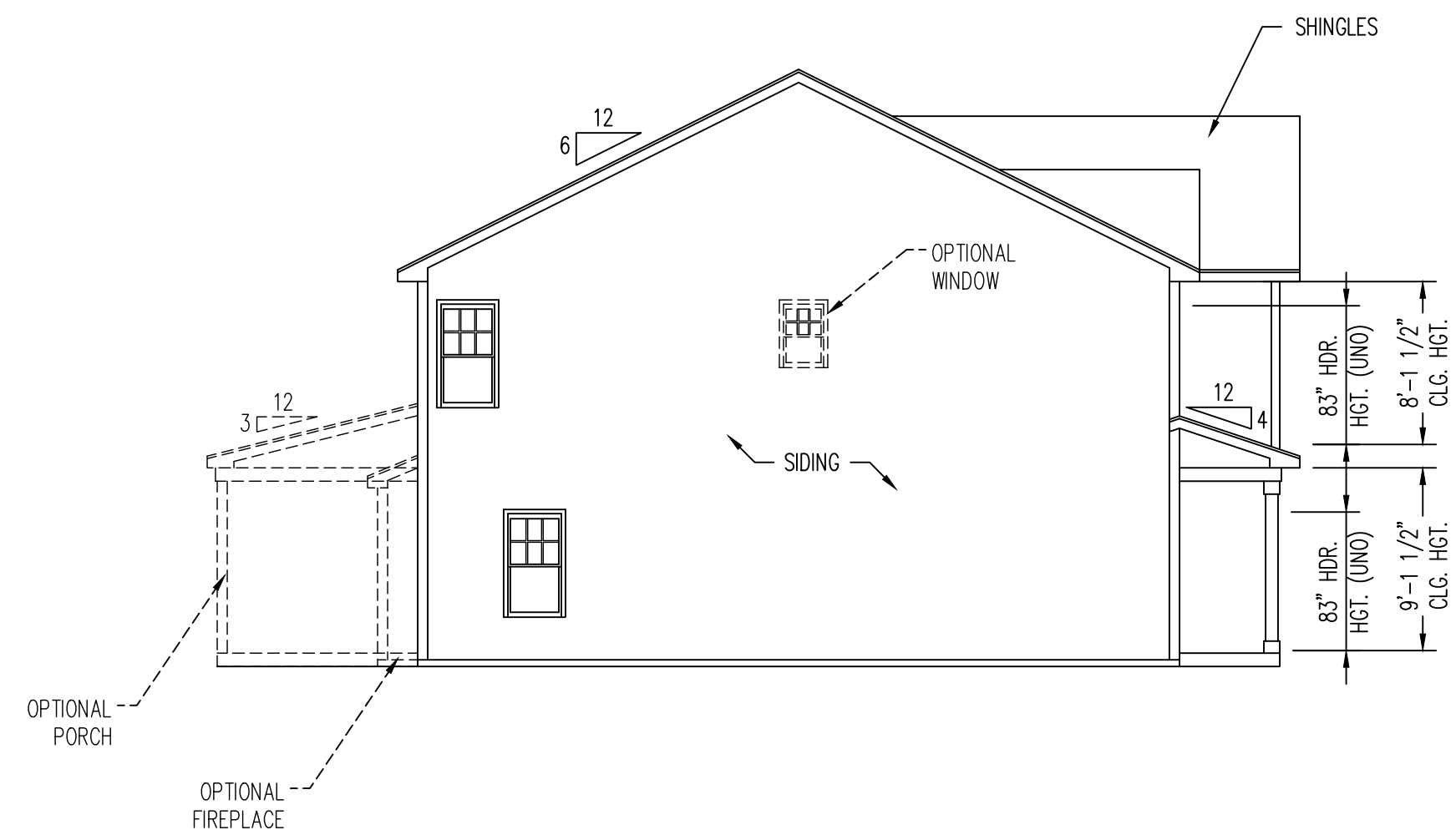
STEPS PER GRADE AS REQ.

SIDE LOAD
GARAGE OPTION

SCALE: 1/4" = 1'-0"

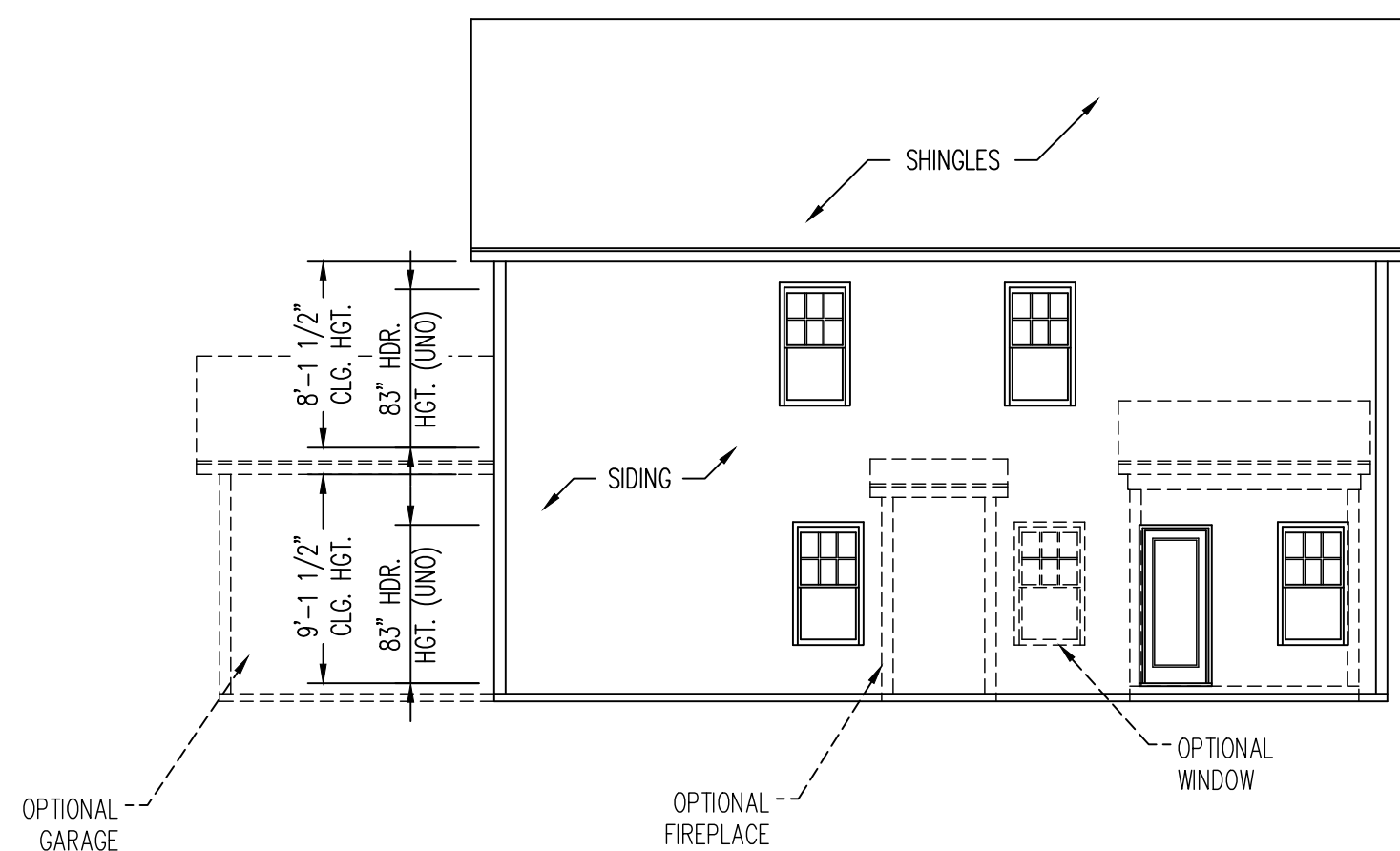
FRONT ELEVATION-A

SCALE: 1/4" = 1'-0"



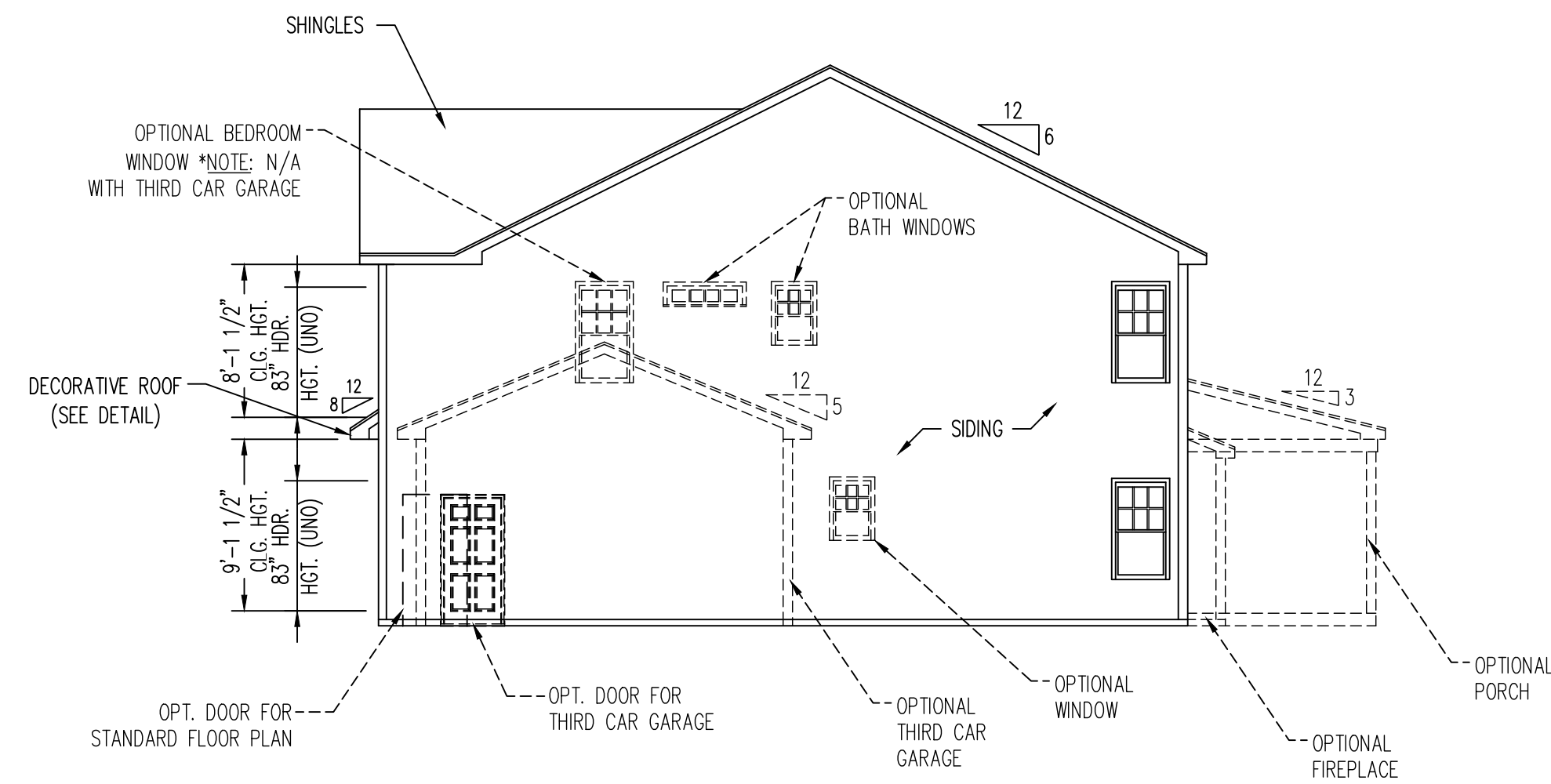
LEFT ELEVATION

SCALE: 1/8" = 1'-0"



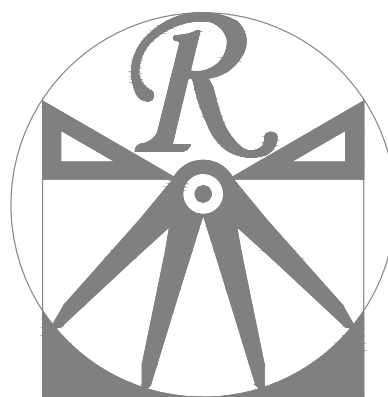
REAR ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



RENAISSANCE
RESIDENTIAL DESIGN, INC.
WILMINGTON, NC 28401
(919) 649-4128
WWW.RRDCAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC.
RESERVES THE RIGHT TO MAKE
MODIFICATIONS TO FLOOR PLANS,
DIMENSIONS, MATERIALS, AND
SPECIFICATIONS WITHOUT NOTICE.
THESE DRAWINGS ARE FOR THE
PURPOSE OF CONVEYING AN
ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC.
HEREBY EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT
TO BE REPRODUCED, CHANGED, OR
COPIED IN ANY FORM OR MANNER
WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN CONSENT OF RENAISSANCE
RESIDENTIAL DESIGN, INC. NOR ARE
THEY TO BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING SAID
WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
331 E. SIX FORKS RD. SUITE 160
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS,
FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND
DIMENSIONS, SQUARE FOOTAGE AND DIMENSIONS ARE
ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF
HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN
AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS
ARE FOR INFORMATION ONLY. FOR ANY USE, THE
REPRODUCTION, ADAPTATION OR DISPLAY OF THE PLANS IS
STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT
FOR CURRENT DETAILS. COPYRIGHT ©2024 XXXX

A&G RESIDENTIAL
SOPHIA

DATE: DECEMBER 15, 2024

REV.: 4-1-25

SCALE: AS NOTED

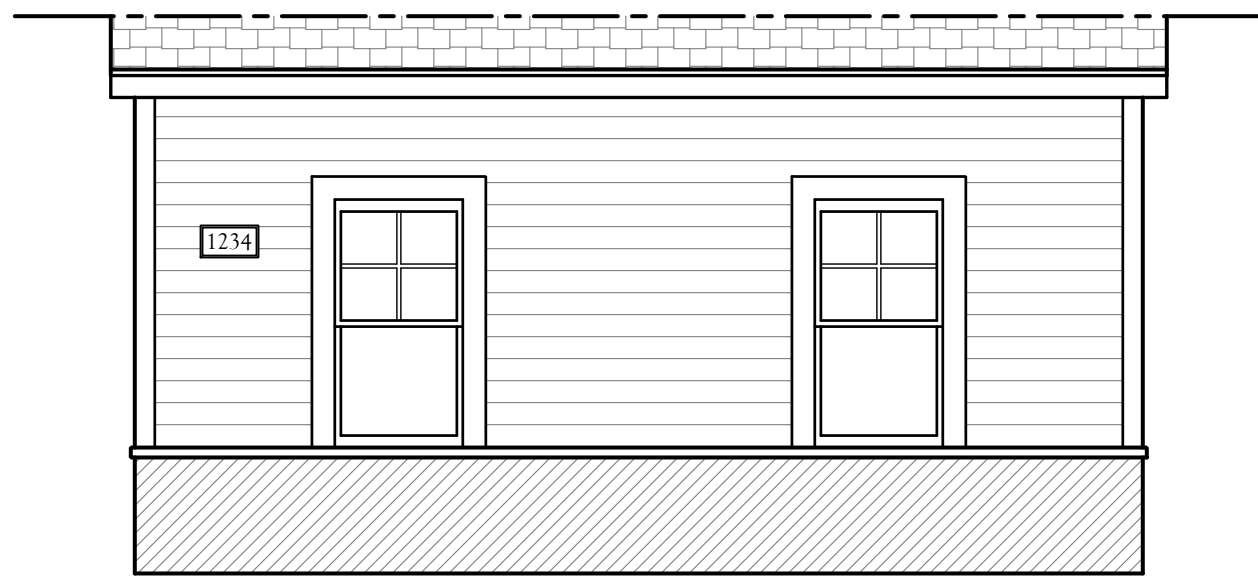
DRAWN BY: WG

ENGINEERED BY: WFB

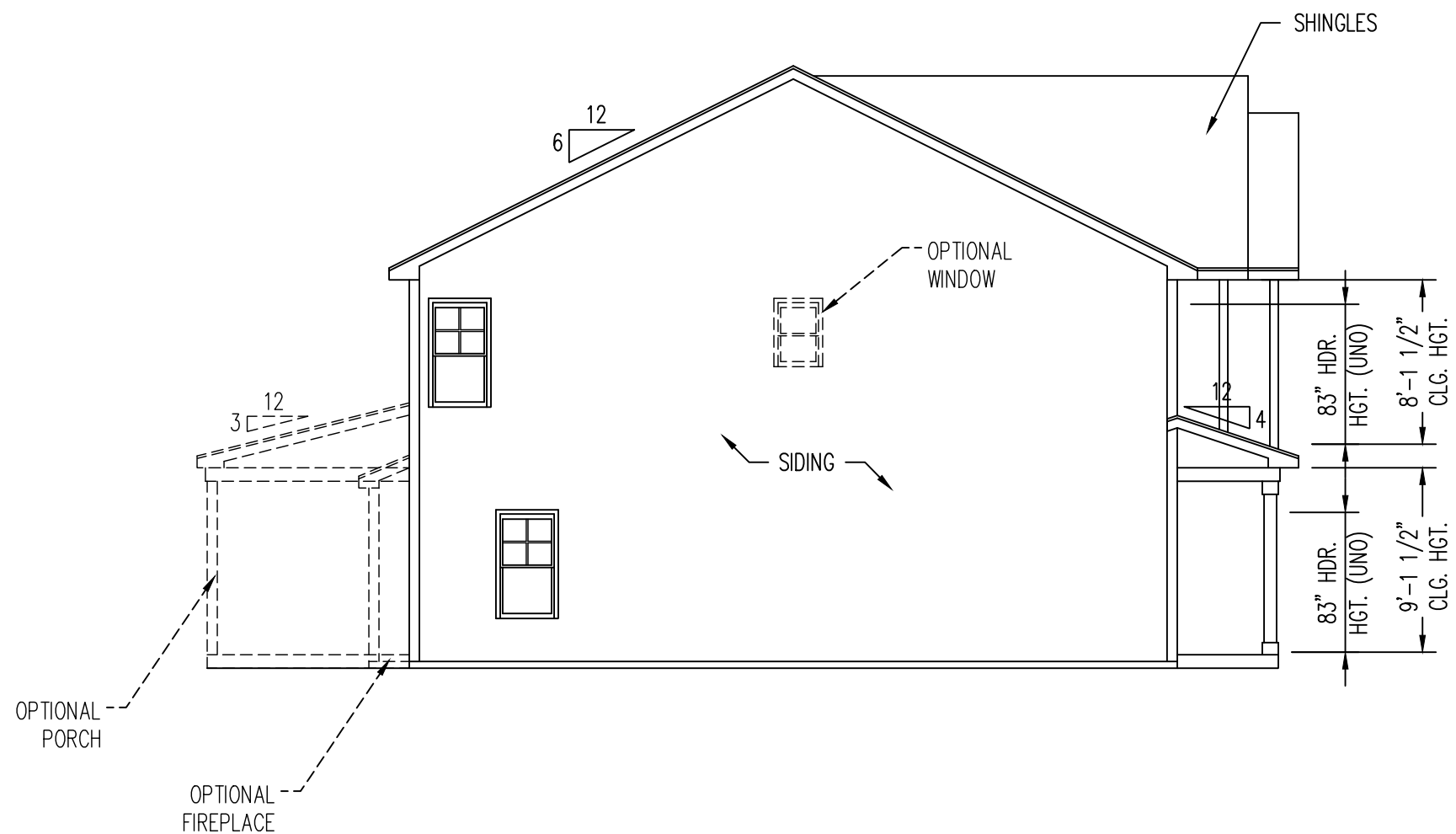
REVIEWED BY: MGS

B ELEVATIONS

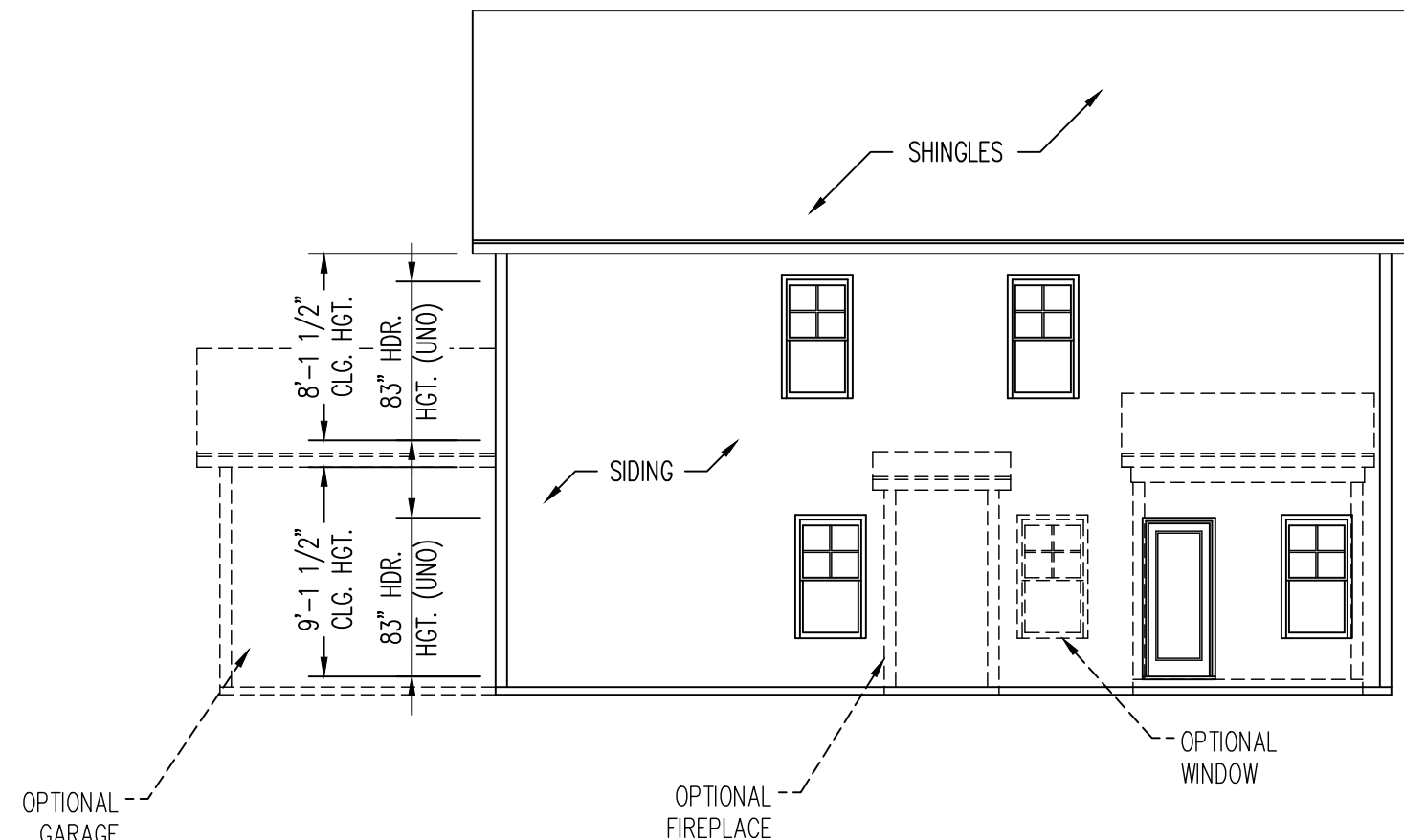
A-2



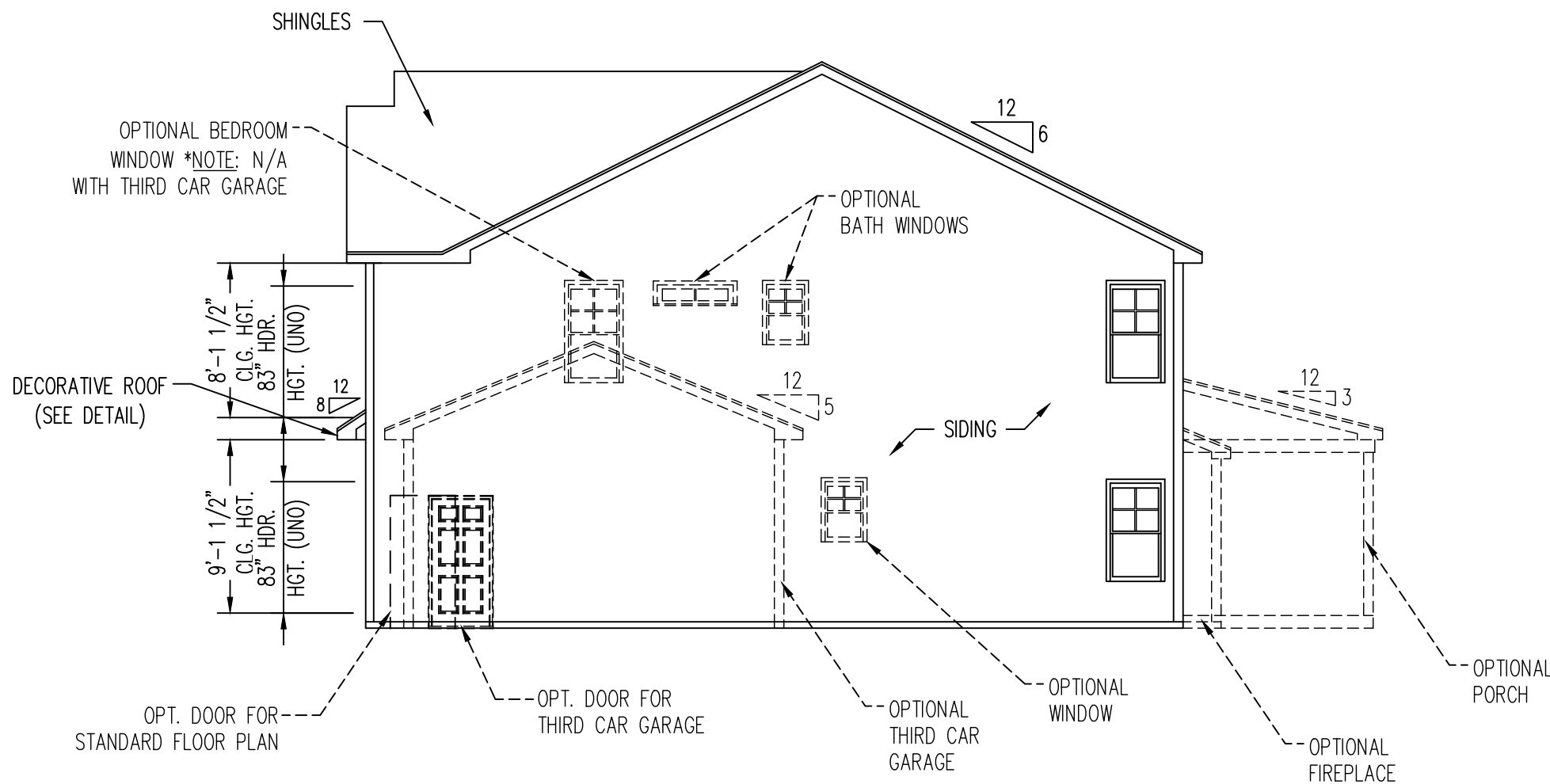
FRONT ELEVATION-B
SCALE: 1/4" = 1'-0"



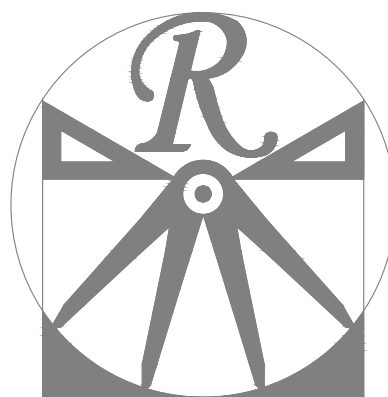
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



RENAISSANCE
RESIDENTIAL DESIGN, INC.
WILMINGTON, NC 28401
(919) 649-4128
WWW.RRD-CAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC.
RESERVES THE RIGHT TO MAKE
MODIFICATIONS TO FLOOR PLANS,
DIMENSIONS, MATERIALS, AND
SPECIFICATIONS WITHOUT NOTICE.
THESE DRAWINGS ARE FOR THE
PURPOSE OF CONVEYING AN
ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC.
HEREBY EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT
TO BE REPRODUCED, CHANGED, OR
COPIED IN ANY FORM OR MANNER
WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN CONSENT OF RENAISSANCE
RESIDENTIAL DESIGN, INC. NOR ARE
THEY TO BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING SAID
WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
331 E. SIX FORKS RD. SUITE 150
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733



