

REVISION LOG	
REVISION:001	DATE:10-5-23

1. WALK THROUGH CHANGES AND ELECTRICAL PLANS

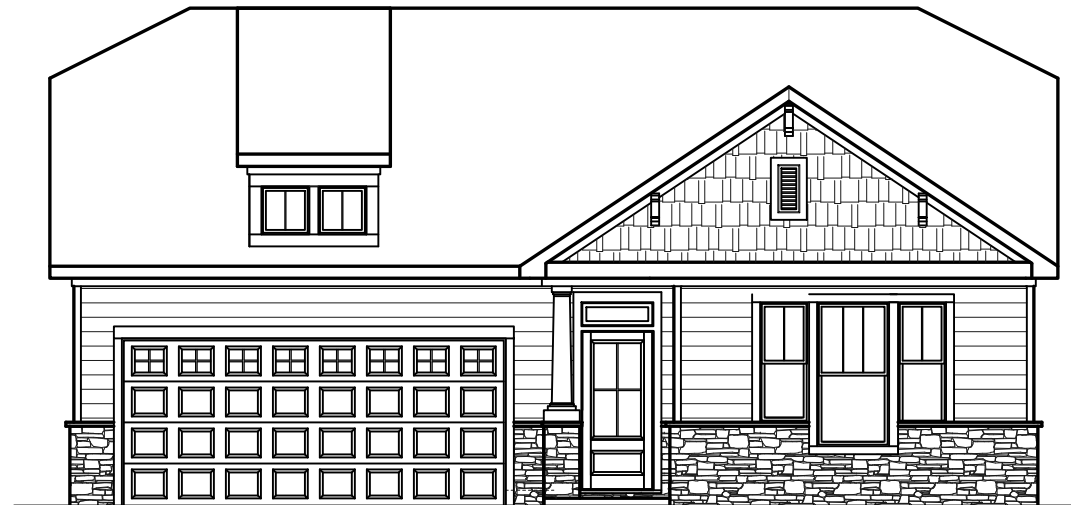
Duncans Creek Lot 12
123 Beacon Hill Road
Lillington NC 27546



The Hanover Craftsman - LH



ARCHITECTURAL DRAWINGS	
Sheet No.	Sheet Description
0.0	Cover Sheet
1.0	Foundation (Slab)
1.0.1	Foundation (Crawl)
2.0	First Floor Plan
2.1	First Floor Plan Options
3.0	Front & Rear Elevations (Slab)
3.0.1	Front & Rear Elevations (Crawl)
3.1	Side Elevations (Slab)
3.1.1	Side Elevations (Crawl)
3.2	Elevation Options (Slab)
3.2.1	Elevation Options (Crawl)
3.3	Elevation Options (Slab)
3.3.1	Elevation Options (Crawl)
4.0	Roof Plan
5.0	First Floor Electrical
5.1	First Floor Options Electrical



SQUARE FOOTAGE		
	'CRAFTSMAN' ELEVATION	
	UNHEATED	HEATED
FIRST FLOOR	0	1431
FRONT PORCH	32	0
REAR PATIO/DECK	144	0
2 CAR GARAGE	394	0
SUBTOTALS	570	1431
TOTAL UNDER ROOF	2001	

OPTIONS		
	UNHEATED S.F.	HEATED S.F.
OPTIONAL CAFE/OFFICE	0	+144
FIREPLACE BUMPOUT	0	+11
DORMER	52	0
OPTIONAL REAR PATIO/DECK	193	0

Matt Riley redlines 2.25.2024
J Jones revised 3.11.2024

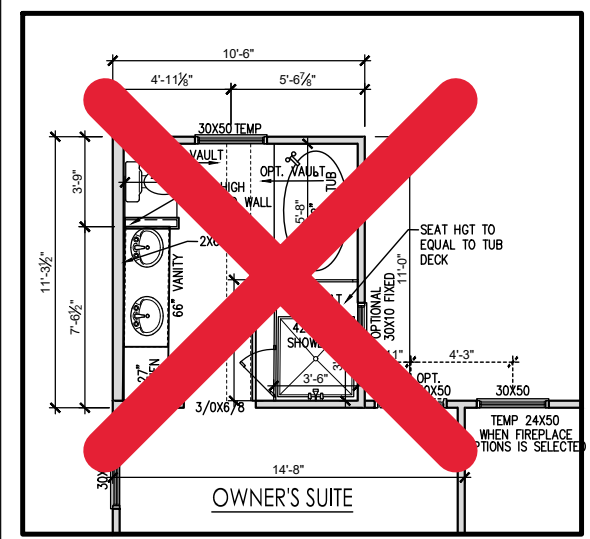
DESIGN CRITERIA:

THIS PLAN IS TO BE BUILT IN CONFORMANCE WITH THE 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE
DIMENSIONS SHALL GOVERN OVER SCALE, AND CODE SHALL GOVERN OVER DIMENSIONS.

REV.#	DESCRIPTION	DATE
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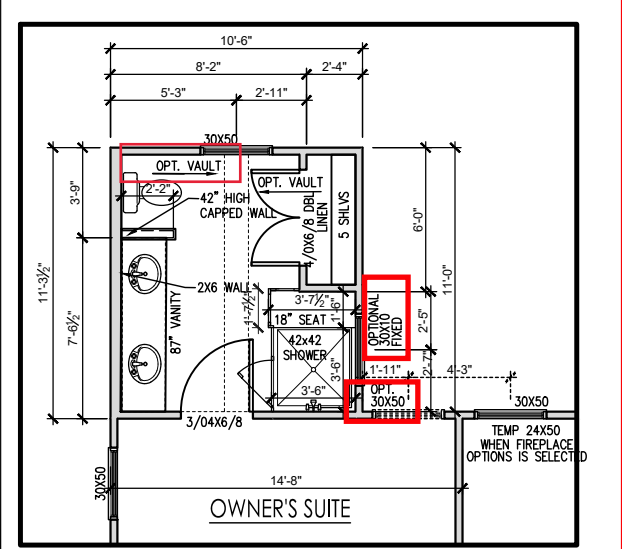
THE HANOVER - LH
Cover - Craftsman

DRAWN BY: New Home Inc. - Jennifer Jones
ISSUE DATE: 05-02-2023
CURRENT REVISION DATE: 09-03-2023-JJ
SCALE: 1/8" = 1'-0"
SHEET 0.0



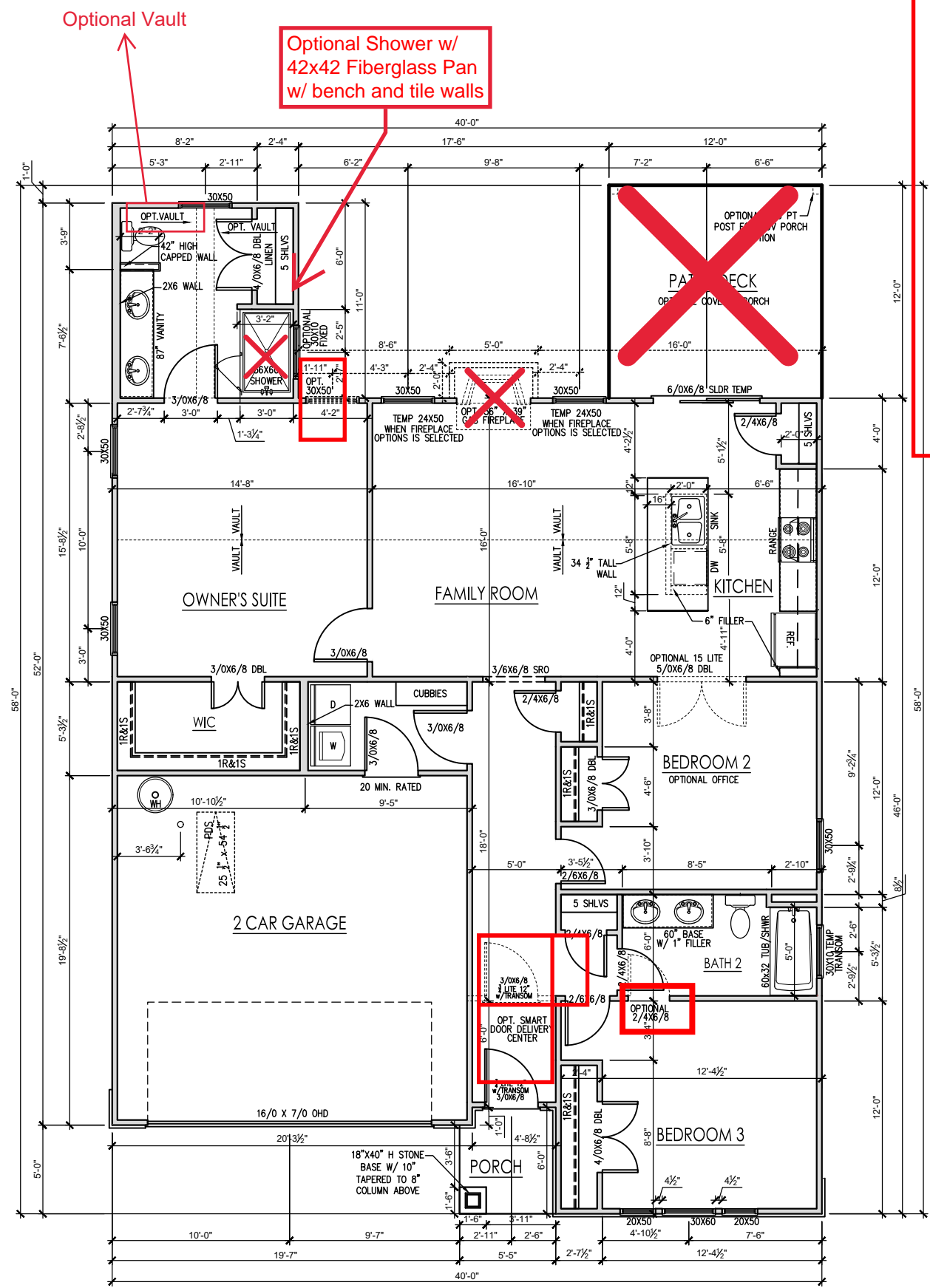
OWNER'S SUITE BATH WITH TUB OPTION

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



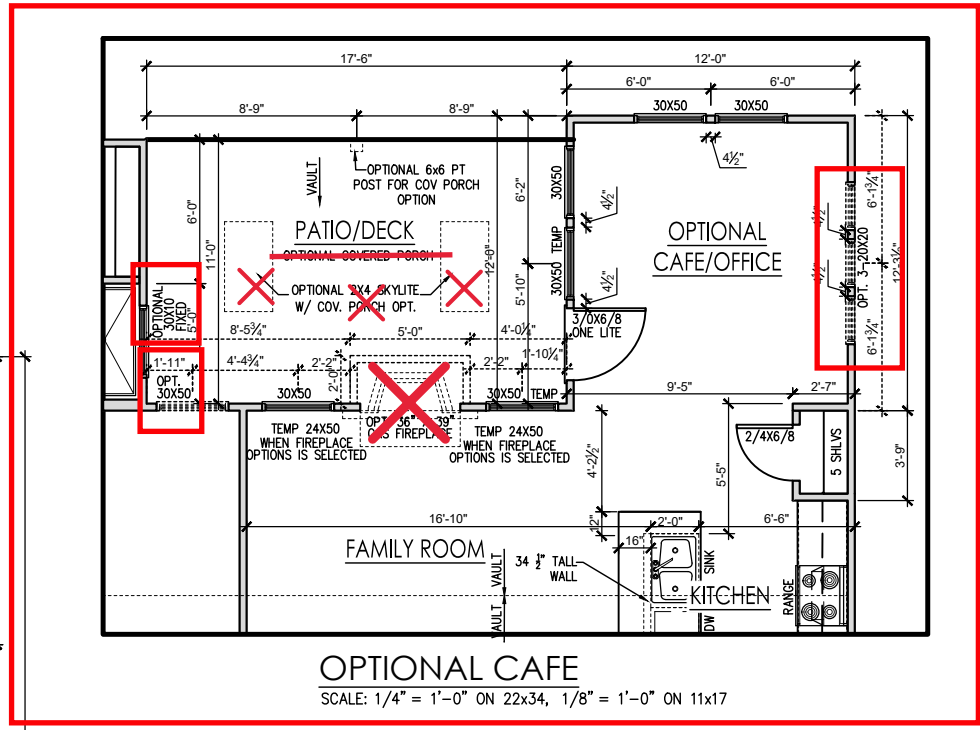
OWNER'S SUITE BATH W/ SHOWER W/ SEAT OPTION

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



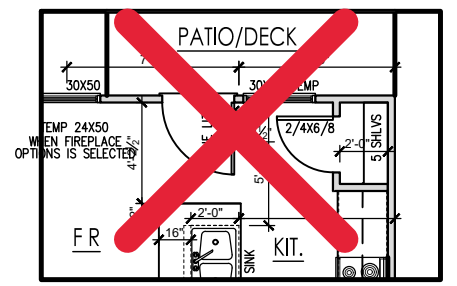
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



OPTIONAL CAFE

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



OPTIONAL PATIO DOOR AND WINDOW AT KITCHEN

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

GENERAL FLOOR PLAN NOTES

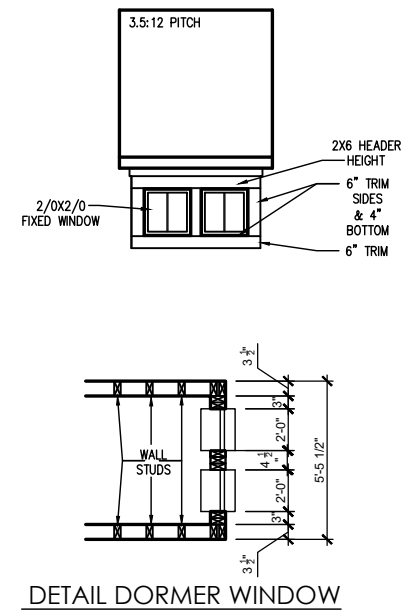
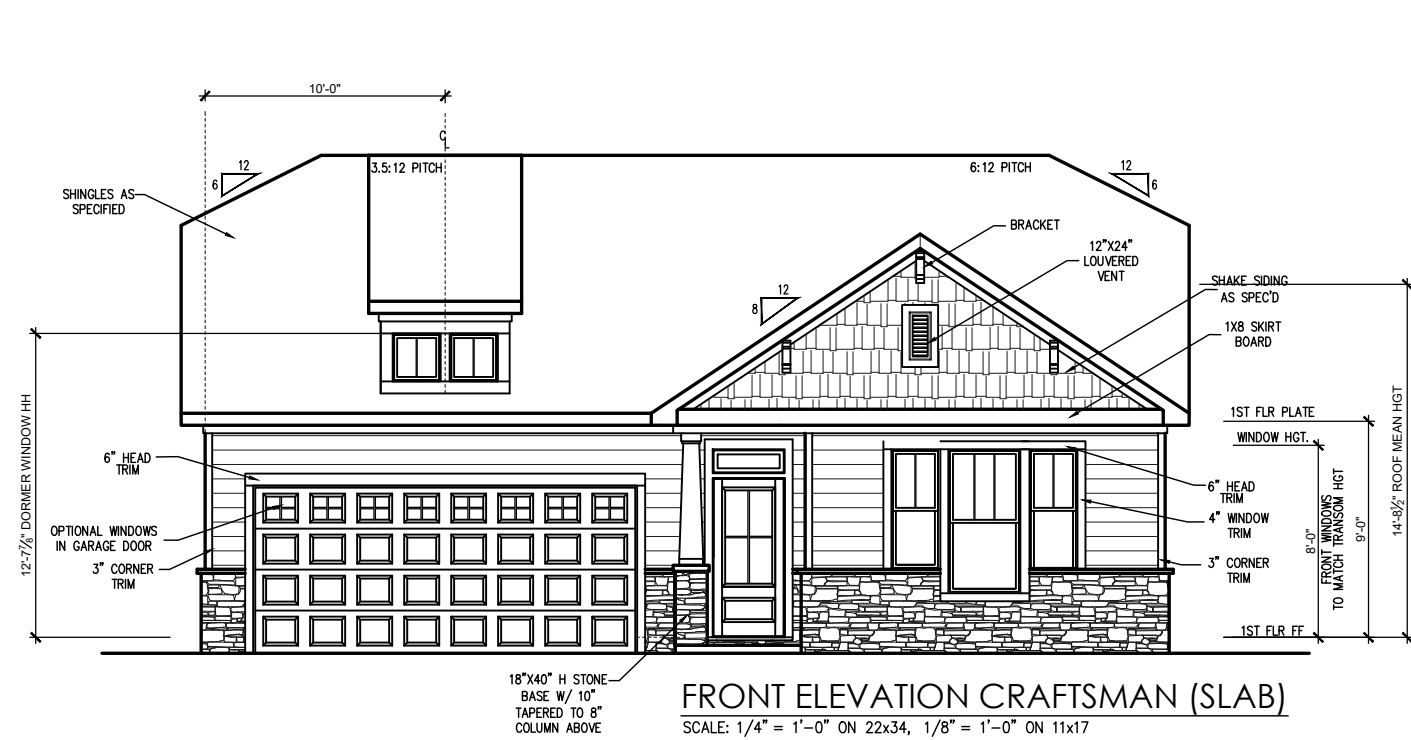
GENERAL FLOOR PLAN NOTES SHALL APPLY UNLESS NOTED OTHERWISE ON PLAN.

