McGINNIS

TOBBACO ROAD LOT 0178



PLAN ID 070121

110 VILLAGE TRAIL SUITE 215 WOODSTOCK, GA. 30188

DRAWING INDEX COVER SHEET A0.0 A1.1 FRONT ELEVATIONS SIDE & REAR ELEVATIONS A2.1 SLAB FOUNDATIONS A3.1 A5.1 FIRST FLOOR PLANS A5.2 SECOND FLOOR PLANS A6.1 ROOF PLANS A7.2-A7.3 **ELECTRICAL PLANS**

AREA TABULATION		
FIRST FLOOR	1001	
SECOND FLOOR	1371	
TOTAL	2372	
GARAGE	410	
FRONT PORCH (COVERED)	D) 108	
B&C MASSINGS	100	
REAR PATIO	120	

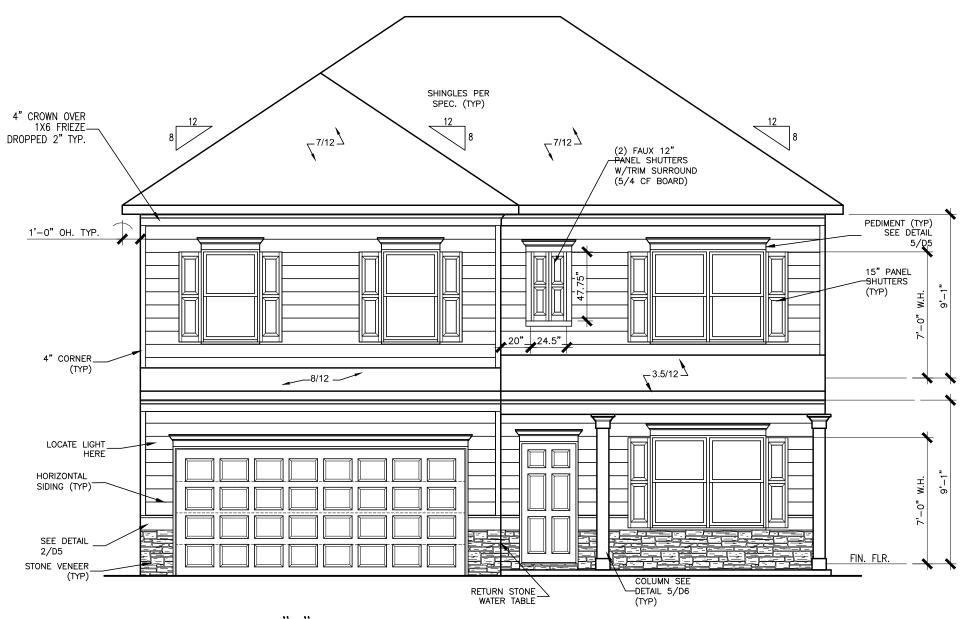
GOVERNMENTAL CODES & STANDARDS

HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA

HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

		PLAN REVISIONS	
DATE	BY	REVISION PAGE	
2/23/2021	MM	PROTOTYPE WALK CHANGES - SEE REVISION SHT	ALL
4/7/2021	AW	Added elevations J & K	A1.10, A1.11
7/1/2021	AW	2ND Prototype walk changs - see revision sheet	A2.1-A2.3, A5.1-A5.3, A7.2-A7.3
9/2/2021	ВВ	ADDED FOURTH TURTLE BACK VENT TO C MASSING REAR ELEVATION	A2-3, A6.3
2/1/2022	AW	Added LED light in Laundry hall on same switch as Loft lights	A7.3

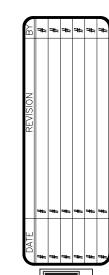


FRONT ELEVATION "C"

SCALE : 3/16" = 1'-0"