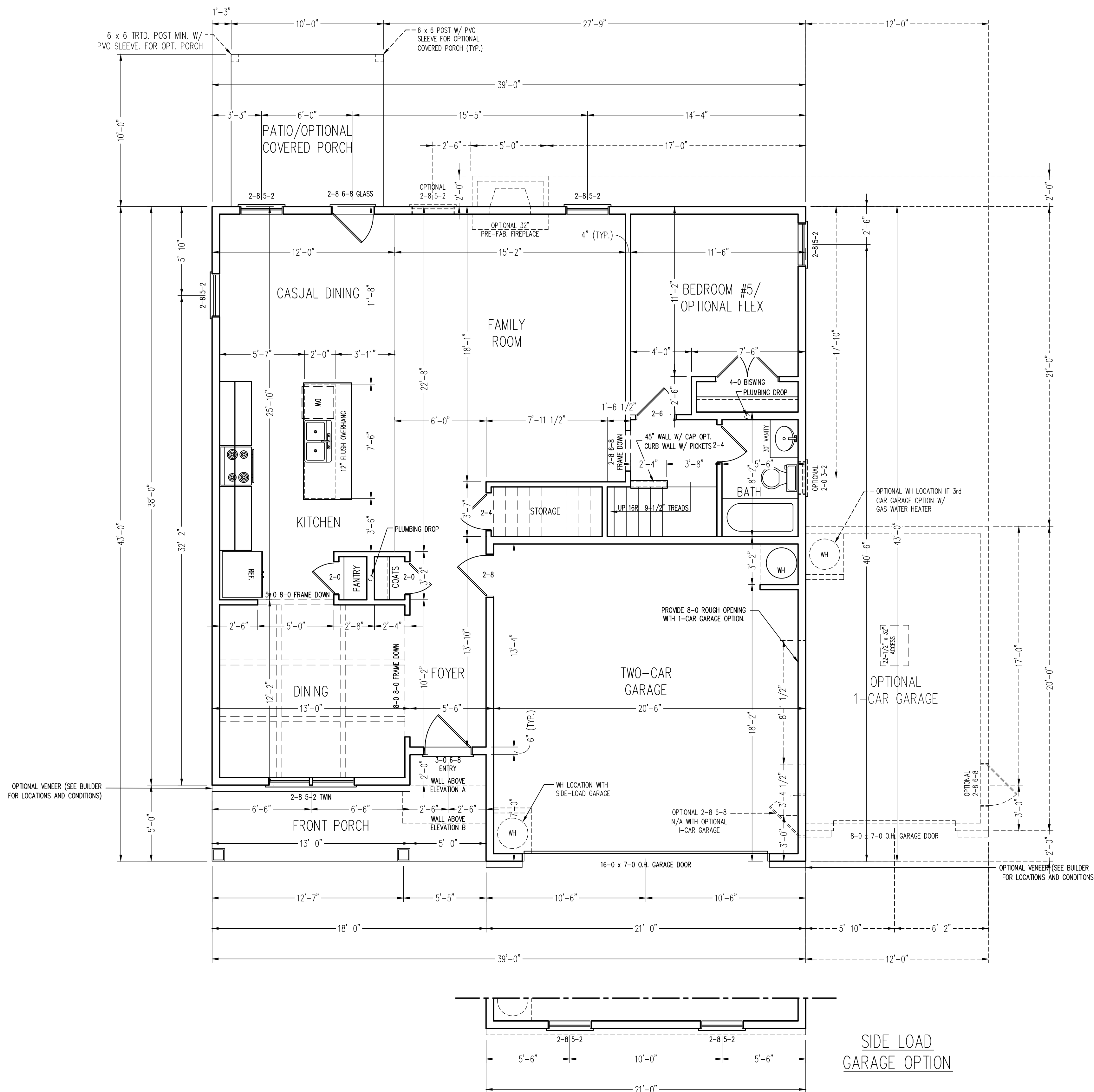
PRICES, PROMOTIONS, INCENTIVES, FEES, OPTIONS,
FLOOR PLANS, ELEVATIONS, DESIGN, MATERIALS AND
DIMENSIONS ARE ESTIMATED AND MAY VARY IN
ACTUAL CONSTRUCTION. ACTUAL POSITION OF
HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN
AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS
ARE FOR INFORMATION ONLY. FOR ANY USE,
REPRODUCTION, ADAPTATION OR DISPLAY OF THE PLANS IS
STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT
FOR CURRENT DETAILS. COPYRIGHT © 2024 XXXX

A&G RESIDENTIAL
SOPHIA

DATE: DECEMBER 15, 2024
REV.: 4-1-25
SCALE: 1/4"=1'-0"
DRAWN BY: WJG
ENGINEERED BY: WFB
REVIEWED BY: MGS

FIRST FLOOR
PLAN

A-3



FIRST FLOOR PLAN

SQUARE FOOTAGE ELEVATION A

1st FLOOR:	1146 SQ. FT.
2nd FLOOR:	1587 SQ. FT.
TOTAL:	2733 SQ. FT.
FRONT PORCH:	100 SQ. FT.
PATIO/ OPT. REAR PORCH:	100 SQ. FT.
GARAGE:	430 SQ. FT.
OPT. 1-CAR GARAGE:	240 SQ. FT.

SQUARE FOOTAGE ELEVATION B

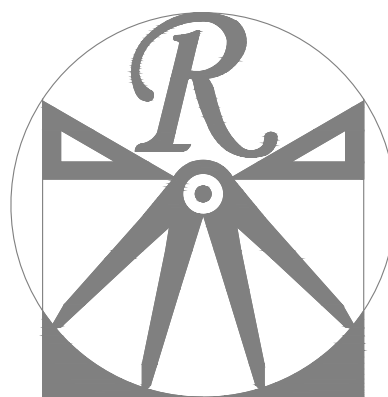
1st FLOOR:	1146 SQ. FT.
2nd FLOOR:	1601 SQ. FT.
TOTAL:	2747 SQ. FT.
FRONT PORCH:	100 SQ. FT.
PATIO/ OPT. REAR PORCH:	100 SQ. FT.
GARAGE:	430 SQ. FT.
OPT. 1-CAR GARAGE:	240 SQ. FT.

***NOTE:** ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 4 @ 16" O.C. MIN. (UNO). 2 x 6 @ 16" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 4 WALLS. ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

2x6 WALL
* SHADED WALLS ARE TO BE 2 x 6 @ 16" O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C. (NON-LOAD BEARING) REGARDLESS OF EXTERIOR WALL CONDITION

SIDE LOAD
GARAGE OPTION

SIDE LOAD
GARAGE OPTION



RENAISSANCE
RESIDENTIAL DESIGN, INC.
WILMINGTON, NC 28401
(919) 649-4128
WWW.RRD-CAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC.
RESERVES THE RIGHT TO MAKE
MODIFICATIONS TO FLOOR PLANS,
DIMENSIONS, MATERIALS, AND
SPECIFICATIONS WITHOUT NOTICE.
THESE DRAWINGS ARE FOR THE
PURPOSE OF CONVEYING AN
ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC.
HEREBY EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT
TO BE REPRODUCED, CHANGED, OR
COPIED IN ANY FORM OR MANNER
WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN CONSENT OF RENAISSANCE
RESIDENTIAL DESIGN, INC. NOR ARE
THEY TO BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING SAID
WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
331 E. SIX FORKS RD. SUITE 150
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS,
FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND
FINISHES ARE SUBJECT TO CHANGE WITHOUT NOTICE.
SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND
MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF
HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN
AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS
ARE NOT TO BE USED FOR ANY OTHER PURPOSES.
REPRODUCTION, ADAPTATION OR DISPLAY OF THE PLANS IS
STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT
FOR CURRENT DETAILS. COPYRIGHT ©2024 XXXX

A&G RESIDENTIAL
SOPHIA

DATE: DECEMBER 15, 2024

REV.: 4-1-25

SCALE: 1/4"=1'-0"

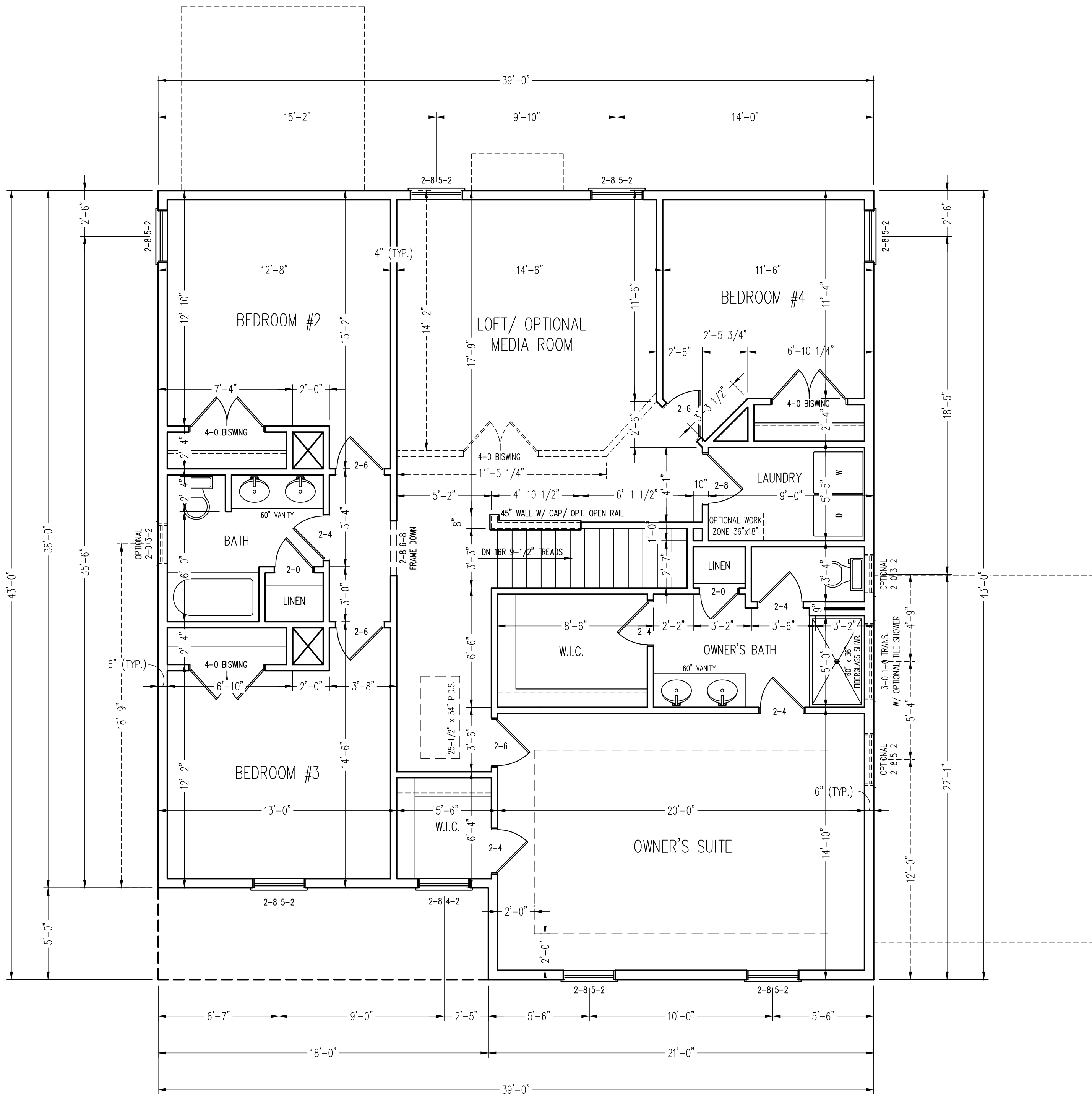
DRAWN BY: WFG

ENGINEERED BY: WFB

REVIEWED BY: MGS

SECOND FLOOR
PLAN
ELEVATION A

A-4

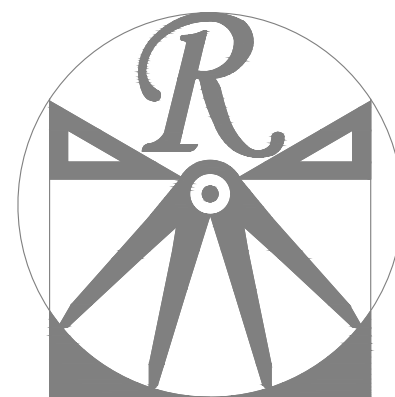


SECOND FLOOR PLAN
ELEVATION A

*NOTE: ALL EXTERIOR WALLS AND ATTIC
WALLS ARE TO BE 2 x 4 @ 16" O.C. MIN.
(UNO). 2 x 6 @ 16" O.C. EXTERIOR WALLS
MAY BE CONSTRUCTED IN LIEU OF 2 x 4
WALLS. ALL INTERIOR LOAD BEARING WALLS
ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND
NON-LOAD BEARING INTERIOR WALLS ARE
TO BE 2 x 4 @ 24" O.C. (UNO).

2x6 WALL

* SHADED WALLS ARE TO BE 2 x 6 @ 16"
O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C.
(NON-LOAD BEARING) REGARDLESS OF
EXTERIOR WALL CONDITION

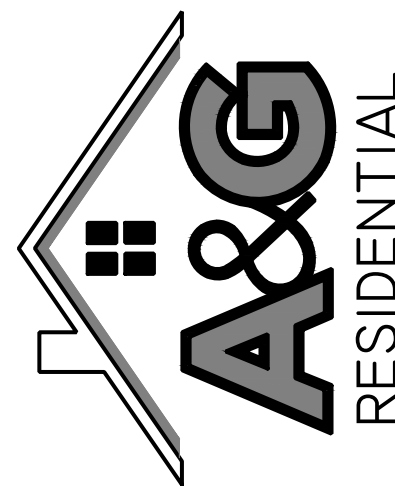


RENAISSANCE
RESIDENTIAL DESIGN, INC.
WILMINGTON, NC 28401
(919) 649-4128
WWW.RRDCAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC.
RESERVES THE RIGHT TO MAKE
MODIFICATIONS TO FLOOR PLANS,
DIMENSIONS, MATERIALS, AND
SPECIFICATIONS WITHOUT NOTICE.
THESE DRAWINGS ARE FOR THE
PURPOSE OF CONVEYING AN
ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC.
HEREBY EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT
TO BE REPRODUCED, CHANGED, OR
COPIED IN ANY FORM OR MANNER
WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN CONSENT OF RENAISSANCE
RESIDENTIAL DESIGN, INC. NOR ARE
THEY TO BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING SAID
WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
331 E. SIX FORKS RD. SUITE 150
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS,
FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND
FINISHES, SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND
MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF
HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN
AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS
ARE NOT TO BE USED FOR ANY PURPOSES OTHER THAN THE
REPRODUCTION, ADAPTATION OR DISPLAY OF THE PLANS IS
STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT
FOR CURRENT DETAILS. COPYRIGHT ©2024 XXXX

A&G RESIDENTIAL
SOPHIA

DATE: DECEMBER 15, 2024

REV.: 4-1-25

SCALE: 1/4"=1'-0"

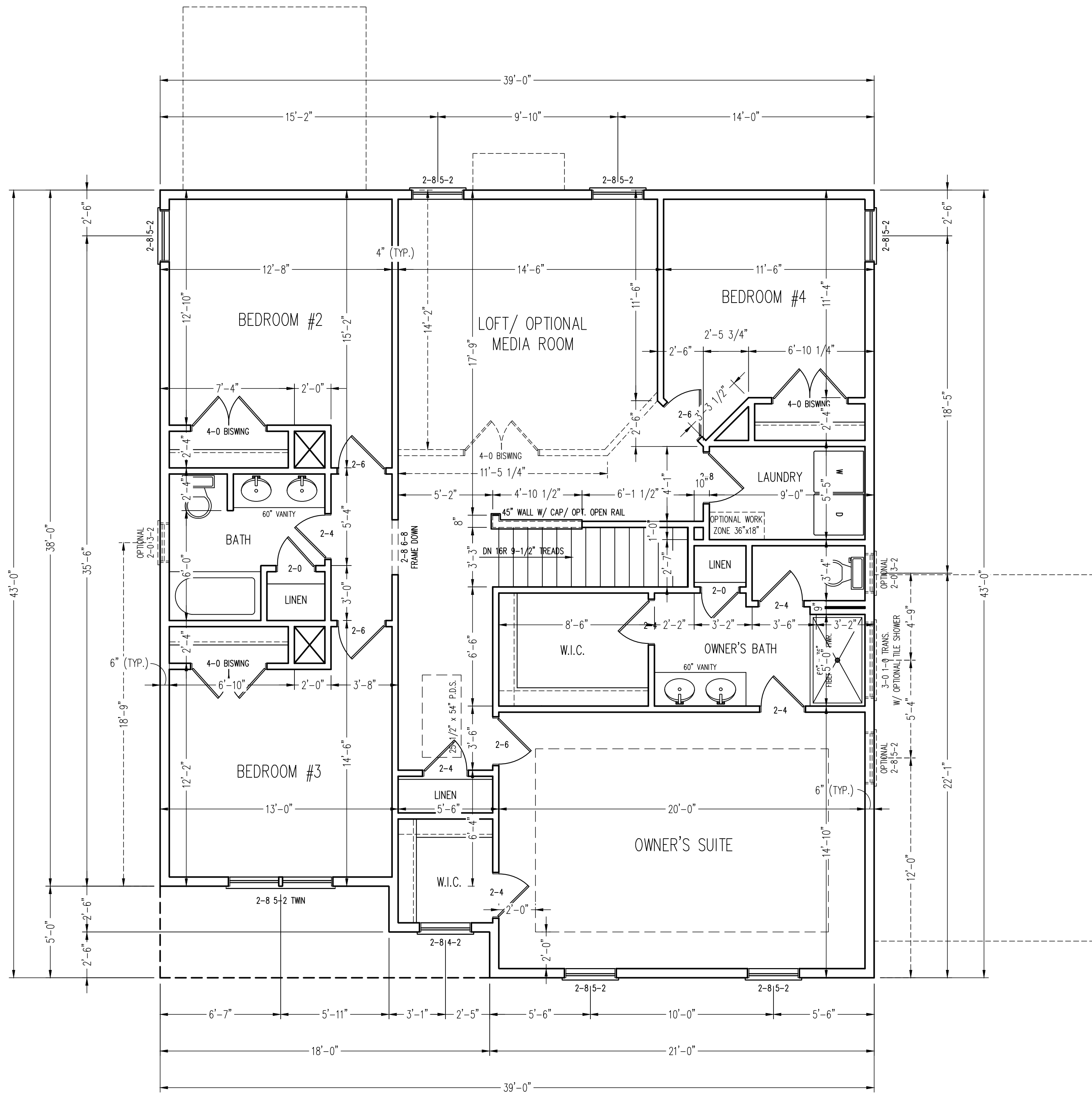
DRAWN BY: WFG

ENGINEERED BY: WFB

REVIEWED BY: MGS

SECOND FLOOR
PLAN
ELEVATION B

A-4.1

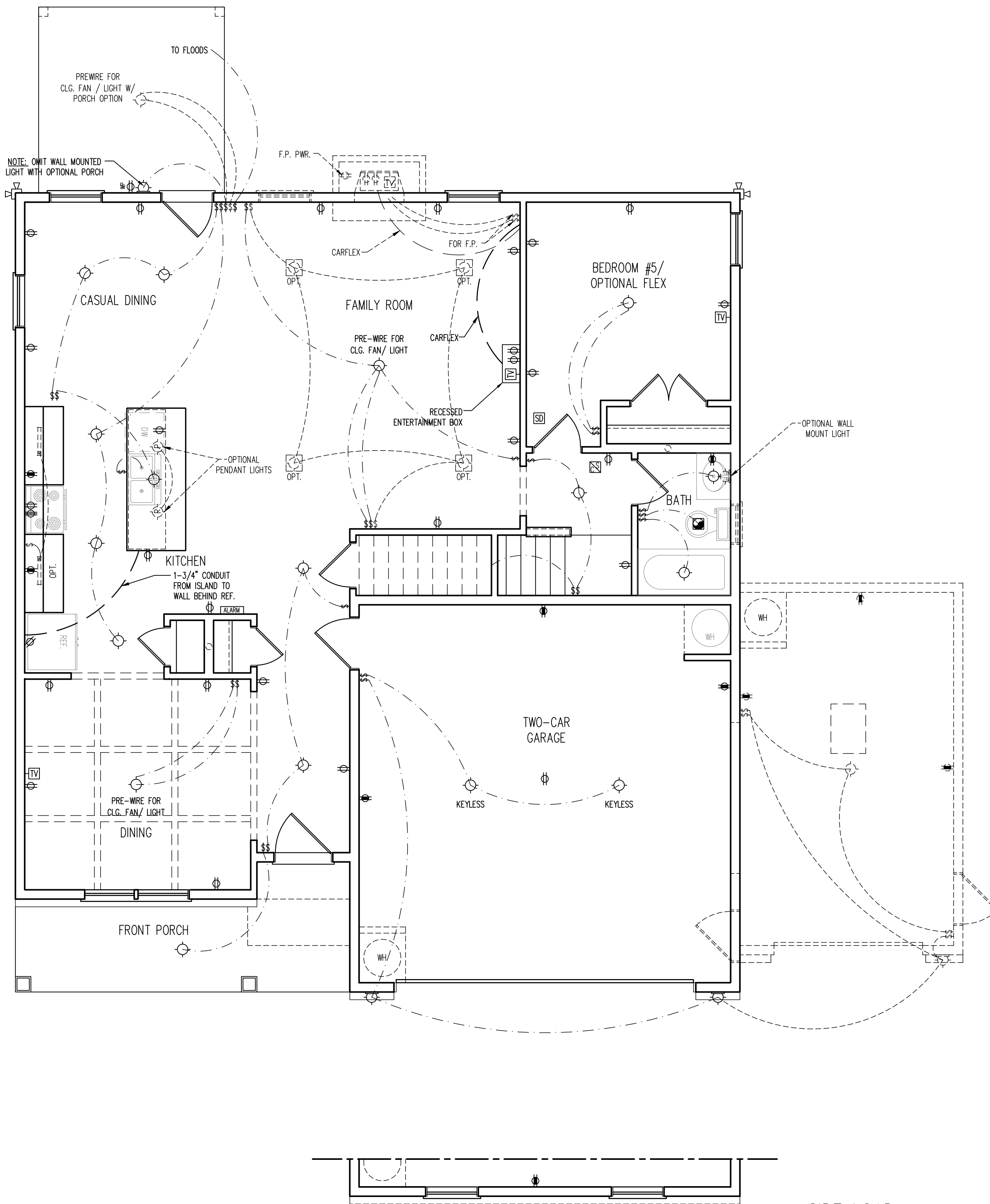


SECOND FLOOR PLAN
ELEVATION B

*NOTE: ALL EXTERIOR WALLS AND ATTIC
WALLS ARE TO BE 2 x 4 @ 16" O.C. MIN.
(UNO). 2 x 6 @ 16" O.C. EXTERIOR WALLS
MAY BE CONSTRUCTED IN LIEU OF 2 x 4
WALLS. ALL INTERIOR LOAD BEARING WALLS
ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND
NON-LOAD BEARING INTERIOR WALLS ARE
TO BE 2 x 4 @ 24" O.C. (UNO).

2x6 WALL

* SHADED WALLS ARE TO BE 2 x 6 @ 16"
O.C. (LOAD BEARING) OR 2 x 6 @ 24" O.C.
(NON-LOAD BEARING) REGARDLESS OF
EXTERIOR WALL CONDITION



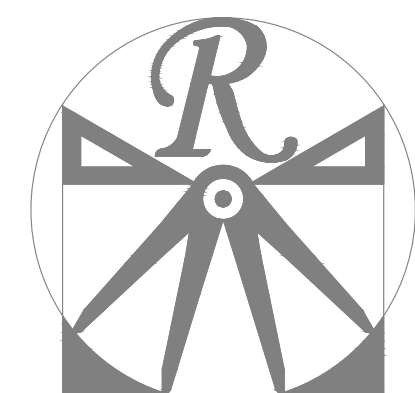
FIRST FLOOR
ELECTRICAL PLAN

- ELECTRICAL LAYOUT NOTES:
- 1.) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN.
 - 2.) VANITY LIGHTS TO BE SET @ 90" A.F.F. (TYP.)
 - 3.) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
 - 4.) PLACE SWITCHES 8" (MIN.) FROM ROUGH OPENINGS.

- ELECTRICAL LEGEND
- 110 V OUTLET
 - 110 V GF OUTLET
 - 110 V SWITCHED OUTLET
 - 110 V BASEBOARD OUTLET
 - 4-PLEX
 - COUNTER OR FLOOR MOUNTED
 - COUNTER OR FLOOR MOUNTED 110V GF
 - WEATHERPROOF
 - 220 V OUTLET
 - 110 V DEDICATED CIRCUIT
 - 220 V DEDICATED CIRCUIT
 - SPECIAL PURPOSE (240 V, ETC.)
 - WALL MOUNT LIGHT
 - CEILING MOUNT LIGHT
 - PENDANT LIGHT
 - RECESSED CAN LIGHT
 - MINI CAN LIGHT
 - EYEBALL LIGHT
 - FLUORESCENT LIGHT
 - UNDERCABINET LIGHT
 - FLOOD LIGHT
 - SWITCH
 - TELEPHONE
 - DATA
 - TELEPHONE AND DATA
 - TV CONNECTION
 - TV/ DATA
 - CONDUIT FOR COMPONENT WIRING
 - SPEAKER
 - 110 V SMOKE/ CM DETECTOR
 - 110 V SMOKE DETECTOR
 - EXHAUST FAN
 - LOW VOLTAGE PANEL
 - ALARM PANEL
 - CEILING FAN
 - CEILING FAN W/ LIGHT

SIDE LOAD
GARAGE OPTION

SIDE LOAD
GARAGE OPTION



RENAISSANCE
RESIDENTIAL DESIGN, INC.
WILMINGTON, NC 28401
(919) 649-4128
WWW.RRDCAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC.
HEREBY EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT
TO BE REPRODUCED, CHANGED, OR
COPIED IN ANY FORM OR MANNER
WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN CONSENT OF RENAISSANCE
RESIDENTIAL DESIGN, INC. NOR ARE
THEY TO BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING SAID
WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
331 E. SIX FORKS RD. SUITE 160
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733



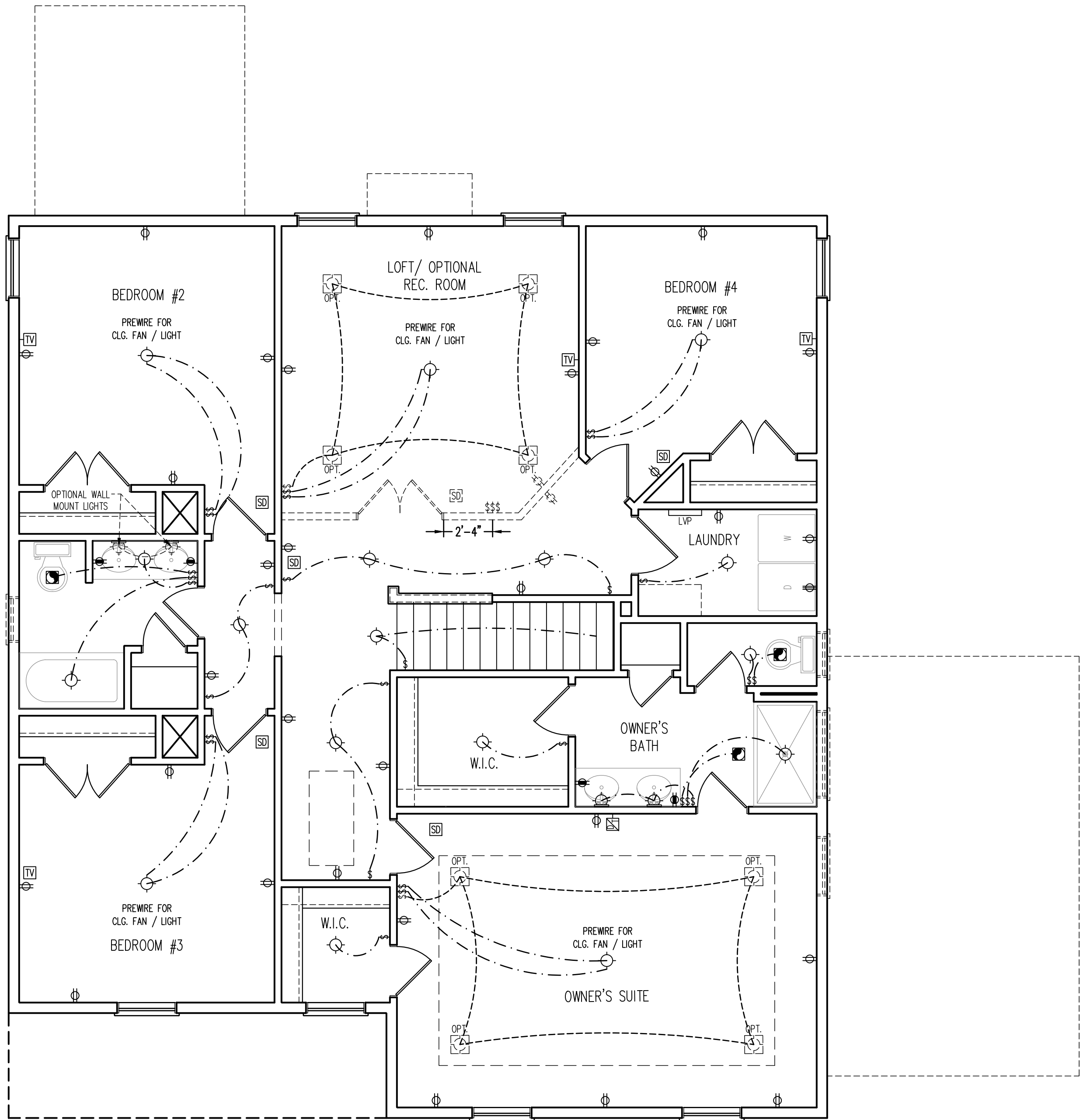
PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS,
FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND
FINISHES, SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND
MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF
HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN
AND FLOOR PLANS. FLOOR PLANS AND ELEVATION RENDERINGS
ARE NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE
EXPRESS WRITTEN PERMISSION OF A&G RESIDENTIAL.
REPRODUCTION, ADAPTATION OR DISPLAY OF THE PLANS IS
STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT
FOR CURRENT DETAILS. COPYRIGHT © 2024 XXXX

A&G RESIDENTIAL
SOPHIA

DATE: DECEMBER 15, 2024
REV.: 4-1-25
SCALE: 1/4"=1'-0"
DRAWN BY: WJG
ENGINEERED BY: WFB
REVIEWED BY: MGS

FIRST FLOOR
ELECTRICAL
PLAN

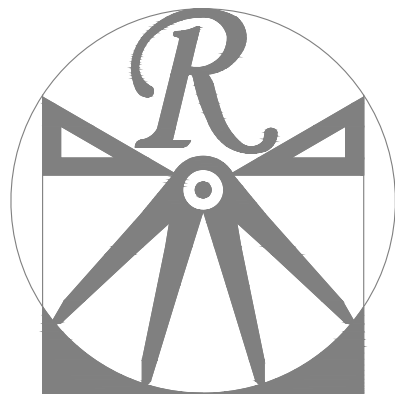
E-1



SECOND FLOOR ELECTRICAL
PLAN ELEVATION A

- ELECTRICAL LAYOUT NOTES:
- 1.) BLOCK AND WIRE FOR ALL CEILING FANS PER PLAN.
 - 2.) VANITY LIGHTS TO BE SET @ 90" A.F.F. (TYP.)
 - 3.) ADDITIONAL EXTERIOR OUTLETS REQUIRED BY CODE TO BE LOCATED BY ELECTRICIAN.
 - 4.) PLACE SWITCHES 8" (MIN.) FROM ROUGH OPENINGS.