1. WALL HEIGHTS: TYPICALLY 9'-1 1/2" AT FIRST FLOOR AND SECOND FLOOR, AND 9'-1 1/2" AT ATTICS U.N.O. ALL WALLS ARE CONSTRUCTED USING A DOUBLE TOP PLATE. SPLICES AT DOUBLE TOP PLATE DO NOT NEED TO OCCUR AT VERTICAL STUDS BUT MUST BE AT LEAST 24" APART FROM JOINT IN OTHER TOP PLATE LAYER. SPECIAL WALL HEIGHTS ARE NOTED ON PLANS WHERE THEY OCCUR.
2. WALL THICKNESS IS TYPICALLY 3 1/2". 2X6 FRAME SHALL BE USED AT WALLS THAT BACK UP TO PLUMBING FIXTURES. WALLS GREATER THAN 10' HIGH SHALL BE FRAMED WITH 2X6 FRAMING OR GREATER AND WILL BE NOTED AS A SPECIAL CONDITION WHERE IT OCCURS ON PLAN.
3. TYPICAL HEADER HEIGHT SHALL BE 7'-8" AFF AT FIRST FLOOR, AND 7'-4" AFF AT SECOND FLOOR U.N.O.
4. JACKS: OPENINGS UP TO 3'-4" WIDE SHALL HAVE (1) 2X4 JACK STUD SPF ON EACH SIDE. OPENINGS GREATER THAN 3'-4" WIDE SHALL HAVE (2) 2X4 JACK STUDS SPF ON EACH SIDE.
5. SOFFITS, COFFERED CEILINGS, TREY CEILINGS AND OTHER SIGNIFICANT CEILING PLAN ELEMENTS ARE SHOWN ON THE FLOOR PLANS AND ARE DENOTED AS SINGLE DASHED LINES. UNLESS SPECIFICALLY CALL OUT AS INCLUDED, KITCHENS DO NOT INCLUDE SOFFITS OVER WALL CABINETS.
6. DOOR AND WINDOW FRAMES, WHERE OCCURRING NEAR CORNERS, SHALL BE A MINIMUM OF 4 1/2" FROM CORNER. EXCEPT FOR WALK-IN CLOSETS WITH DOORS NEAR A CORNER, DOORS AT CLOSETS SHALL BE CENTERED ON CLOSET.
7. WINDOWS: SHALL HAVE AT LEAST (1) WINDOW IN EACH SLEEPING ROOM THAT MEETS EGRESS. SHALL BE PROVIDED WITH TEMPERED GLASS AT HAZARDOUS GLAZING AREAS. FALSE WINDOWS SHALL BE INSTALLED WITH OBSCURE GLAZING.
8. CLOSETS FOR CLOTHING OR COAT STORAGE SHALL BE EQUIPPED WITH 1 ROD/SHELF. CLOSETS FOR LINEN SHALL HAVE 4 OPEN EQUAL SHELVES. CLOSETS FOR PANTRIES SHALL HAVE 4 EQUAL WOOD SHELVES, PAINTED.
9. STAIR TREADS SHALL BE A MIN OF 9" DEEP. RISERS SHALL BE A MAXIMUM OF 8 1/4". UNLESS NOTED OTHERWISE, PER THE CURRENT NORTH CAROLINA RESIDENTIAL CODE.
10. HANDRAILS AND GUARDS AT STAIRS SHALL BE 34" ABOVE THE FINISHED SURFACE OF THE RAMP SURFACE OF THE STAIR. HANDRAILS AT LANDINGS AND OVERLOOKS OF MULTILEVEL SPACES SHALL BE 36" ABOVE FINISHED FLOOR. GUARDS (PICKETS OR BALUSTERS) SHALL BE SPACED WITH NO MORE THAN 4" BETWEEN GUARDS.
11. ATTIC ACCESS SHALL BE PROVIDED AT ALL ATTIC AREA WITH A HEIGHT GREATER THAN 30". MINIMUM CLEAR ATTIC ACCESS SHALL BE 20" X 30". PULL DOWN STAIRS AND ACCESS DOORS IN KNEE WALLS MEETING MINIMUM CRITERIA ARE ALSO ACCEPTABLE.
12. GARAGE DOOR TO LIVING SPACE SHALL BE 2'-8" X 6'-8" MINIMUM SIZE AND SHALL BE 20 MINUTE FIRE RATED AND WEATHER SEALED.
13. GARAGE WALLS, AS A MINIMUM, SHALL BE SEPARATED FROM LIVING SPACE BY INSTALLING 1/2" GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL. WITH HABITABLE SPACE ABOVE, THE INSIDE OF ALL GARAGE WALLS REQUIRE 1/2" GWB SUPPORTING 58" TYPE "X" GWB ON CEILING.

DATE	DESCRIPTION

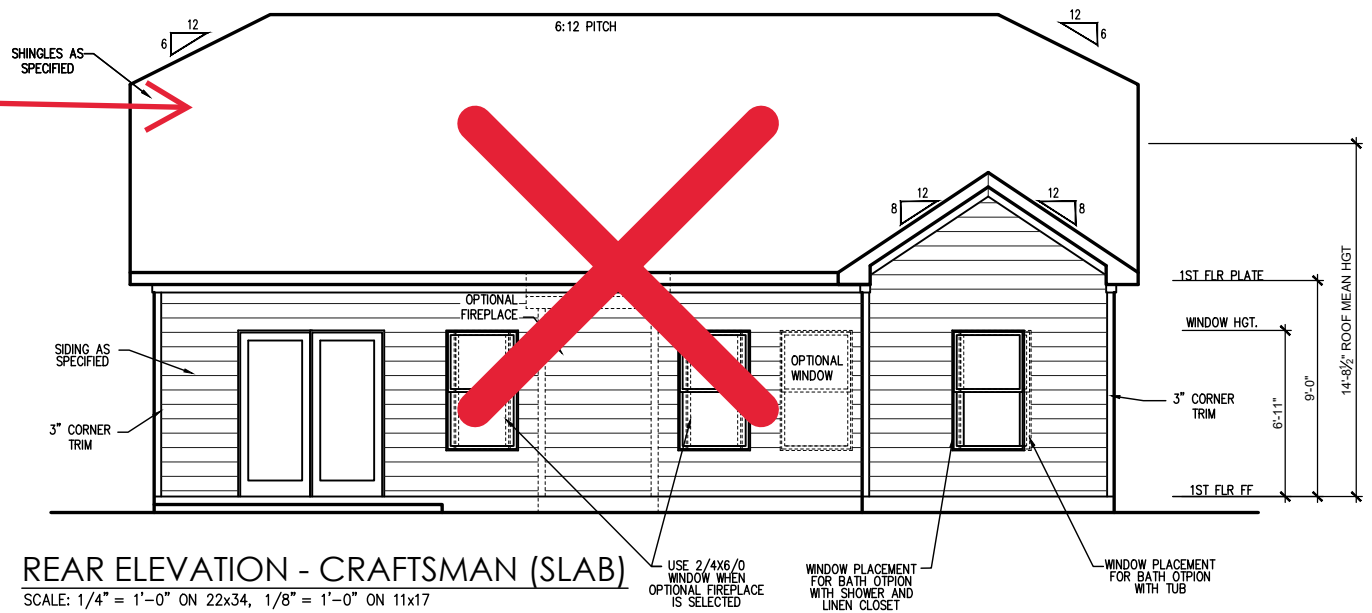
THE HANOVER - LH
First Floor Plan - Craftsman

DRAWN BY:
New Home Inc. - Jennifer Jones
ISSUE DATE:
05-02-2023
CURRENT REVISION DATE:
09-03-2023 - JJ
SCALE:
1/8" = 1'-0"
SHEET
2.0

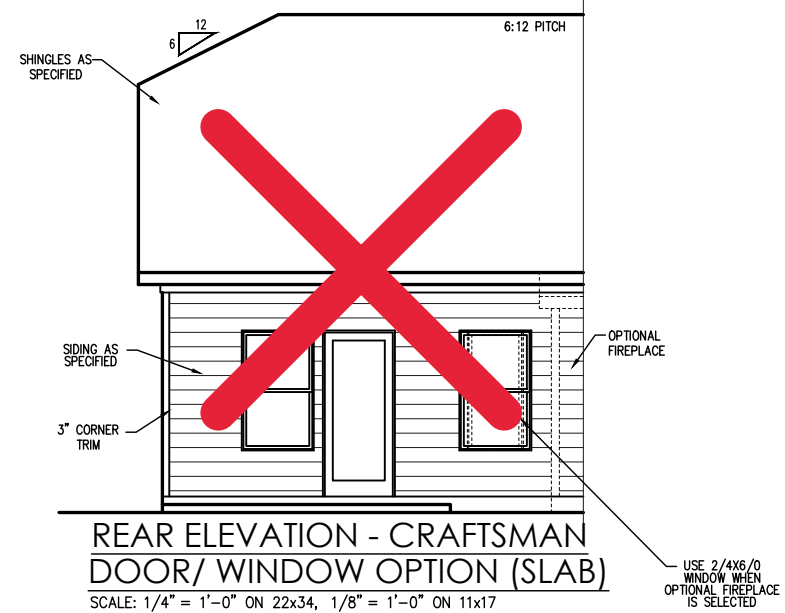


FRONT ELEVATION CRAFTSMAN (SLAB)
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

See sheet 3.2 for optional cafe bump out



REAR ELEVATION - CRAFTSMAN (SLAB)
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

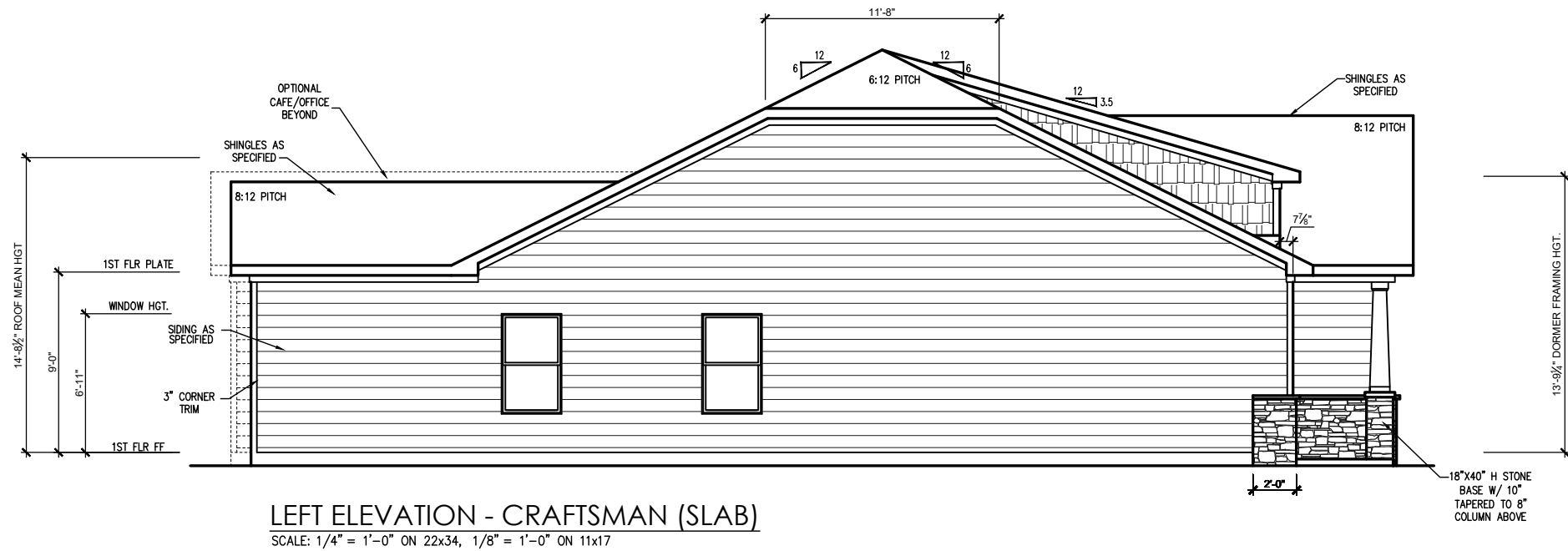
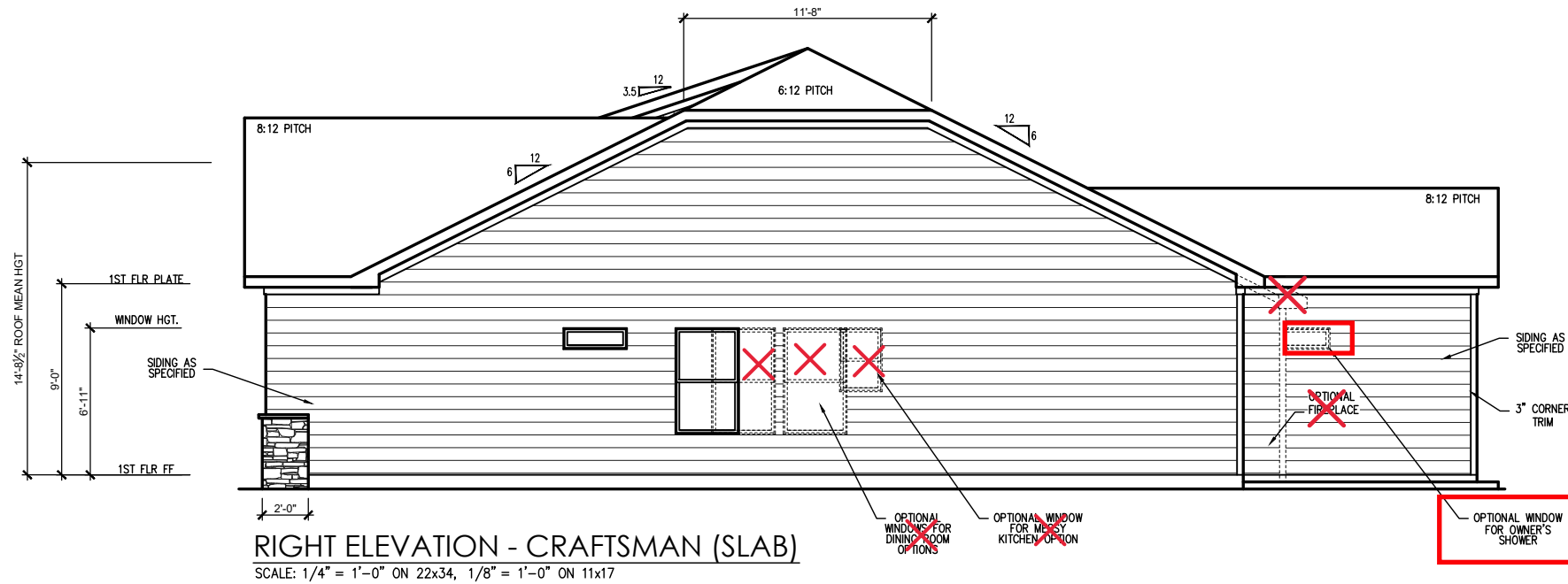


REAR ELEVATION - CRAFTSMAN DOOR/ WINDOW OPTION (SLAB)
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

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THE HANOVER - LH
Elevations - Craftsman (Slab)

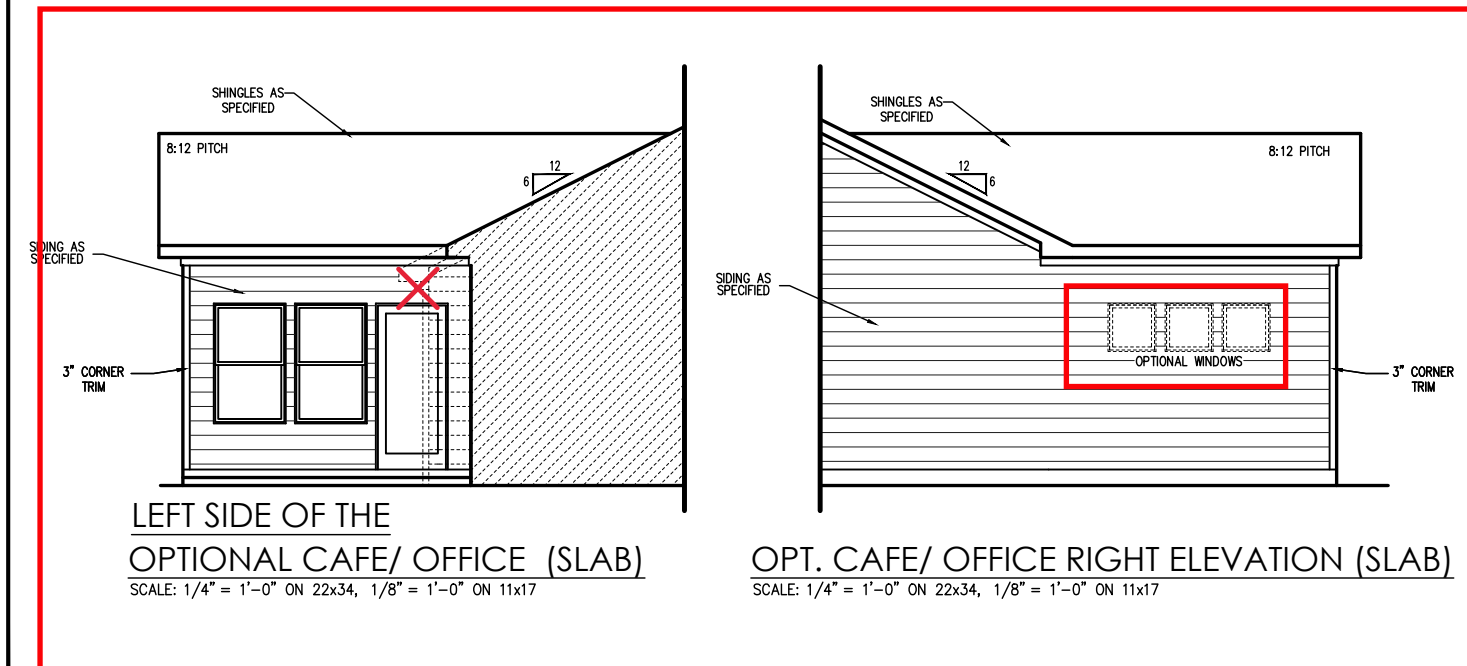
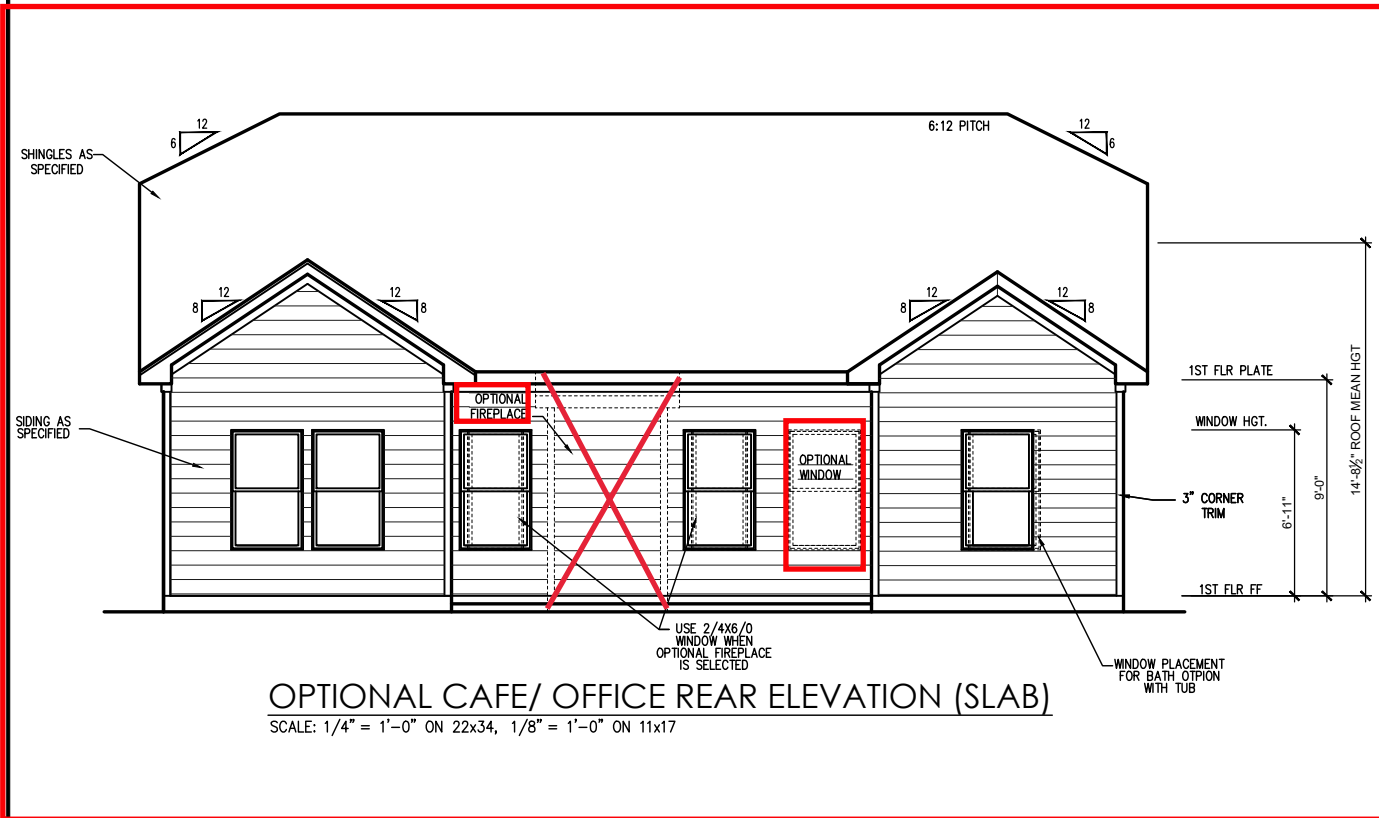
DRAWN BY:
New Home Inc. - Jennifer Jones
ISSUE DATE:
05-02-2023
CURRENT REVISION DATE:
09-03-2023-JJ
SCALE:
1/8" = 1'-0"
SHEET
3.0



