



**North Carolina Onsite Wastewater Contractor Inspector Certification Board  
Authorized Onsite Wastewater Evaluator Permit Option for Non-Engineered Systems  
Notice of Intent (NOI) to Construct**

    New    Expansion    Repair    Relocation    Relocation of Repair Area

Owner or Legal Representative Information: Rich Sherman  
 Name: New Home Inc,  
 Mailing address: 1611 Jones Franklin Rd. Suite 101 City: Raleigh State: NC Zip: 27606  
 Phone: 919-422-2838 Email: rich.sherman@newhomeinc.com

Authorized Onsite Wastewater Evaluator Information:  
 Name: Alex Adams Certification #: AOWE# 10021E  
 Mailing address: 1676 Mitchell Road City: Angier State: NC Zip: 27501  
 Phone: 919-414-6761 Email: alexadams@bcsoil.com

Site Location Information:  
 Site address: 123 Beacon Hill Rd.. - Lillington, NC 27546  
 Tax parcel identification number or subdivision lot, block number of property: PIN# 0630-24-5711  
 County: Harnett

System Information: Accepted Status  
 Wastewater System Type: Type III (b)  
 Daily Design Flow: 480 gallons/day  
 Sapro-lite System:    Yes  No Subsurface Operator Required:    Yes  No  
 Water Supply Type:    Private Well  Public Water Supply    Spring    Other:

Facility Type:  
 Residential    4 # Bedrooms    8 Maximum # of Occupants  
   Business Type of Business and Basis for Flow: \_\_\_\_\_  
   Public Assembly Type of Public Assembly and Basis for Flow: \_\_\_\_\_

Require Attachments:  
 Plat or Siteplan  
 Evaluation of Soil and Site Features by Licensed Soil Scientist

Attest: On this the 28th day of March, 2024 by signature below I hereby attest that the information required to be included with this NOI to Construct is accurate and complete to the best of my knowledge. Furthermore, I hereby attest that I have adhered to the laws and rules governing onsite wastewater systems in the state of North Carolina. This NOI shall expire on 28th day of March 2029.

Signature of Authorized Onsite Wastewater Evaluator: Alex Adams  
 Signature of Owner or Legal Representative: \_\_\_\_\_

Disclosure: The owner may apply for a building permit for the project upon submitting a complete NOI to Construct and the fee required (if any) to the local health department. An onsite wastewater system authorized by an authorized onsite wastewater evaluator shall be transferable to a new owner with the consent of the authorized onsite wastewater evaluator.

Local Health Department Receipt Acknowledgement:  
 Signature of Local Health Department Representative: \_\_\_\_\_ Date: \_\_\_\_\_



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
1/17/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Wade Associates, LLC 250 Pollock St.  New Bern NC 28560	<b>CONTACT NAME:</b> Angela Sensenig <b>PHONE (A/C No. Ext):</b> (252) 631-5269 <b>E-MAIL ADDRESS:</b> asensenig@wadeict.com	<b>FAX (A/C, No):</b> (252) 649-2443
	<b>INSURER(S) AFFORDING COVERAGE</b>	
<b>INSURED</b> Alex Adams, DBA: Adams Soil Consulting 1676 Mitchell Rd.  Angier NC 27501	<b>INSURER A:</b> Markel Insurance Company	
	<b>INSURER B:</b>	
	<b>INSURER C:</b>	
	<b>INSURER D:</b>	
	<b>INSURER E:</b>	
	<b>INSURER F:</b>	

**COVERAGES** **CERTIFICATE NUMBER: 24-25** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	<b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:						EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$ \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
A	<b>Errors &amp; Omissions</b>			MEO1118-06	1/31/2024	1/31/2025	General Aggregate \$1,000,000 Each Occurrence \$1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

<b>CERTIFICATE HOLDER</b>  *FOR INFORMATIONAL PURPOSES ONLY* XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE N Whitsett/RACHEL
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**Adams Soil Consulting, PLLC**  
**1676 Mitchell Road**  
**Angier, NC 27501**  
**919-414-6761**  
**alexadams@bcsoil.com**