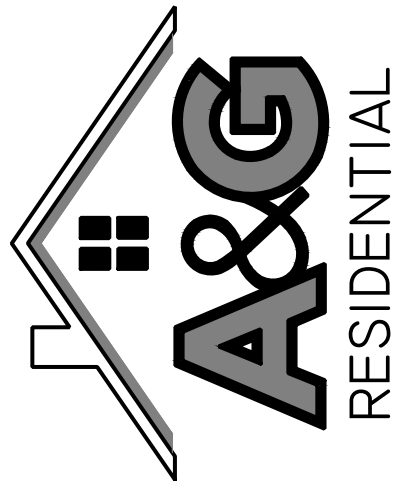
- ELECTRICAL LEGEND
- 110 V OUTLET
 - 110 V GF OUTLET
 - 110 V SWITCHED OUTLET
 - 110 V BASEBOARD OUTLET
 - 4-PLEX
 - COUNTER OR FLOOR MOUNTED
 - COUNTER OR FLOOR MOUNTED 110V GF
 - WEATHERPROOF
 - 220 V OUTLET
 - 110 V DEDICATED CIRCUIT
 - 220 V DEDICATED CIRCUIT
 - SPECIAL PURPOSE (240 V, ETC.)
 - WALL MOUNT LIGHT
 - CEILING MOUNT LIGHT
 - PENDANT LIGHT
 - RECESSED CAN LIGHT
 - MINI CAN LIGHT
 - EYEBALL LIGHT
 - FLUORESCENT LIGHT
 - UNDERCABINET LIGHT
 - FLOOD LIGHT
 - SWITCH
 - TELEPHONE
 - DATA
 - TELEPHONE AND DATA
 - TV CONNECTION
 - TV/ DATA
 - CONDUIT FOR COMPONENT WRING
 - SPEAKER
 - 110 V SMOKE/ CM DETECTOR
 - 110 V SMOKE DETECTOR
 - EXHAUST FAN
 - LOW VOLTAGE PANEL
 - ALARM PANEL
 - CEILING FAN
 - CEILING FAN W/ LIGHT



RENAISSANCE
RESIDENTIAL DESIGN, INC.
WILMINGTON, NC 28401
(919) 649-4128
WWW.RRD-CAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC.
HEREBY EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT
TO BE REPRODUCED, CHANGED, OR
COPIED IN ANY FORM OR MANNER
WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN CONSENT OF RENAISSANCE
RESIDENTIAL DESIGN, INC. NOR ARE
THEY TO BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING SAID
WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
331 E. SIX FORKS RD. SUITE 150
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733



PRICES, PROMOTIONS, INCENTIVES, FEES, OPTIONS,
FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND
FINISHES, AND ALL OTHERS ARE ESTIMATED AND
MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF
HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN
AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS
AND PLOT PLANS ARE FOR INFORMATION ONLY. ANY
REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS
STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT
FOR CURRENT DETAILS. COPYRIGHT © 2024 XXXX

A&G RESIDENTIAL
SOPHIA

DATE: DECEMBER 15, 2024

REV.: 4-1-25

SCALE: 1/4"=1'-0"

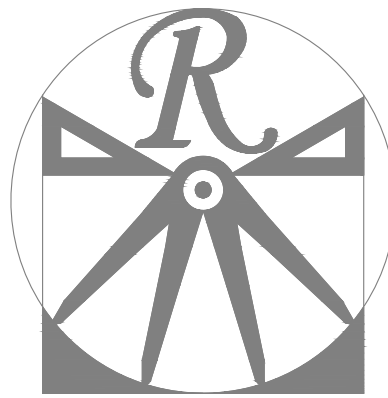
DRAWN BY: WFG

ENGINEERED BY: WFB

REVIEWED BY: MGS

SECOND FLOOR
ELECTRICAL PLAN
ELEVATION A

E-2



RENAISSANCE
RESIDENTIAL DESIGN, INC.
WILMINGTON, NC 28401
(919) 649-4128
WWW.RRDCAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC.
RESERVES THE RIGHT TO MAKE
MODIFICATIONS TO FLOOR PLANS,
DIMENSIONS, MATERIALS, AND
SPECIFICATIONS WITHOUT NOTICE.
THESE DRAWINGS ARE FOR THE
PURPOSE OF CONVEYING AN
ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC.
HEREBY EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT
TO BE REPRODUCED, CHANGED, OR
COPIED IN ANY FORM OR MANNER
WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN CONSENT OF RENAISSANCE
RESIDENTIAL DESIGN, INC. NOR ARE
THEY TO BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING SAID
WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
331 E. SIX FORKS RD, SUITE 150
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733



PRICES, PROMOTIONS, INCENTIVES, FEES, OPTIONS,
FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND
FINISHES, AND DIMENSIONS ARE ESTIMATED AND
MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF
HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN
AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS
ARE FOR INFORMATION ONLY. FOR ANY USE,
REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS
STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT
FOR CURRENT DETAILS. COPYRIGHT © 2024 XXXX

A&G RESIDENTIAL
SOPHIA

DATE: DECEMBER 15, 2024

REV.: 4-1-25

SCALE: 1/4"=1'-0"

DRAWN BY: WFG

ENGINEERED BY: WFB

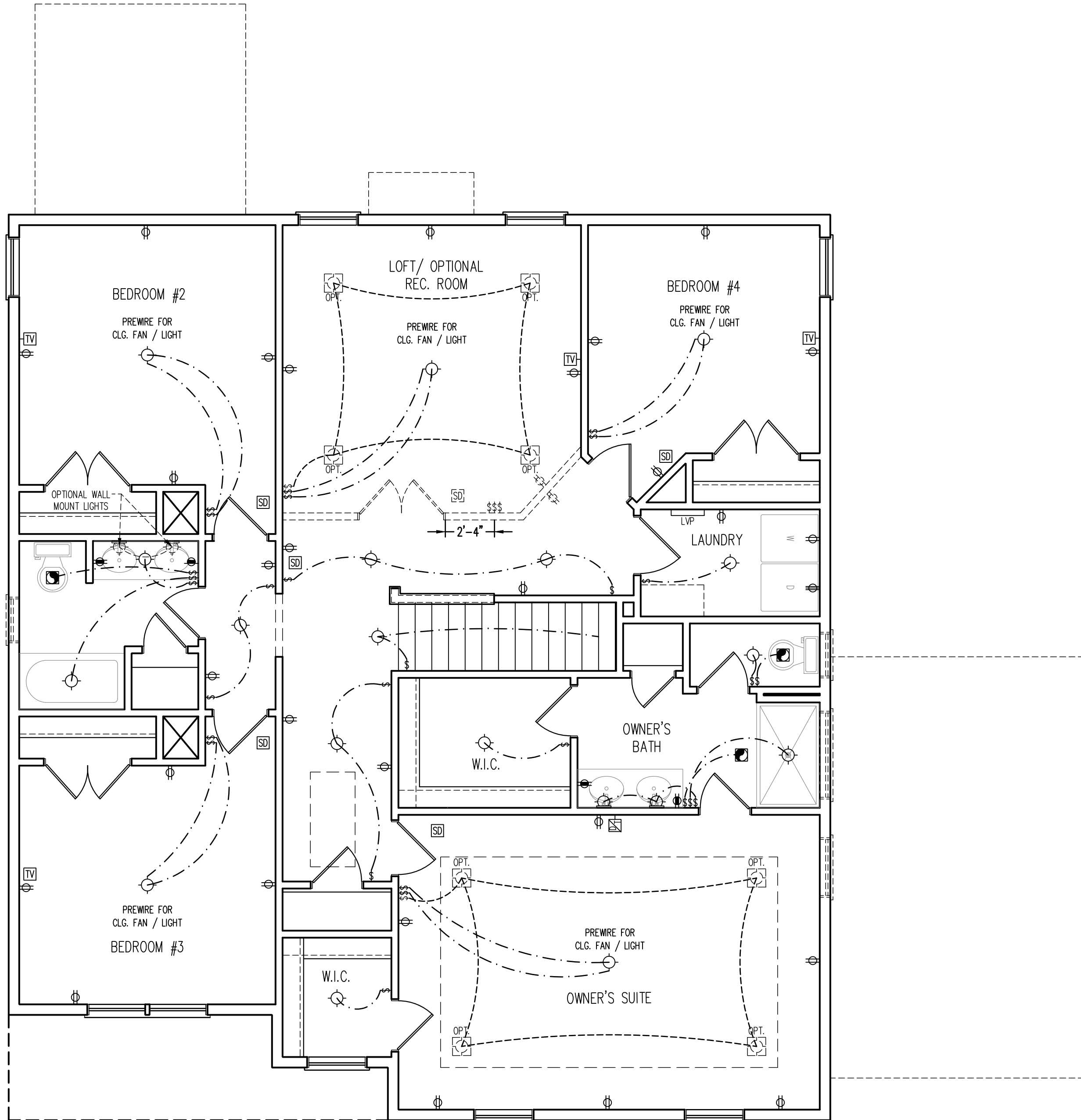
REVIEWED BY: MGS

SECOND FLOOR
ELECTRICAL PLAN
ELEVATION B

E-2.1

- ELECTRICAL LAYOUT NOTES:
- 1.) BLOCK AND WIRE FOR ALL
CEILING FANS PER PLAN.
 - 2.) VANITY LIGHTS TO BE SET
@ 90" A.F.F. (TYP.)
 - 3.) ADDITIONAL EXTERIOR OUTLETS
REQUIRED BY CODE TO BE
LOCATED BY ELECTRICIAN.
 - 4.) PLACE SWITCHES 8" (MIN.) FROM
ROUGH OPENINGS.

- ELECTRICAL LEGEND
- 110 V OUTLET
 - 110 V GFI OUTLET
 - 110 V SWITCHED OUTLET
 - 110 V BASEBOARD OUTLET
 - 4-PLEX
 - COUNTER OR FLOOR MOUNTED
 - COUNTER OR FLOOR MOUNTED 110V GFI
 - WEATHERPROOF
 - 220 V OUTLET
 - 110 V DEDICATED CIRCUIT
 - 220 V DEDICATED CIRCUIT
 - SPECIAL PURPOSE (240 V, ETC.)
 - WALL MOUNT LIGHT
 - CEILING MOUNT LIGHT
 - PENDANT LIGHT
 - RECESSED CAN LIGHT
 - MINI CAN LIGHT
 - EYEBALL LIGHT
 - FLUORESCENT LIGHT
 - UNDERCABINET LIGHT
 - FLOOD LIGHT
 - SWITCH
 - TELEPHONE
 - DATA
 - TELEPHONE AND DATA
 - TV CONNECTION
 - TV / DATA
 - CONDUIT FOR COMPONENT WIRING
 - SPEAKER
 - 110 V SMOKE / CM DETECTOR
 - 110 V SMOKE DETECTOR
 - EXHAUST FAN
 - LOW VOLTAGE PANEL
 - ALARM PANEL
 - CEILING FAN
 - CEILING FAN W/ LIGHT



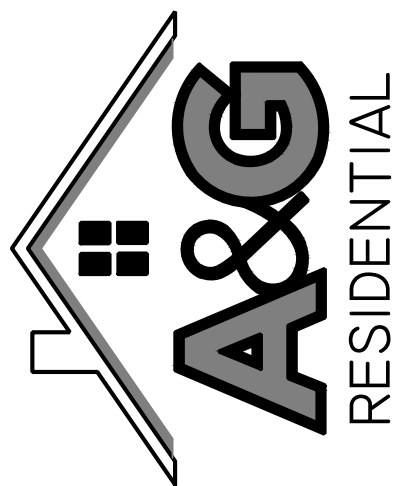
SECOND FLOOR ELECTRICAL
PLAN ELEVATION B

WWW.RRDCAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC.
RESERVES THE RIGHT TO MAKE
MODIFICATIONS TO FLOOR PLANS,
DIMENSIONS, MATERIALS, AND
SPECIFICATIONS WITHOUT NOTICE.
THESE DRAWINGS ARE FOR THE
PURPOSE OF CONVEYING AN
ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC.
HEREBY EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT
TO BE REPRODUCED, CHANGED, OR
COPIED IN ANY FORM OR MANNER
WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN CONSENT OF RENAISSANCE
RESIDENTIAL DESIGN, INC. NOR ARE
THEY TO BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING SAID
WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
333 E. SIX FORKS RD. SUITE 180
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733



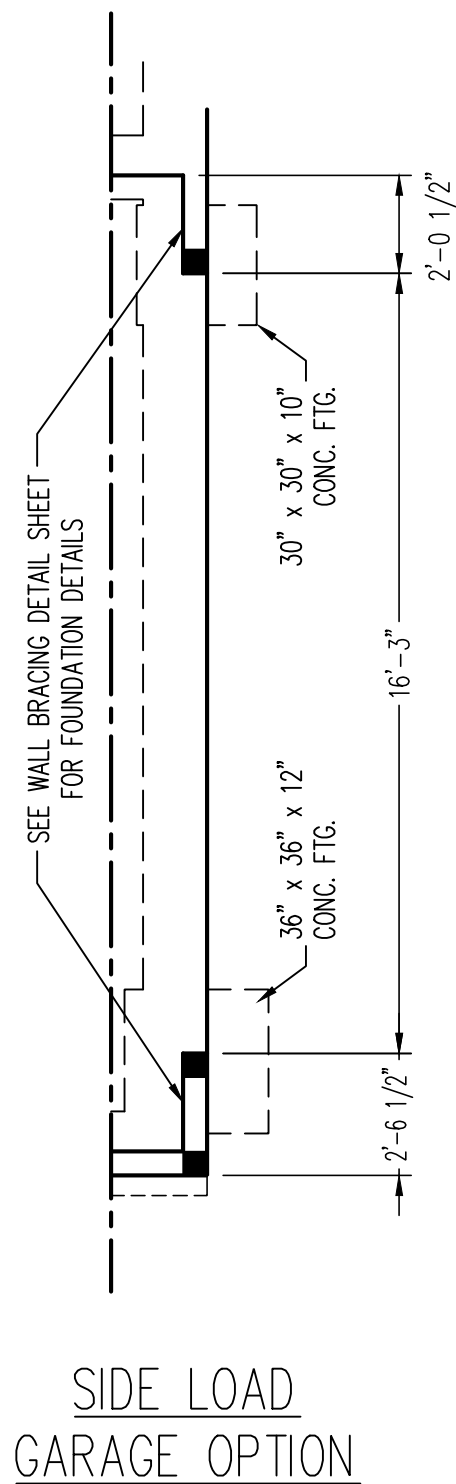
PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, AND FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND WILL VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. D PLOT PLAN, FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF XXXXXX. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. © 2024 XXXXXX

A&G RESIDENTIAL
SOPHIA

REVIEWED BY: MGS

MONO SLAB
FOUNDATION
PLAN

S-1



SLAB FOUNDATION PLAN

120 MPH ULTIMATE DESIGN WIND SPEED
NOTES FOR LESS THAN
30' MEAN ROOF HEIGHT:

1. ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS; ENGINEER'S SEAL DOES NOT CERTIFY DISCREPANCY, OMISSION, OR ARCHITECTURAL VIOLATION INCLUDING ROOF OR ARCHITECTURAL VIOLATION.
2. STRUCTURAL DESIGN FOR NORTH CAROLINA RESIDENTIAL CODE, 2024 EDITION.
3. INSTALL 1/2" ANCHOR BOLTS 6'-0" O.C. AND 12" MIN. END DISTANCE FROM CORNER.
4. ANCHOR BOLTS MUST EXCEED A MINIMUM OF 7" INTO MASONRY OR CONCRETE. LOCATE BOLT WITH MIDDLE THIRD OF PLATE WIDTH.
5. EXTERIOR WALLS SHALL BE LESS THAN 30 FEET.
6. EXTERIOR WALLS DESIGNED FOR 120 MPH WINDS.
7. ROOF AND WALL GLADDING DESIGNED FOR WIND PRESSURES PER TABLE R301.2(1) OF THE 2024 NRC.
8. INSTALL 7/16" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STOREYS IN ACCORDANCE WITH SECTION R602.10 OF THE NRC, 2024 EDITION. SEE SECTION 11 FOR WALL BRACING NOTES AND DETAILS SHEET.
9. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NRC, 2024 EDITION.
10. SEE SECTION 11 OF THE NRC, 2024 EDITION FOR ADDITIONAL STRUCTURAL INFORMATION.

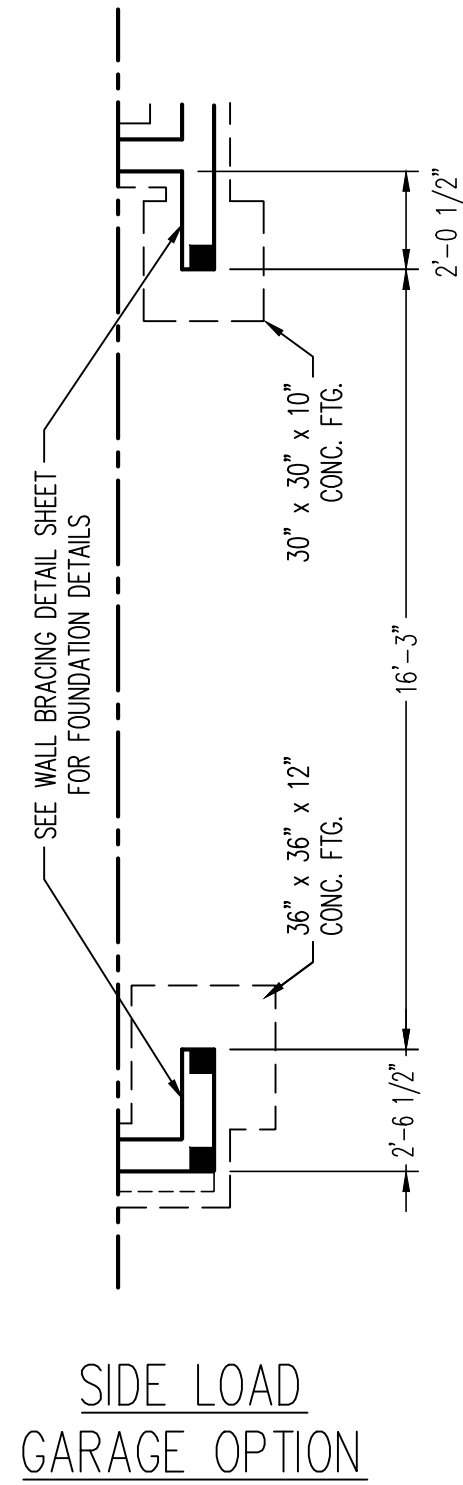
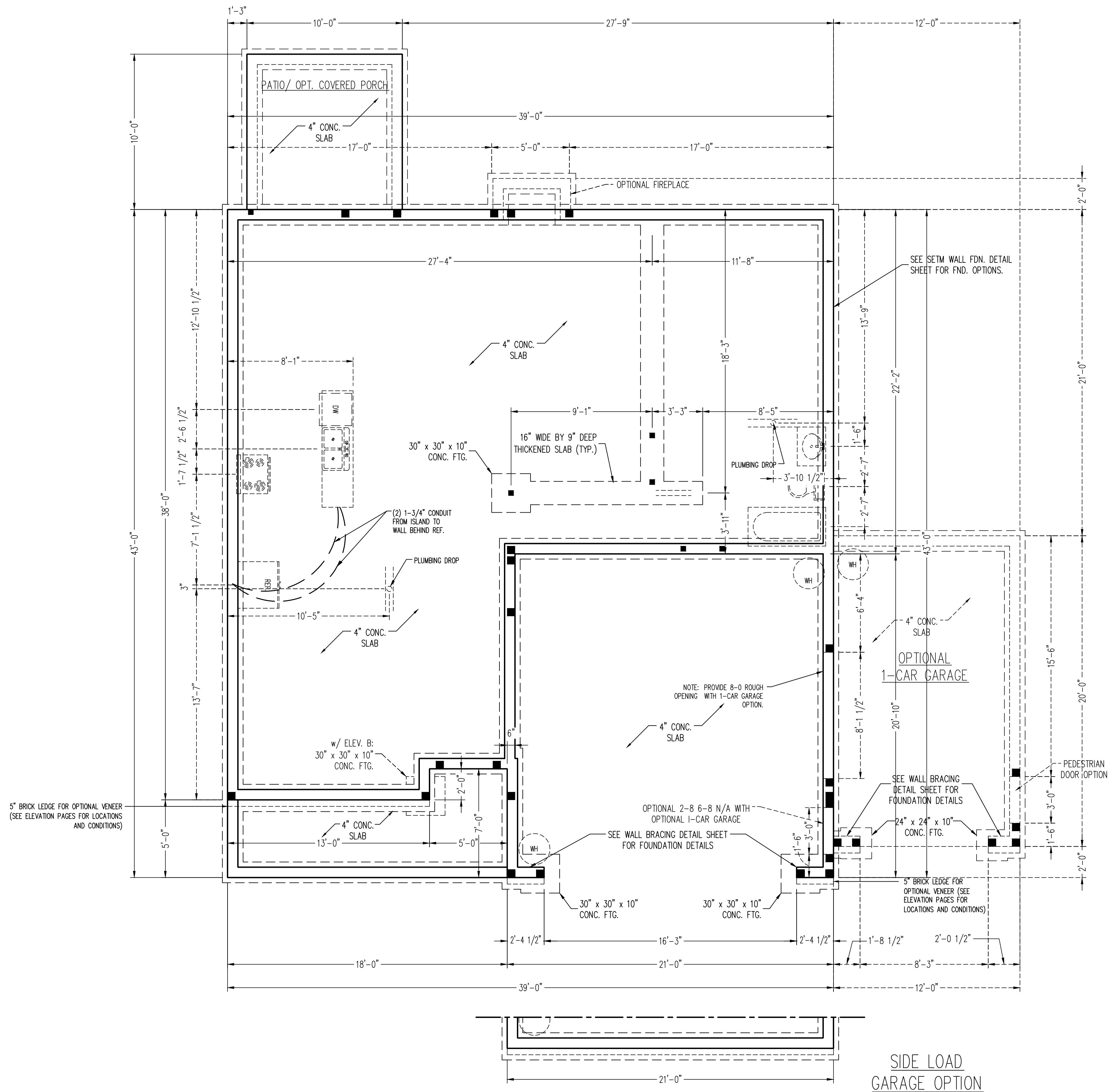
130 MPH ULTIMATE DESIGN WIND SPEED
NOTES FOR LESS THAN 30' MEAN ROO
HEIGHT:

1. ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL QUALITY OF THE ROOF.
2. STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2024 EDITION.
3. INSTALL 1/2" ANCHOR BOLTS 4'-0" O.C. AND 1'-0" END TO END. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 15" INTO MASONRY OR 7" INTO CONCRETE. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
4. MEAN ROOF RISE IS LESS THAN 30 FEET.
5. ROOF SHALL BE DESIGNED FOR UNIFORM DEAD, ROOF AND WALL CLADDING DESIGNED FOR WIND PRESSURES PER TABLE R301.2(1) OF THE 2024 NRC.
6. 7.16.7.1761" OVER SHEATHING ON ALL EXTERIOR WALLS OF STOREY IN ACCORDANCE WITH SECTION R602.10 OF THE NRC, 2024 EDITION. SEE THE WALL BRACING NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
7. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NRC, 2024 EDITION.
8. ROOF AND WALL CLADDING SHALL BE DESIGNED FOR ADDITIONAL STRUCTURAL INFORMATION.