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THE HANOVER - LH
 Side Elevations - Craftsman (Slab)

DRAWN BY:
 New Home Inc. - Jennifer Jones
 ISSUE DATE:
 05-02-2023
 CURRENT REVISION DATE:
 09-03-2023 - JJ
 SCALE:
 1/8" = 1'-0"
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THE HANOVER - LH
 Elevation Options (Slab)

DRAWN BY:
New Home Inc. - Jennifer Jones

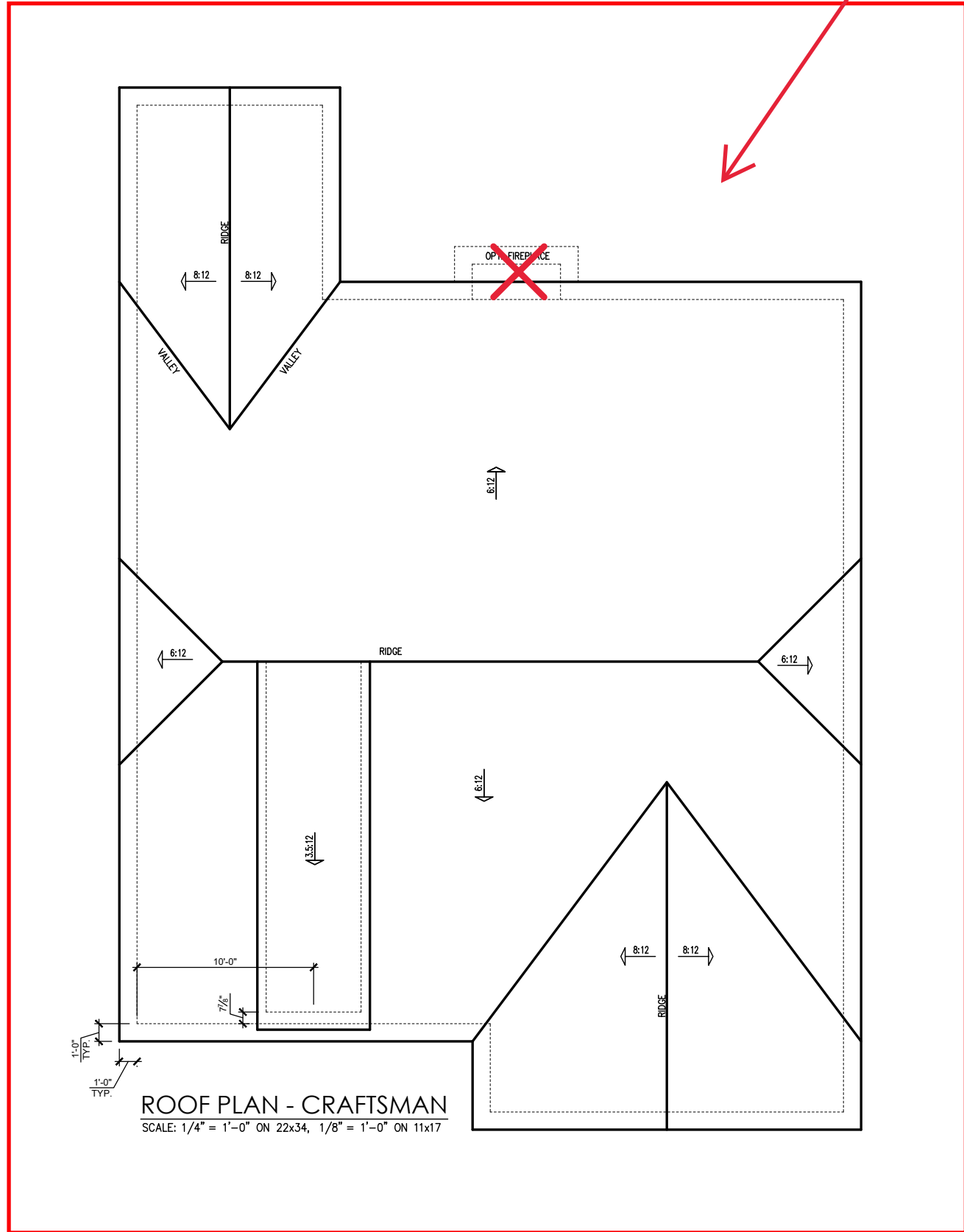
ISSUE DATE:
05-02-2023

CURRENT REVISION DATE:
09-03-2023-JJ

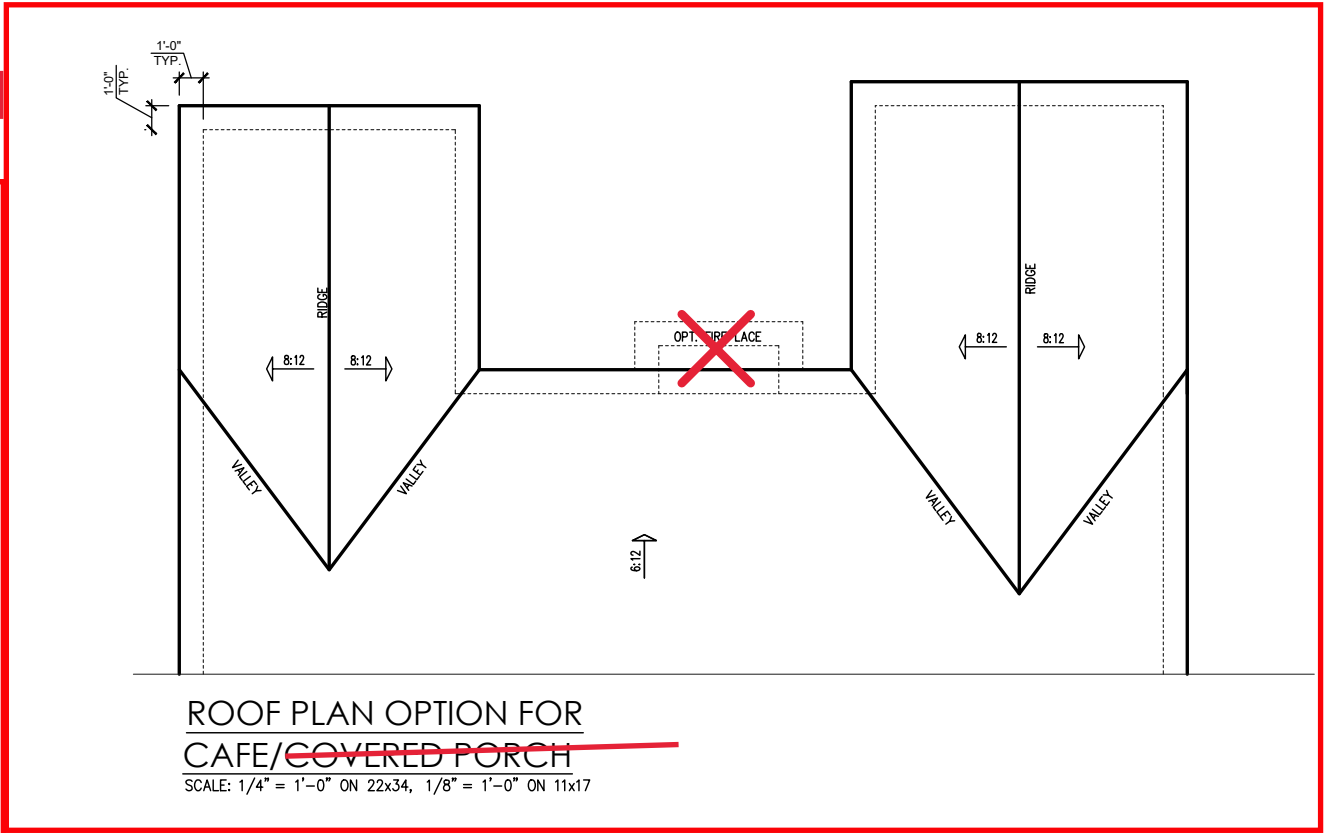
SCALE:
1/8" = 1'-0"

SHEET
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REV.#	DESCRIPTION	DATE
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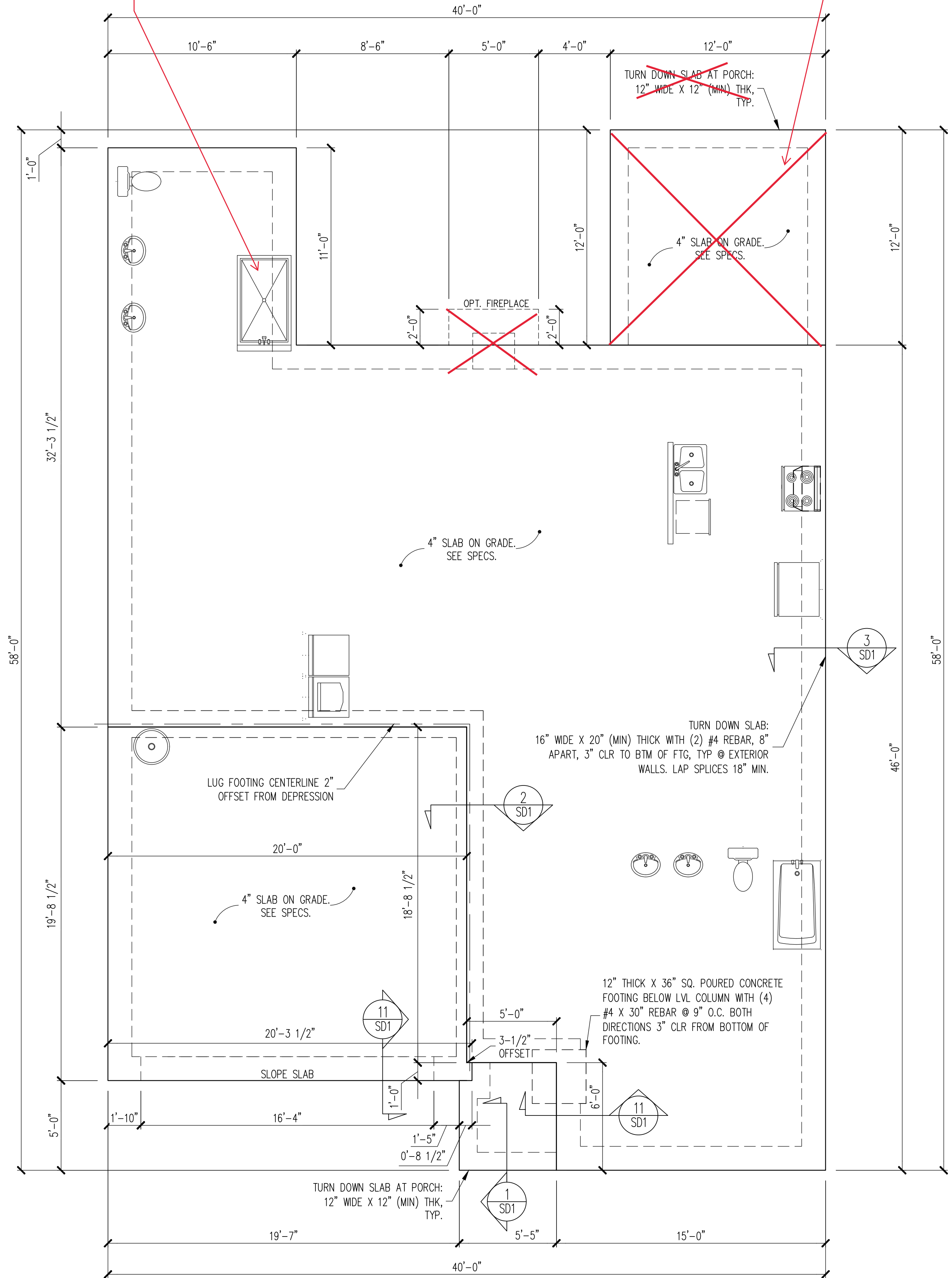


Added Cafe



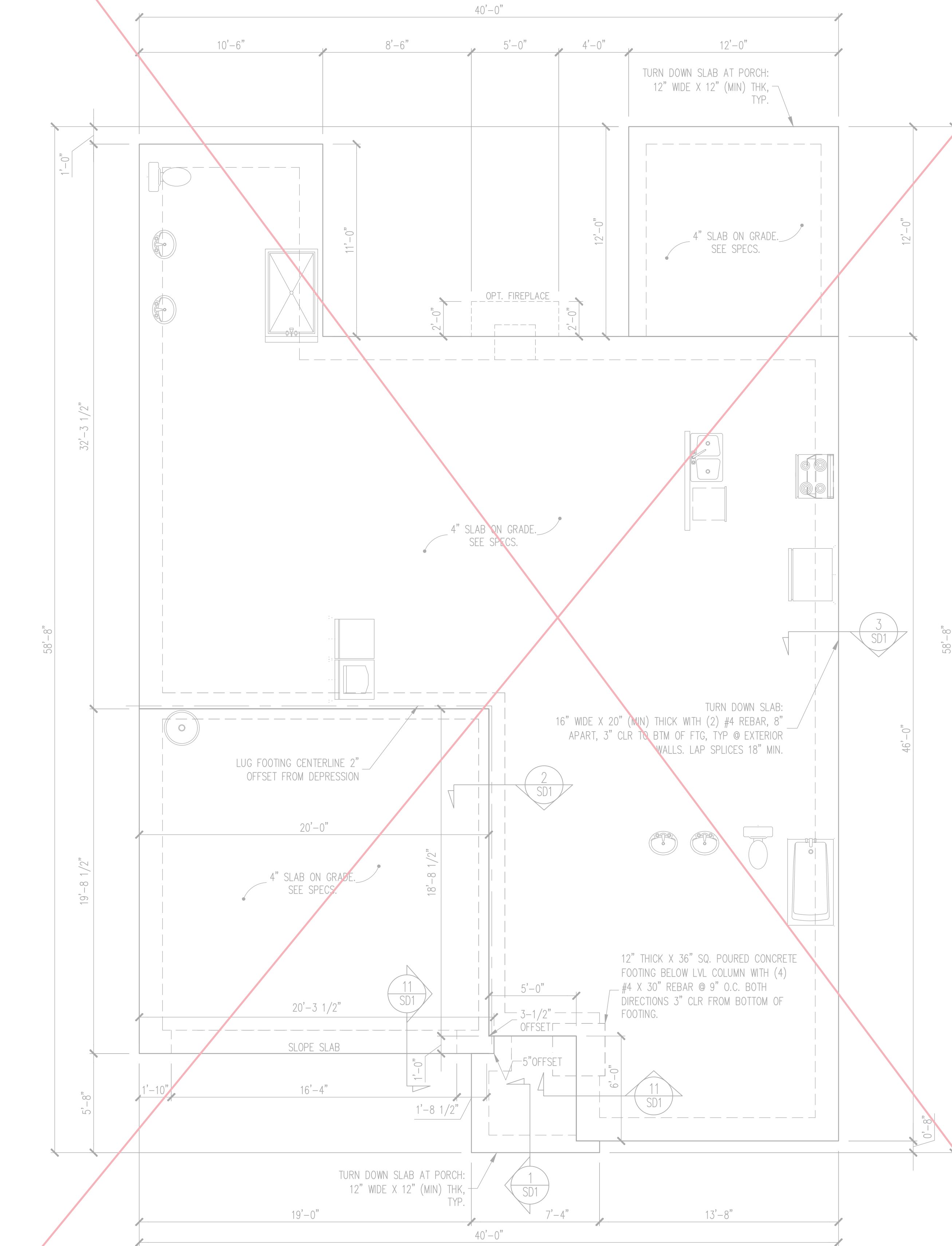
42"x42" Fiberglass Pan Shower w/ bench and Tile walls

Cafe Bump out addition



CRAFTSMAN FOUNDATION PLAN

MONOSLAB OPTION 1/4" = 1'-0"



FRENCH COUNTRY FOUNDATION PLAN

MONOSLAB OPTION 1/4" = 1'-0"

NOTES:
 -LIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC LATEST EDITION.
 -REINFORCEMENT AND GROUTING SHALL BE DETERMINED BY FINAL SITE CONDITIONS.
 -PLUMBING SHOWN FOR REFERENCE ONLY. BUILDER VERIFY FINAL FIXTURE LOCATIONS, SIZES AND REQUIREMENTS PRIOR TO INSTALLATION.