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL
DETAILS FOR SOFFIT DETAILS PER
SOFFIT MATERIAL



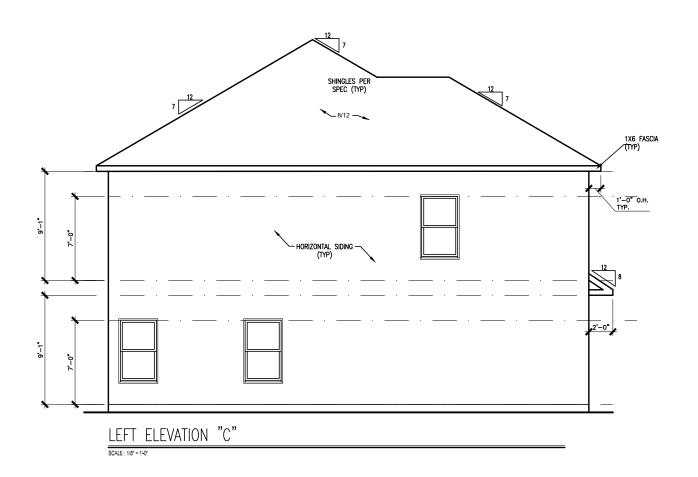
SMITH DOUGLAS HOMES

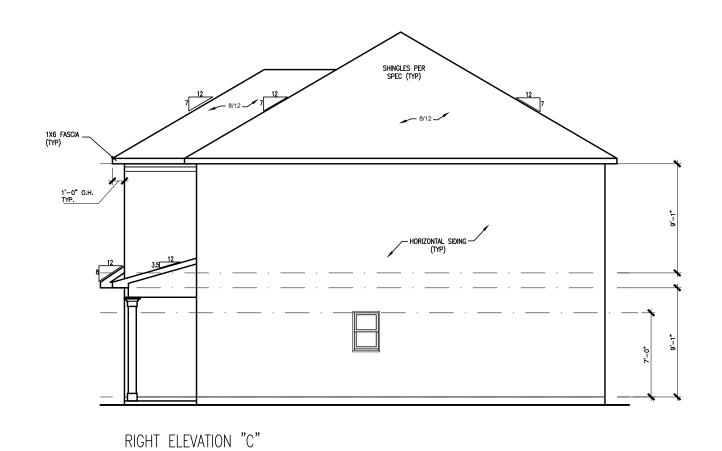
ELEVATIONS FRONT ELEVATION MCGINNIS

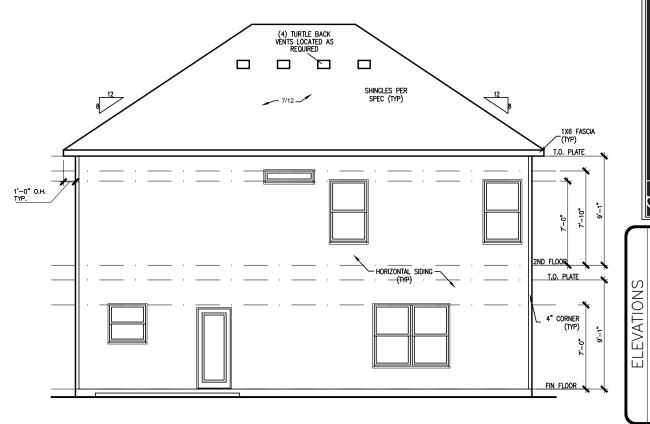
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REAR ELEVATION "C"