LEGEND	
CONT	CONTINUOUS
XJ	EXTRA JOIST
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
EA	EACH
FDM	FOUNDATION
FTG	FOOTING
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYP	SOUTHERN YELLOW PINE
TRTD	PRESSURE TREATED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE



4/22/2025

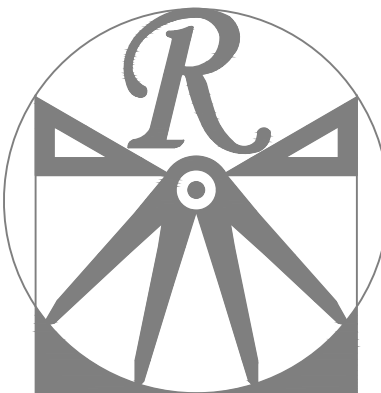


STEM WALL FOUNDATION PLAN

- 120 MPH ULTIMATE DESIGN WIND SPEED
NOTES FOR LESS THAN
30' MEAN ROOF HEIGHT:
- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
 - STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2024 EDITION.
 - INSTALL 1/2" ANCHOR BOLTS 6'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 7" INTO MASONRY OR CONCRETE. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
 - MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
 - EXTERIOR WALLS DESIGNED FOR 120 MPH WINDS.
 - ROOF AND WALL CLADDING DESIGNED FOR WIND PRESSURES PER TABLE R301.2.1(1) OF THE 2024 NRC.
 - INSTALL 7/16" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORES IN ACCORDANCE WITH SECTION R602.10 OF THE NRC, 2024 EDITION. SEE THE WALL BRACING NOTES AND DETAILS SHEET FOR MORE INFORMATION.
 - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NRC, 2024 EDITION.
 - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

- 130 MPH ULTIMATE DESIGN WIND SPEED
NOTES FOR LESS THAN 30' MEAN ROOF
HEIGHT:
- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM.
 - STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2024 EDITION.
 - INSTALL 1/2" ANCHOR BOLTS 4'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH CORNER. ANCHOR BOLTS MUST EXTEND A MINIMUM OF 15" INTO MASONRY OR 7" INTO CONCRETE. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
 - MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
 - EXTERIOR WALLS DESIGNED FOR 130 MPH WINDS.
 - ROOF AND WALL CLADDING DESIGNED FOR WIND PRESSURES PER TABLE R301.2.1(1) OF THE 2024 NRC.
 - INSTALL 7/16" OSB SHEATHING ON ALL EXTERIOR WALLS OF ALL STORES IN ACCORDANCE WITH SECTION R602.10 OF THE NRC, 2024 EDITION. SEE THE WALL BRACING NOTES AND DETAILS SHEET FOR MORE INFORMATION.
 - ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NRC, 2024 EDITION.
 - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

LEGEND	
CONT	CONTINUOUS
XJ	EXTRA JOIST
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
EA	EACH
FDN	FOUNDATION
FTG	FOOTING
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYP	SOUTHERN YELLOW PINE
TRTD	PRESSURE TREATED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

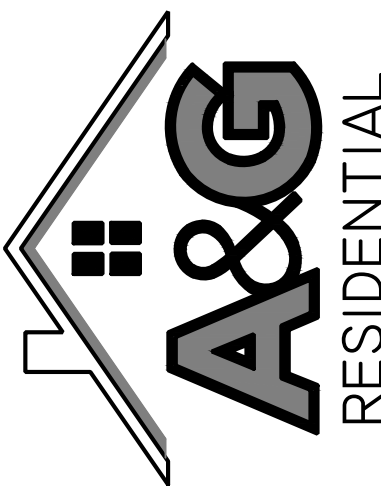


RENAISSANCE
RESIDENTIAL DESIGN, INC.
WILMINGTON, NC 28401
(919) 648-4128
WWW.RRDCAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC.
RESERVES THE RIGHT TO MAKE
MODIFICATIONS TO FLOOR PLANS,
DIMENSIONS, MATERIALS, AND
SPECIFICATIONS WITHOUT NOTICE.
THESE DRAWINGS ARE FOR THE
PURPOSE OF CONVEYING AN
ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC.
HEREBY EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT
TO BE REPRODUCED, CHANGED, OR
COPIED IN ANY FORM OR MANNER
WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN CONSENT OF RENAISSANCE
RESIDENTIAL DESIGN, INC. NOR ARE
THEY TO BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING SAID
WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
331 E. SIX FORKS RD. SUITE 150
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS,
FLOOR PLANS, ELEVATIONS, DESIGN, MATERIALS AND
FINISHES, ARE SUBJECT TO CHANGE WITHOUT NOTICE.
SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND
MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF
HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN
AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS
ARE NOT TO BE USED FOR ANY OTHER PURPOSES, SUCH AS
REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS
STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT
FOR CURRENT DETAILS. COPYRIGHT ©2024 XXXXX

A&G RESIDENTIAL
SOPHIA

DATE: DECEMBER 15, 2024
REV.: 4-1-25
SCALE: 1/4"=1'-0"
DRAWN BY: WG
ENGINEERED BY: WFB
REVIEWED BY: MGS

STEMWALL SLAB
FOUNDATION
PLAN

S-1

WWW.RRDCAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC.
RESERVES THE RIGHT TO MAKE
MODIFICATIONS TO FLOOR PLANS,
DIMENSIONS, MATERIALS, AND
SPECIFICATIONS WITHOUT NOTICE.
THESE DRAWINGS ARE FOR THE
PURPOSE OF CONVEYING AN
ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC.
HEREBY EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT
TO BE REPRODUCED, CHANGED, OR
COPIED IN ANY FORM OR MANNER
WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN CONSENT OF RENAISSANCE
RESIDENTIAL DESIGN, INC. NOR ARE
THEY TO BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING SAID
WRITTEN PERMISSION AND CONSENT.

PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF ANY LOT ON LOT WILL BE DETERMINED BY THE SITE PLAN. FLOOR PLAN, FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF XXXXXX, ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT ©2024 XXXXXX

DATE: DECEMBER 15, 2024

REV.: 4-1-25

SCALE: 1/4"=1'-0"

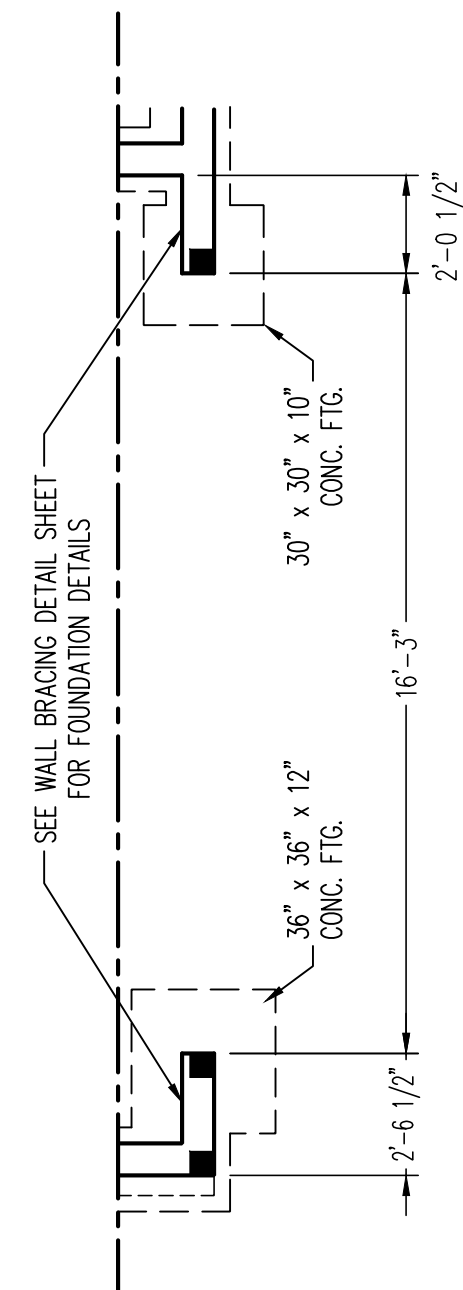
DRAWN BY: WG

ENGINEERED BY: WFB

REVIEWED BY: MGS

CRAWL
FOUNDATION
PLAN

S-1



SIDE LOAD
GARAGE OPTION

FLOOR SYSTEM DESIGNED FOR
JOISTS TO SPAN CONTINUOUS
WITHOUT SPLICES ON GIRDERS.
CONSULT ENGINEER IF SEPARATE
SPANS w/ SPLICES ON GIRDERS
WILL BE DESIGNATED BY SUPPLIER

NOTE: BCI 5000s-1.8 JOISTS
MAY BE INSTALLED IN LIEU OF
TJI 210 JOISTS AT THE DEPTH
AND SPACING INDICATED ON
THE PLAN

120 MPH ULTIMATE DESIGN WIND SPEED
NOTES FOR LESS THAN
30' MEAN ROOF HEIGHT:

1. ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL QUALITY OF THE ROOF SYSTEM.
2. STRUCTURAL DESIGN PER NORTH CAROLINA RESIDENTIAL CODE, 2024 EDITION.
3. INSTALL 1/2" ANCHOR BOLTS 6"-0" O.C. AND 12" MAX. SPACING AT ALL CORNERS.
4. ANCHOR BOLTS MUST EXCEED A MINIMUM OF 7" INTO MASONRY OR CONCRETE. LOCATE BOLT WITHIN MINOR THIRD OF PLATE WIDTH.
5. FLASHING IS LESS THAN 30 FEET.
6. EXTERIOR WALLS DESIGNED FOR 120 MPH WIND.
7. ROOF AND WALL GLAZING DESIGNED FOR WIND PRESSURES PER TABLE R301.2.1(1) OF THE 2024 IBC.
8. INSTALL 7/16" OS SHEETINGS ON ALL EXTERIOR WALLS OF ALL STORES IN ACCORDANCE WITH SECTION R602.10.2 OF THE IBC, 2024 EDITION. SEE THE WALL DRAWING NOTES AND DETAILS SHEET FOR CLARIFICATION.
9. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH THE 2024 IBC, 2024 EDITION.
10. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

130 MPH ULTIMATE DESIGN WIND SPEED
NOTES FOR LESS THAN 30' MEAN ROO
HEIGHT:

1. ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS: ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL QUALITY OF THE ROOF SYSTEM.
2. STRUCTURAL DESIGNATION FOR NORTH CAROLINA RESIDENTIAL CODE, 2024 EDITION.
3. INSTALL 1/2" ANCHOR BOLTS 4'-0" O.C. AND WITHIN 1'-0" FROM END OF EACH COURSE.
4. INSTALL 1/2" ANCHOR BOLTS 1'-0" ON CENTER OF 15" INT MASONRY OR 7" INTO CONCRETE. LOCATE BOLT WITHIN MIDDLE THIRD OF PLATE WIDTH.
5. MEAN ROOF HEIGHT IS LESS THAN 30 FEET.
6. ROOFING SHALL BE DESIGNED IN ACCORDANCE WITH ROOF AND WALL CLADDING DESIGNED FOR WIND PRESSURES PER TABLE R302.1(1) OF THE 2024 NRC.
7. INSTALL 7/16" OSB SHEETINGS ON ALL EXTERIOR WALLS OF ALL STORES IN ACCORDANCE WITH SECTION R602.10 OF THE NRC, 2024 EDITION. SEE THE WALL BRACING NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
8. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NRC, 2024 EDITION.
9. BUILDING SHALL BE DESIGNED FOR ADDITIONAL STRUCTURAL INFORMATION.

STRUCTURAL NOTES:

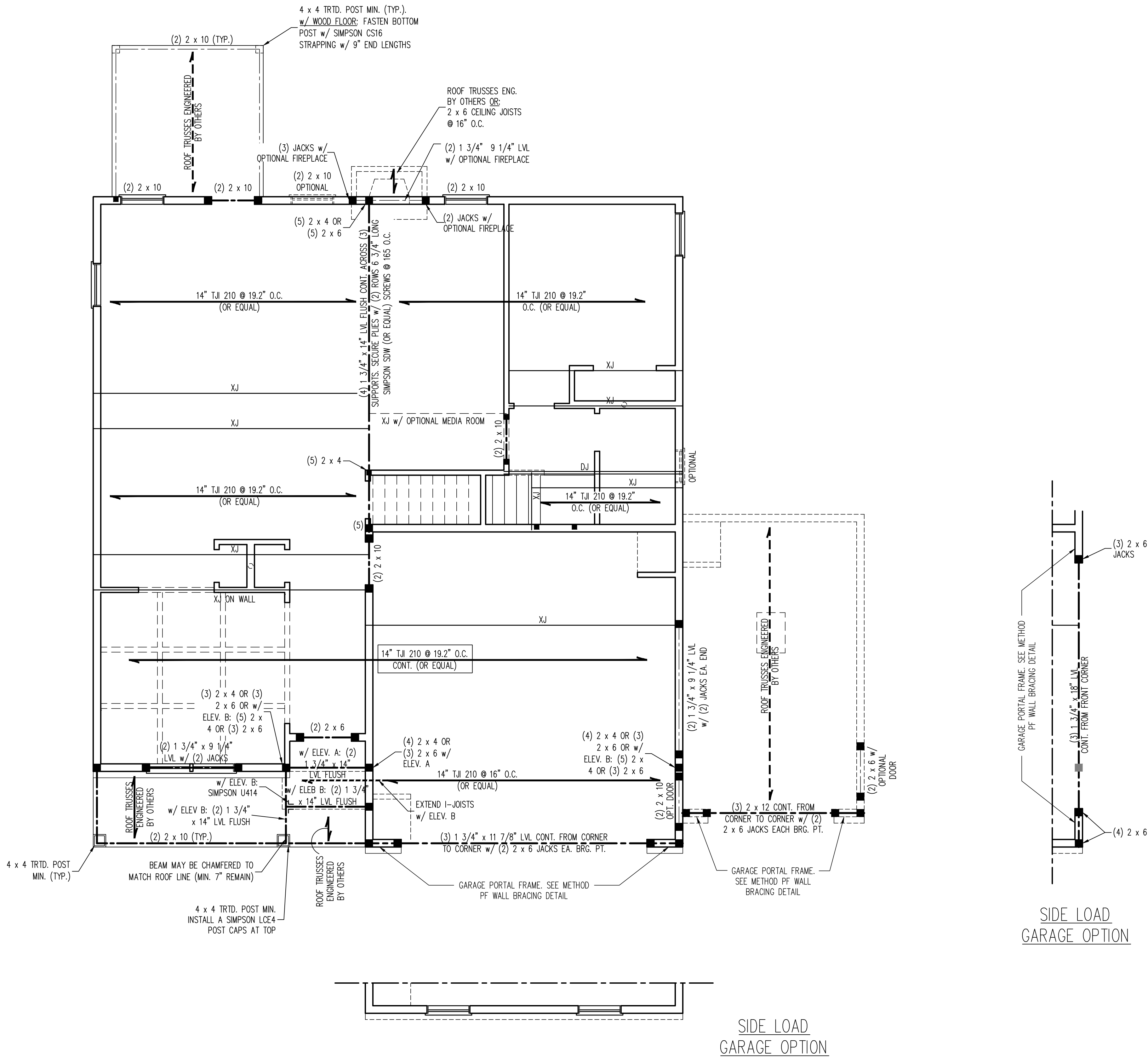
1. ALL FRAMING LUMBER TO BE #2 SPF (UNO). ALL TREATED LUMBER TO BE #2 SYP (UNO).
2. INSTALL AN EXTRA OR DOUBLE JOIST UNDER WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLANS.
3. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION.
4. SHADED PIER TO BE FILLED SOLID.
5. INSTALL LADDER WIRE @ 16" O.C. TO SECURE MULTIPLE WYTHE FOUNDATION WALLS TOGETHER.
6. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

LEGEND	
CONT	CONTINUOUS
XJ	EXTRA JOIST
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
EA	EACH
FDN	FOUNDATION
FTG	FOOTING
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYF	SOUTHERN YELLOW PINE
TRTD	PRESSURE TREATED
TPP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

4/22/2025



CRAWL SPACE FOUNDATION PLAN



- BRACED WALL DESIGN NOTES:
- WALL BRACING IS BY ENGINEERED DESIGN PER SECTION R301.1.3 "ENGINEERED DESIGN" OF THE NRC 2024 EDITION USING BRACING MATERIALS AND METHODS LISTED IN TABLE R602.10.4 ALONG WITH ALTERNATIVE MATERIALS AND METHODS THAT COMPLY WITH ACCEPTED ENGINEERING PRACTICE. BRACED WALL DESIGN IS NOT PRESCRIPTIVE.
 - SHEATH ALL EXTERIOR WALLS w/ 7/16" OSB TO PROVIDE CS-WSP WALL BRACING THAT WILL BRACE THE STRUCTURE FOR ALL LATERAL LOADS AS REQUIRED BY THE NRC 2024 EDITION.
 - CS-WSP REFERS TO "CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS." CONTRACTOR IS TO INSTALL 7/16" OSB ON ALL EXTERIOR WALLS WITH HORIZONTAL JOINTS BLOCKED. ATTACH SHEATHING w/ 8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.
 - GB REFERS TO "GYPSUM BOARD." CONTRACTOR IS TO INSTALL 1/2" (MIN.) GYPSUM BOARD ON BOTH SIDES OF WALL (UNO) WHERE NOTED ON THE PLANS ATTACHED WITH 1 1/4" LONG #6 SCREWS OR 1 5/8" LONG 5d COOLER NAILS SPACED 7" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM PLATES. WHERE METHOD GB PANELS ARE INSTALLED HORIZONTALLY, BLOCKING OF HORIZONTAL JOINTS IS NOT REQUIRED.
 - BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH. FOR HIGH WIND ZONES, BRACED WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NRC 2024 EDITION.
 - SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED WALL INFORMATION.

- STRUCTURAL NOTES:
- ALL FRAMING LUMBER TO BE SPF #2 (UNO). ALL TREATED LUMBER TO BE SYP #2 (UNO.)
 - ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 SPF #2 OR SYP #2 (KILN DRIED) (UNO). HEADERS HAVE BEEN DESIGNED BASED ON CALCULATED LOADS. CODE TABLES HAVE NOT BEEN USED.
 - PROVIDE EXTRA JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLANS.
 - WINDOW AND DOOR HEADERS TO BE SUPPORTED w/ (1) JACK STUD AND (1) KING STUD EA. END (UNO.). SEE TABLE R602.7.5 FOR ADDITIONAL KING STUD REQUIREMENTS.
 - SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO.)
 - ALL 4 x 4 POSTS SHALL BE ANCHORED TO SLABS w/ SIMPSON ABU44 POST BASES (OR EQUAL) AND 6 x 6 POSTS w/ ABU66 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO.).
 - FOR FIBERGLASS, ALUMINUM, OR COLUMN ENG. BY OTHERS, SECURE TO SLAB w/ (2) METAL ANGLES USING 2" CONC. SCREWS. FASTEN ANGLES TO COLUMNS w/ 1/4" THROUGH BOLTS w/ NUTS AND WASHERS. LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.
 - REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

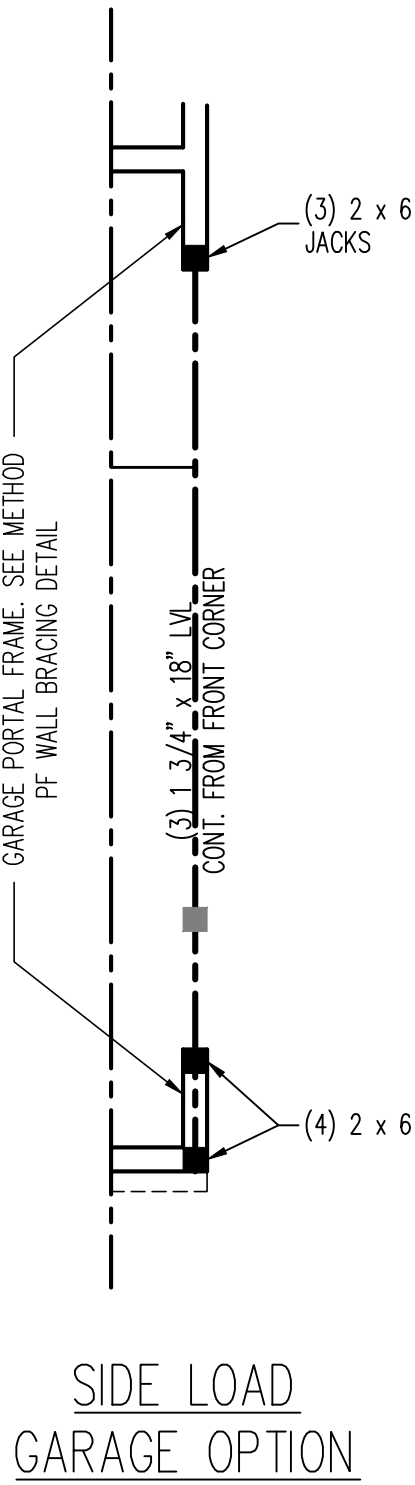
TABLE R602.7.5
MINIMUM NUMBER OF FULL HEIGHT KING STUDS
AT EACH END OF HEADERS IN EXTERIOR
WALLS IN 120/130 MPH WIND ZONES

HEADER SPAN (FEET)	MINIMUM NUMBER OF FULL HEIGHT STUDS (KINGS)
UP TO 4'	1
> 4' TO 8'	2
> 8' TO 14'	3
> 14' TO 18'	4

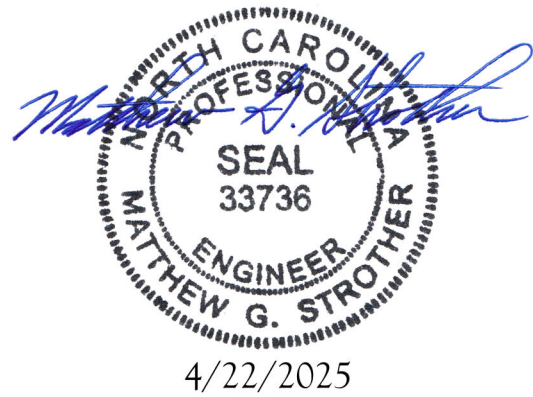
LEGEND	
CONT	CONTINUOUS
XT	EXTRA TRUSS
XJ	EXTRA JOIST
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
EA	EACH
()	NUMBER OF STUDS
DSP	DOUBLE STUD POCKET
TSP	TRIPLE STUD POCKET
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYP	SOUTHERN YELLOW PINE
TRTD	PRESSURE TREATED
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

- NOTE:
- BCI 5000s-1.8 JOISTS MAY BE INSTALLED IN LIEU OF TJ 210 JOISTS AT THE DEPTH AND SPACING INDICATED ON THE PLAN
 - SEE SHEET D-1 FOR FLOOR TRUSS ALTERNATIVE

*NOTE: ALL EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 4 @ 16" O.C. MIN. (UNO). 2 x 6 @ 24" O.C. EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 x 4 WALLS (UNO). ALL INTERIOR LOAD BEARING WALLS ARE TO BE 2 x 4 @ 16" O.C. (UNO) AND NON-LOAD BEARING INTERIOR WALLS ARE TO BE 2 x 4 @ 24" O.C. (UNO).

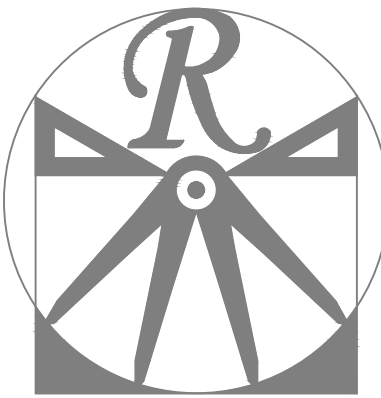


SIDE LOAD
GARAGE OPTION



4/22/2025

SECOND FLOOR FRAMING PLAN



RENAISSANCE
RESIDENTIAL DESIGN, INC.
WILMINGTON, NC 28401
(919) 648-4128
WWW.RRDCAROLINA.COM

"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC.
RESERVES THE RIGHT TO MAKE
MODIFICATIONS TO FLOOR PLANS,
DIMENSIONS, MATERIALS, AND
SPECIFICATIONS WITHOUT NOTICE.
THESE DRAWINGS ARE FOR THE
PURPOSE OF CONVEYING AN
ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC.
HEREBY EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT
TO BE REPRODUCED, CHANGED, OR
COPIED IN ANY FORM OR MANNER
WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN CONSENT OF RENAISSANCE
RESIDENTIAL DESIGN, INC. NOR ARE
THEY TO BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING SAID
WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
331 E. SIX FORKS RD, SUITE 150
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C1733



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS,
FLOOR PLANS, ELEVATIONS, DESIGN, MATERIALS AND
FINISHES, SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND
MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF
HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN
AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS
ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THE
COPYRIGHTED PROPERTY OF A&G RESIDENTIAL. ANY
REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS
STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT
FOR CURRENT DETAILS. COPYRIGHT ©2024 XXXX

A&G RESIDENTIAL
SOPHIA

DATE: DECEMBER 15, 2024

REV.: 4-1-25

SCALE: 1/4"=1'-0"

DRAWN BY: WG

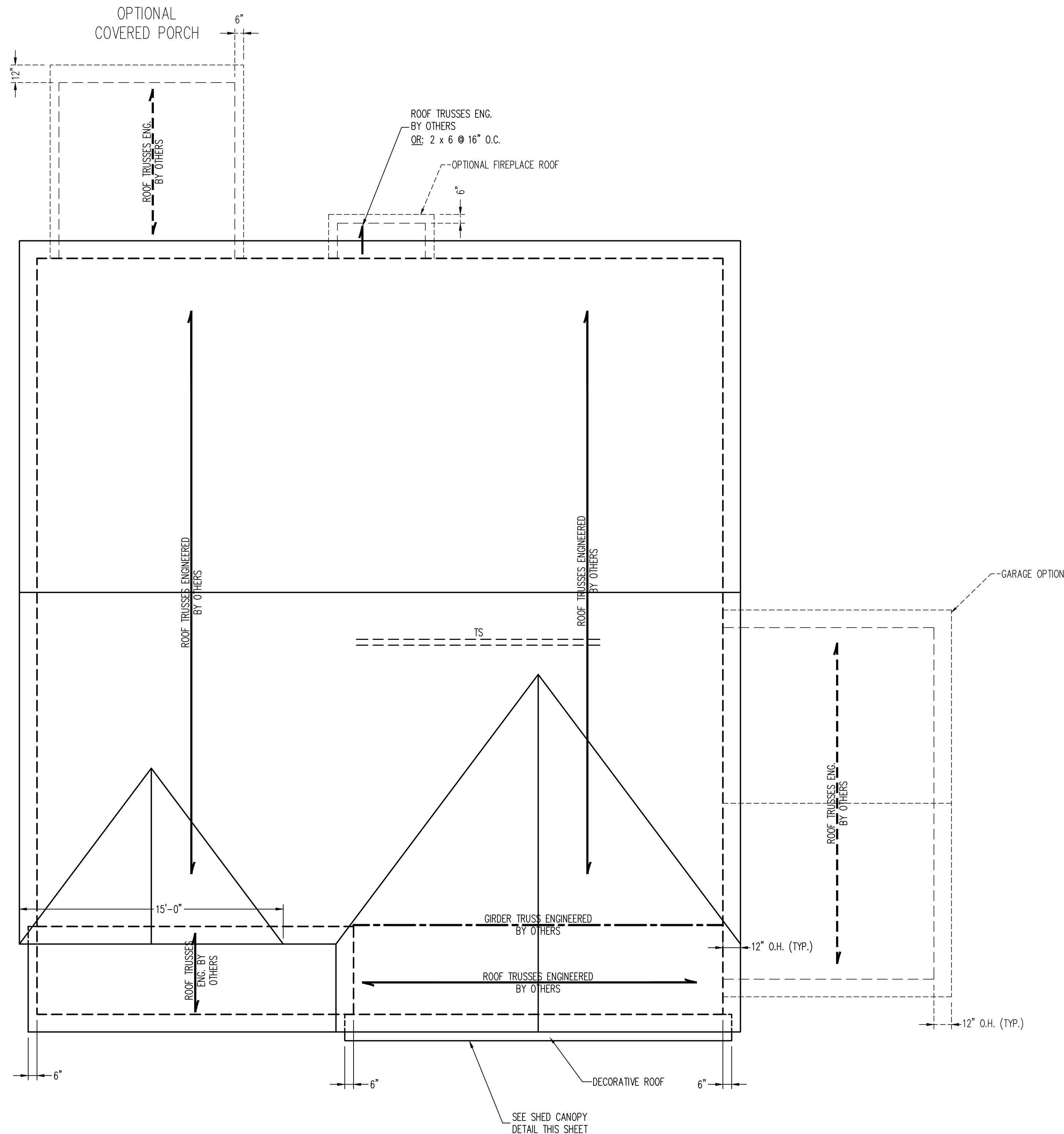
ENGINEERED BY: WFB

REVIEWED BY: MGS

SECOND FLOOR
FRAMING PLAN

S-2

S-3.1

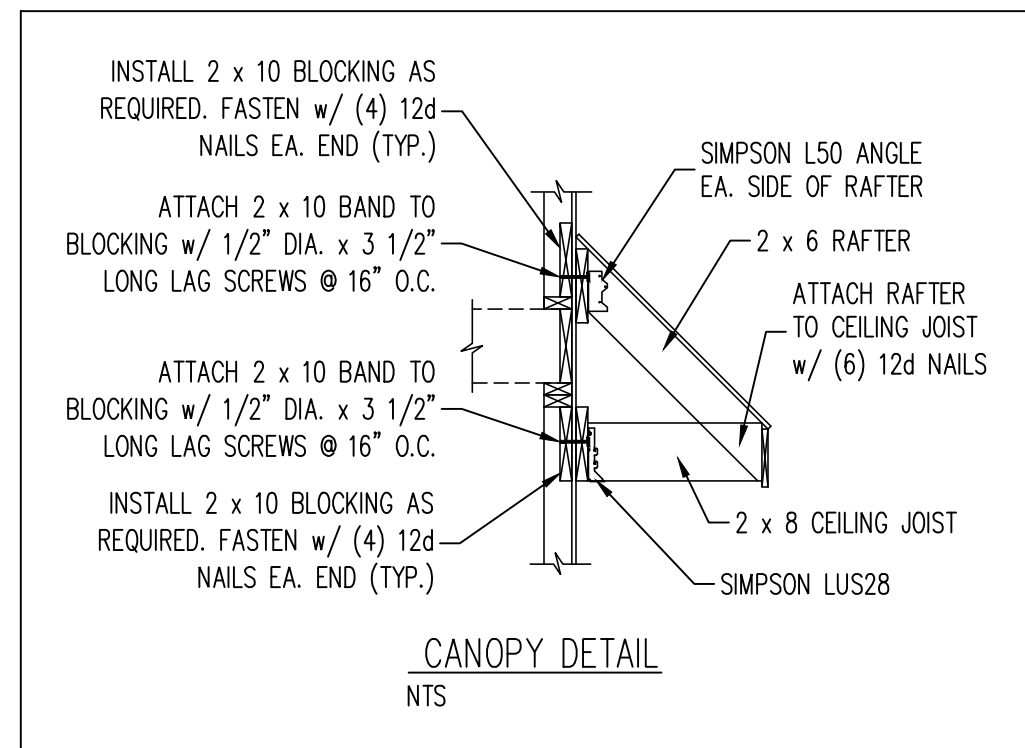


ROOF PLAN
ELEVATION A

- ### STRUCTURAL NOTES:
1. ALL FRAMING LUMBER TO BE #2 SPF (UNO).
 2. CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF SUPPORT.
 3. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS.
 4. HIP SPLICES ARE TO BE SPACED A MIN. OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS @ 16" O.C. (TYP.)
 5. STICK FRAME OVER-FRAMED ROOF SECTIONS W/ 2 x 8 RIDGES, 2 x 6 RAFTERS @ 16" O.C. AND FLAT 2 x 10 VALLEYS OR USE VALLEY TRUSSES.
 6. FASTEN FLAT VALLEYS TO RAFTERS OR TRUSSES WITH SIMPSON H2.5A HURRICANE TIES @ 32" O.C. MAX. PASS HURRICANE TIES THROUGH NAIL IN ROOF SHEATHING. EACH RAFTER IS TO BE FASTENED TO THE FLAT VALLEY WITH A MIN. OF (6) 12d TO NAILS.
 7. REFER TO SECTION R802.11 OF THE 2024 NRCR FOR REQUIRED UPBET RESISTANCE AT RAFTERS AND TRUSSES.
 8. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

NOTE: REFER TO ARCHITECTURAL DRAWINGS FOR ROOF PITCHES, PLATE HEIGHTS, DIMENSIONS, OVERHANG WIDTHS, AND ATTIC VENT CALCS.