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 318 W Millbrook Rd. Unit 201
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 Phone (919) 844-1661

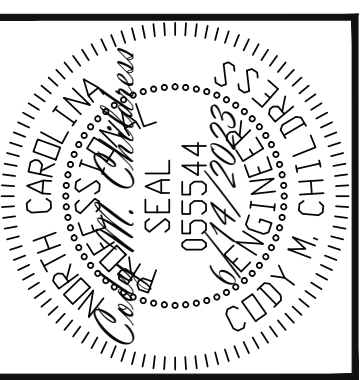
NEW HOME INC.	SCOPE:	STRUCTURAL ADDENDUM
HANOVER	PLAN:	
REV #	REF PROJ #	DATE
1	23-66-324	10/20/2023

ENG: CMC/JKM
 DATE: 6/14/2023

PROJECT NO.
 23-65-142

SHEET NO.
 S5
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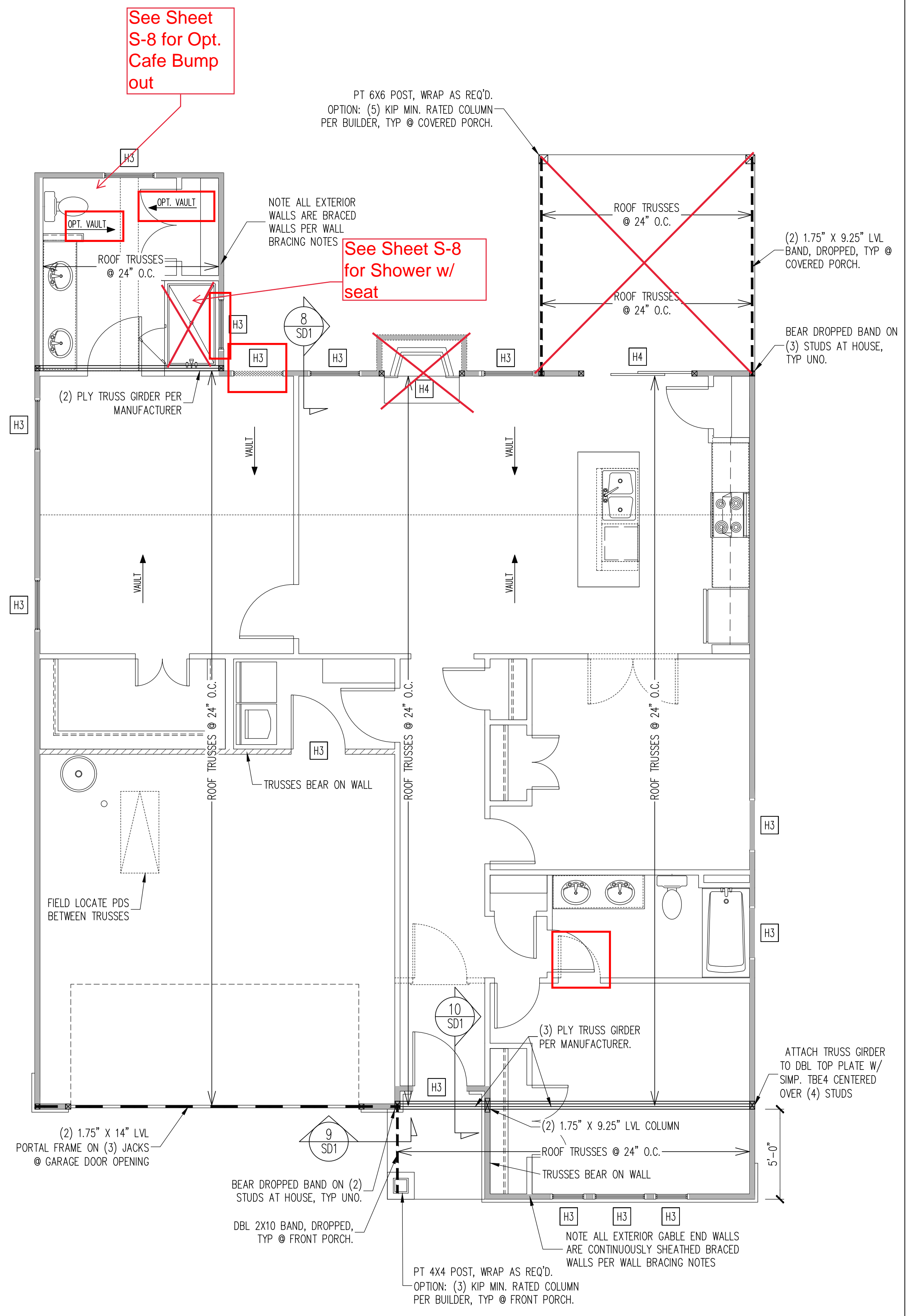
STRUCTURAL ENGINEERS
 License No. C-3870
 318 W Millbrook Rd. Unit 201
 Raleigh, North Carolina 27609
 Phone (919) 844-1661
 ASSOCIATES, P.A.

SCOPE:	STRUCTURAL ADDENDUM
	HANOVER
PLAN:	23-66-324
REV #	1
REF PROJ #	23-66-324
DATE	10/20/2023

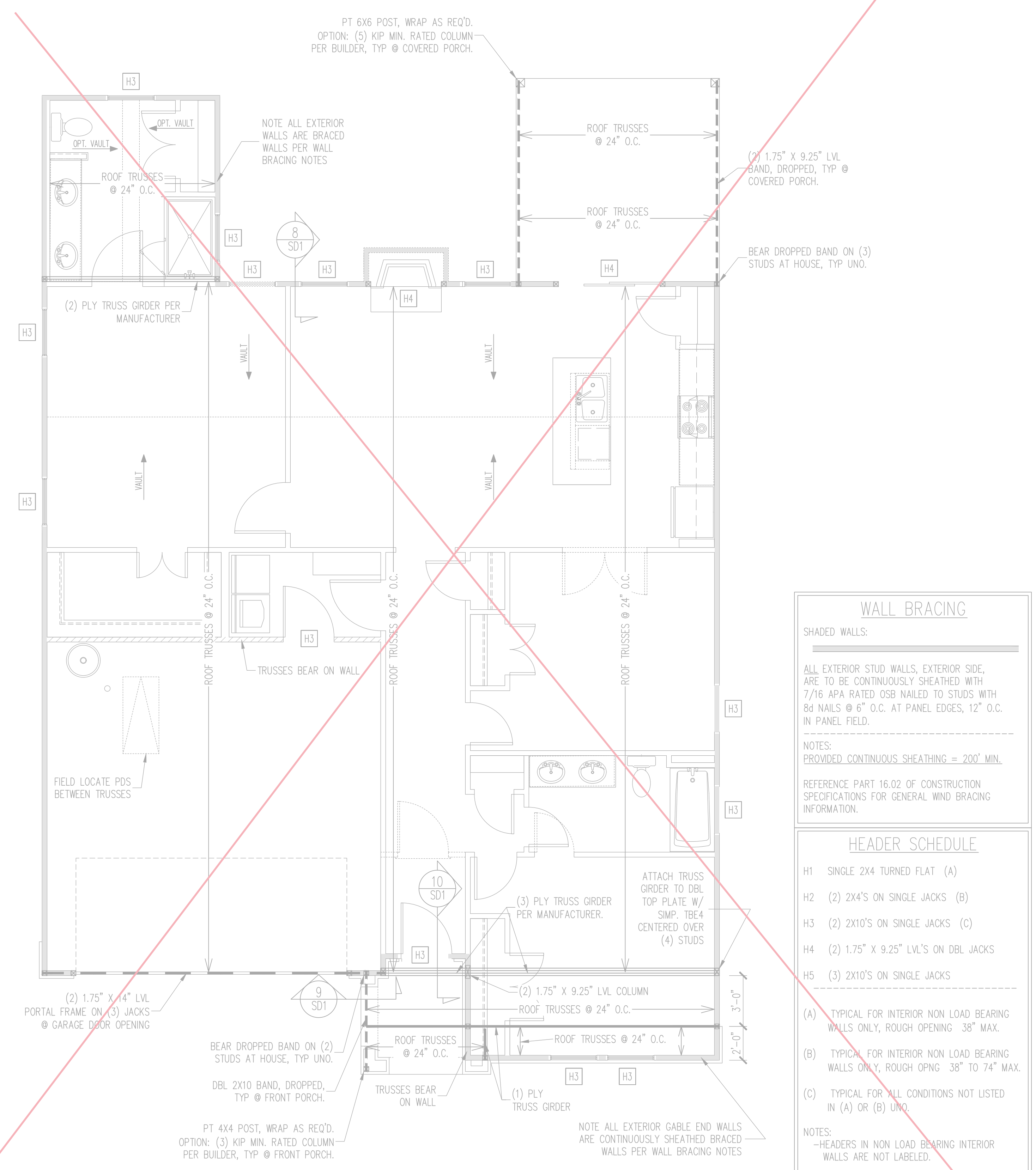
ENG: CMC/JKM
 DATE: 6/14/2023

PROJECT NO.
 23-65-142

SHEET NO.
 S7
 7 of 11

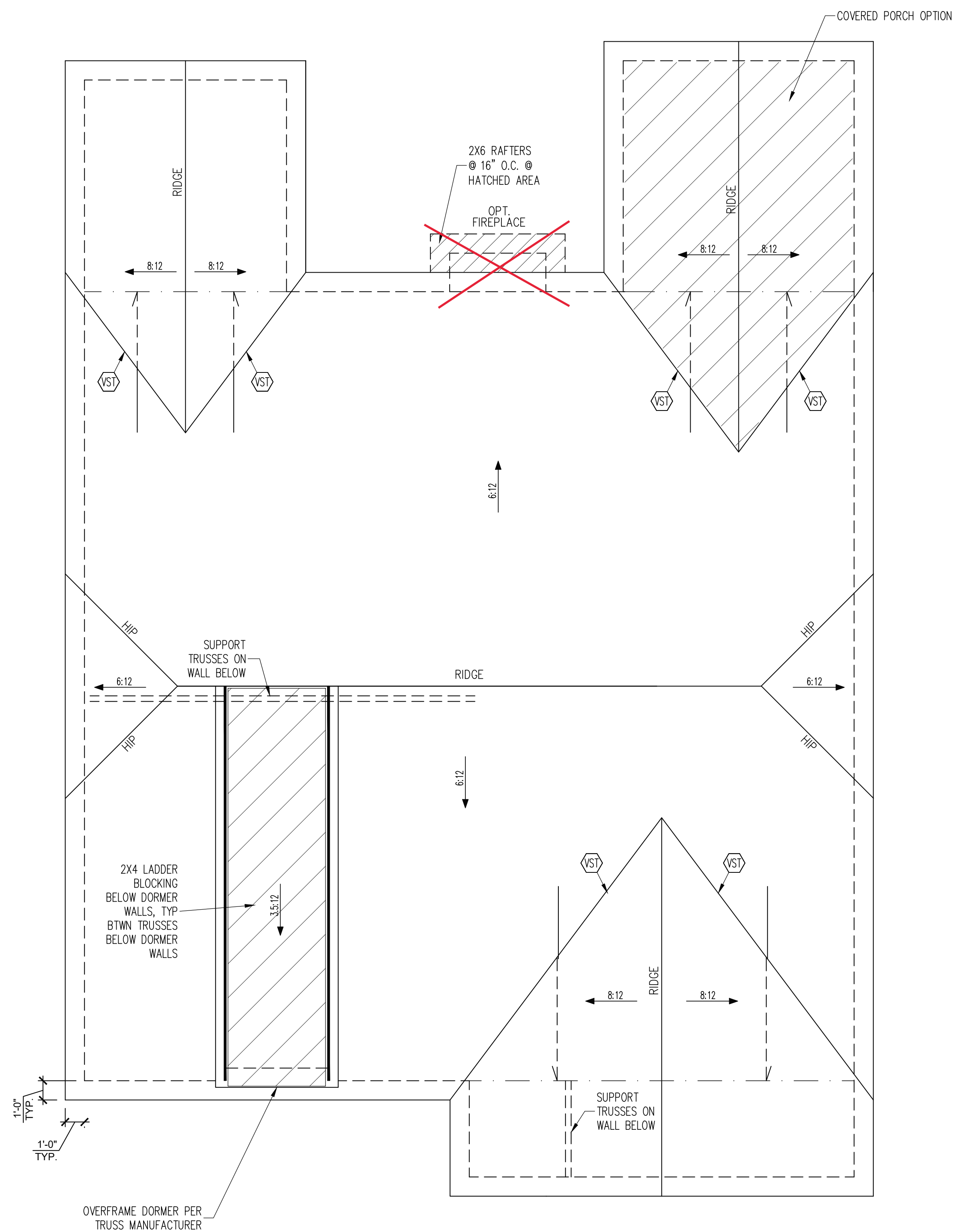


CRAFTSMAN 1ST FLOOR FRAMING PLAN
 WALLS AND CEILING 1/4" = 1'-0"

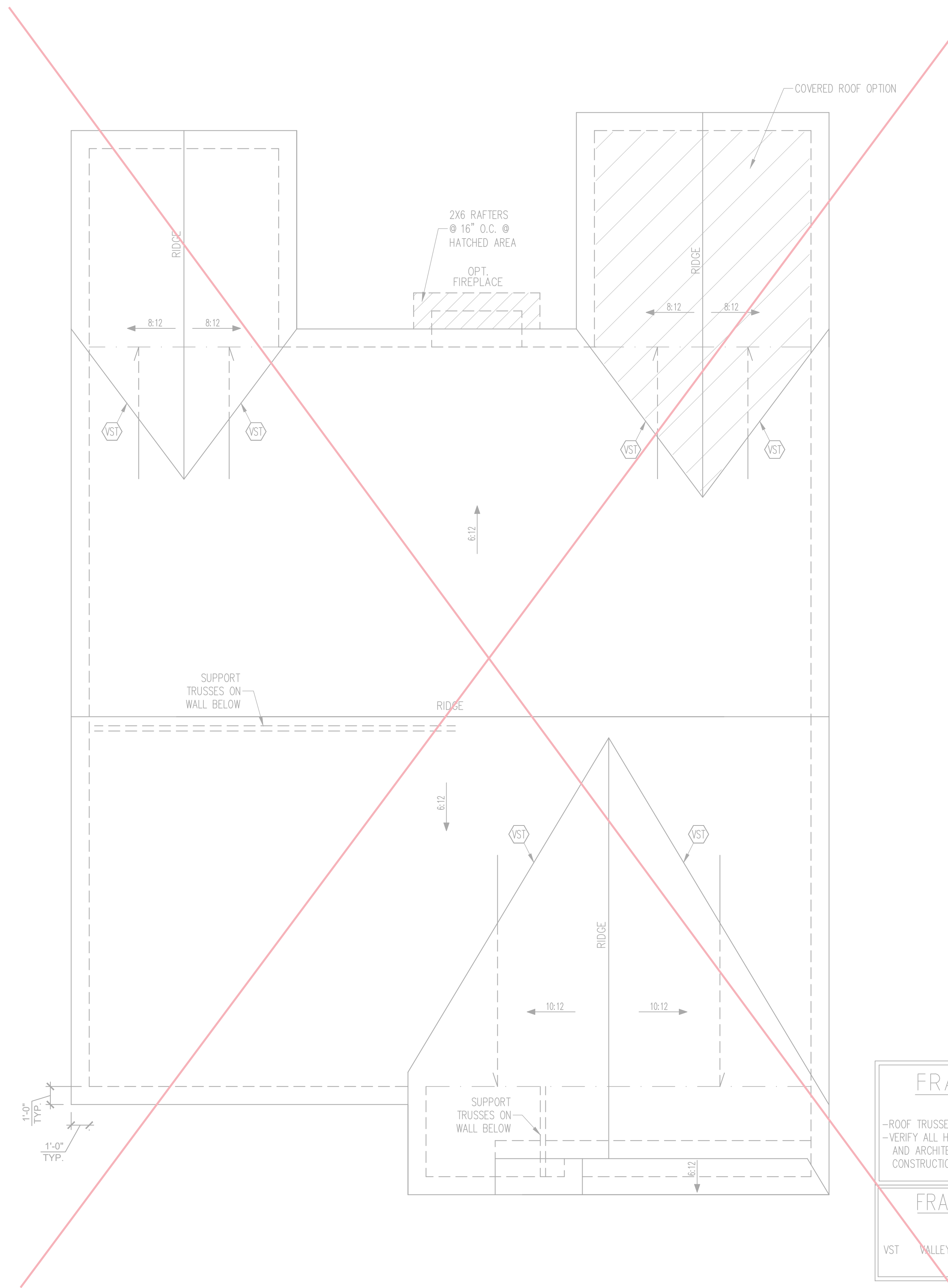


FRENCH COUNTRY 1ST FLOOR FRAMING PLAN
 WALLS AND CEILING 1/4" = 1'-0"

WALL BRACING	
SHADED WALLS:	
ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.	
NOTES: PROVIDED CONTINUOUS SHEATHING = 200' MIN.	
REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.	
HEADER SCHEDULE	
H1	SINGLE 2X4 TURNED FLAT (A)
H2	(2) 2X4'S ON SINGLE JACKS (B)
H3	(2) 2X10'S ON SINGLE JACKS (C)
H4	(2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5	(3) 2X10'S ON SINGLE JACKS
(A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.	
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.	
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.	
NOTES: -HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.	