SMITH DOUGLAS HOMES QUALITY I INTEGRITY I VALUE

REAR

AND

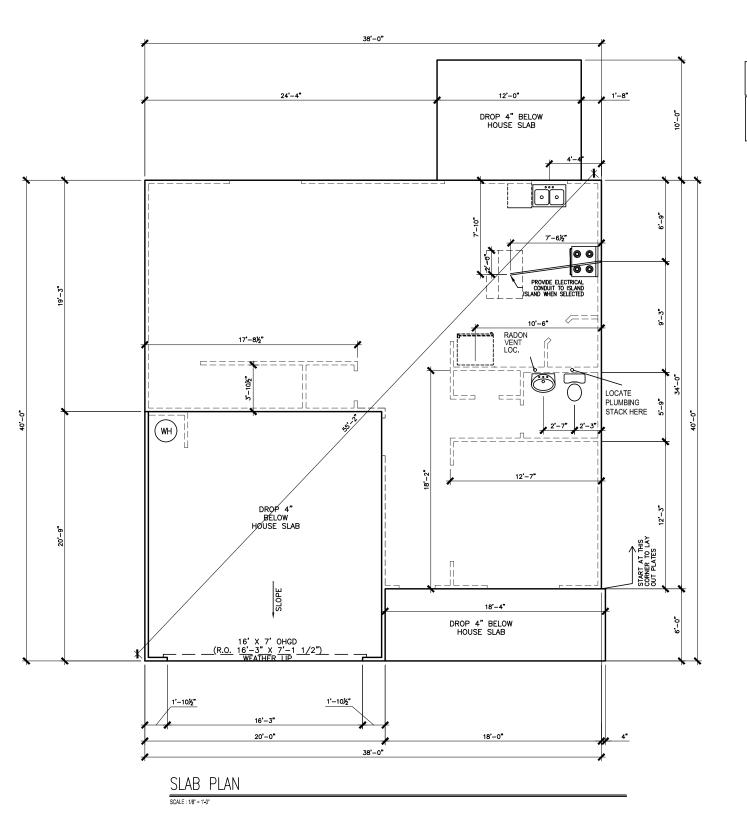
SIDES

MCGINNIS

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*RADON VENT PROVIDED PER LOCAL CODE

REFER TO DETAIL 3/D1 FOR BRICK LEDGE DETAIL WHEN BRICK VENEER IS CHOSEN



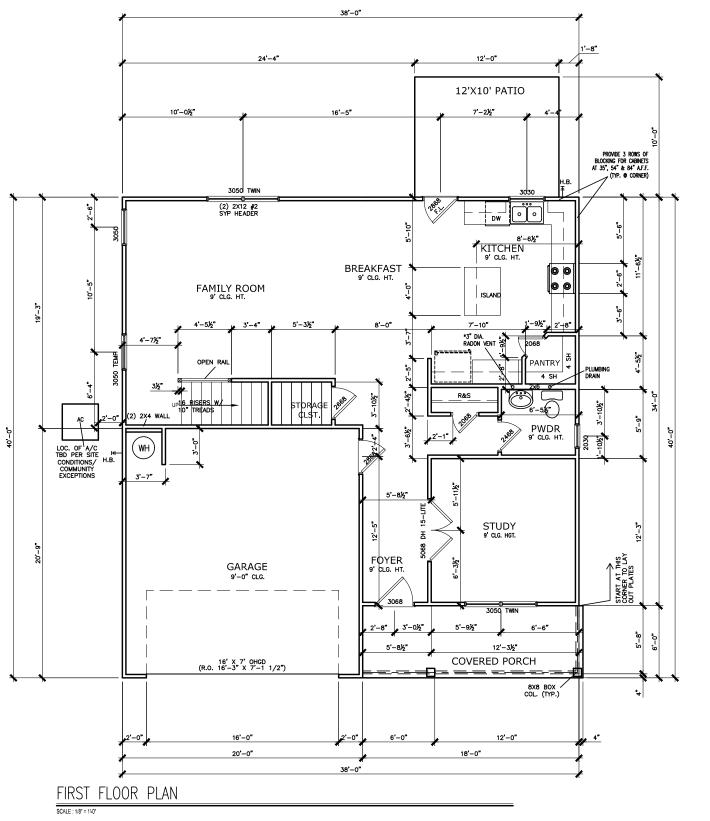


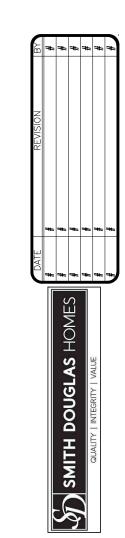


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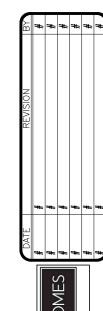
17'-8½" 11'-2½" 12'-9½" 2'-5½" 2'-5½" 2'-6" 2'-9½" 4 SH SHWR R&S OWNER'S SUITE 9' CLG. HGT. OWNER'S BATH 9' CLG. HGT. W.I.C. 2468 P.D.S. DTL 10/D7 FOR C MASSING BATH 9' CLG. HT. BEDROOM 3 9' alg. ht. LOFT 9' CLG. HGT. BEDROOM 4 9' CLG. HT. R&S TURN 2X4s SIDEWAYS THIS WALL ONLY W.I.C. 9' CLG. HT. BEDROOM 2 9' alg. ht. DRYWALL WINDOW 3050