LEGEND	
XR	EXTRA RAFTER
XT	EXTRA TRUSS
DR	DOUBLE RAFTER
TR	TRIPLE RAFTER
RS	RAFTER SUPPORT
TS	TRUSS SUPPORT
CONT	CONTINUOUS
EA	EACH
OC	ON CENTER
SPF	SPRUCE PINE FIR
SYN	SOUTHERN YELLOW PINE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE



RENAISSANCE
RESIDENTIAL DESIGN, INC.
WILMINGTON, NC 28401

WWW.RRDCAROLINA.COM
The art of transforming your vision into reality."

NAISSANCE RESIDENTIAL DESIGN, INC.
RESERVES THE RIGHT TO MAKE
MODIFICATIONS TO FLOOR PLANS,
DIMENSIONS, MATERIALS, AND
SPECIFICATIONS WITHOUT NOTICE.
THESE DRAWINGS ARE FOR THE
PURPOSE OF CONVEYING AN
ARCHITECTURAL CONCEPT ONLY.

NAISSANCE RESIDENTIAL DESIGN, INC. HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF RENAISSANCE RESIDENTIAL DESIGN, INC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC.
333 E. SIX FORKS RD. SUITE 180
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733



FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN. DO NOT PLOT FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF XXXXXX. ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT ©2024 XXXXX

A&G RESIDENTIAL
SOPHIA

DATE: DECEMBER 15, 2024

REV.: 4-1-25

SCALE: 1/4"=1'-0"

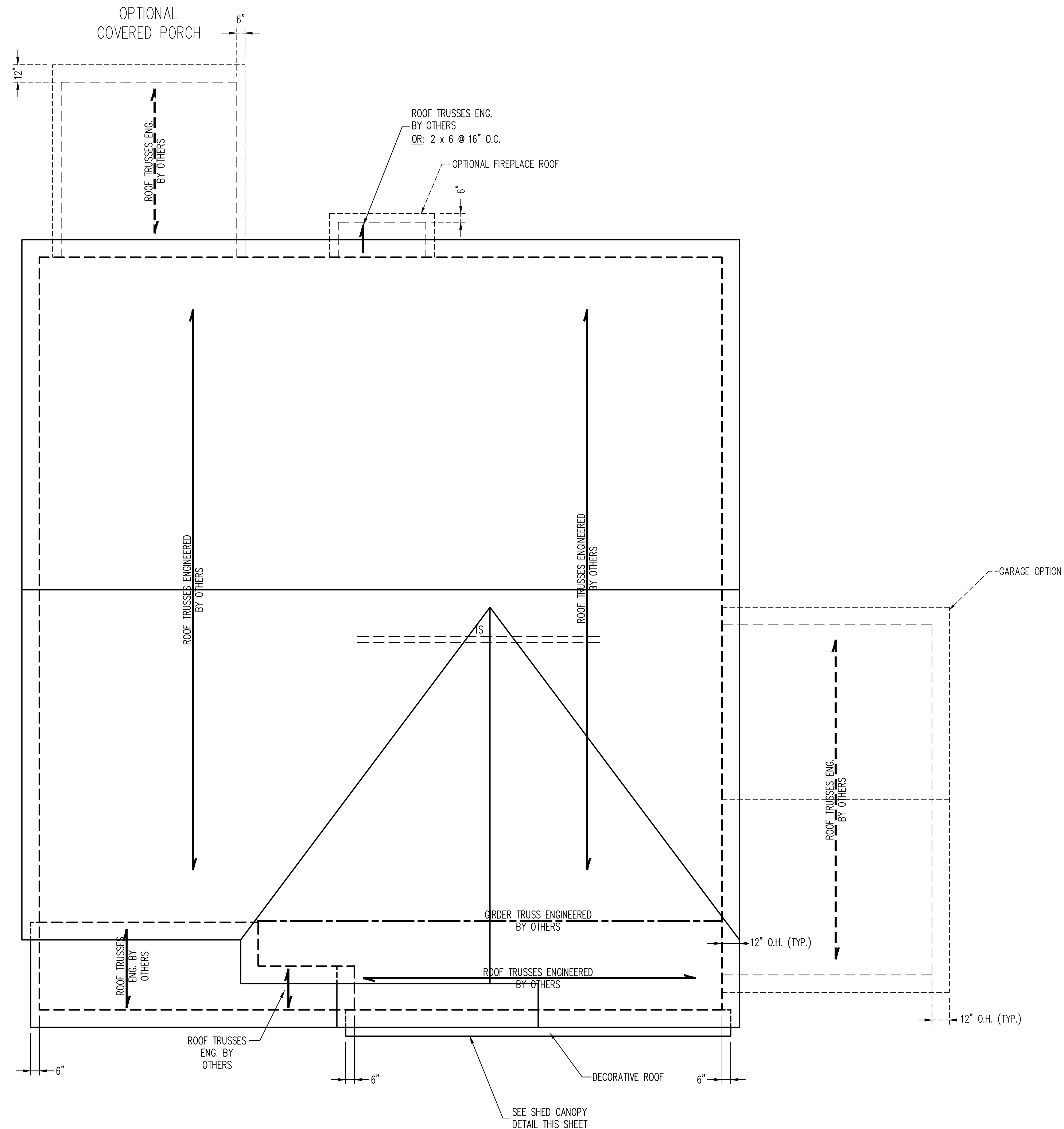
DRAWN BY: WG

ENGINEERED BY: WFB

REVIEWED BY: MGS

ROOF PLAN
ELEVATION-A

S-4



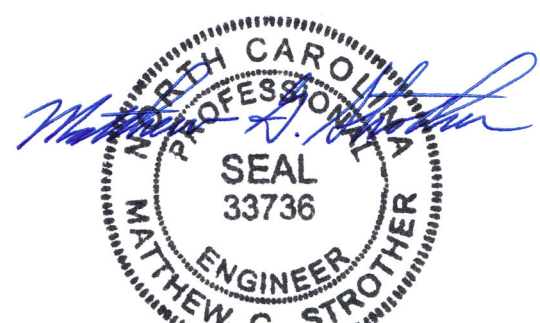
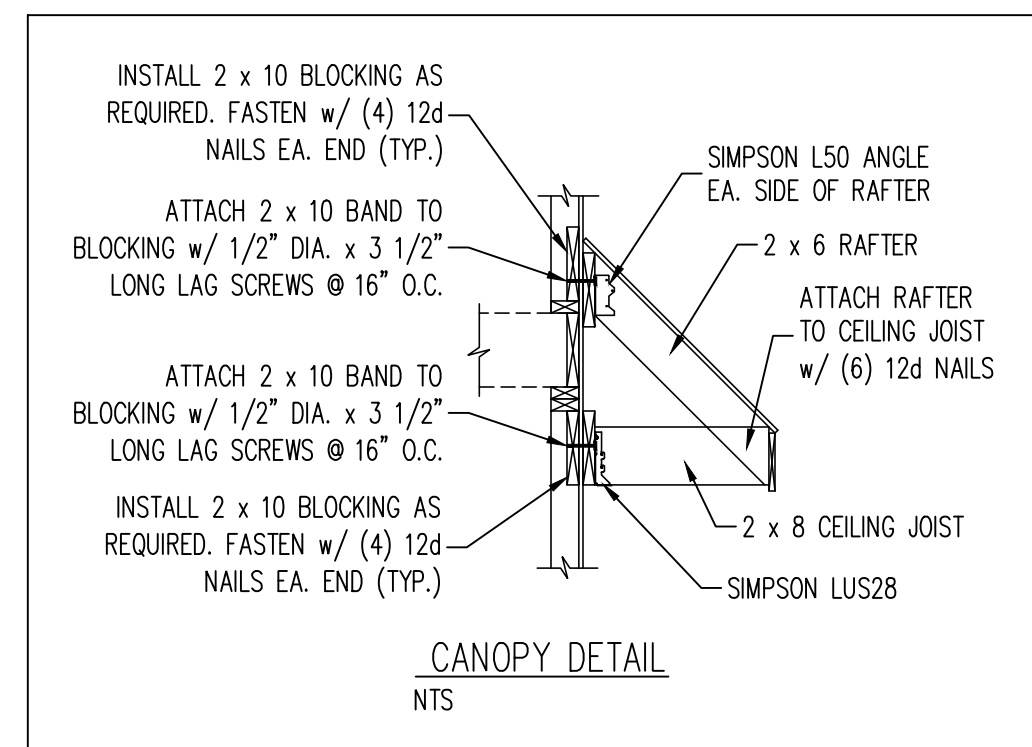
ROOF PLAN
ELEVATION B

STRUCTURAL NOTES:

1. ALL FRAMING LUMBER TO BE #2 SPF (UNO).
2. CIRCLES DETONITE (3) 2 x 4 POSTS FOR ROOF SUPPORT.
3. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS.
4. HIP SPLICES ARE TO BE SPACED A MIN. OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS @ 16" O.C. (TYP.)
5. STICK FRAME OVER-FRAMED ROOF SECTIONS W/ 2 x 8 RIDGES, 2 x 6 RAFTERS @ 16" O.C. AND FLAT 2 x 10 VALLEYS OR USE VALLEY TRUSSES.
6. FASTEN FLAT VALLEYS TO RAFTERS OR TRUSSES WITH SIMPSON H2.5A HURRICANE TIES @ 32" O.C. MAX. PASS HURRICANE TIES THROUGH NOTCH IN ROOF SHEATHING. EACH RAFTER IS TO BE FASTENED TO THE FLAT VALLEY WITH A MIN. OF (6) 12d TO NAILS.
7. REFER TO SECTION R802.11 OF THE 2024 NRCR FOR REQUIRED UPLIFT RESISTANCE AT RAFTERS AND TRUSSES.
8. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

NOTE: REFER TO ARCHITECTURAL DRAWINGS FOR ROOF PITCHES, PLATE HEIGHTS, DIMENSIONS, OVERHANG WIDTHS, AND ATTIC VENT CALCS.

LEGEND	
XR	EXTRA RAFTER
XT	EXTRA TRUSS
DR	DOUBLE RAFTER
TR	TRIPLE RAFTER
RS	RAFTER SUPPORT
TS	TRUSS SUPPORT
CONT	CONTINUOUS
EA	EACH
OC	ON CENTER
SPF	SPRUCE PINE FIR
YP	SOUTHERN YELLOW PINE
TY	TYPICAL
UNO	UNLESS NOTED OTHERWISE



4/22/2025

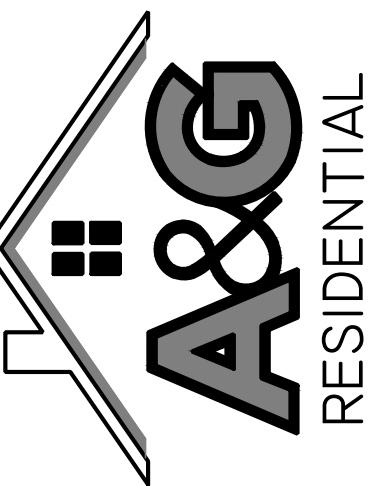
RENAISSANCE
RESIDENTIAL DESIGN, INC.
WILMINGTON, NC 28401

WWW.RRDCAROLINA.COM
art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC.
RESERVES THE RIGHT TO MAKE
MODIFICATIONS TO FLOOR PLANS,
DIMENSIONS, MATERIALS, AND
SPECIFICATIONS WITHOUT NOTICE.
THESE DRAWINGS ARE FOR THE
PURPOSE OF CONVEYING AN
ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC.
HEREBY EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT
TO BE REPRODUCED, CHANGED, OR
COPIED IN ANY FORM OR MANNER
WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN CONSENT OF RENAISSANCE
RESIDENTIAL DESIGN, INC. NOR ARE
THEY TO BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING SAID
WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC
333 E. SIX FORKS RD. SUITE 180
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS, FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS ARE ARTIST CONCEPTIONS. FLOOR PLANS ARE THE COPYRIGHTED PROPERTY OF XXXXXX, ANY USE, REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS STRICTLY PROHIBITED. SEE HOME SALES CONSULTANT FOR CURRENT DETAILS. COPYRIGHT © 2024 XXXXXX

A&G RESIDENTIAL
SOPHIA

DATE: DECEMBER 15, 2024

REV.: 4-1-25

SCALE: 1/4"=1'-0"

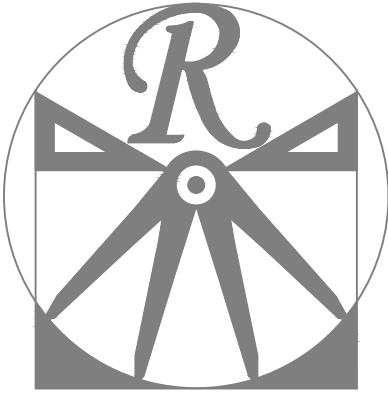
DRAWN BY: WG

ENGINEERED BY: WFB

REVIEWED BY: MGS

ROOF PLAN
ELEVATION- B

S-4.1



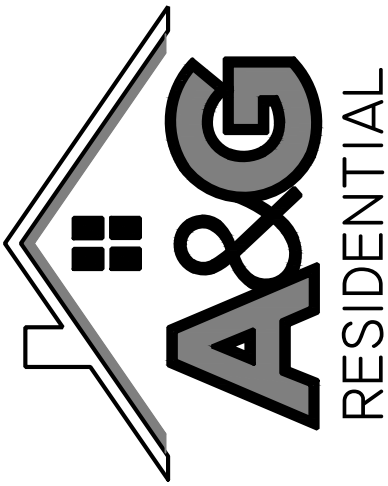
RENAISSANCE
RESIDENTIAL DESIGN, INC.
WILMINGTON, NC 28401

(919) 649-4128
WWW.RRDCAROLINA.COM
"The art of transforming your vision into reality."

RENAISSANCE RESIDENTIAL DESIGN, INC.
RESERVES THE RIGHT TO MAKE
MODIFICATIONS TO FLOOR PLANS,
DIMENSIONS, MATERIALS, AND
SPECIFICATIONS WITHOUT NOTICE.
THESE DRAWINGS ARE FOR THE
PURPOSE OF CONVEYING AN
ARCHITECTURAL CONCEPT ONLY.

RENAISSANCE RESIDENTIAL DESIGN, INC.
HEREBY EXPRESSLY RESERVES ITS
COMMON LAW COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE PLANS.
THESE PLANS AND DRAWINGS ARE NOT
TO BE REPRODUCED, CHANGED, OR
CORPED IN ANY FORM OR MANNER
WITHOUT FIRST OBTAINING THE EXPRESS
WRITTEN CONSENT OF RENAISSANCE
RESIDENTIAL DESIGN, INC. NOR ARE
THEY TO BE ASSIGNED TO ANY THIRD
PARTY WITHOUT FIRST OBTAINING SAID
WRITTEN PERMISSION AND CONSENT.

J.S. THOMPSON
ENGINEERING, INC
331 E. SIX FORKS RD, SUITE 150
RALEIGH, NC 27609
PHONE: (919) 789-9919
FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733



PRICES, PROMOTIONS, INCENTIVES, FEATURES, OPTIONS,
FLOOR PLANS, ELEVATIONS, DESIGNS, MATERIALS AND
FINISHES, SQUARE FOOTAGE AND DIMENSIONS ARE ESTIMATED AND
MAY VARY IN ACTUAL CONSTRUCTION. ACTUAL POSITION OF
HOUSE ON LOT WILL BE DETERMINED BY THE SITE PLAN
AND PLOT PLAN. FLOOR PLANS AND ELEVATION RENDERINGS
ARE PRELIMINARY. FOR ANY CHANGES, THE
ARCHITECTURAL FIRM SHALL BE NOTIFIED. ANY
REPRODUCTION, ADAPTATION, OR DISPLAY OF THE PLANS IS
STRICTLY PROHIBITED. SEE NEW HOME SALES CONSULTANT
FOR CURRENT DETAILS. COPYRIGHT ©2024 XXXX

A&G RESIDENTIAL
SOPHIA

DATE: DECEMBER 15, 2024

REV.: 4-1-25

SCALE: 1/4"=1'-0"

DRAWN BY: WG

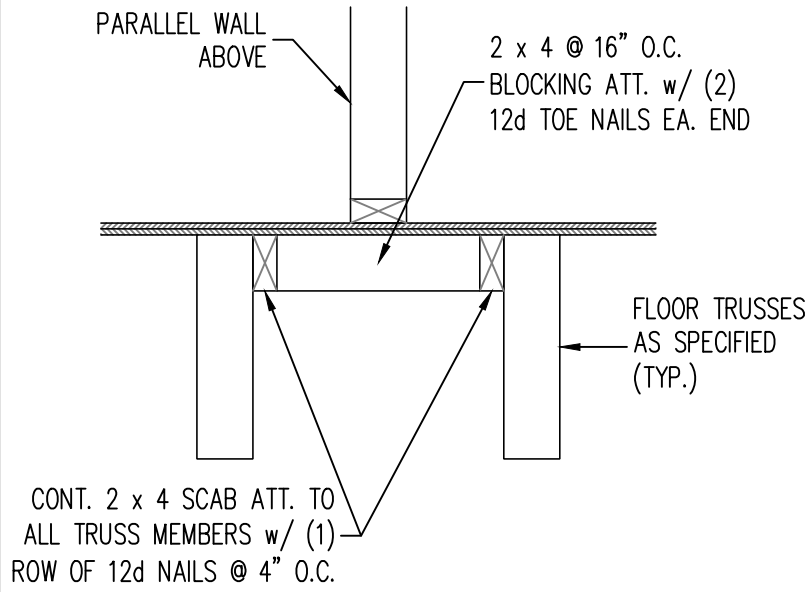
ENGINEERED BY: WFB

REVIEWED BY: MGS

FLOOR TRUSS
ALTERNATIVE

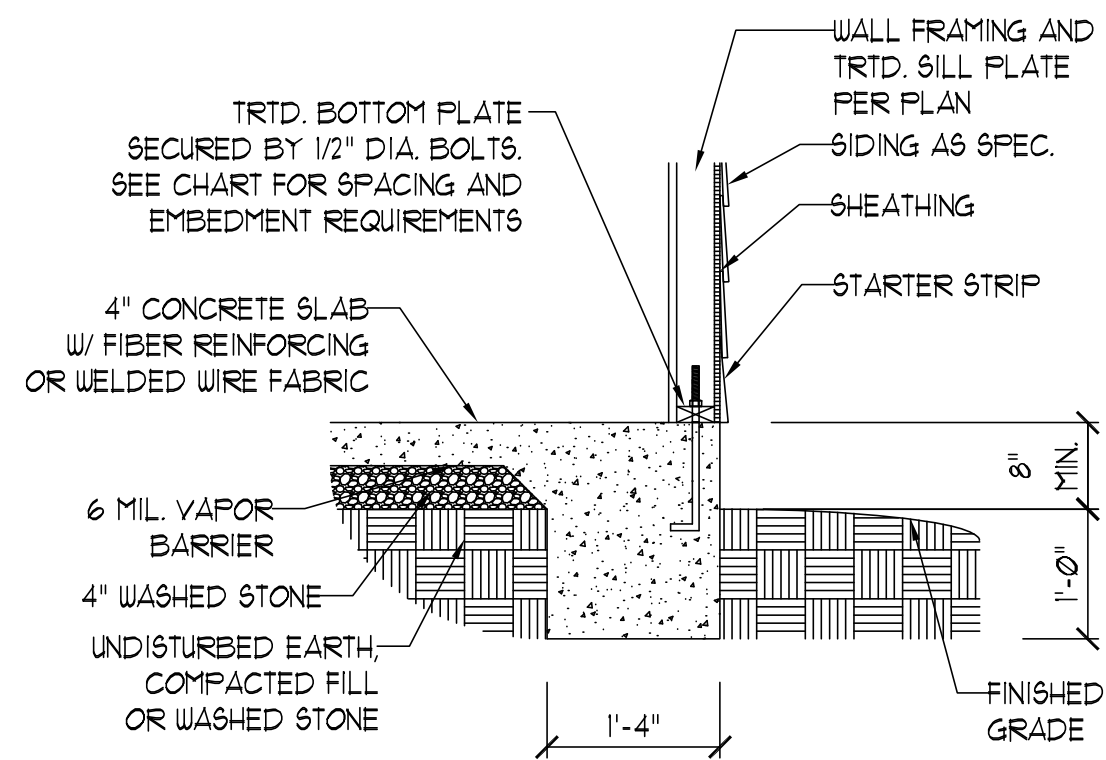
D-1

FLOOR TRUSS ALTERNATIVE



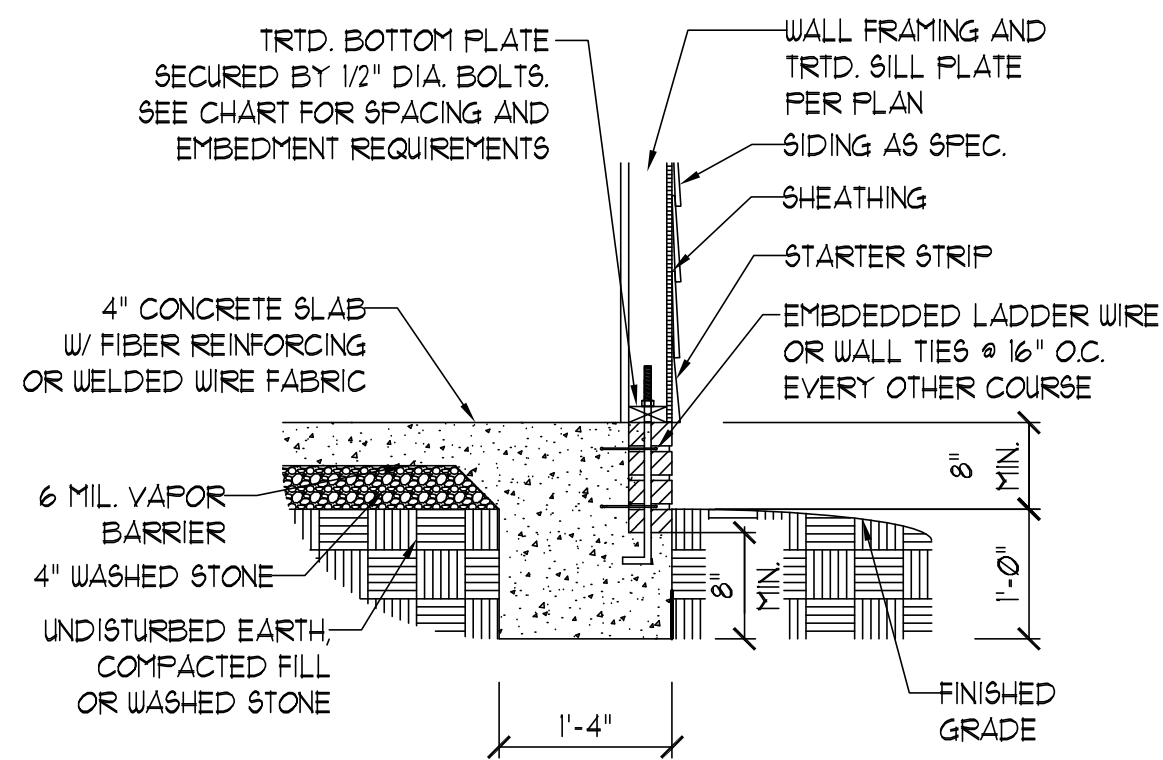
TRUSS BLOCKING DETAIL

1. FLOOR TRUSSES ENGINEERED BY OTHERS AT THE DEPTH INDICATED ON THE PLAN MAY BE USED IN LIEU OF I-JOISTS.
2. FIRST FLOOR SYSTEM TRUSSES ARE TO BE DESIGNED TO SUPPORT ADDITIONAL LOADING FROM OFFSET LOAD AND ISLAND.
3. AT POINT LOADS WITHIN OFFSET LOADS, INSTALL (2) 2 x 12 BLOCKING BETWEEN TRUSSES w/ FACE MOUNT HANGERS AT EA. END.
4. GIRDER TRUSSES ENGINEERED BY OTHERS ARE TO BE INSTALLED IN LIEU OF DOUBLE JOISTS SPECIFIED PER PLAN.
5. PROVIDE (1) LSL RIM BOARD MATCHING DEPTH OF FLOOR TRUSSES AT END OF CANT w/ EXTRA TRUSSES AT SIDES.
6. INSTALL 2 x 4 @ 16" O.C. BLOCKING BETWEEN ADJACENT TRUSSES UNDER WALLS PARALLEL TO FLOOR TRUSSES WHERE WALL LENGTH EXCEEDS 1/3 OF TRUSS SPAN (SEE DETAIL THIS SHEET). TRUSS DESIGNER TO DESIGN ADJACENT TRUSSES FOR ADDITIONAL LOADING FROM WALLS.