CRAFTSMAN ROOF FRAMING PLAN
1/4" = 1'-0"

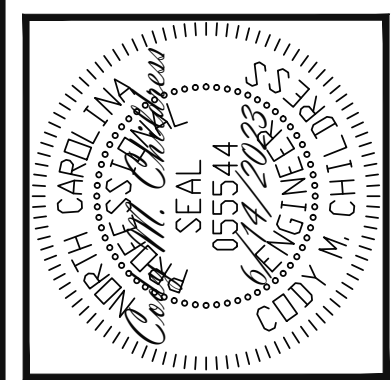


FRENCH COUNTRY ROOF FRAMING PLAN
1/4" = 1'-0"

FRAMING NOTES
ROOF ONLY
-ROOF TRUSSES PER MANU. TYPICAL U.N.O.
-VERIFY ALL HEEL HEIGHTS, ROOF PITCHES,
AND ARCHITECTURAL OVERHANGS PRIOR TO
CONSTRUCTION

FRAMING SCHEDULE
ROOF ONLY
VST VALLEY SET TRUSSES PER MANU

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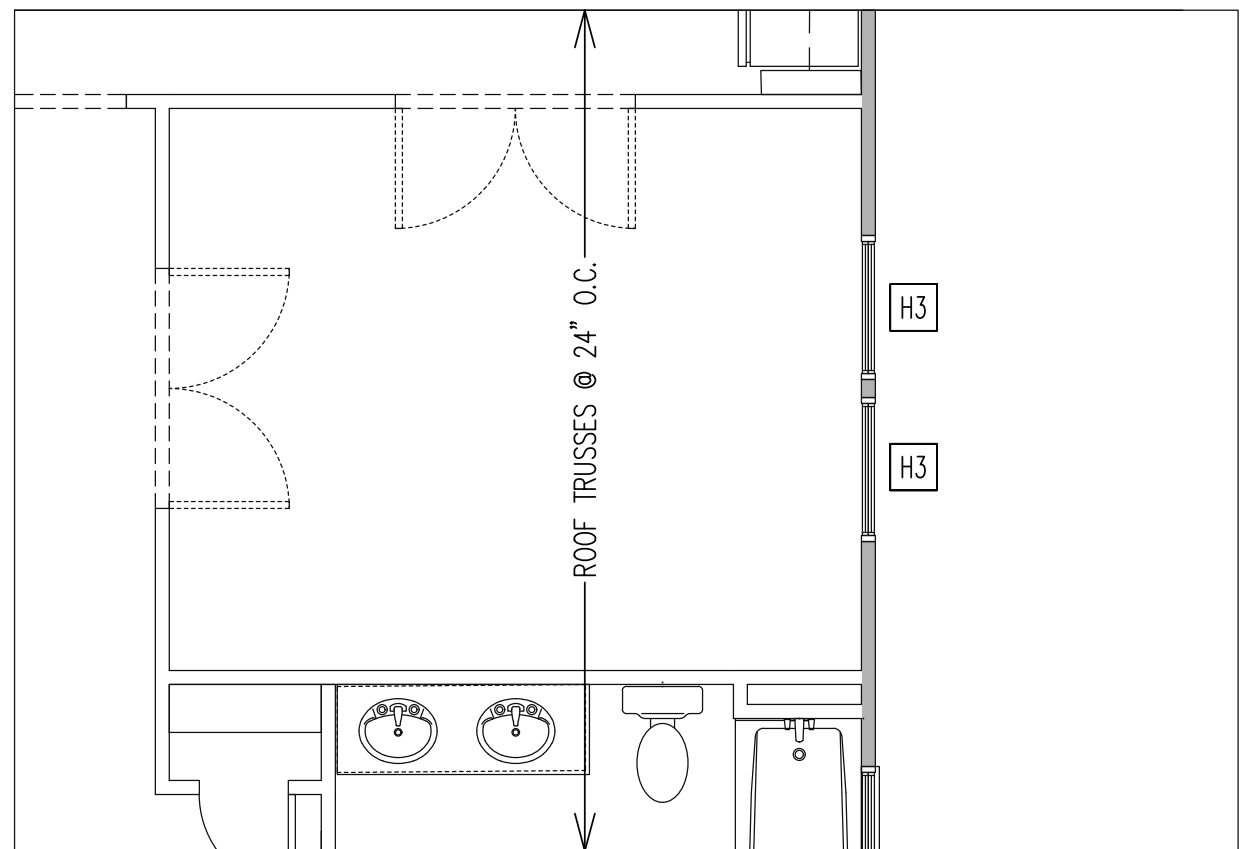
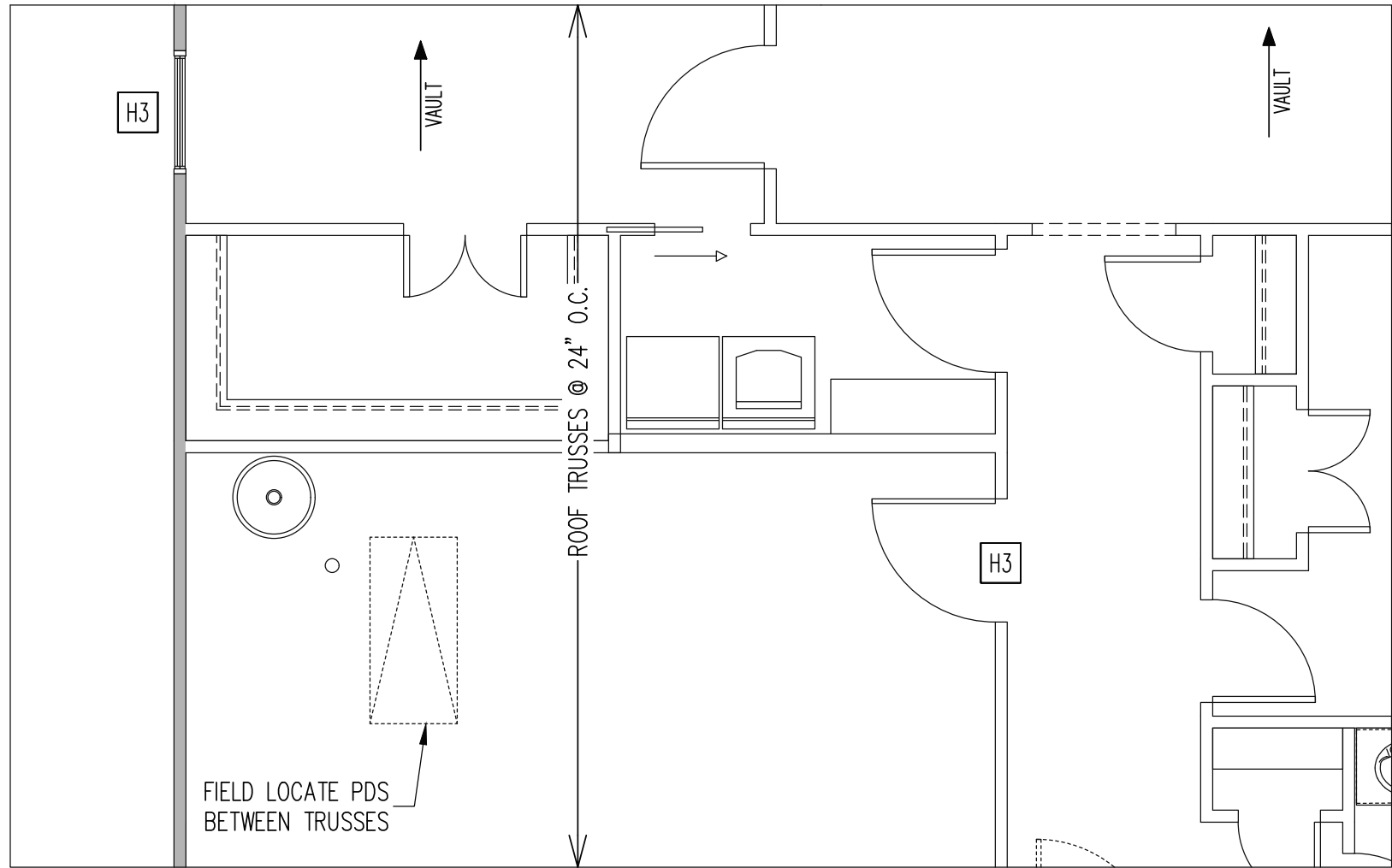
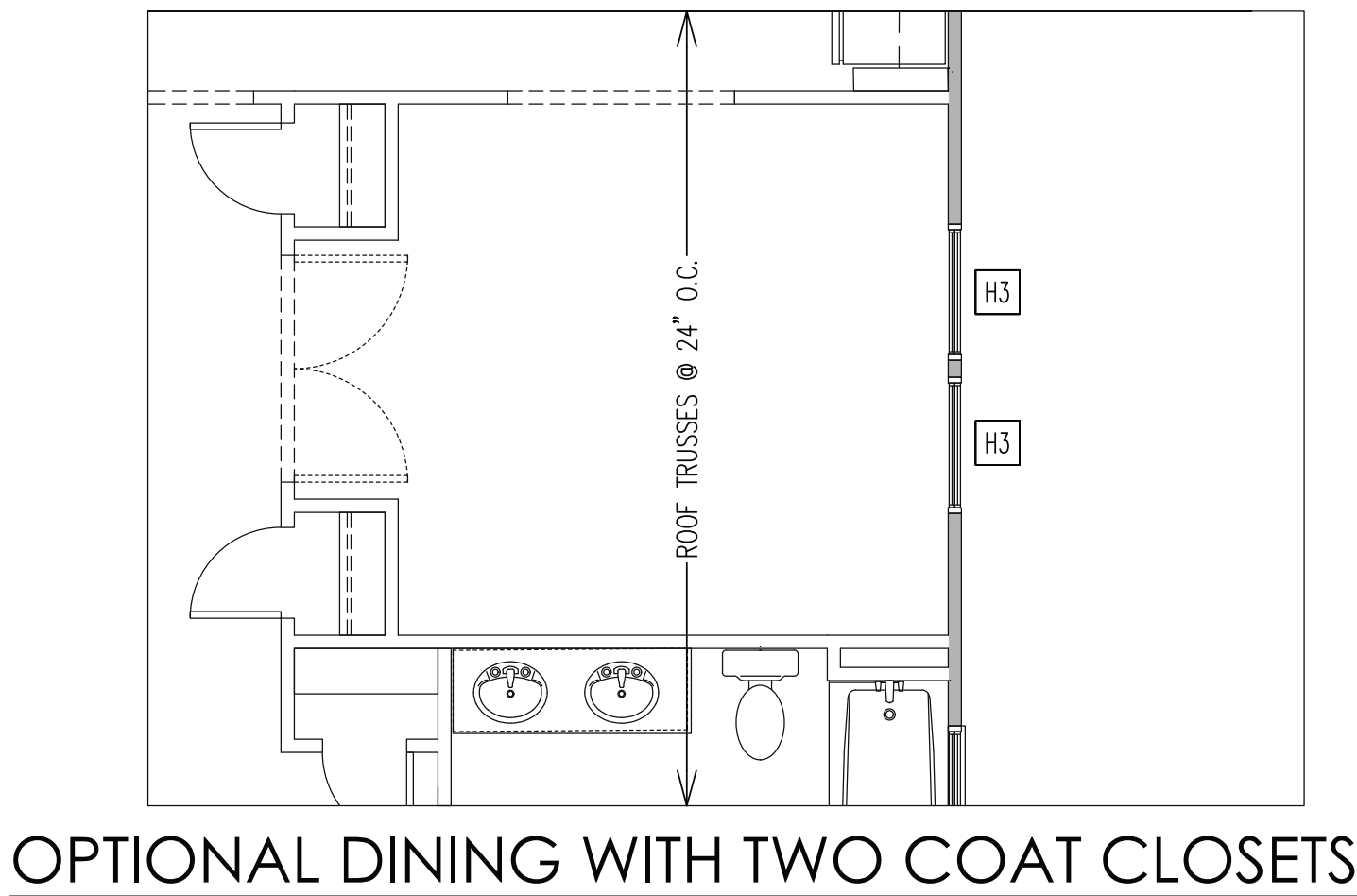
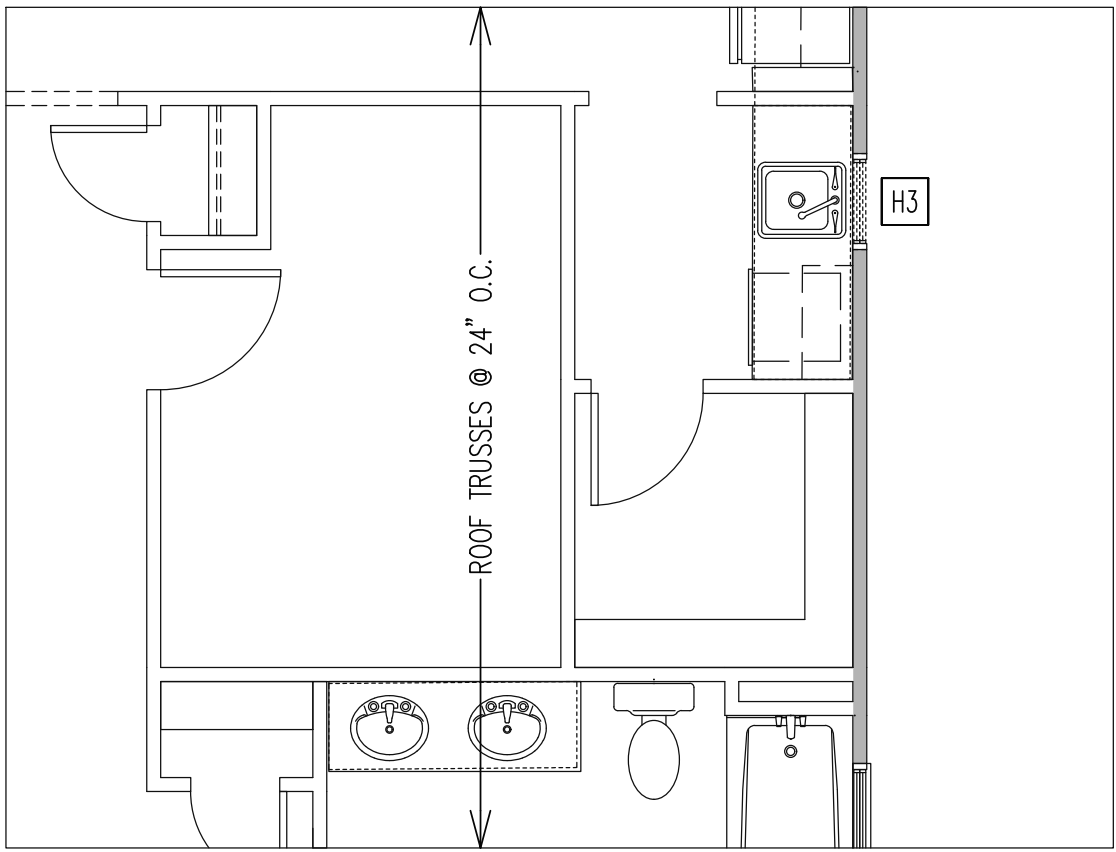
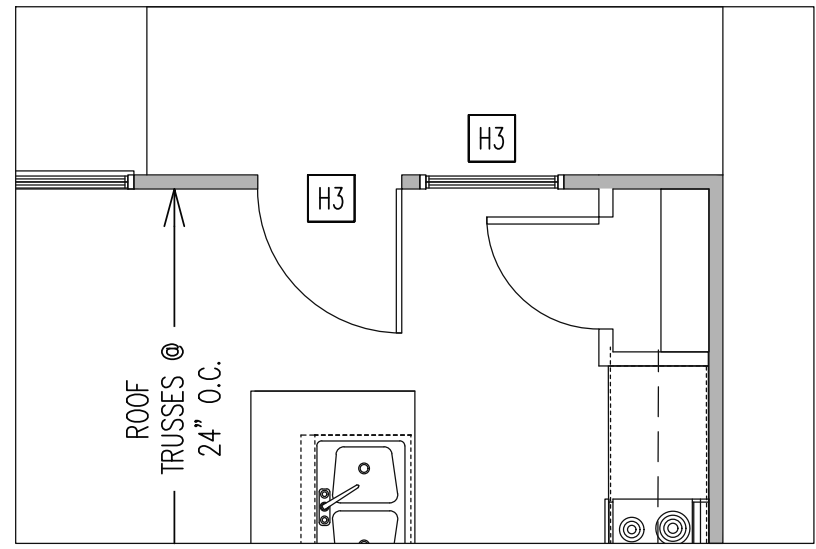
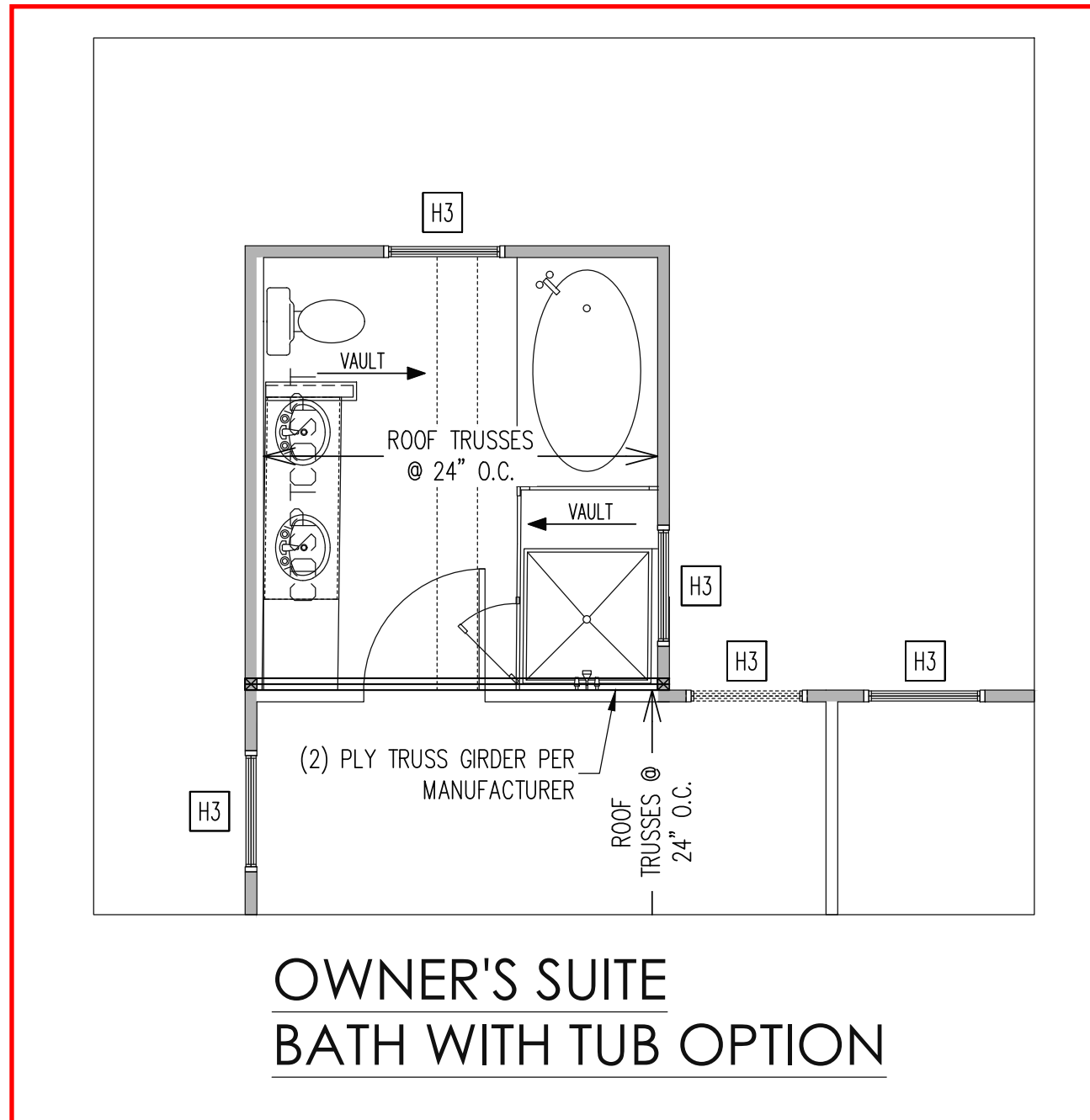
Engineering Tech Associates, P.A.
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NEW HOME INC.	SCOPE:	STRUCTURAL ADDENDUM
	PLAN:	HANOVER
REV #	REF PROJ #	DATE
1	23-66-324	10/20/2023