SECOND FLOOR PLAN

SCALE : 1/8" = 1'-0"

12'-8"

TOBBACO ROAD LOT 0178

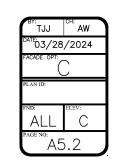


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FLOOR PLANS SECOND FLOOR MCGINNIS

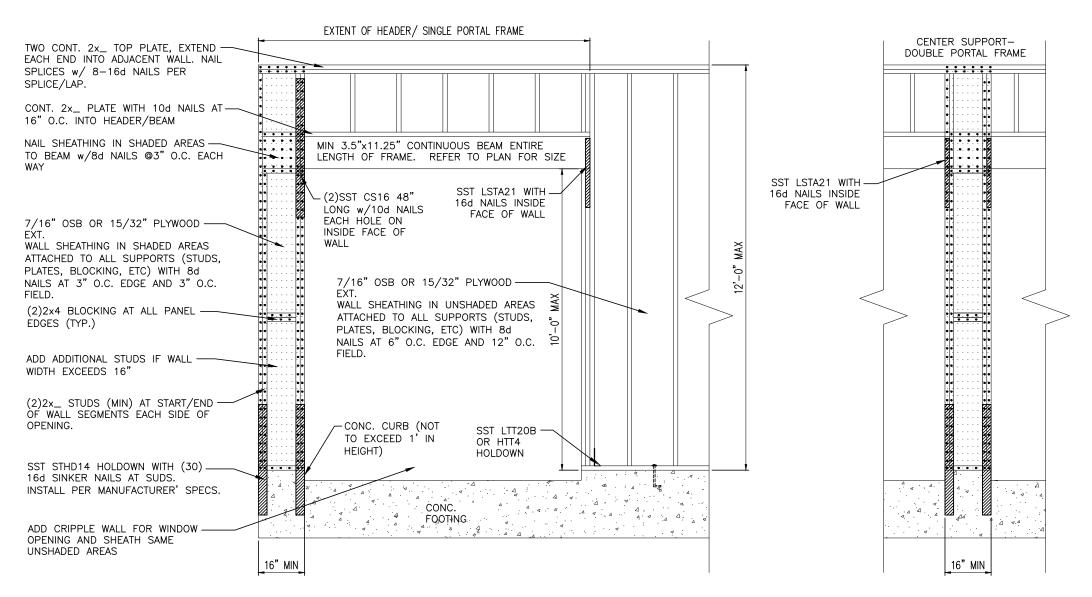
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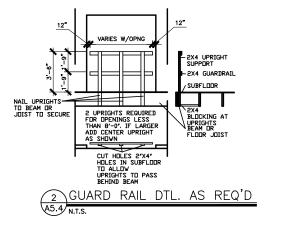