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March 28, 2024  
Project #1769

*“This AOWE/PE submittal is pursuant to and meets the requirements of G.S. 130A-336.2*

RE: Duncan’s Creek -Lot #12 – 123 Beacon Hill Road – Lillington, NC - 4-bedroom  
Single Family Residence

To whom it may concern:

Adams Soil Consulting (ASC) conducted a preliminary soil evaluation on the above referenced parcel to determine the areas of soils which are suitable for subsurface wastewater disposal systems (conventional & LPP). The soil/site evaluation was performed using pits and hand augers during moist soil conditions based on the criteria found in the State Subsurface Rules 15ANCAC 18E. From this evaluation, ASC is providing the attached septic system design for a new single-family home sized for a 480 gallon/day septic system.

The suitable soils found on the subject property were somewhat variable in the initial and repair areas. The area designated for the initial/primary septic system (see attached septic plan) was found to contain soils with greater than 24 inches in depth before a restrictive horizon was encountered.

The initial and primary septic fields for the new home were sized based on a flow rate of 480 gallons/day and utilizing Accepted Status system for the initial and a low-profile chamber repair system. Any unauthorized site disturbance, filling, soil removal, or layout changes may result in the permit being revoked.

The septic installer contractor shall install the repair (if needed) system on contour, see attached site plan for the primary system and repair. No underground utilities, water lines, or sprinkler systems shall be placed into the initial or repair septic areas. Installation must meet all state and local county regulations for septic system installation. The trenches must be installed in the same location as the site plan. If flags trench flags are missing at the time of installation, they must be remarked by Adams Soil Consulting staff. Contact Alex Adams at 919-414-6761. A preconstruction conference is required with the septic installer prior to construction activities at least 14 days in advance of construction activities.

This report does not guarantee the future function of any waste water disposal system installed.

If you have any questions regarding the findings on the attached site plan or in this report, please feel free to contact me anytime.

Sincerely,



Alex Adams  
NC Licensed Soil Scientist #1247  
AOWE Certification: 10021E



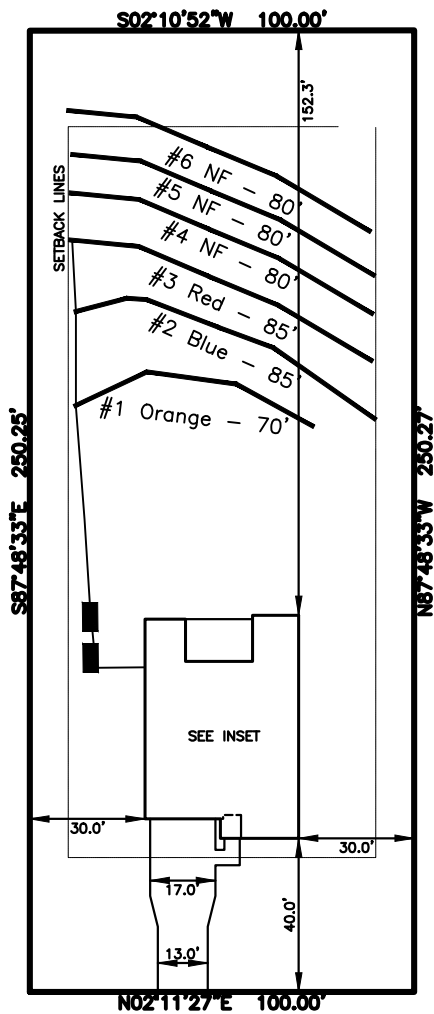
Duncann's Creek - Lot #12  
 4-Bedroom - 480 gallon/day Septic Design  
 123 Beacon Hill Road - Lillington NC  
 New Homes, Inc.  
 Harnett County PIN: 0630-24-5711