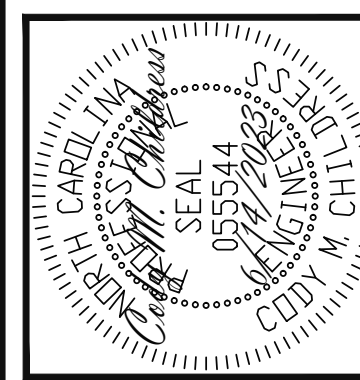
ENG: CMC/JKM
DATE: 6/14/2023

PROJECT NO.
23-65-142

SHEET NO.
S8
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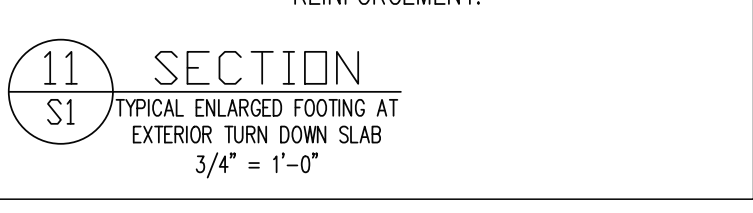
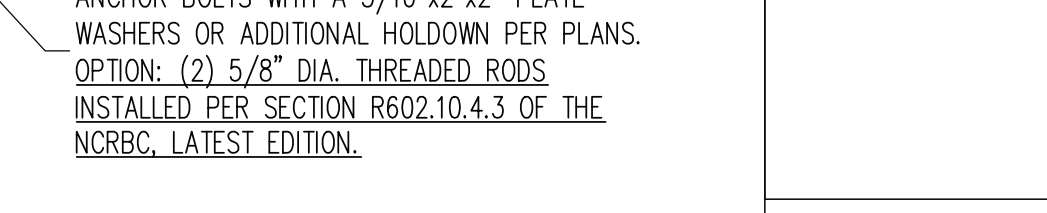
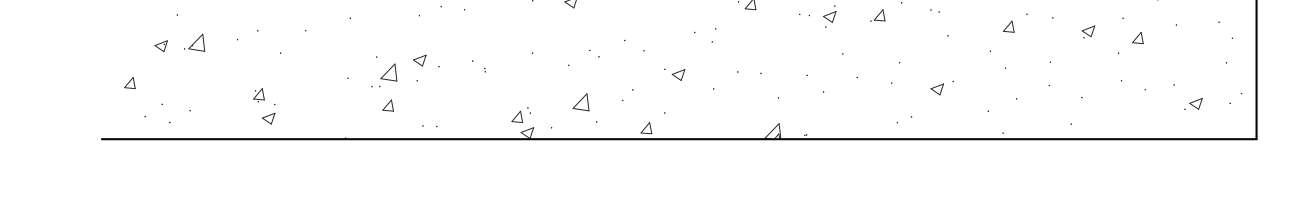
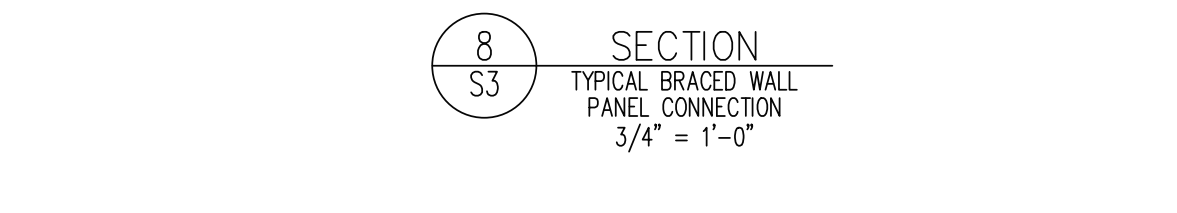
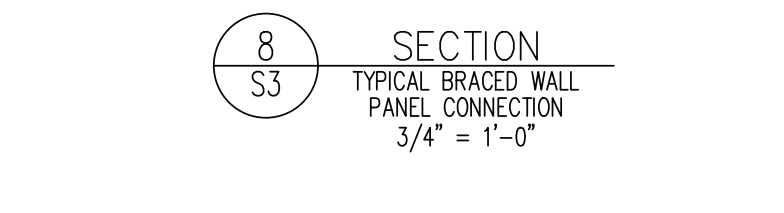
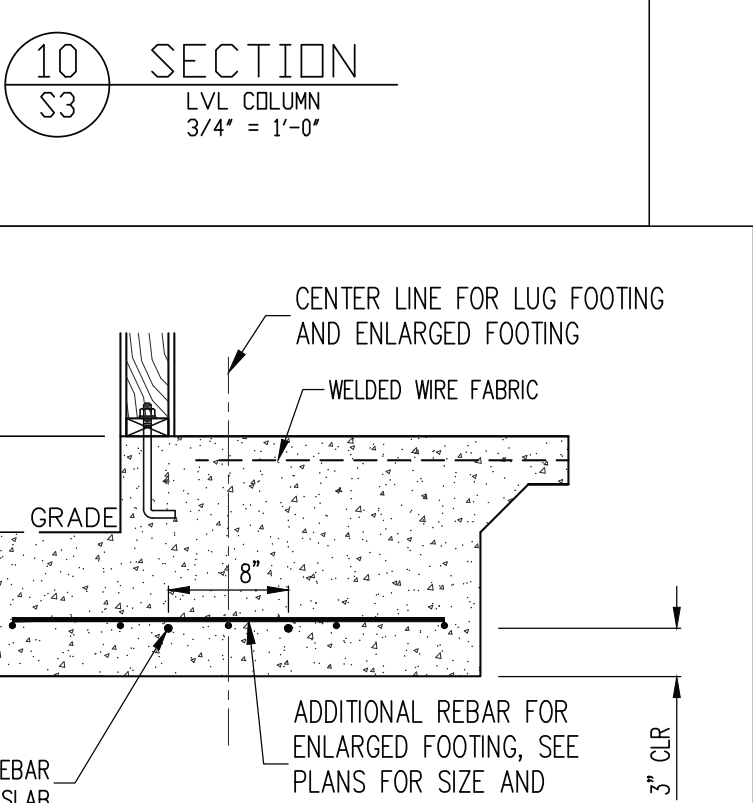
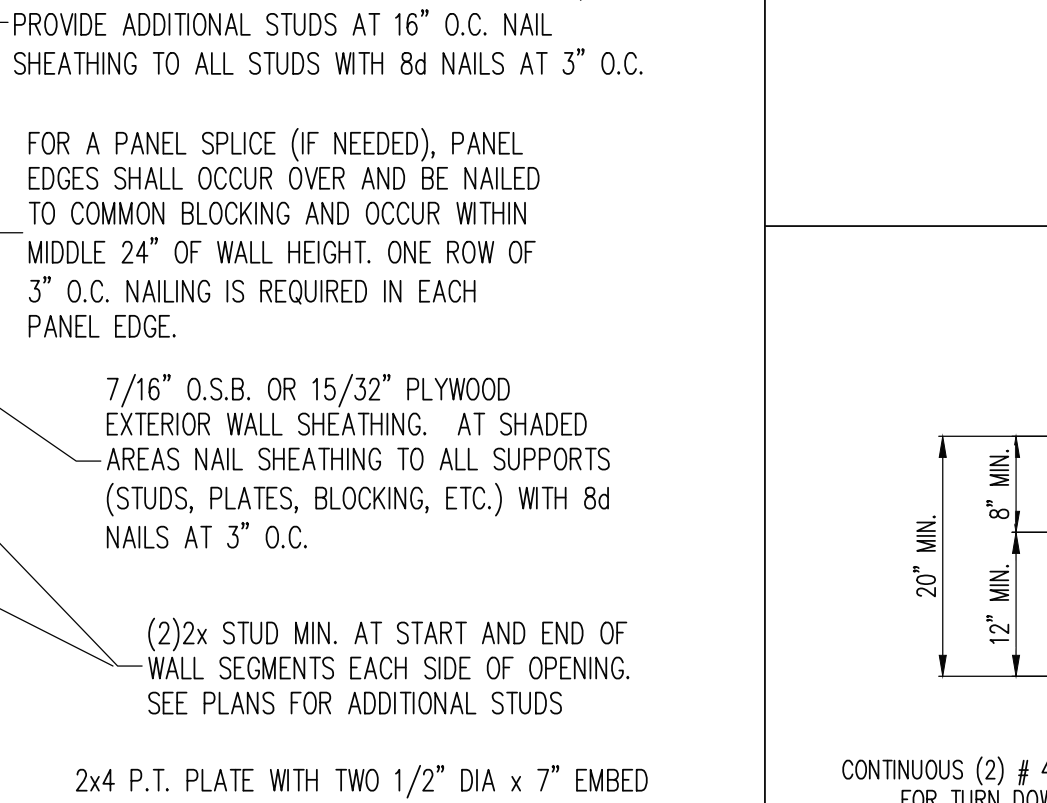
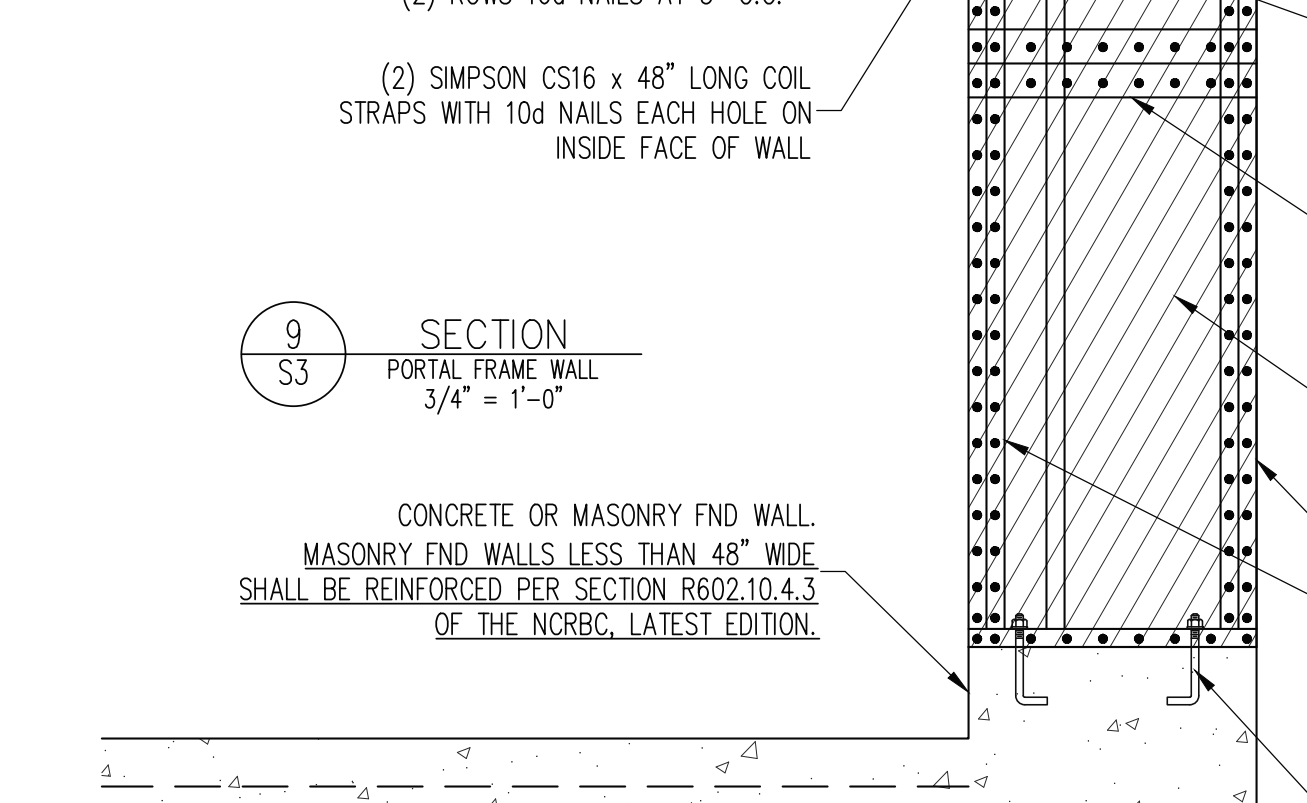
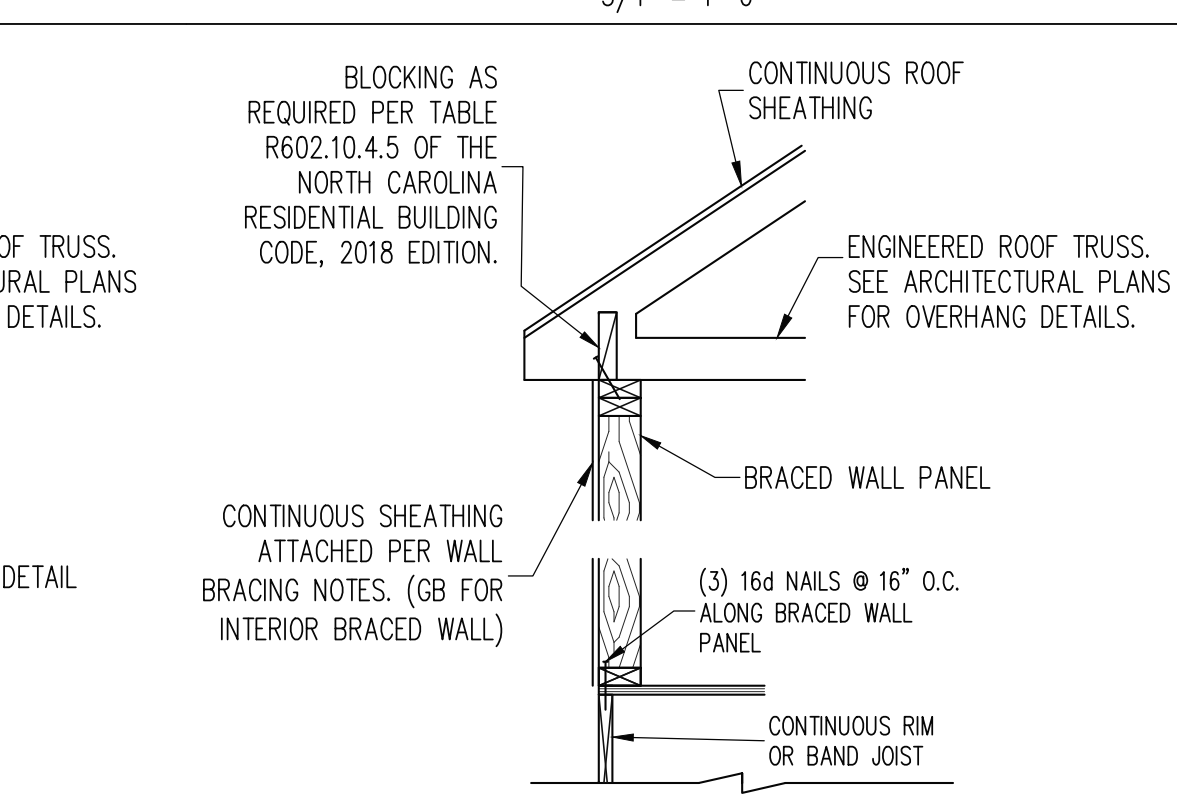
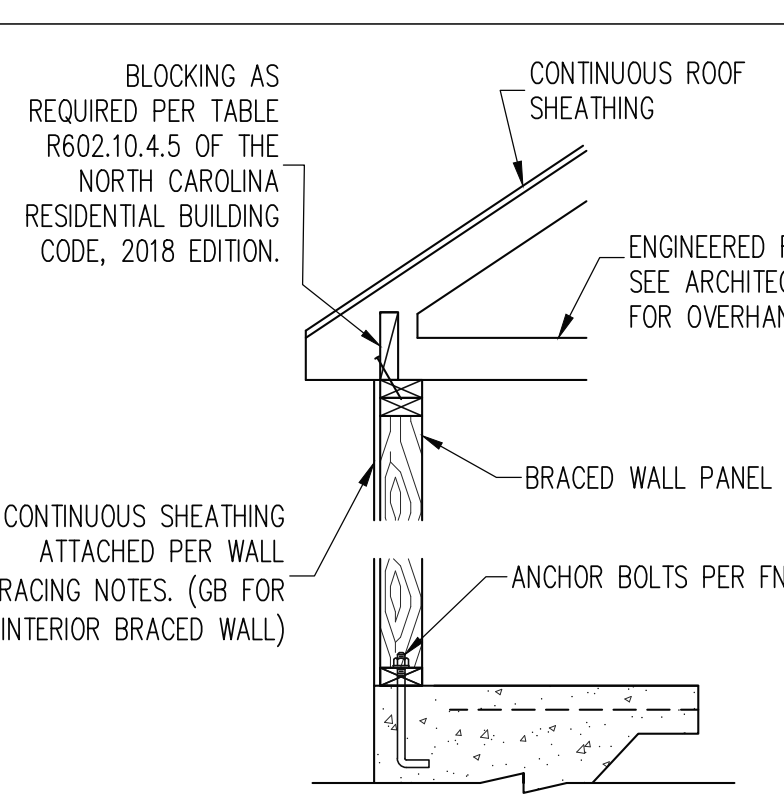
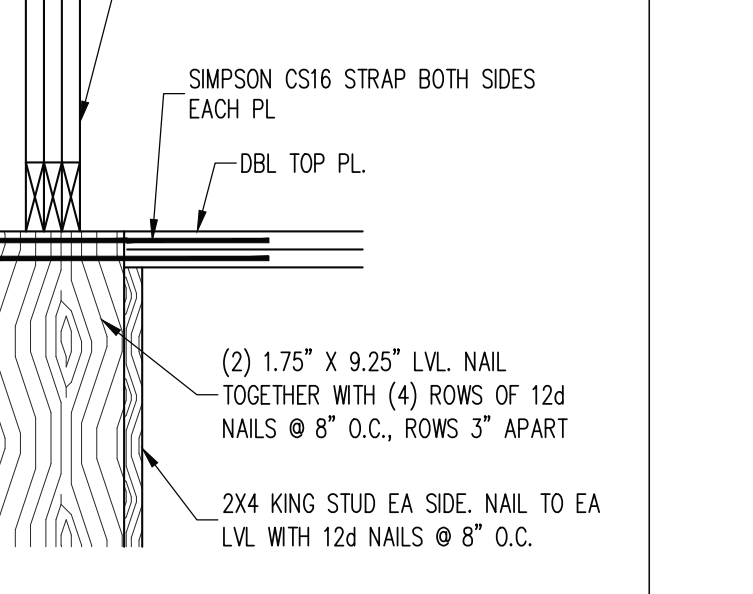
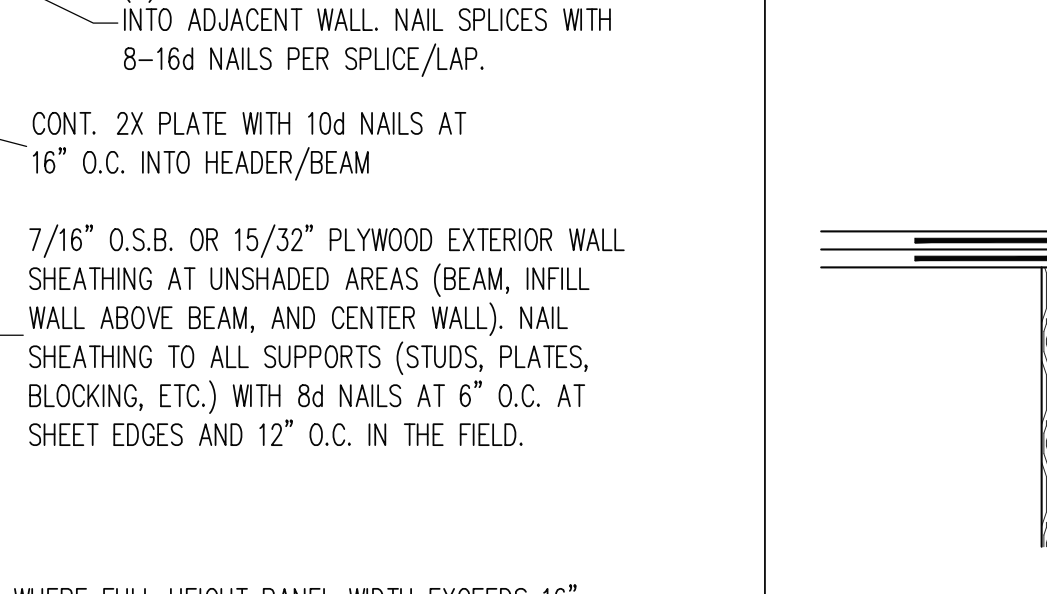
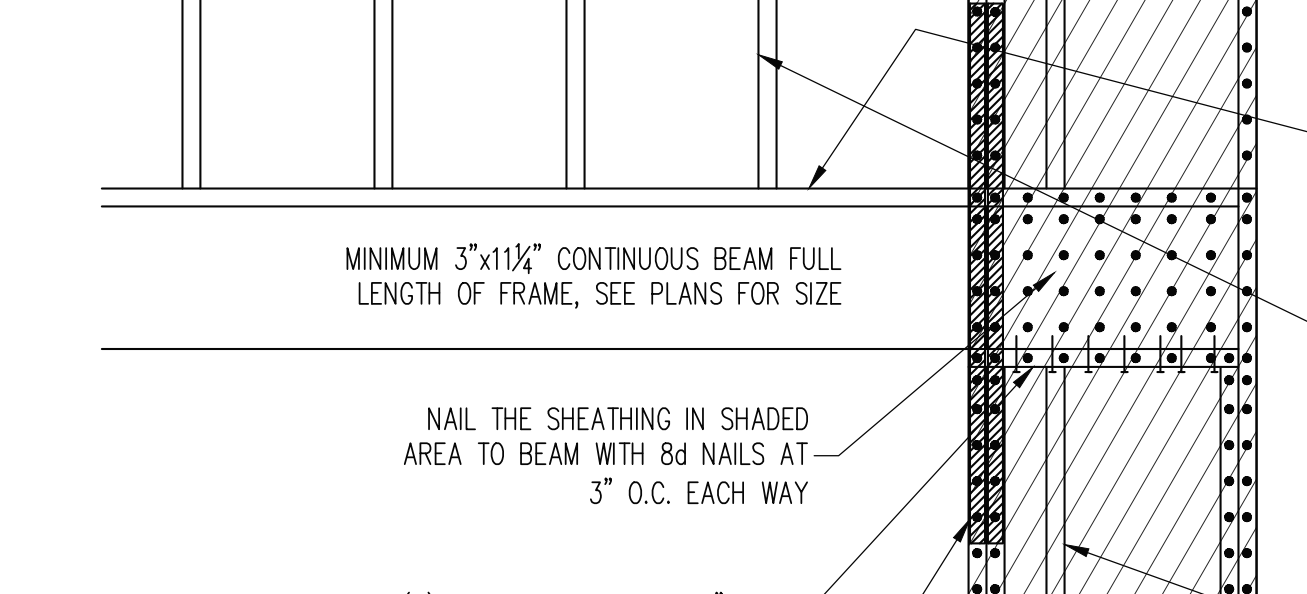