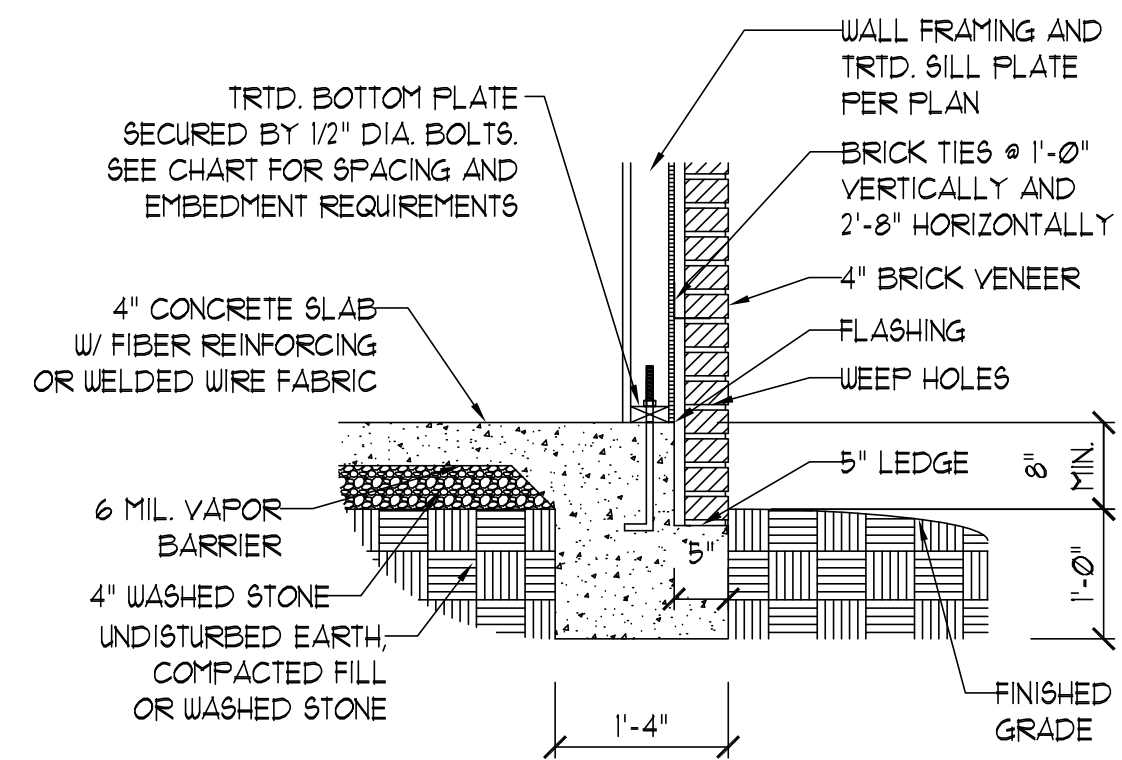
TYPICAL SLAB

①



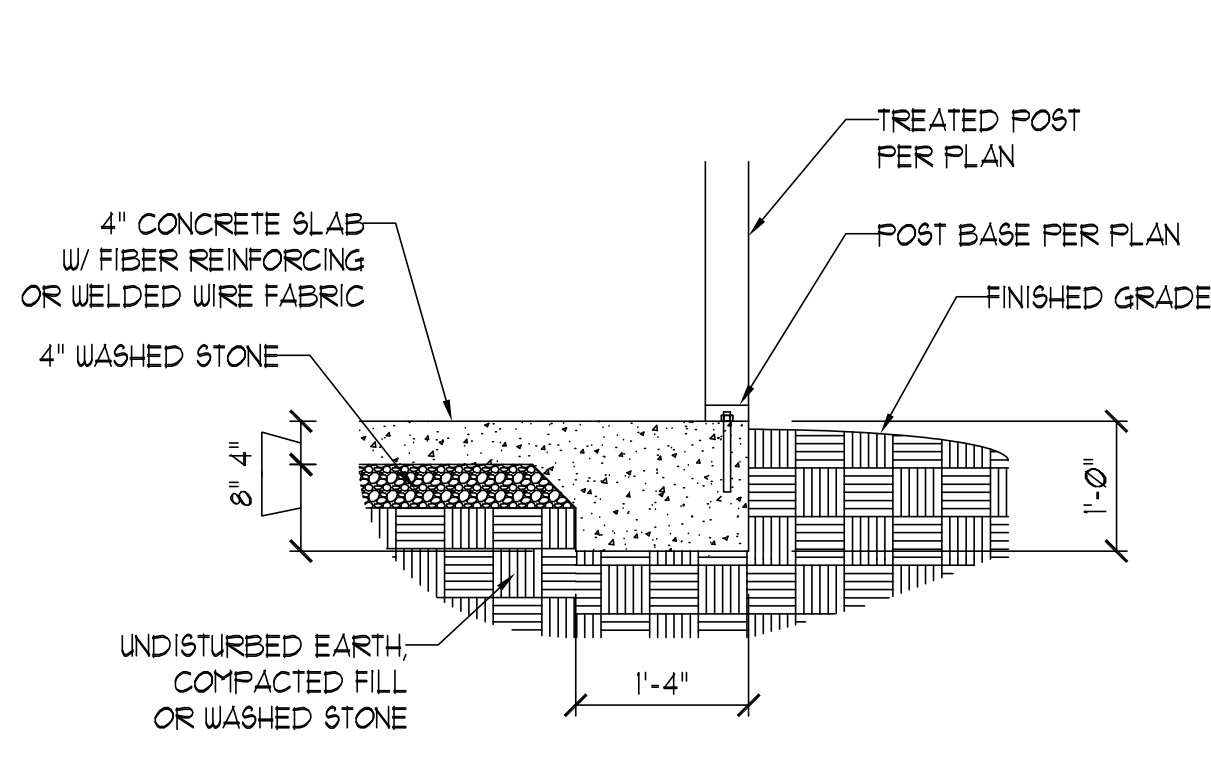
TYPICAL SLAB w/ BRICK LEDGE

②



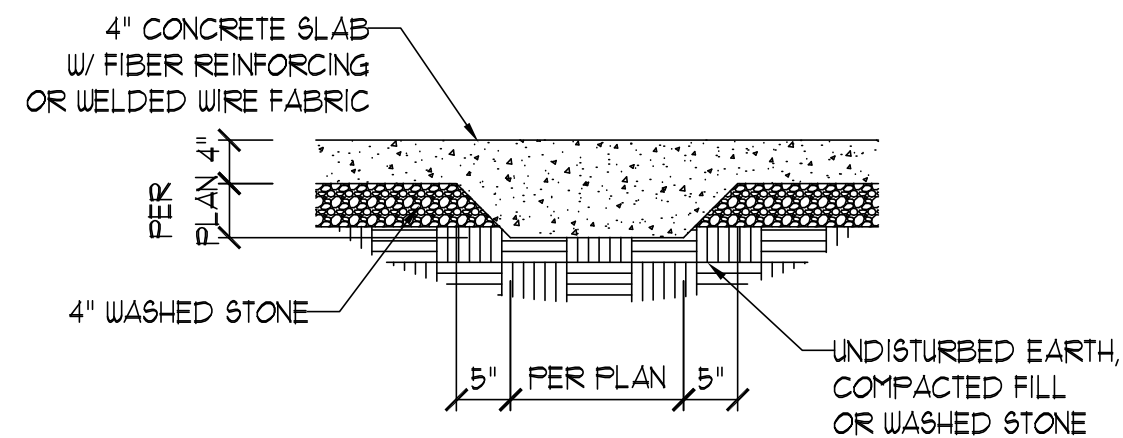
TYPICAL SLAB w/ BRICK VENEER LEDGE

③



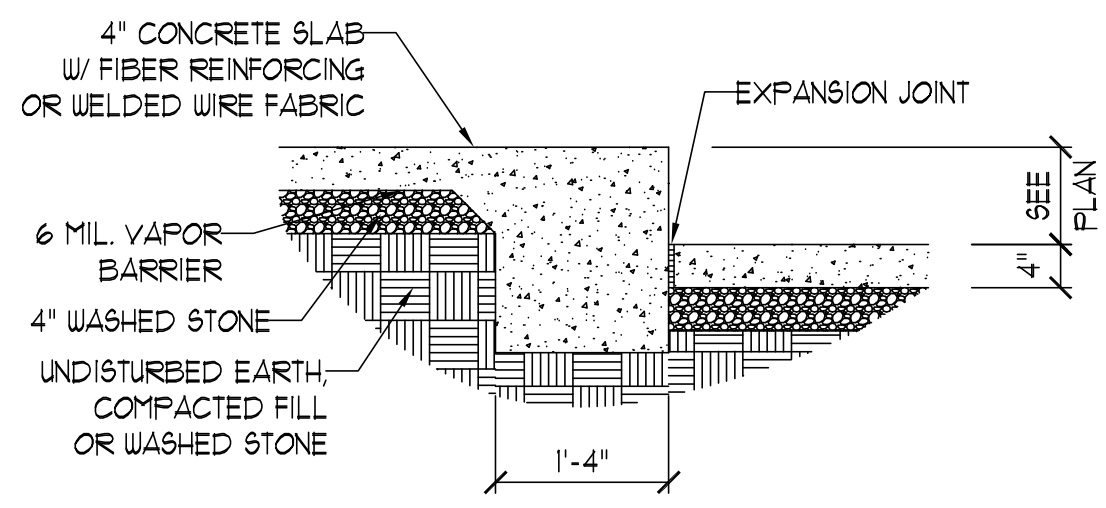
PORCH/SCREEN PORCH

④



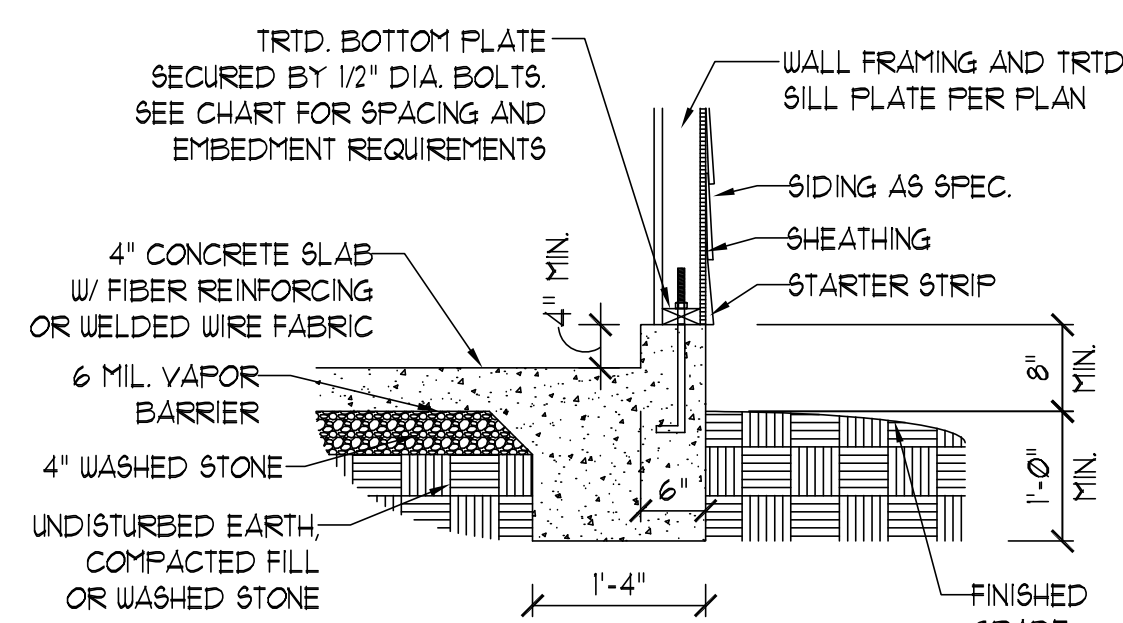
TYPICAL THICKENED SLAB

⑤



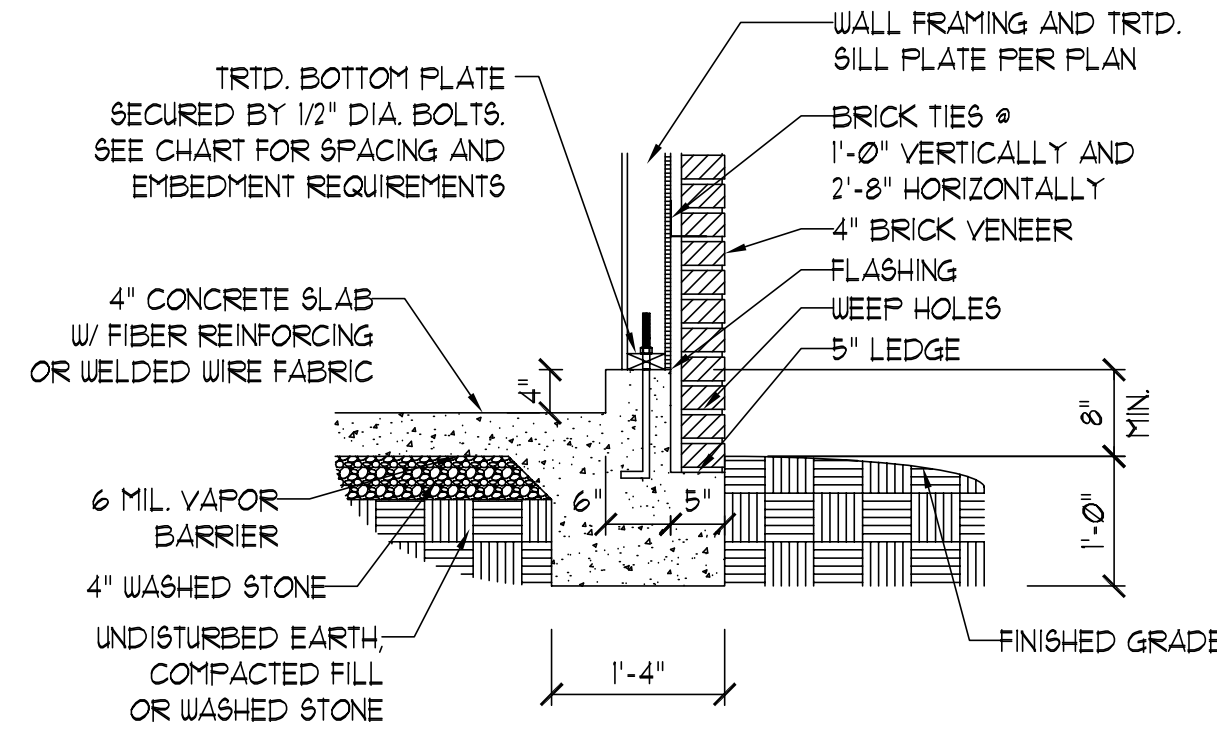
SLAB FLOOR CHANGE

⑥



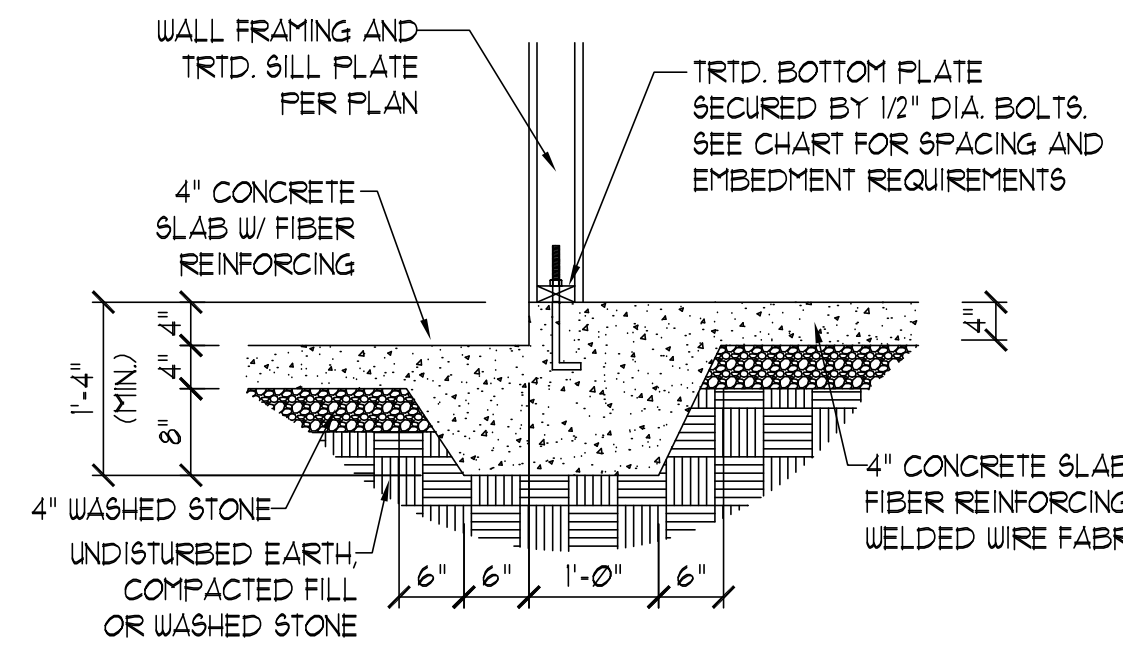
GARAGE CURB

⑦



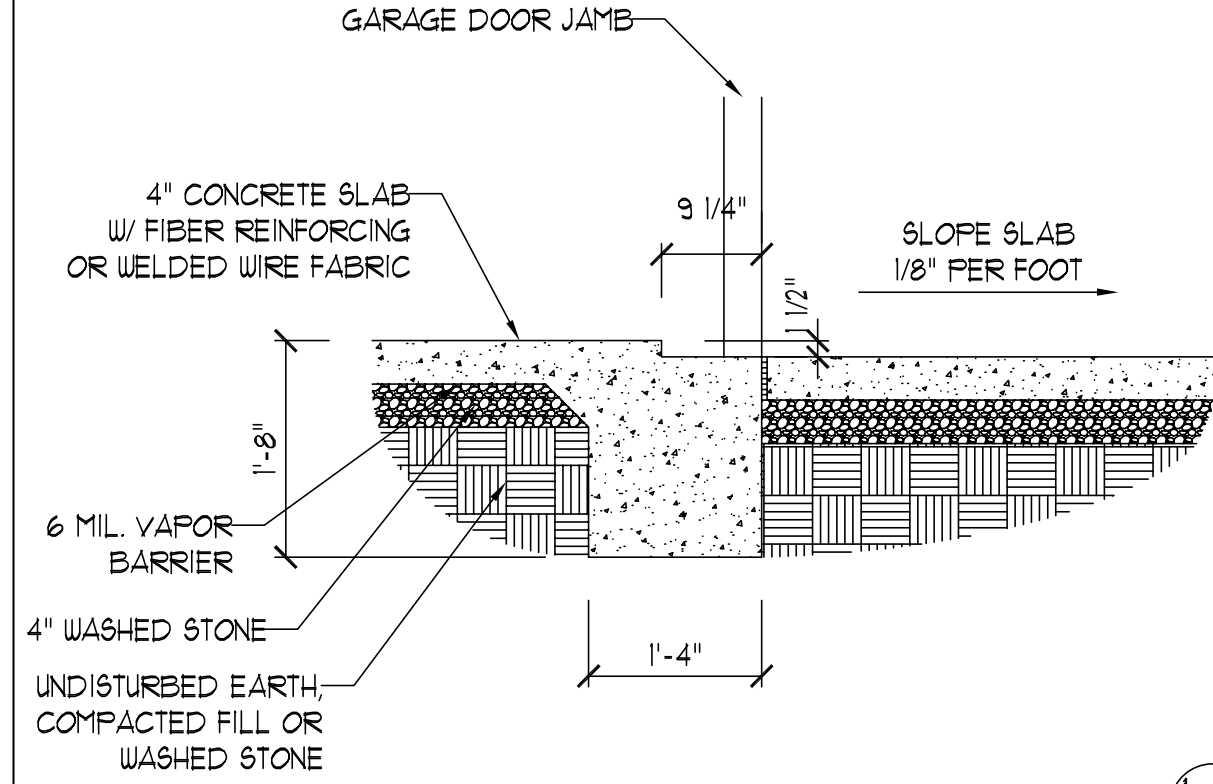
GARAGE CURB w/ BRICK LEDGE

⑧



STEP IN GARAGE

⑨



SLAB AT GARAGE DOOR

⑩

ANCHOR SPACING AND EMBEDMENT

WIND ZONE	120 MPH	130 MPH
SPACING	6'-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS	4'-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS
EMBEDMENT	7"	15" INTO MASONRY 7" INTO CONCRETE

NOTE:

THREADED ROD WITH EPOXY,
SIMPSON TITEN HD, OR APPROVED
ANCHORS SPACED AS REQUIRED
TO PROVIDE EQUIVALENT
ANCHORAGE TO 1/2" DIAMETER
ANCHOR BOLTS MAY BE USED IN
LIEU OF 1/2" ANCHOR BOLTS.



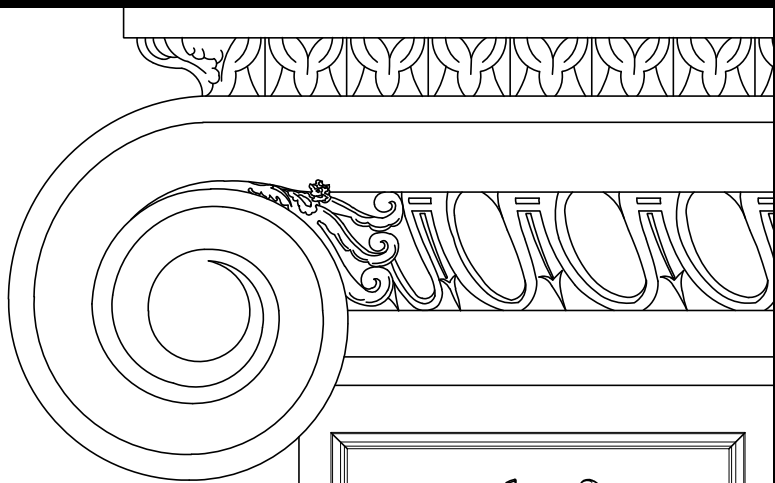
This sealed page is to be used in conjunction with a full plan set engineered by J.S. Thompson Engineering, Inc. only. Use of this individual sealed page within architectural pages or shop drawings by others is a punishable offense under N.C. Statute § 89C-23

J.S. THOMPSON
ENGINEERING, INC.
333 EAST SIX FORKS ROAD, SUITE 180 RALEIGH, NC 27609
PHONE: (919) 789-9919 FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733

MONOLITHIC SLAB
FOUNDATION DETAILS

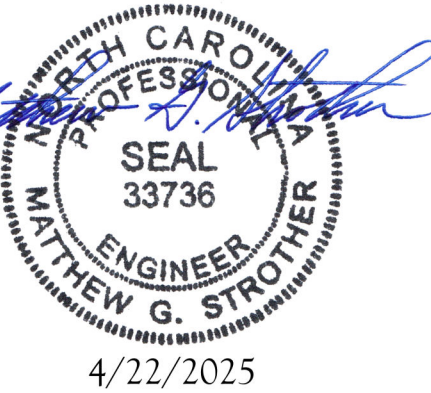
DATE: NOVEMBER 1, 2024
SCALE: NTS
DRAWN BY: JST
ENGINEERED BY: JST

FOUNDATION
DETAILS



**J.S. THOMPSON
ENGINEERING, INC.**
333 EAST SIX FORKS ROAD, SUITE 180 RALEIGH, NC 27609
PHONE: (919) 789-9919 FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733

STEM WALL
FOUNDATION DETAILS



DATE: NOVEMBER 1, 2024

SCALE: NTS

DRAWN BY: JST

ENGINEERED BY: JST

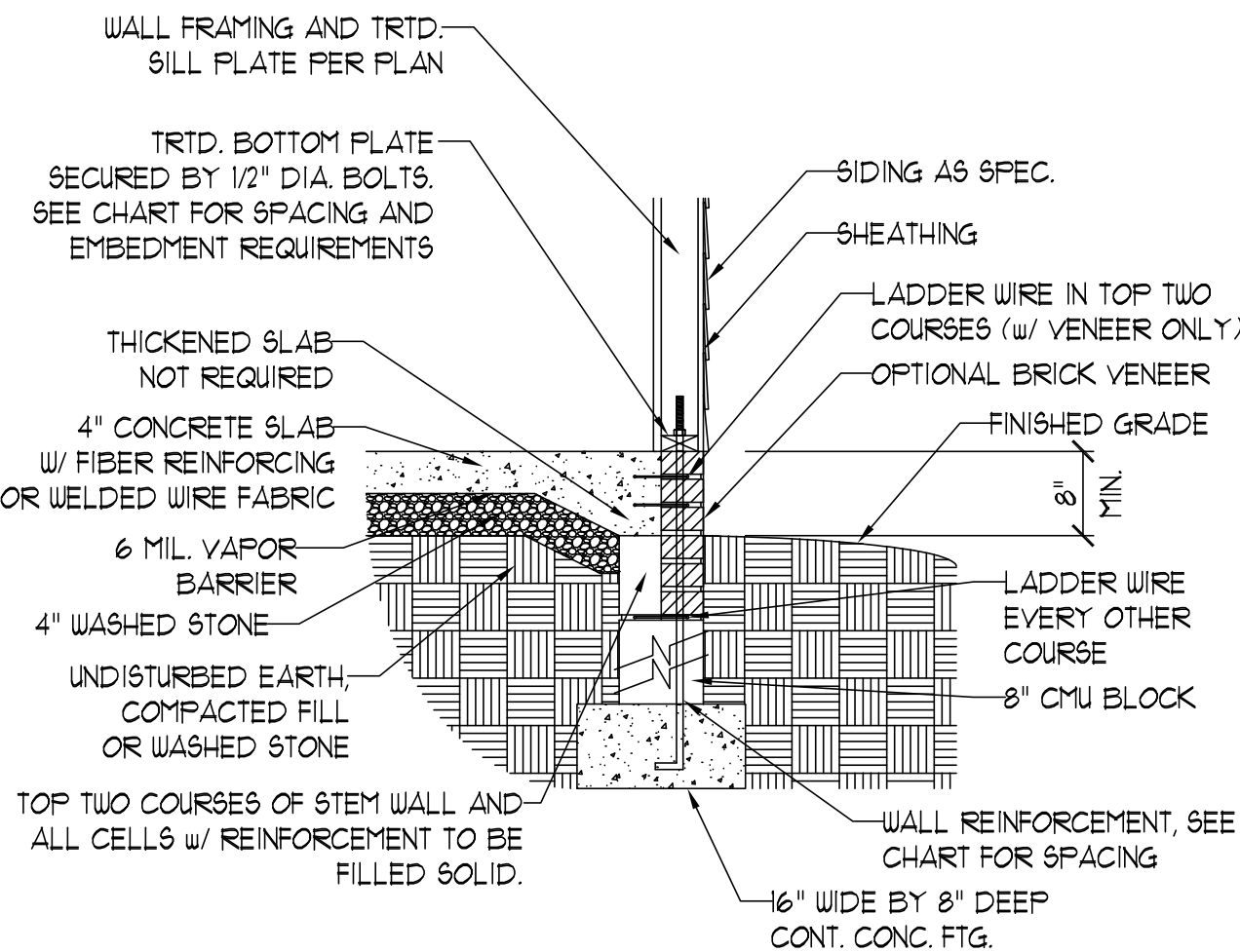
FOUNDATION
DETAILS

MASONRY STEMWALL SPECIFICATIONS

WALL HEIGHT (FEET)	MASONRY WALL TYPE			
	8" CMU	4" BRICK AND 4" CMU	4" BRICK AND 8" CMU	12" CMU
2 AND BELOW	UNGROUTED	GROUT SOLID	UNGROUTED	UNGROUTED
3	UNGROUTED	GROUT SOLID	UNGROUTED	UNGROUTED
4	GROUT SOLID w/ #4 REBAR @ 64" O.C.	GROUT SOLID w/ #4 REBAR @ 48" O.C.	GROUT SOLID	GROUT SOLID w/ #4 REBAR @ 64" O.C.
5	GROUT SOLID w/ #4 REBAR @ 36" O.C.	NOT APPLICABLE	GROUT SOLID w/ #4 REBAR @ 36" O.C.	GROUT SOLID w/ #4 REBAR @ 64" O.C.
6 AND GREATER	ENGINEERED DESIGN BASED ON SITE CONDITIONS			

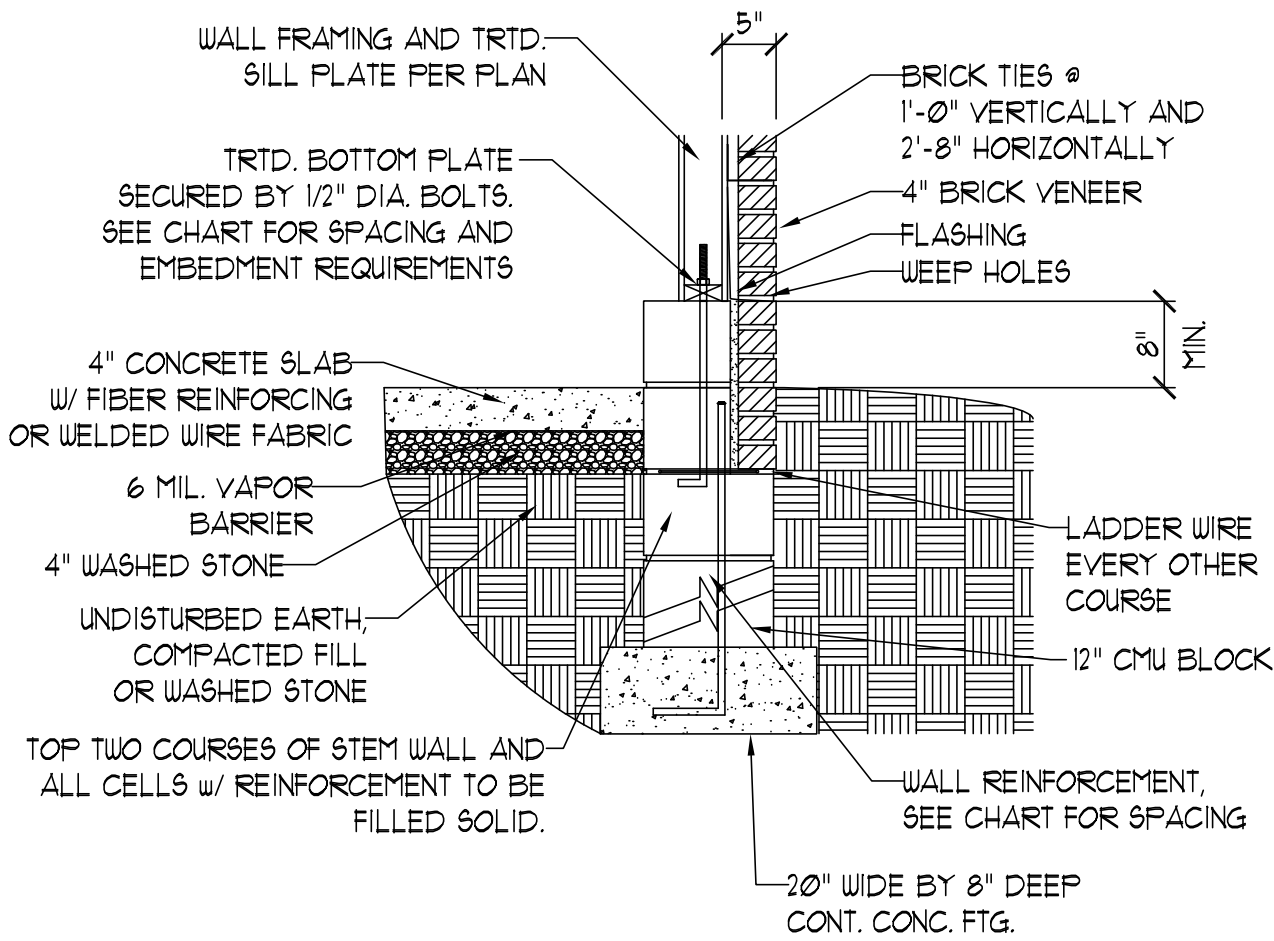
STRUCTURAL NOTES:

- 1) WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
- 2) TIE MULTIPLE WYTHES TOGETHER WITH LADDER WIRE AT 16" O.C. VERTICALLY.
- 3) CHART APPLICABLE FOR HOUSE FOUNDATION ONLY. CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COMMON TO HOUSE w/ GREATER THAN 3' OF FILL AS MEASURED FROM THE TOP OF THE FOOTING.
- 4) BACKFILL OF CLEAN #57 / #67 WASHED STONE IS ALLOWABLE.
- 5) BACKFILL OF WELL DRAINED OR SAND - GRAVEL MIXTURE SOILS (45 P#F/FT BELOW GRADE) CLASSIFIED AS GROUP 1 ACCORDING TO UNIFIED SOILS CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405.1 OF THE 2024 NORTH CAROLINA RESIDENTIAL CODE ARE ALLOWABLE.
- 6) PREP SLAB PER R506.2.1 AND R506.2.2 BASE AND EXCEPTION OF 2024 NORTH CAROLINA RESIDENTIAL CODE.
- 7) MINIMUM 24" LAP SPLICE LENGTH.
- 8) LOCATE REBAR IN CENTER OF FOUNDATION WALL.
- 9) WHERE REQUIRED, FILL BLOCK SOLID WITH TYPE "S" MORTAR OR 3000 PSI GROUT. USE OF "LOW LIFT GROUTING" METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 5' AND GREATER.