\*Not a Survey  
 Sketched from a plot plan supplied by owner

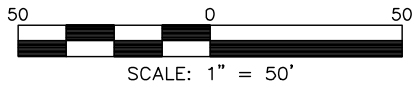
System: Pump to serial distribution  
 Lines: 1-3 (240')  
 0.6 LTAR  
 24" Max Trench Bottom  
 Accepted Status System (Chambers)  
 Repair: Gravity to D-Box  
 Lines: 4-6 (300')  
 0.6 LTAR  
 24" Max Trench Bottom  
 Accepted Status System

\*\*1000 Gallon Septic and Pump Tank  
 Tank and trenches to be located minimum of 10'  
 from any property line and minimum of 5'  
 from any building foundation.  
 \*Do Not Cut, Fill, or Alter Drainfield or Repair Area  
 \*Comply with all setbacks  
 \*Contact local health dept. and/or Alex Adams prior to  
 or during installation with any questions or concerns.

Adams  
 Soil Consulting  
 919-414-6761  
 Job #1769  
 9-25-23



BEACON HILL ROAD  
 50' PUBLIC R/W



# Duncann's Creek - Lot #12

## Soil Boring Map

123 Beacon Hill Road - Lillington NC

New Homes, Inc.

Harnett County PIN: 0630-24-5711

\*Not a Survey  
Sketched from a plot plan supplied by owner

Profile Description #1  
See Soil/Site Evaluation  
Data Form

Profile Description #2  
See Soil/Site Evaluation  
Data Form

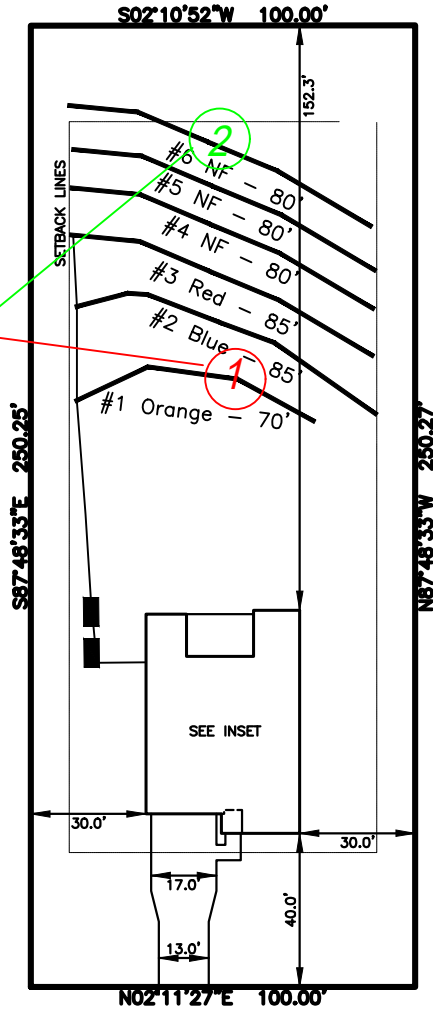
\*\*1000 Gallon Septic and Pump Tank  
Tank and trenches to be located minimum of 10'  
from any property line and minimum of 5'  
from any building foundation.

\*Do Not Cut, Fill, or Alter Drainfield or Repair Area

\*Comply with all setbacks

\*Contact local health dept. and/or Alex Adams prior to  
or during installation with any questions or concerns.

Adams  
Soil Consulting  
919-414-6761  
Job #1769  
9-25-23



12  
25,026 S.F.  
0.575 AC.

**SOIL/SITE EVALUATION**  
**for ON-SITE WASTEWATER SYSTEM**  
 (Complete all fields in full)

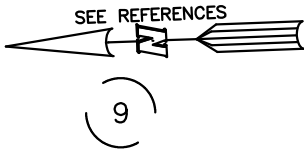
OWNER: New Home Inc, APPLICATION DATE:  
 ADDRESS: Duncan's Creek – Lot 12 – 123 Beacon Hill Road. – Lillington, NC DATE EVALUATED: 2-20-24  
 PROPOSED FACILITY: Single Family, 4-bedroom PROPOSED DESIGN FLOW (.1949): 480gpd PROPERTY SIZE: ~0.57 acres  
 LOCATION OF SITE: Duncan's Creek – Lot 12 – 123 Beacon Hill Road. – Lillington, NC  
 WATER SUPPLY: Public Water  
 EVALUATION METHOD: Auger Boring TYPE OF WASTEWATER: Sewage