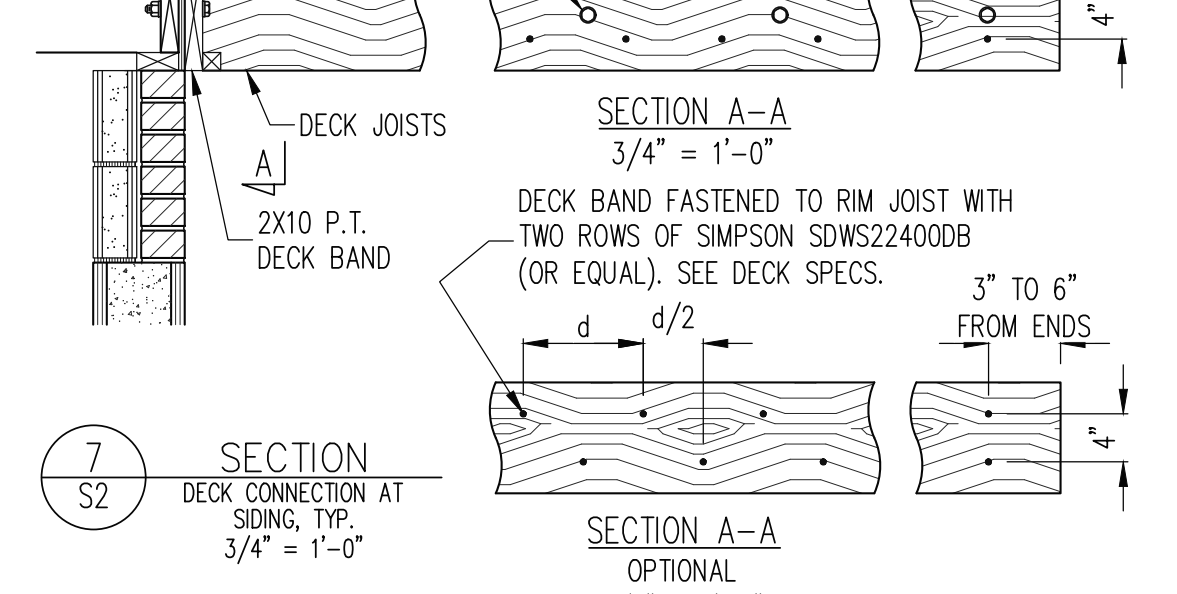
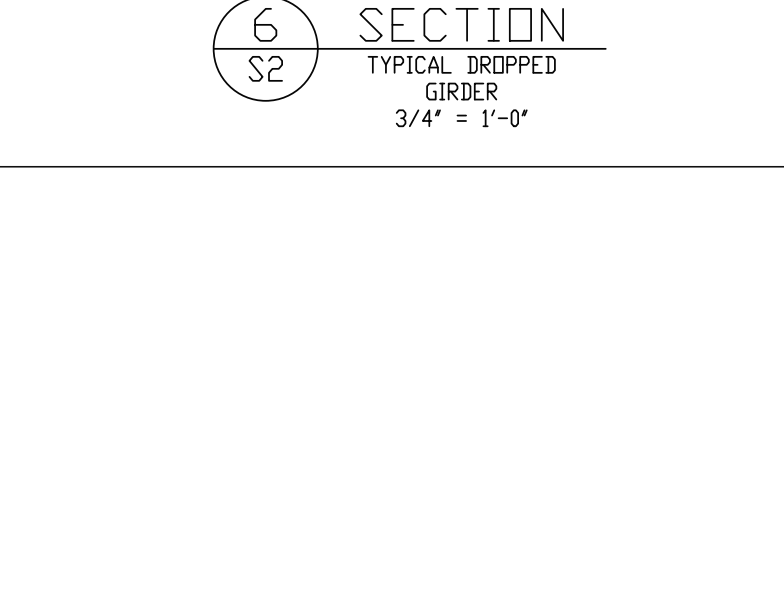
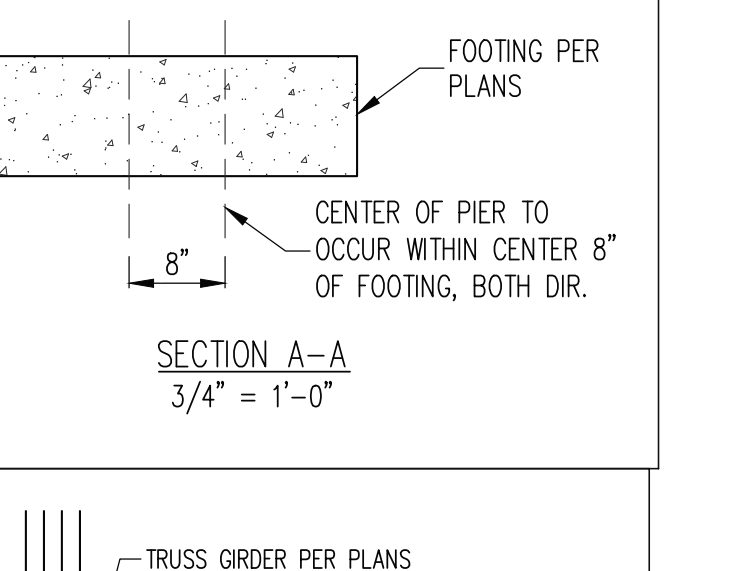
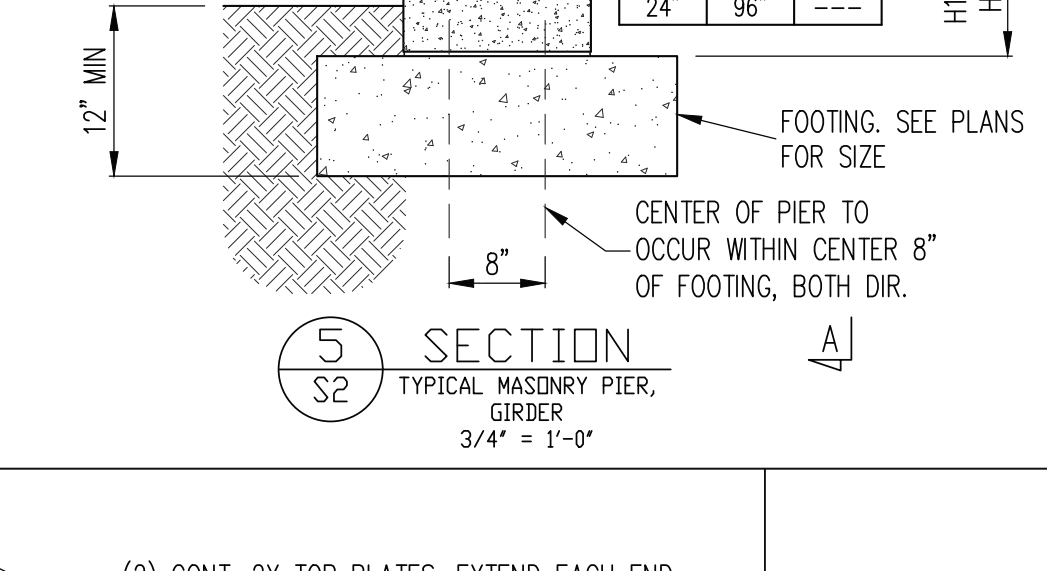
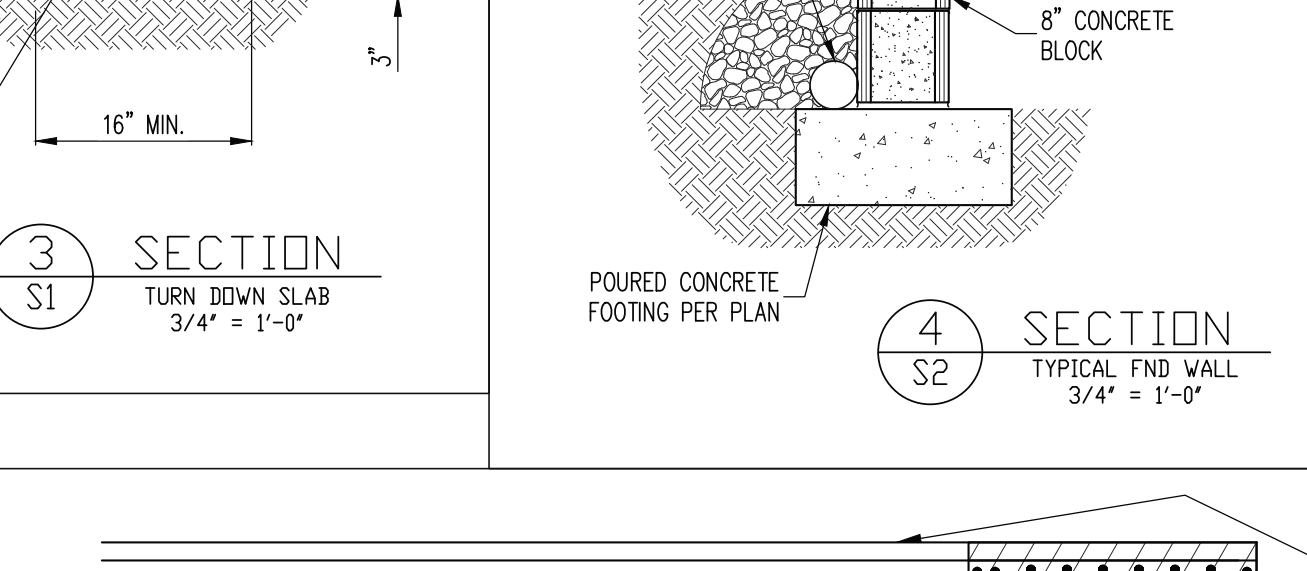
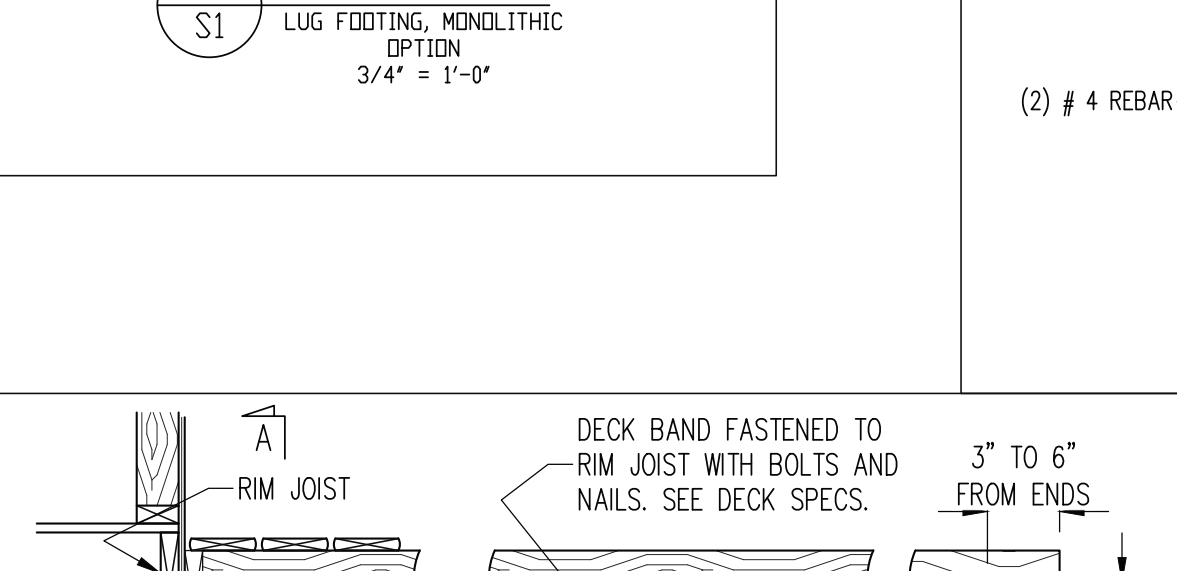
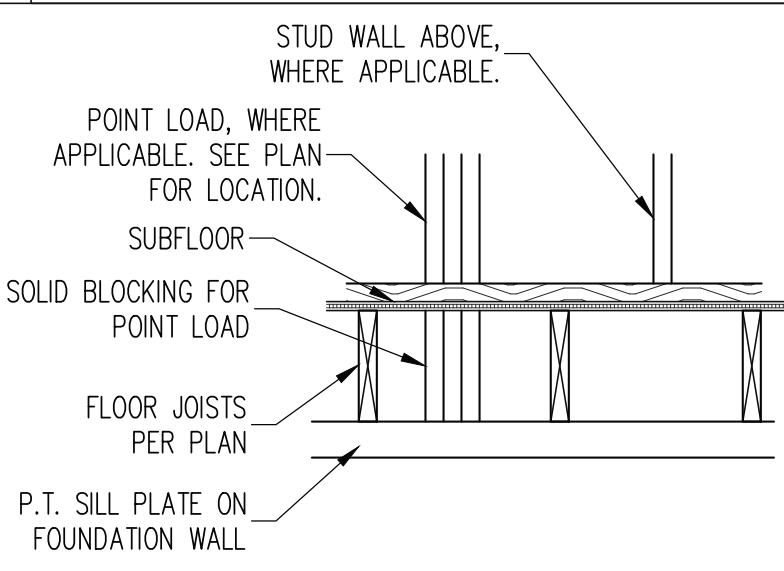
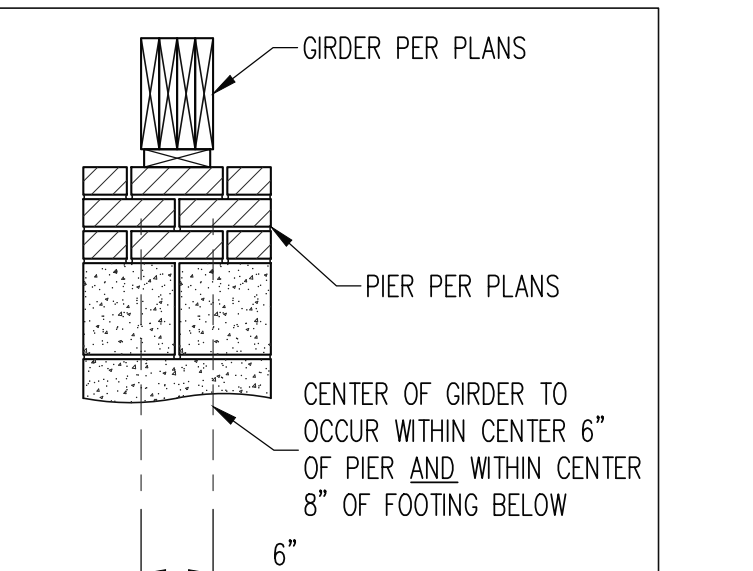
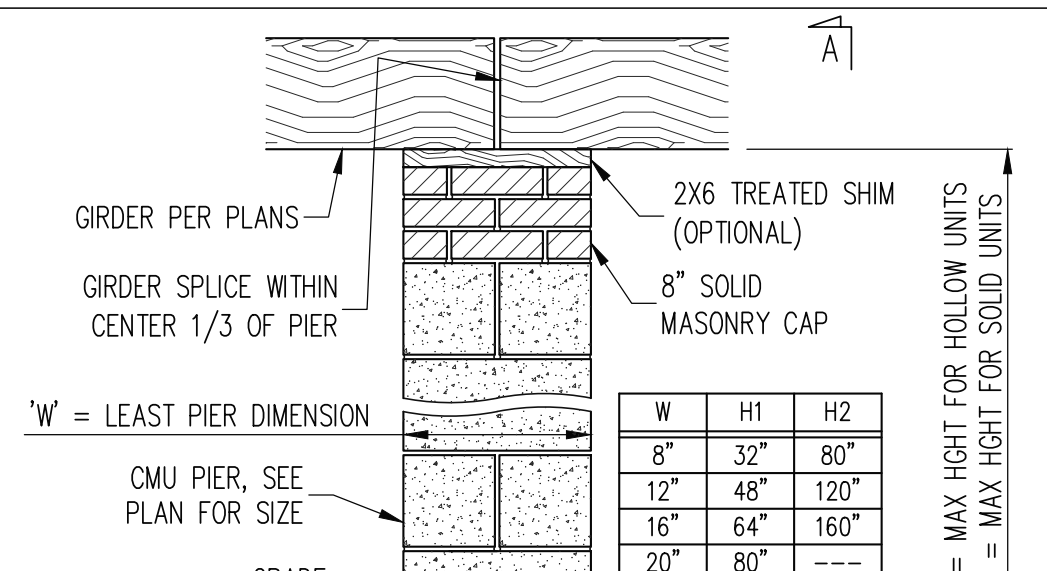
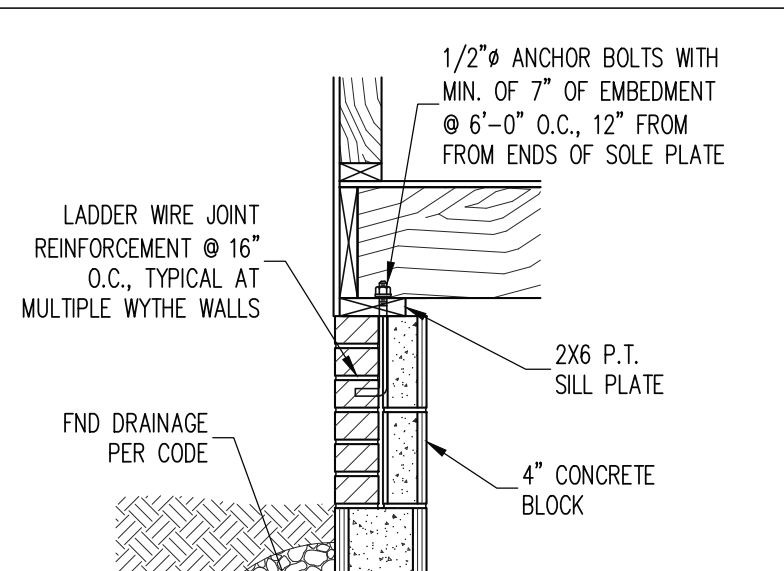
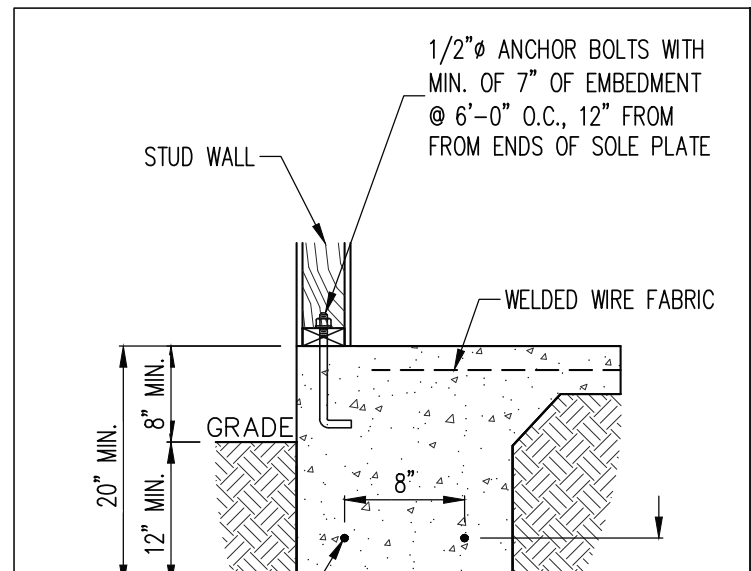
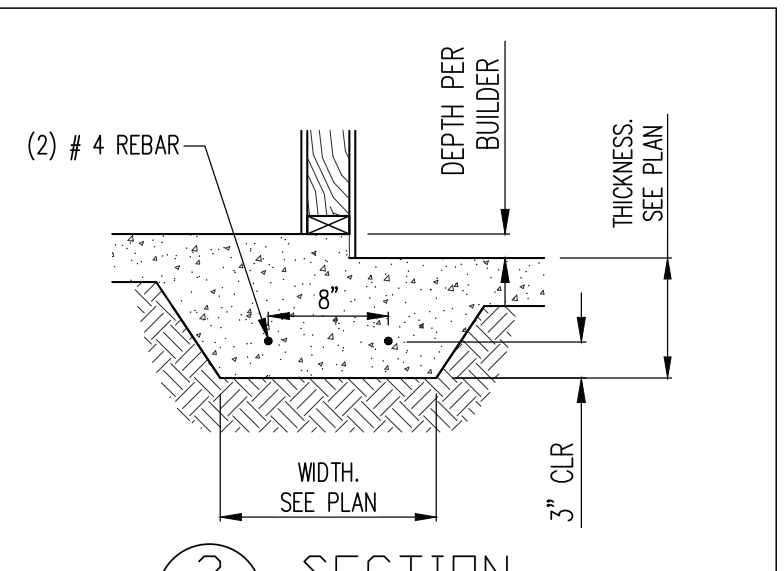
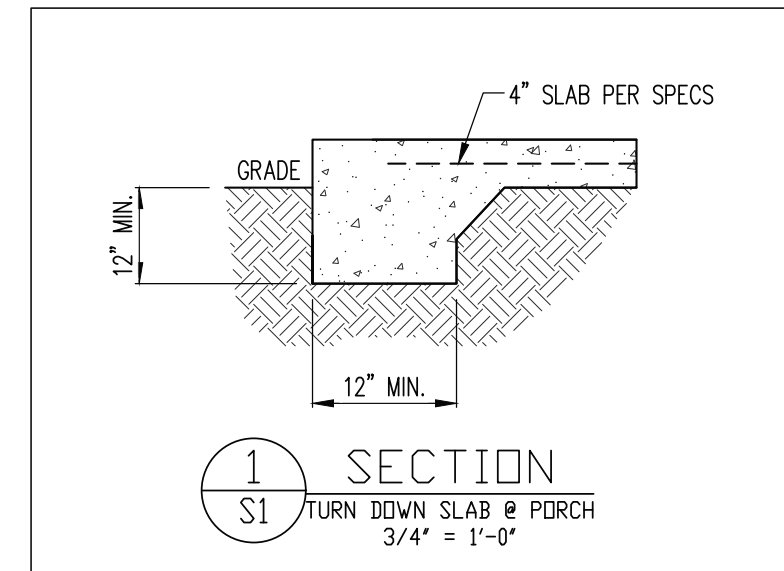
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NEW HOME INC.	
SCOPE:	STRUCTURAL ADDENDUM
PLAN:	HANOVER
REV #	REF PROJ #
1	23-66-324
DATE	10/20/2023