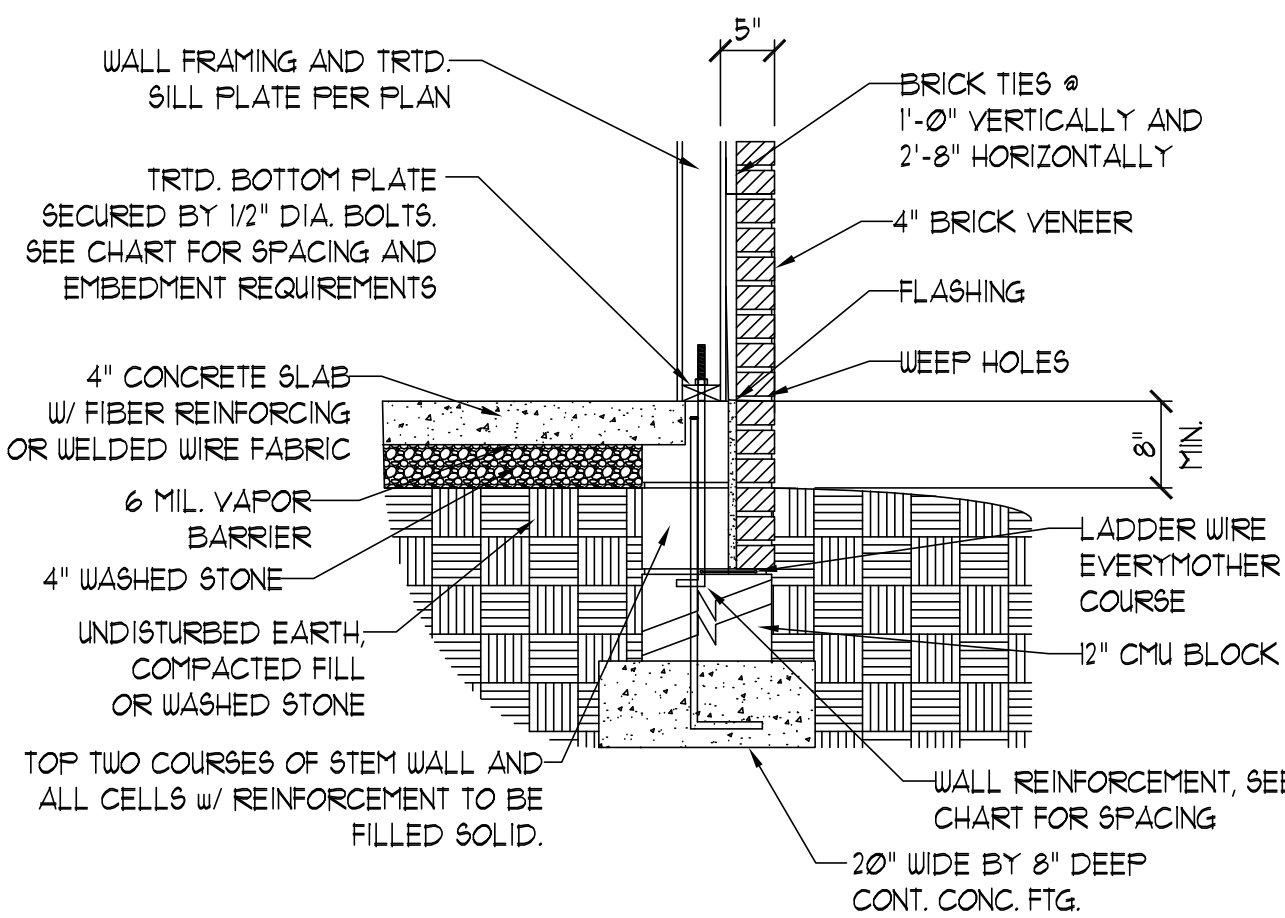
STEM WALL FDN. DETAIL

①



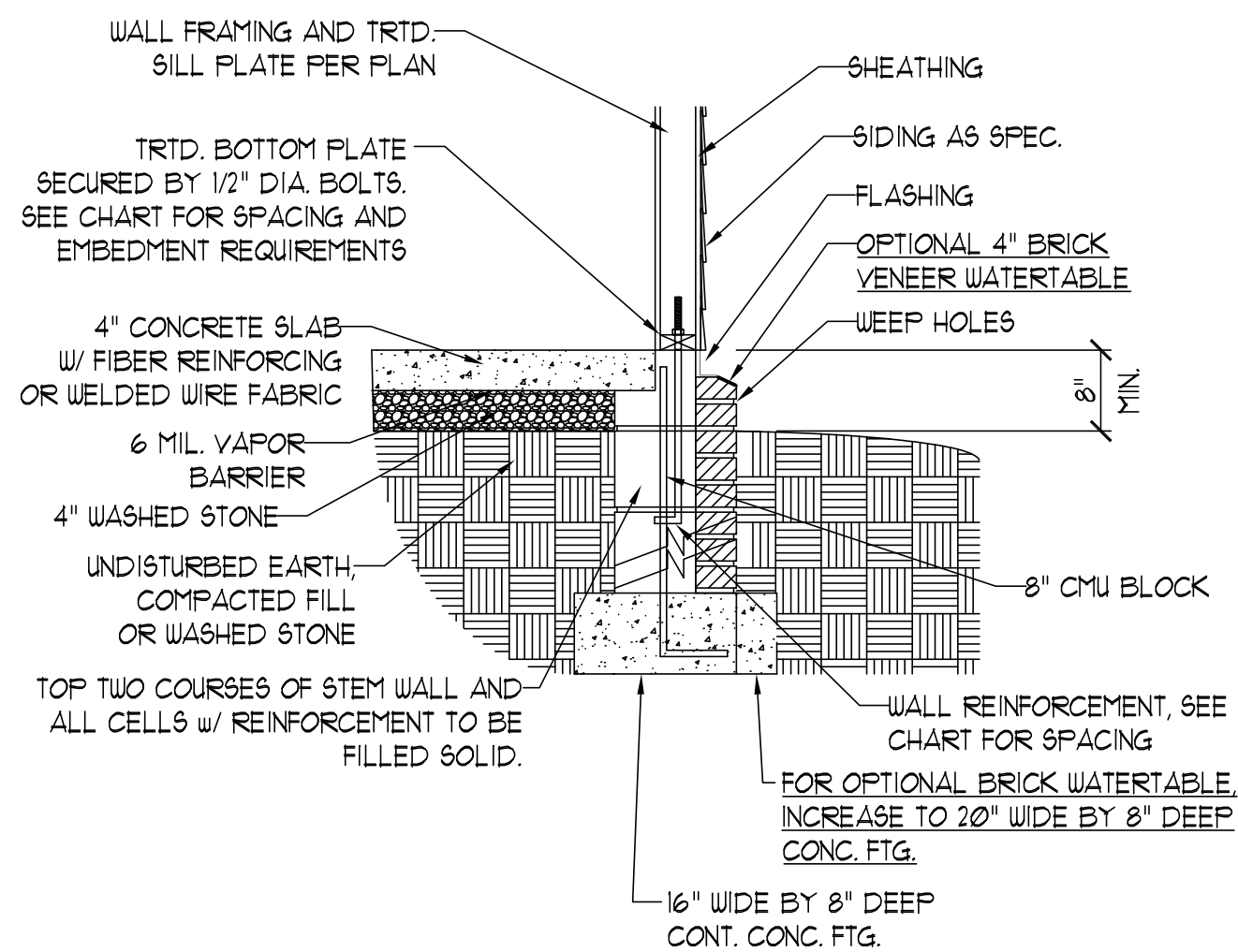
STEM WALL FDN. W/ BRICK AND CURB

②



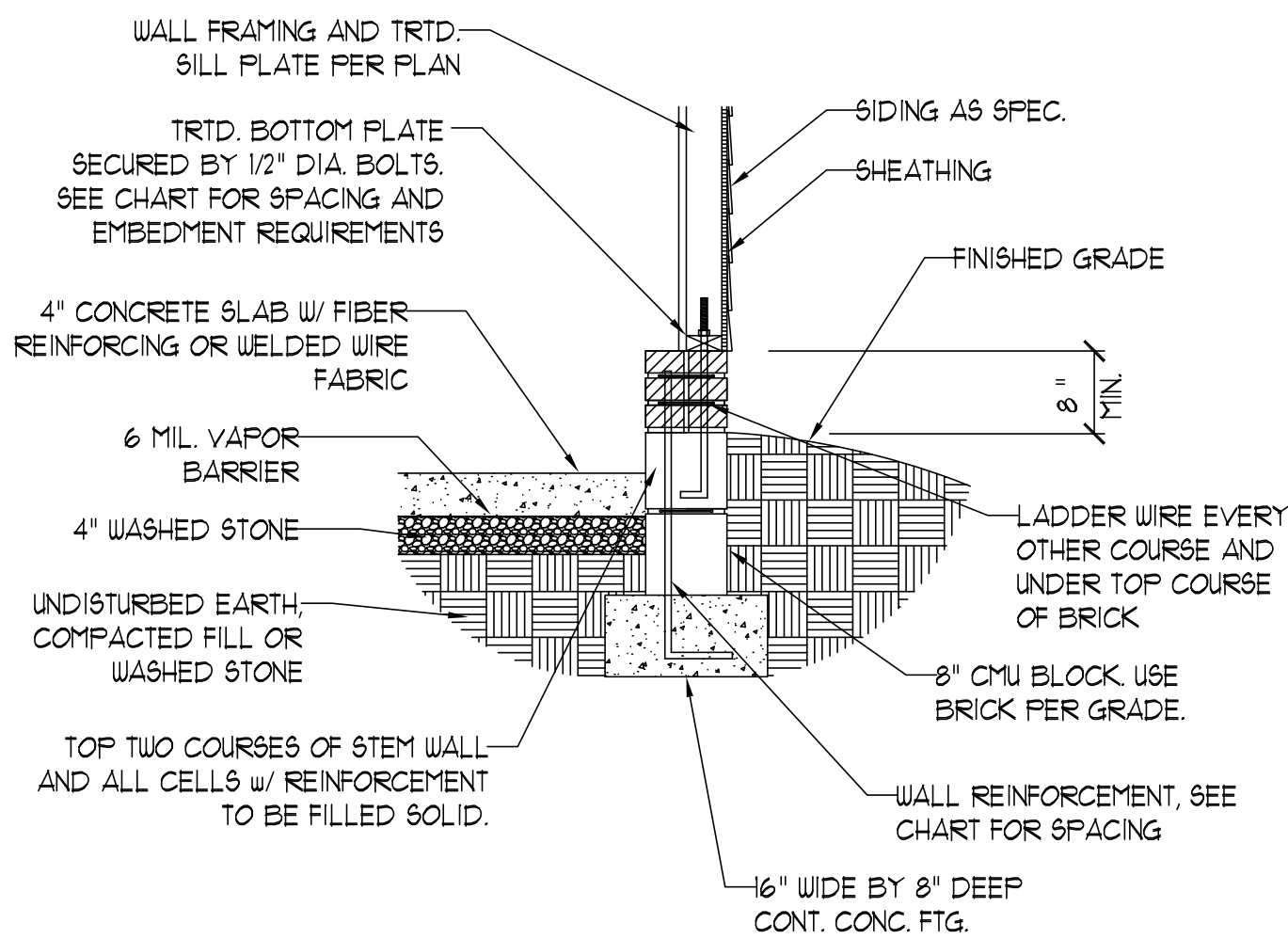
STEM WALL FDN. W/ BRICK DETAIL

③



STEM WALL FDN. W/ OPTIONAL
BRICK WATERTABLE DETAIL

④



STEM WALL FDN.
DETAIL AT GARAGE

⑤

ANCHOR SPACING AND EMBEDMENT

WIND ZONE	120 MPH	130 MPH
SPACING	6'-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS	4'-0" O.C. INSTALL MIN. (2) ANCHORS PER PLATE SECTION AND (1) ANCHOR WITHIN 12" OF CORNERS
EMBEDMENT	7"	15" INTO MASONRY 7" INTO CONCRETE

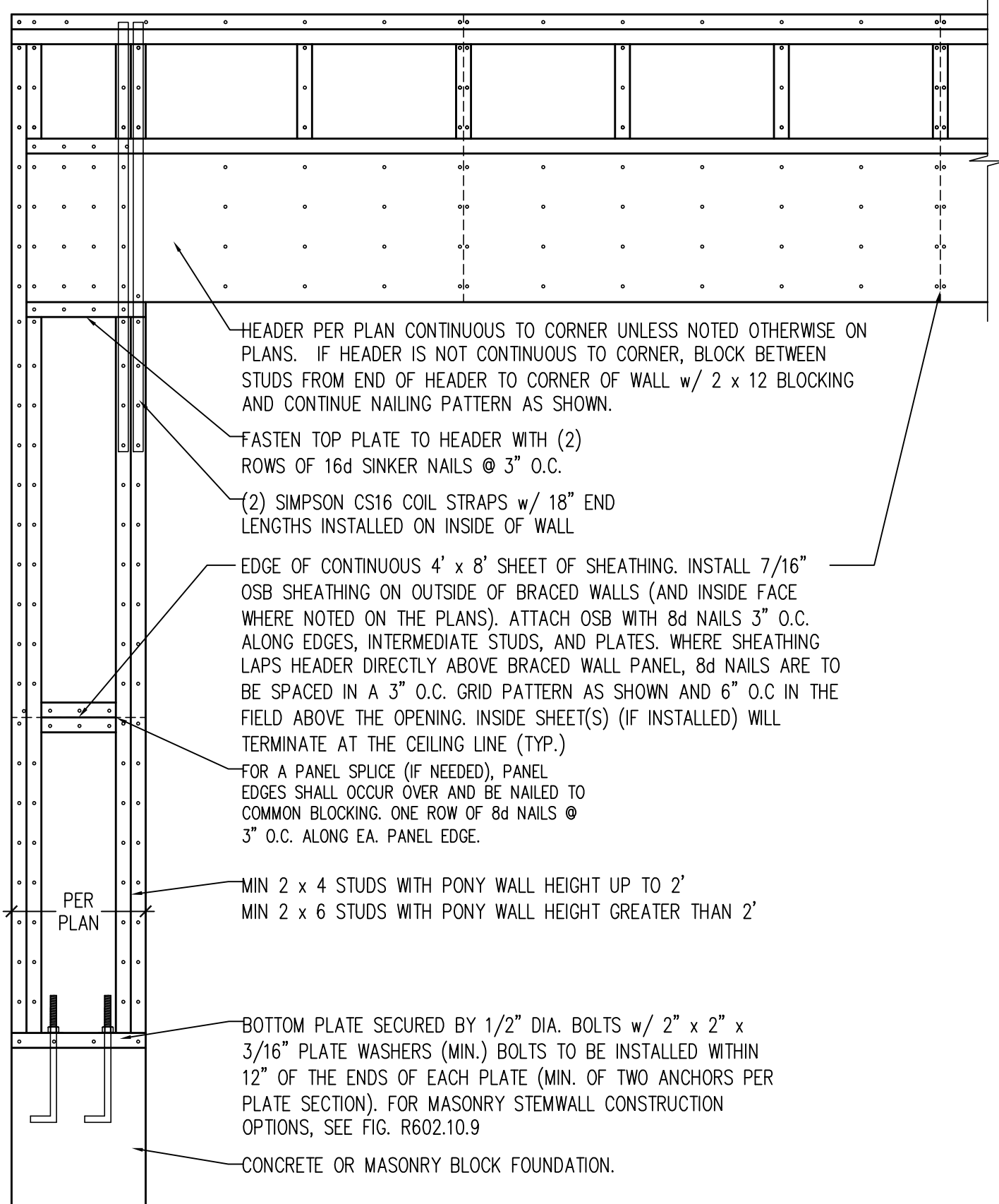
NOTE:

THREADED ROD WITH EPOXY,
SIMPSON TITEN HD, OR APPROVED
ANCHORS SPACED AS REQUIRED
TO PROVIDE EQUIVALENT
ANCHORAGE TO 1/2" DIAMETER
ANCHOR BOLTS MAY BE USED IN
LIEU OF 1/2" ANCHOR BOLTS.

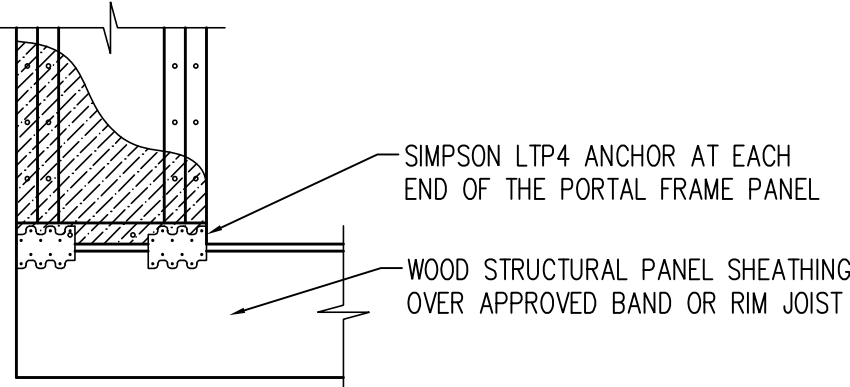
This sealed page is to be used in conjunction with a full plan set engineered by J.S. Thompson Engineering, Inc. only. Use of this individual sealed page within architectural pages or shop drawings by others is a punishable offense under N.C. Statute § 89C-23

GENERAL WALL BRACING NOTES:

1. WALL BRACING IS BY ENGINEERED DESIGN PER SECTION R301.1.3 "ENGINEERED DESIGN" OF THE NRC 2024 EDITION USING BRACING MATERIALS AND METHODS LISTED IN TABLE R602.10.4 ALONG WITH ALTERNATIVE MATERIALS AND METHODS THAT COMPLY WITH ACCEPTED ENGINEERING PRACTICE. BRACED WALL DESIGN IS NOT PRESCRIPTIVE.
2. SEE THIS SHEET FOR GENERAL DETAILS. REFER TO THE 2024 NRC FOR ADDITIONAL INFORMATION AS NEEDED.
3. BRACED EXTERIOR WALLS SUPPORTING ROOF TRUSSES AND RAFTERS, INCLUDING STORIES BELOW THE TOP FLOOR, HAVE BEEN DESIGNED PER R602.3.5 (3). WALL SHEATHING AND FASTENERS HAVE BEEN DESIGNED TO RESIST COMBINED UPLIFT AND SHEAR FORCES IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.
4. SEE STRUCTURAL SHEETS FOR HOLD DOWN TYPE AND LOCATIONS WHERE REQUIRED AND ANY SPECIAL NOTES OR REQUIREMENTS.
5. ALL EXTERIOR WALLS ARE TO BE SHEATHED WITH CS-WSP IN ACCORDANCE WITH SECTION R602.10 UNLESS NOTED OTHERWISE.
6. ALL EXTERIOR AND INTERIOR WALLS TO HAVE 1/2" GYPSUM INSTALLED, WHEN NOT USING METHOD "GB", GYPSUM TO BE FASTENED PER TABLE R702.3.5. METHOD GB TO BE FASTENED PER TABLE R602.10.4.
7. CS-WSP REFERS TO THE "CONTINUOUS SHEATHING - WOOD STRUCTURAL PANELS" WALL BRACING METHOD. 7/16" OSB SHEATHING IS TO BE INSTALLED ON ALL EXTERIOR WALLS WITH JOINTS BLOCKED. ATTACH SHEATHING w/ 6d COMMON NAILS OR 8d (2 1/2" LONG x 0.113" DIAMETER) NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD (U.N.O.).
8. GB REFERS TO THE "GYPSUM BOARD" WALL BRACING METHOD. 1/2" (MIN.) GYPSUM WALL BOARD IS TO BE INSTALLED ON BOTH SIDES OF THE BRACED WALL FASTENED WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED 7" O.C. ALONG PANEL EDGES INCLUDING TOP AND BOTTOM PLATES AND INTERMEDIATE SUPPORTS (U.N.O.). VERIFY ALL FASTENER OPTIONS FOR 1/2" AND 5/8" GYPSUM PRIOR TO CONSTRUCTION. FOR INTERIOR FASTENER OPTIONS SEE TABLE R702.3.5. FOR EXTERIOR FASTENER OPTIONS SEE TABLE R602.3(1). WHERE METHOD GB PANELS ARE INSTALLED HORIZONTALLY, BLOCKING OF HORIZONTAL JOINTS IS NOT REQUIRED. EXTERIOR GB TO BE INSTALLED VERTICALLY.



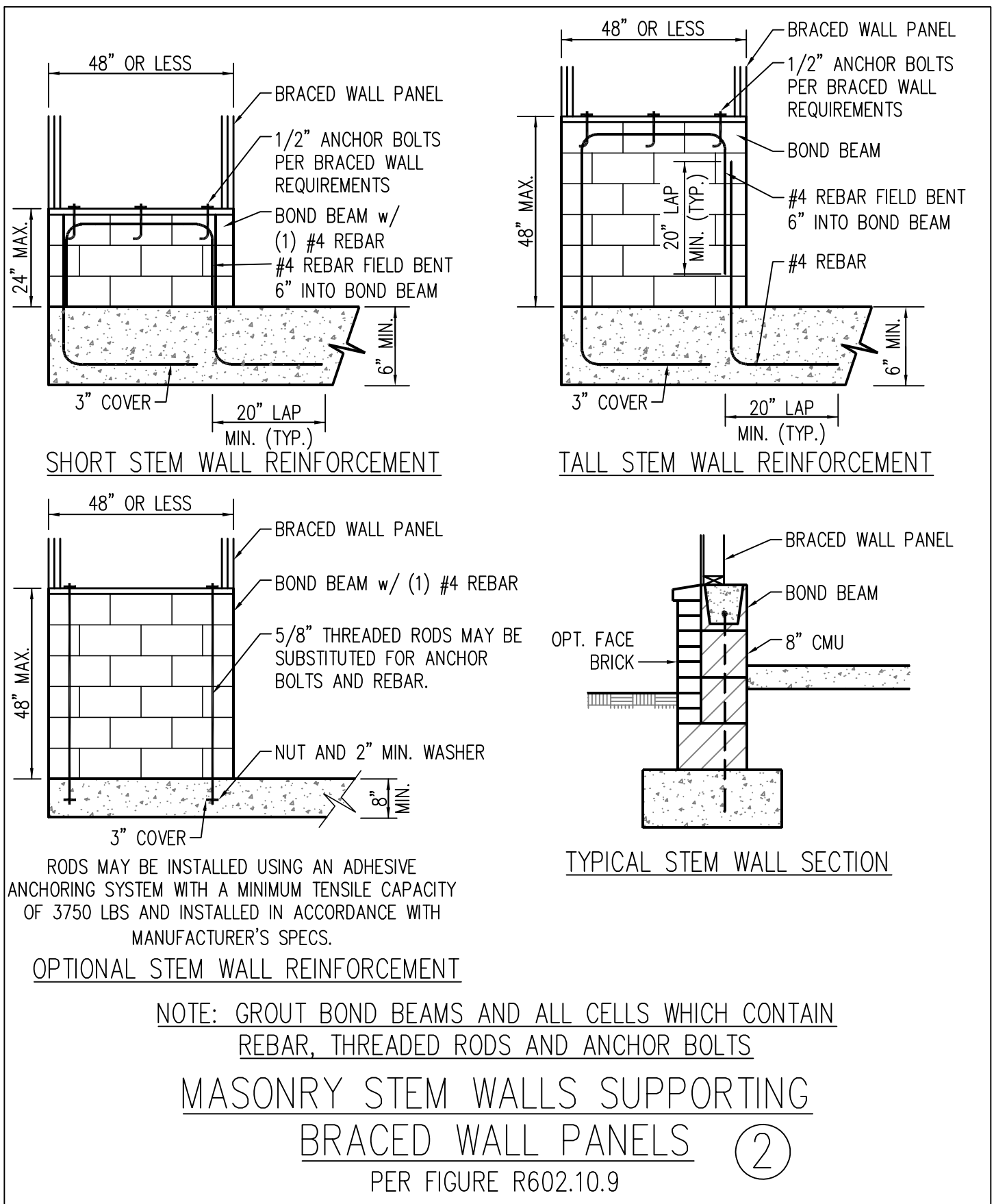
OVER CONCRETE OR MASONRY BLOCK FOUNDATION



OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION

* APPLICABLE w/ GREATER THAN 12" KNEE WALL HEIGHTS IN CRAWL SPACE AND ABOVE FRAMED BASEMENT WALLS *

METHOD PF-PORTAL FRAME DETAIL ①

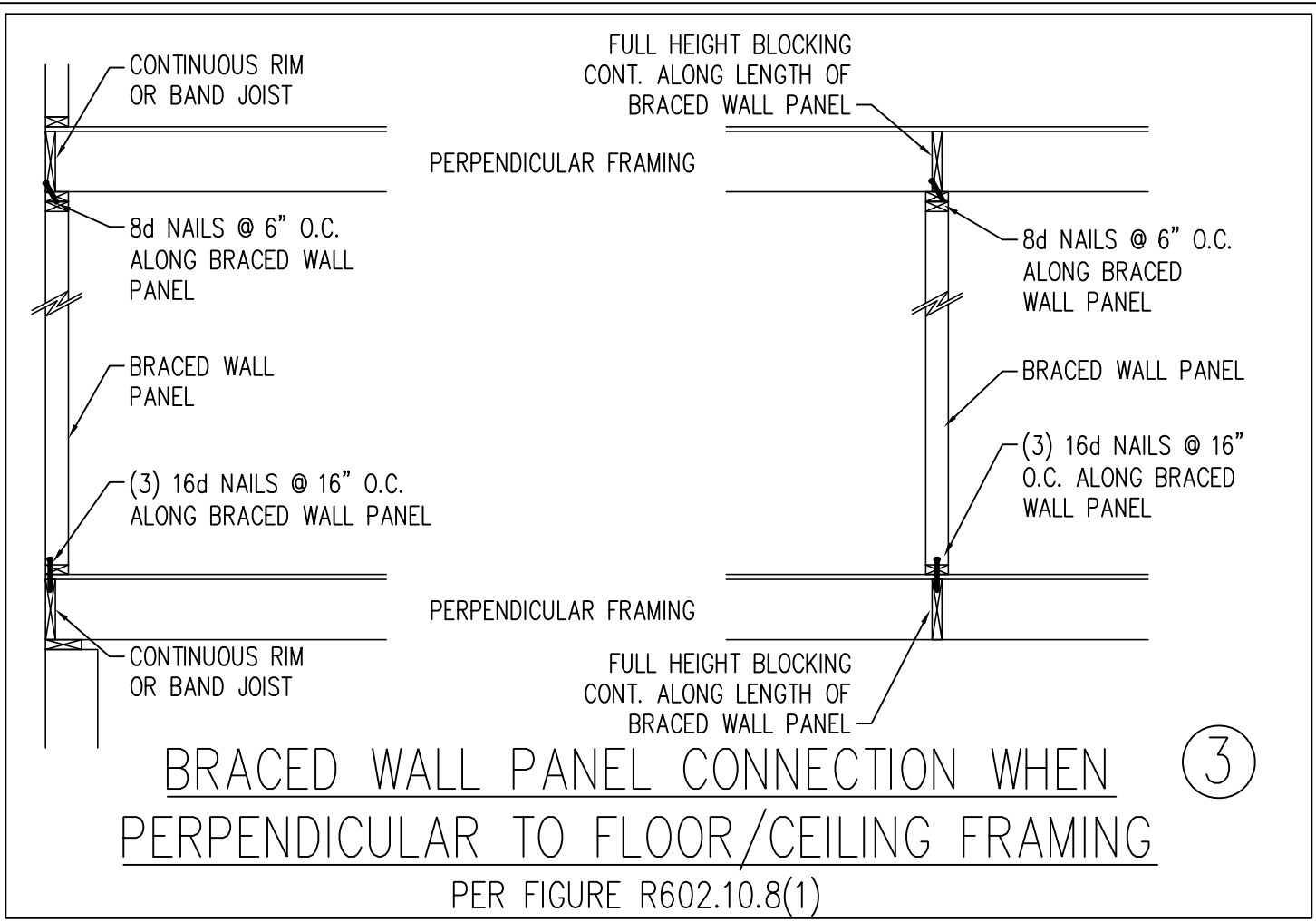


NOTE: GROUT BOND BEAMS AND ALL CELLS WHICH CONTAIN REBAR, THREADED RODS AND ANCHOR BOLTS

MASONRY STEM WALLS SUPPORTING

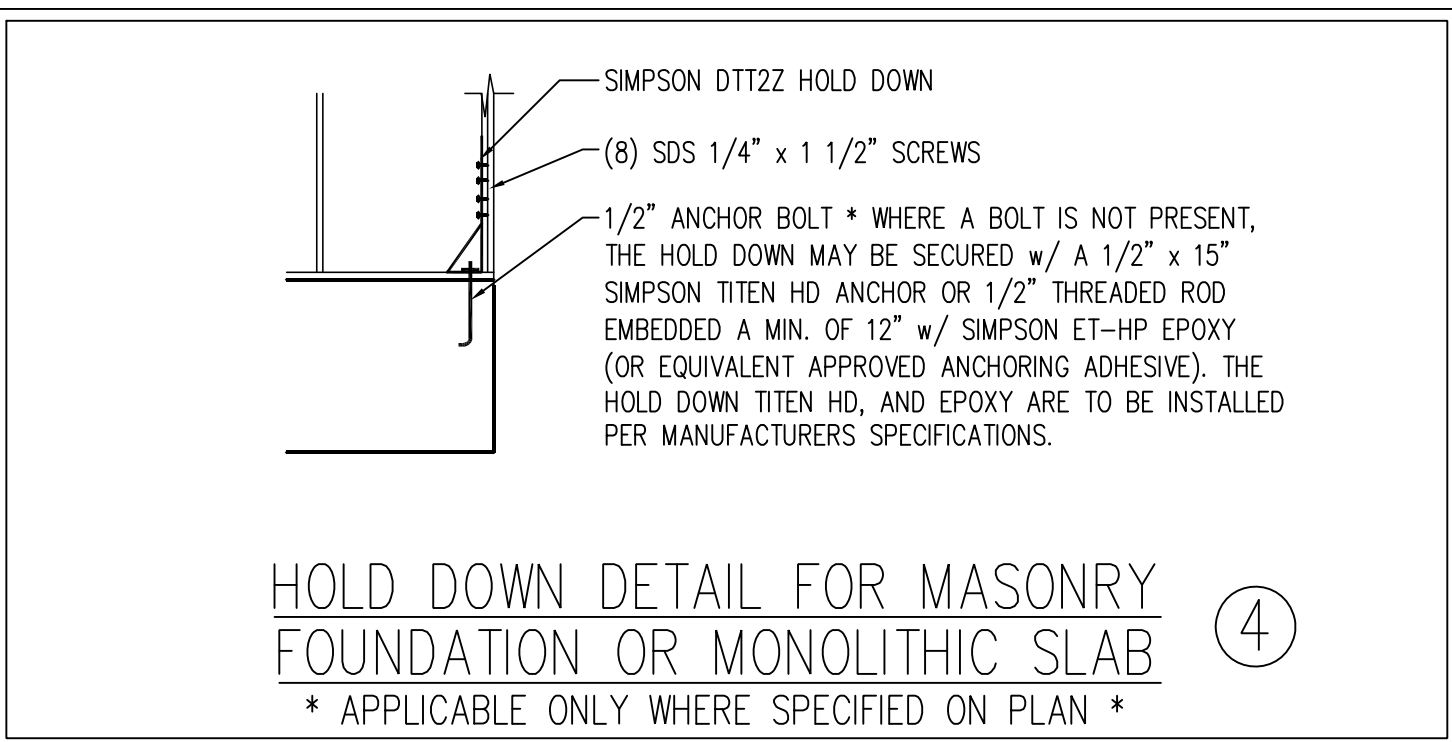
BRACED WALL PANELS ②

PER FIGURE R602.10.9



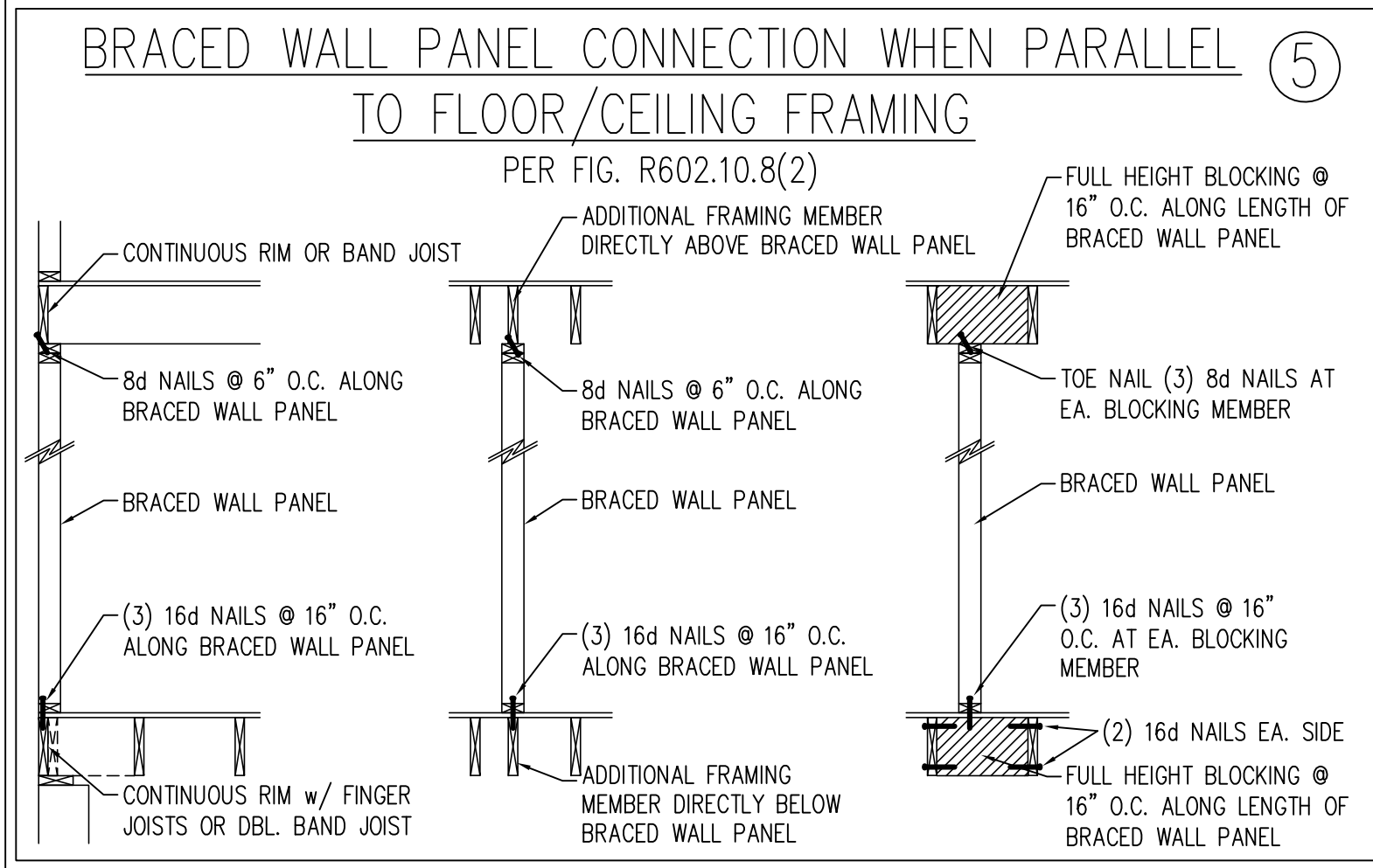
BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

PER FIGURE R602.10.8(1)



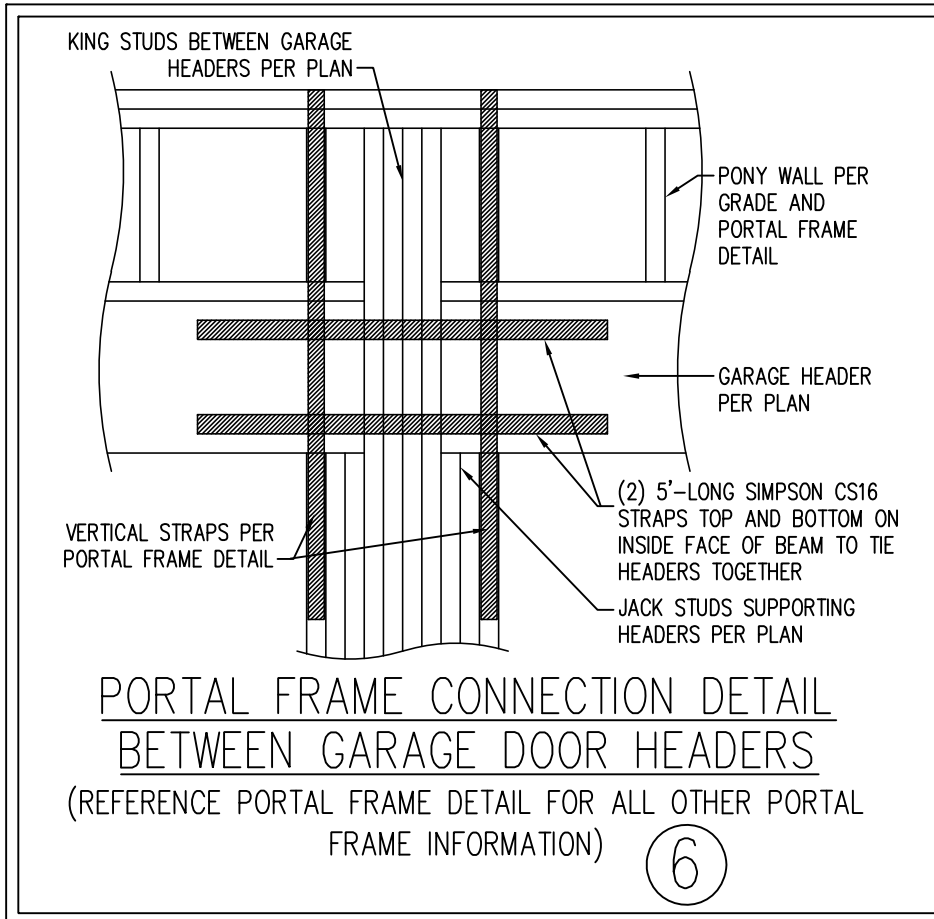
HOLD DOWN DETAIL FOR MASONRY FOUNDATION OR MONOLITHIC SLAB ④

* APPLICABLE ONLY WHERE SPECIFIED ON PLAN *

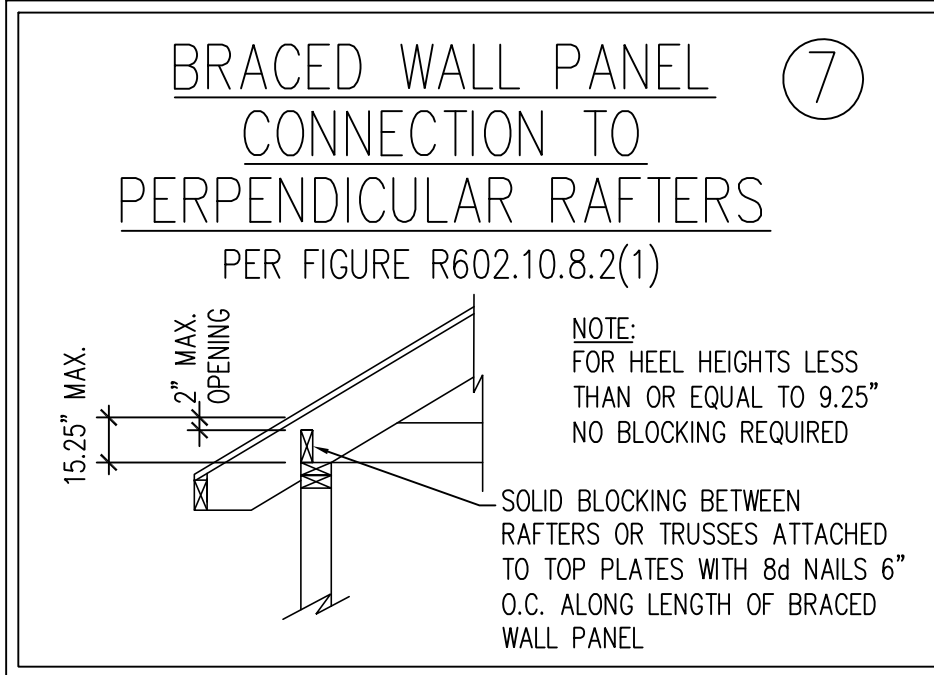


BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING ⑤

PER FIG. R602.10.8(2)

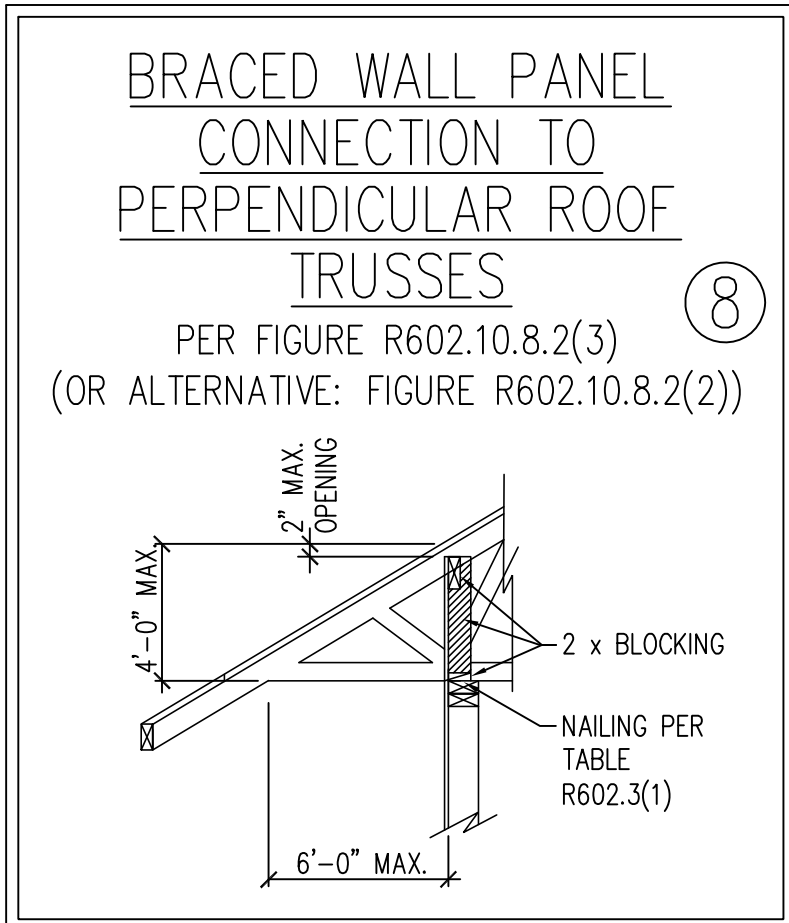


PORTAL FRAME CONNECTION DETAIL BETWEEN GARAGE DOOR HEADERS (REFERENCE PORTAL FRAME DETAIL FOR ALL OTHER PORTAL FRAME INFORMATION) ⑥



BRACED WALL PANEL CONNECTION TO PERPENDICULAR RAFTERS ⑦

PER FIGURE R602.10.8.2(1)



BRACED WALL PANEL CONNECTION TO PERPENDICULAR ROOF TRUSSES ⑧

PER FIGURE R602.10.8.2(3) (OR ALTERNATIVE: FIGURE R602.10.8.2(2))



This sealed page is to be used in conjunction with a full plan set engineered by J.S. Thompson Engineering, Inc. only. Use of this individual sealed page within architectural pages or shop drawings by others is a punishable offense under N.C. Statute § 89C-23.

J.S. THOMPSON
ENGINEERING, INC.
333 EAST SIX FORKS ROAD, SUITE 180 RALEIGH, NC 27609
PHONE: (919) 789-9919 FAX: (919) 789-9921
N.C. LICENSE NO.: C-1733

WALL BRACING NOTES AND DETAILS

DATE: NOVEMBER 1, 2024
SCALE: NOT TO SCALE
DRAWN BY: JST
ENGINEERED BY: JST

BRACED WALL NOTES AND DETAILS AND PF DETAIL

GENERAL NOTES

1. ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPS, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PIERS, GIRDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO I-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
2. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NRCR), 2024 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK. NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
3. STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NRCR, 2024 EDITION (R301.4 – R301.7)

DESIGN CRITERIA:	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (IN)
ATTIC WITH LIMITED STORAGE	20	10	L/240 (L/360 w/ BRITTLE FINISHES)
ATTIC WITHOUT STORAGE	10	10	L/360
DECKS	40	10	L/360
EXTERIOR BALCONIES	40	10	L/360
FIRE ESCAPES	40	10	L/360
HANDRAILS/GUARDRAILS	200	10	L/360
PASSENGER VEHICLE GARAGE	50	10	L/360
ROOMS OTHER THAN SLEEPING ROOM	40	10	L/360
SLEEPING ROOMS	30	10	L/360
STAIRS	40	10	L/360
WIND LOAD	(BASED ON TABLE R301.2(4) WIND ZONE AND EXPOSURE)		
GROUND SNOW LOAD: Pg	20 (PSF)		
SEISMIC DESIGN CATEGORY:	B		

- I-JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD AND DEFLECTION (IN) OF L/480
- FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD

– CLADDING DESIGNED FOR:

120 MPH WIND ZONE			
		POS. (PSF) PRESSURE	NEG. (PSF) PRESSURE
GABLE ROOF CLADDING	FLAT ROOF	+ 6.3	– 44.5
	2.25 TO 5/12	+ 9.6	– 49.8
	5 TO 7/12	+ 11.6	– 41.9
	7 TO 12/12	+ 14.2	– 35.3
HIP ROOF CLADDING	2.25 TO 5/12	+ 11.6	– 36.6
	5 TO 7/12	+ 11.6	– 28.7
	7 TO 12/12	+ 11.1	– 35.6
		+ 15.5	– 20.8

130 MPH WIND ZONE			
		POS. (PSF) PRESSURE	NEG. (PSF) PRESSURE
GABLE ROOF CLADDING	FLAT ROOF	+ 7.4	– 52.2
	2.25 TO 5/12	+ 11.3	– 58.4
	5 TO 7/12	+ 13.6	– 49.2
	7 TO 12/12	+ 16.7	– 41.4
HIP ROOF CLADDING	2.25 TO 5/12	+ 13.6	– 43
	5 TO 7/12	+ 13.6	– 33.7
	7 TO 12/12	+ 13	– 41.7
		+ 18.2	– 24.4

140 MPH WIND ZONE			
		POS. (PSF) PRESSURE	NEG. (PSF) PRESSURE
GABLE ROOF CLADDING	FLAT ROOF	+ 8.6	– 60.6
	2.25 TO 5/12	+ 13.1	– 67.8
	5 TO 7/12	+ 15.8	– 57
	7 TO 12/12	+ 19.4	– 48
HIP ROOF CLADDING	2.25 TO 5/12	+ 15.8	– 49.8
	5 TO 7/12	+ 15.8	– 39.1
	7 TO 12/12	+ 15.1	– 48.4
		+ 21.1	– 28.3

150 MPH WIND ZONE			
		POS. (PSF) PRESSURE	NEG. (PSF) PRESSURE
GABLE ROOF CLADDING	FLAT ROOF	+ 9.9	– 69.6
	2.25 TO 5/12	+ 15	– 77.8
	5 TO 7/12	+ 18.1	– 65.4
	7 TO 12/12	+ 22.2	– 55.2
HIP ROOF CLADDING	2.25 TO 5/12	+ 18.1	– 57.2
	5 TO 7/12	+ 18.1	– 44.9
	7 TO 12/12	+ 17.3	– 55.6
		+ 24.3	– 32.5

4. FOR 115 AND 120 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION R403.1.6 OF THE NRCR, 2024 EDITION. FOR 130 MPH, 140 MPH, AND 150 MPH WIND ZONES, FOUNDATION ANCHORAGE IS TO COMPLY WITH SECTION 4504 OF THE NRCR, 2024 EDITION.
5. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER 11 OF THE NRCR, 2024 EDITION.

FOOTING AND FOUNDATION NOTES

1. FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
2. FOR ALL CONCRETE SLABS AND FOOTINGS, THE AREA WITHIN THE PERIMETER OF THE BUILDING ENVELOPE SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED. FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ASSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 24" FOR CLEAN SAND OR GRAVEL. EXCEPTION: #57 OR #67 STONE MAY BE USED AS FILL FOR MAXIMUM DEPTH OF 4 FEET WITHOUT CONSOLIDATION. A 4" THICK BASED COURSE CONSISTING OF CLEAN GRADED SAND OR GRAVEL SHALL BE PLACED. A BASE COURSE IS NOT REQUIRED WHERE A CONCRETE SLAB IS INSTALLED ON WELL-DRAINED OR SAND-GRAVEL MIXTURE SOILS CLASSIFIED AS GROUP 1, ACCORDING TO THE UNITED SOIL CLASSIFICATION SYSTEM IN ACCORDANCE WITH TABLE R405.1 OF THE NRCR, 2024 EDITION.
3. PROPERLY DEWATER EXCAVATION PRIOR TO POURING CONCRETE WHEN BOTTOM OF CONCRETE SLAB IS AT OR BELOW WATER TABLE. IF APPLICABLE, 3/4" – 1" DEEP CONTROL JOINTS ARE TO BE SAWED WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING AND WALL LOCATIONS HAVE BEEN MARKED. ADJUST WHERE NECESSARY.
4. CONCRETE SHALL CONFORM TO SECTION R402.2 OF THE NRCR, 2024 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A615 GRADE 60. WELDED WIRE FABRIC TO BE ASTM A185. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 1 1/2" IN SLABS. FOR POURED CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 1 1/2" FOR #5 BARS OR SMALLER, AND NOT LESS THAN 2" FOR #6 BARS OR LARGER.

5. MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/TMS 402. MORTAR SHALL CONFORM TO ASTM C270.
6. THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR UNFILLED HOLLOW CONCRETE MASONRY UNITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. PERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR S MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8" OF SOLID MASONRY.
7. THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING. EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
8. ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OF THE NRCR, 2024 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 332, NOMA 1R68-A OR ACE 530/ASCE 5/TMS 402. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1.1(1), R404.1.1(2), R404.1.1(3), OR R404.1.1(4) OF THE NRCR, 2024 EDITION. CONCRETE FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE R404.1.2(8) OF THE NRCR, 2024 EDITION. STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16" O.C. WHERE GRADE PERMITS (UNO).

FRAMING NOTES

1. ALL FRAMING LUMBER SHALL BE #2 SPF MINIMUM (Fb = 875 PSI, Fv = 375 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE #2 SYP MINIMUM (Fb = 975 PSI, Fv =175 PSI, E = 1600000 PSI) UNLESS NOTED OTHERWISE (UNO).
2. LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb =2600 PSI, Fv = 285 PSI, E = 1900000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2325 PSI, Fv = 310 PSI, E = 1550000 PSI. PARALLEL STRAND LUMBER (PSL) UP TO 7" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2500 PSI, E =1800000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 7" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2900 PSI, E = 2000000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
3. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS
- | | |
|--------------------------------|--------------------------------|
| A. W AND WT SHAPES: | ASTM A992 |
| B. CHANNELS AND ANGLES: | ASTM A36 |
| C. PLATES AND BARS: | ASTM A36 |
| D. HOLLOW STRUCTURAL SECTIONS: | ASTM A500 GRADE B |
| E. STEEL PIPE: | ASTM A53, GRADE B, TYPE E OR S |
4. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH (UNO). PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (UNO):
- | | |
|----------------------------|--|
| A. WOOD FRAMING | (2) 1/2" DIA. x 4" LONG LAG SCREWS |
| B. CONCRETE | (2) 1/2" DIA. x 4" WEDGE ANCHORS |
| C. MASONRY (FULLY GROUTED) | (2) 1/2" DIA. x 4" LONG SIMPSON TITEN HD ANCHORS |
| D. STEEL PIPE COLUMN | (4) 3/4" DIA. A325 BOLTS OR 3/16" FILLET WELD |
- LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE 2x NAILER ON TOP OF THE STEEL BEAM, AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM w/ (2) ROWS OF SELF TAPPING SCREWS @ 16" O.C. OR (2) ROWS OF 1/2" DIAMETER BOLTS @ 16" O.C. IF 1/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED w/ (2) ROWS OF 9/16" DIAMETER HOLES @ 16" O.C.
5. SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SHADED SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.
6. ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R602.7(1) AND R602.7(2) OF THE NRCR, 2024 EDITION OR BE (2) 2 x 6 WITH (1) JACK AND (1) KING STUD EACH END (UNO), WHICHEVER IS GREATER. ALL HEADERS TO BE SECURED TO EACH JACK STUD WITH (4) 8d NAILS. ALL BEAMS TO BE SUPPORTED WITH (2) STUDS AT EACH BEARING POINT (UNO). INSTALL KING STUDS PER SECTION R602.7.5 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2024 EDITION.
7. ALL BEAMS, HEADERS, OR GIRDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE 1 1/2" MINIMUM BEARING (UNO). ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (UNO).
8. FLITCH BEAMS SHALL BE BOLTED TOGETHER USING 1/2" DIAMETER BOLTS (ASTM A307) WITH WASHERS PLACED AT THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" CENTERS (MAXIMUM), AND STAGGERED AT TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH (2) BOLTS LOCATED AT 6" FROM EACH END (UNO).
9. ALL I-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
10. BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE NORTH CAROLINA RESIDENTIAL CODE 2024 EDITION WALL BRACING CRITERIA. THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R602.10.
11. PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS PER STRUCTURAL PLAN. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.
12. FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8'-0" IN LENGTH, REST A 6" x 4" x 5/16" STEEL ANGLE WITH 6" MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT (U.N.O). FOR ALL HEADERS 8'-0" AND GREATER IN LENGTH, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO HEADER WITH 1/2" LAG SCREWS AT 12" O.C. STAGGERED FOR BRICK SUPPORT. FOR ALL BRICK SUPPORT AT ROOF LINES, BOLT A 6" x 4" x 5/16" STEEL ANGLE TO (2) 2 x 10 BLOCKING INSTALLED w/ (4) 12d NAILS EA. PLY BETWEEN WALL STUDS WITH (2) ROWS OF 1/2" LAG SCREWS AT 12" O.C. STAGGERED AND IN ACCORDANCE WITH SECTION R703.8.2.1 OF THE NRCR, 2024 EDITION.
13. FOR STICK FRAMED ROOFS: CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPLICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOWN (UNO).
14. FOR TRUSSED ROOFS: FRAME DORMER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 x 8 RIDGES, 2 x 6 RAFTERS AT 16" O.C. AND FLAT 2 x 10 VALLEYS (UNO).
15. ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 700 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (UNO). POSTS MAY BE SECURED TO WOOD FRAMING WITH SIMPSON CS16 COIL STRAPPING WITH 9" END LENGTHS OR (2) 6" LONG SIMPSON SDS SCREWS (OR EQUAL) DRIVEN AT AN ANGLE FROM OPPOSITE SIDES. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE.
16. CONSTRUCT ALL WOOD DECKS ACCORDING TO CHAPTER 47-WOOD DECKS.

This sealed page is to be used in conjunction with a full plan set engineered by J.S. Thompson Engineering, Inc. only. Use of this individual sealed page within architectural pages or shop drawings by others is a punishable offense under N.C. Statute § 89C-23

J.S. THOMPSON
ENGINEERING, INC
333 EAST SIX FORKS ROAD, SUITE 180 RALEIGH, NC 27609
PHONE: (919) 7899919 FAX: (919) 7899921
N.C. LICENSE NO.: C-1733

STANDARD STRUCTURAL NOTES



4/22/2025

DATE: NOVEMBER 4, 2024

DRAWN BY: JST

ENGINEERED BY: JST

STRUCTURAL
NOTES