P R O F I L E #	.1940 LANDSCAPE POSITION/ SLOPE %	HORIZON DEPTH (IN.)	SOIL MORPHOLOGY (.1941)		OTHER PROFILE FACTORS				PROFILE CLASS & LTAR
			.1941 STRUCTURE/ TEXTURE	.1941 CONSISTENCE/ MINERALOGY	.1942 SOIL WETNESS/ COLOR	.1943 SOIL DEPTH	.1956 SAPRO CLASS	.1944 RESTR HORIZ	
1	Ridge/7%	0-15	GR/S	FR/SEXP/NS	N/A	N/A	N/A	N/A	PS/0.8
		15-60+	SBK/LS	FI/SEXP/SS					
2	Ridge/7%	0-20	GR/S	FR/SEXP/NS	N/A	N/A	N/A	N/A	PS/0.8
		20-60+	SBK/LS	FI/SEXP/SS					
3									
4									

DESCRIPTION	INITIAL SYSTEM	REPAIR SYSTEM	OTHER FACTORS (.1946): _____ SITE CLASSIFICATION (.1948): PS  EVALUATED BY: A. Adams OTHER(S) PRESENT:
Available Space (.1945)	>5,000 ft <sup>2</sup>	>5,000 ft <sup>2</sup>	
System Type(s)	Type III (b)	Type III (b)	
Site LTAR	0.35	0.35	

COMMENTS: Large percentage of small stone and gravel in profile but deemed to be less than 50% in the trench installation area and below.  
 Updated February 2014

PLOT PLAN FOR  
**NEW HOME, INC. LLC**  
 123 BEACON HILL ROAD  
 LOT 12, DUNCAN'S CREEK, PHASE I  
 UPPER LITTLE CREEK TOWNSHIP, HARNETT COUNTY, NORTH CAROLINA

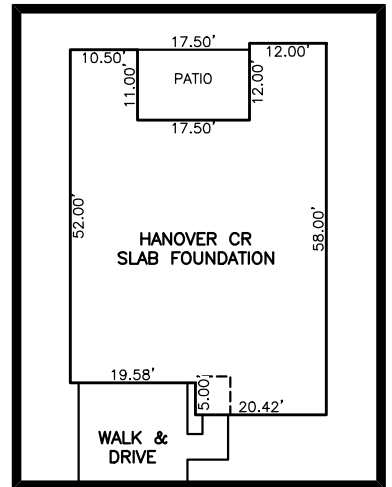
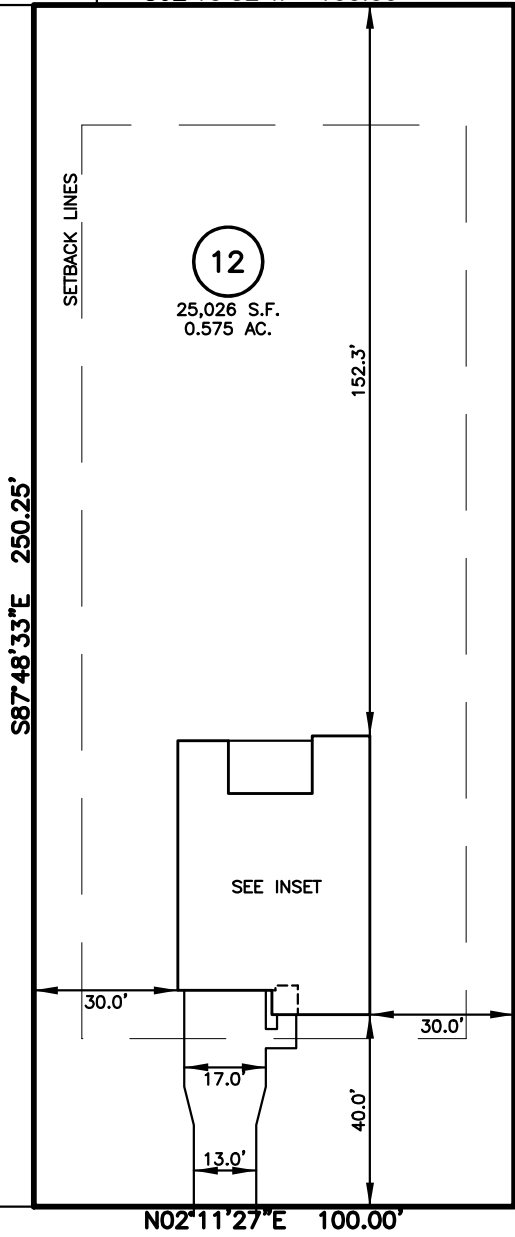