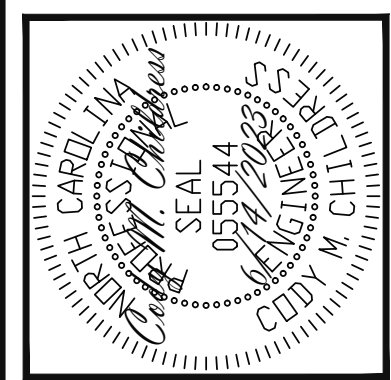
ENG: CMC/JKM
DATE: 6/14/2023

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SCOPE:	STRUCTURAL ADDENDUM	REV #	REF PROJ #	DATE
PLAN:	HANOVER	1	23-66-324	10/20/2023

ENG: CMC/JKM
DATE: 6/14/2023

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23-65-142

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CONSTRUCTION SPECIFICATIONS

Table with 2 columns: Item description and specifications. Includes sections for General, Design Loads, Masonry, Bolts and Lag Screws, Driven Fasteners, Dimensional Lumber, Engineered Lumber, Steel Flitch Plate Beams, Stud Supports for Beams, and Rebar and Wire Reinforcement.

NOTES

THE BUILDER IS RESPONSIBLE FOR REVIEWING PLANS PRIOR TO CONSTRUCTION. THE BUILDER SHALL IMMEDIATELY CONTACT THE ENGINEER OF RECORD (EOR) BEFORE PROCEEDING IF THE FOLLOWING CONDITIONS ARE NOTED BEFORE OR DURING CONSTRUCTION:
1) THE WORKING PLANS DO NOT BEAR THE SEAL OF THE EOR
2) THE PLANS CONTAIN DISCREPANT OR INCOMPLETE INFORMATION
ANY ERRORS DUE TO A FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE RESPONSIBILITY OF THE EOR. FURTHERMORE, IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAT ANY REVISIONS ISSUED BY THE EOR ARE PROMPTLY DISTRIBUTED TO THE SUBCONTRACTORS
THE EOR DOES NOT PERFORM PENETRATION OR VENTING CALCULATIONS OR ANY OTHER CALCULATIONS THAT ARE NOT DIRECTLY RELATED TO STRUCTURAL ENGINEERING.
ROOF AND FLOOR TRUSSES TO BE DESIGNED BY AN ENGINEER REGISTERED BY THE STATE. FINAL TRUSS DRAWING SHOULD BE SUBMITTED TO THE EOR FOR REVIEW

ABBREVIATIONS

Table mapping abbreviations to full names. Includes: ABV ABOVE, B. BOTH, B.E. BOTH ENDS, BTWN BETWEEN, CIP CAST IN PLACE, CONC CONCRETE, CS CONTINUOUS SHEATHING, DIA DIAMETER, DBL DOUBLE, DJ DOUBLE JOIST, DSP DBL STUD POCKET, EQ EQUAL, EA EACH, FLD FLANGE, FL PL FLUTCH PLATE, FLR FLOOR, FND FOUNDATION, FTC FOOTING, HDG HOT DIPPED, HGR HANGER, LVL LAMINATED VENEER LUMBER, NTS NOT TO SCALE, O.C. ON CENTER, PSL PARALLEL STRAND LUMBER, PT PRESSURE TREATED, QJ QUAD JOIST, SP STUD POCKET, SQ SQUARE, TJ TRIPLE JOIST, TYP TYPICAL, TRPL TRIPLE, TSP TRIPLE STUD POCKET, UNO UNLESS NOTED OTHERWISE, XJ EXTRA JOIST

DECK SPECIFICATIONS

Table with 2 columns: Item description and specifications. Includes sections for Decking, Post Size, Max Post Height, and various structural requirements for deck joists, bracing, and fasteners.

ALLOWABLE I-JOIST SUBSTITUTION

Table listing allowable joist substitutions. Columns include Manufacturer, Depth, Series, Simpson Face Mount Hgr, and Simpson Top Flange Hgr. Lists various joist models from Bluebird, Boise Cascade, Inl. Beams, LP Corp, Nordic, Roseburg, Weyerhaeuser, and Simpson Strong-Tie.

NOTES

NOTE: MAINTAIN JOIST DEPTH, DIRECTION, AND SPACING SPECIFIED ON PLANS.
1) THIS TABLE IS BASED ON NO. 2 TREATED SOUTHERN PINE POSTS.
2) THIS TABLE IS BASED ON A MAXIMUM TRIBUTARY AREA OF 128 SQ. FT.
3) POST HEIGHT IS FROM TOP OF FOOTING TO BOTTOM OF GIRDER.
10. DECKS SHALL BE BRACED TO PROVIDE LATERAL STABILITY BY ONE OF THE FOLLOWING METHODS:
A. WHEN THE DECK FLOOR HEIGHT IS LESS THAN 4'-0" AND THE DECK IS ATTACHED TO THE STRUCTURE IN ACCORDANCE WITH SECTION 4, LATERAL BRACING IS NOT REQUIRED.
B. 4X4 WOOD KNEE BRACES MAY BE PROVIDED ON EACH COLUMN IN BOTH DIRECTIONS. THE KNEE BRACES SHALL ATTACH TO EACH POST AT A POINT NOT LESS THAN 1/3 OF THE POST LENGTH FROM THE TOP OF THE POST, AND THE BRACES SHALL BE ANGLED BETWEEN 45° AND 60° FROM THE HORIZONTAL. KNEE BRACES SHALL BE ATTACHED AT THE ENDS TO THE GIRDER AND THE POST WITH ONE - 5/8" BOLT
C. FOR FREE STANDING DECKS WITHOUT KNEE BRACES OR DIAGONAL BRACING, LATERAL STABILITY MAY BE PROVIDED BY EMBEDDING THE POSTS IN CONCRETE IN ACCORDANCE WITH THE FOLLOWING:
D. 2X6 DIAGONAL VERTICAL CROSS BRACING SHALL BE PROVIDED IN TWO PERPENDICULAR DIRECTIONS FOR FREE STANDING DECKS OR PARALLEL TO THE STRUCTURE AT THE EXTERIOR COLUMN LINE FOR ATTACHED DECKS. THE BRACES SHALL BE ATTACHED TO THE POSTS WITH ONE - 5/8" BOLT AT EACH END OF THE BRACE.
NOTES:
1) ALL NAILS AND BOLTS ARE TO BE HOT DIPPED GALVANIZED.
2) MINIMUM EDGE DISTANCE FOR BOLTS IS 2 1/2".
3) NAILS MUST PENETRATE THE SUPPORTING STRUCTURE BAND A MINIMUM OF 1 1/2".

REQUIRED FASTENERS

Table listing required fasteners for different deck conditions. Columns include Joist Span, Decking, Post Size, Max Post Height, Required Fasteners, and King Studs. Includes requirements for wall framing, king studs, and substitutions.

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Table with project details: SCOPE: STRUCTURAL ADDENDUM, PLAN: HANOVER, REV # REF PROJ # DATE 1 23-66-324 10/20/2023

ENG: CMC/JKM DATE: 6/14/2023

PROJECT NO. 23-65-142

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