(10)  
 THOMAS MANOR  
 B.M. 2013, PG. 279

S02°10'52"W 100.00'

**LEGEND**

- ▲ AIR CONDITIONER
- BC BACK of CURB
- BFP BACK FLOW PREVENTER
- CLEANOUT
- CURB INLET
- DHS DRILL HOLE SET
- ECM EXISTING CONCRETE MONUMENT
- EDH EXISTING DRILL HOLE
- EIS EXISTING IRON STAKE
- EIP EXISTING IRON PIPE
- EM ELECTRIC METER
- EPK EXISTING PK NAIL
- ES ELECTRIC STUB
- FLA FLARED END SECTION
- FHY FIRE HYDRANT
- FOP FIBER OPTIC PEDESTAL
- GM GAS METER
- GUY GUY
- INV. INVERT
- IPS IRON PIPE SET
- IRS IRON ROD SET
- LPT LIGHT POLE
- MNS MAGNETIC NAIL SET
- MSM MANHOLE SANITARY SEWER
- MSS MANHOLE STORM SEWER
- OHV OVERHEAD WIRES
- PKS PK NAIL SET
- PNS POINT NOT SET
- RRS RAIL ROAD SPIKE
- TEP TELEPHONE PEDESTAL
- TRF TRANSFORMER
- CTV CABLE TV PEDESTAL
- UPU UTILITY POLE
- WM WATER METER
- WV WATER VALVE
- YI YARD INLET
- FM FIELD MEASUREMENT



INSET SCALE: 1"=30'

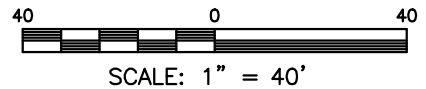
**SETBACK INFO**

FRONT:	35'
REAR:	25'
SIDES:	10'
CORNER SIDE:	20'

IMPERVIOUS SURFACES	S.F.
HOUSE	2,000
WALK & DRIVE	720
PATIO	200
TOTAL	2,920
PERCENT IMPERVIOUS	11.7%

**BEACON HILL ROAD**  
 50' PUBLIC R/W

**REFERENCES:**  
 B.M. 2022, PG. 594-596



**NOTES**

1. THIS SURVEY SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
2. THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.

PLOT PLAN  
 PRELIMINARY PLAT- NOT FOR RECORDATION,  
 CONVEYANCE OR SALES

REV CODE: 1.FLIP, 2.PLAN, 3.ROTATE, 4.MOVE, 5.SS  
 6.SEVERAL OF ABOVE, 7.LAND FEATURE, 8. OTHER

REV1: MAR. 05, 2024(2)  
 DATE: MAR. 01, 2024

F.B. \_\_\_\_\_

**RWK, PA**  
**ENGINEERING ~ SURVEYING**  
 CORPORATE LICENSE: C-1771  
 101 W. MAIN ST., SUITE 202  
 GARNER, NC 27529  
 PHONE (919) 779-4854  
 FAX (919) 779-4056