*RADON VENT PROVIDED PER LOCAL CODE

REFER TO MANUFACTURER'S SPECS. FOR DRAIN LOCATIONS ON DETAIL SHEETS D12, D12.1, D12.2 & D12.3



METHOD PF: PORTAL FRAME DETAIL W/ HOLD-DOWNS

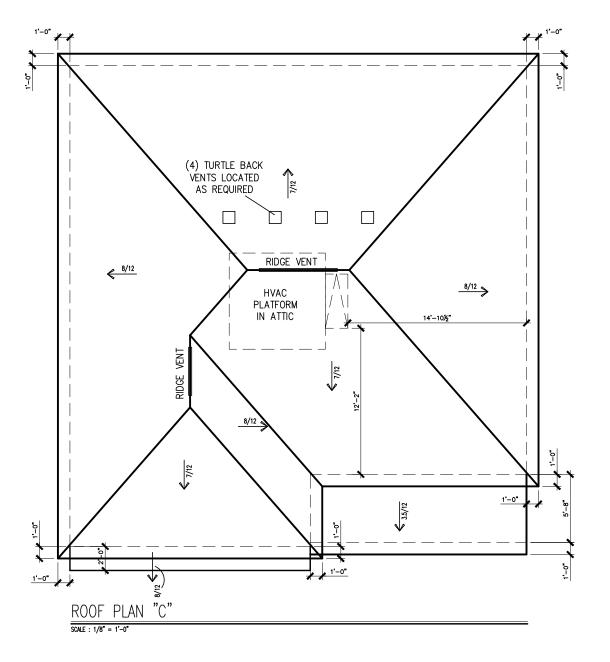


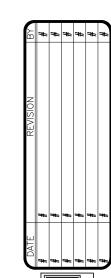


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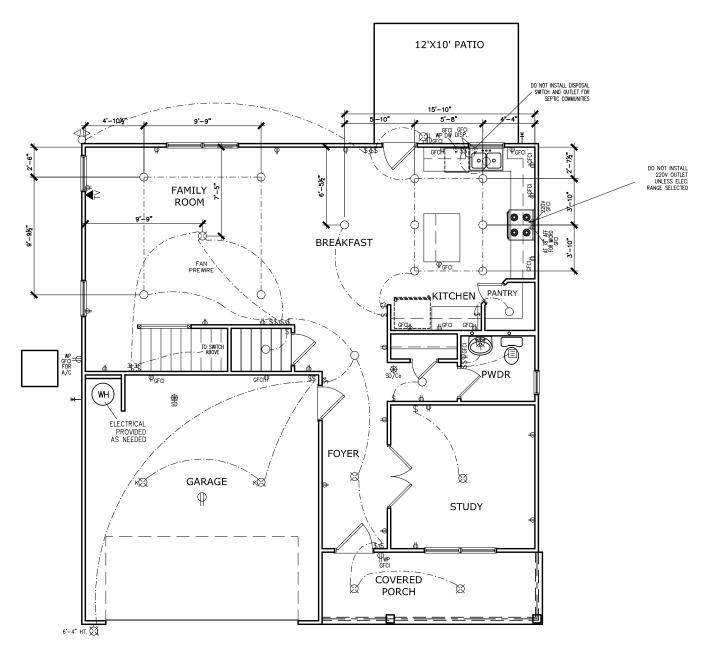


ROOF PLAN ROOF PLAN MCGINNIS

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ELECTRICAL LEGEND			
\$	SWITCH	ŢV.	TV
\$3	3 WAY SWITCH	φ	120V RECEPTACLE
\$4	4 WAY SWITCH	P	120V SWITCHED RECEPTACLE
Ø	CEILING FIXTURE	Φ	220V RECEPTACLE
-ф _к	KEYLESS	P _{GFCI}	GFCI OUTLET
闷	WALL MOUNT FIXTURE	PAFCI	ARCH FAULT CIRCU
0	CEILING FIXTURE	† _{GL}	GAS LINE
•	FLEX CONDUIT	TwL	WATER LINE
СН	CHIMES	¥	HOSE BIBB
PH	TELEPHONE	Sb	FLOOD LIGHT
SD/C∂	SMOKE DETECTOR & CARBON MONOXIDE		1×4 LUMINOUS FIXTURE
SO	SECURITY OUTLET		
	GARAGE DOOR OPENER		CEILING FAN
Ξ	EXHAUST FAN		ELECTRICAL WIRING
	FAN/LIGHT	-\$-	CEILING FIXTURE
ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES			
APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)			
BREAKFAST/DINING ROOM		63" ABO	VE FINISHED FLOOR
KITCHEN PENDANT LIGHTS		33" ABO	VE COUNTER TOP
TWO STORY FOYER FIXTURE		96" ABO	VE FINISHED FLOOR
CEILING FAN		96" ABO	VE FINISHED FLOOR
FLOOD LIGHT		10' MAX	. ABOVE FIN. FLOOR

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

FIRST FLOOR ELECTRICAL PLAN

SCALE : 1/8" = 1'-0"



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ELECTRICAL PLAN FIRST FLOOR

MCGINNIS

OWNER'S W.I.C. SUITE LNDRY K ATTIC BEDROOM 3 BATH BEDROOM 4 LOFT ; W.I.C. BEDROOM 2 Q W.I.C.

SECOND FLOOR ELECTRICAL PLAN

SCALE : 1/8" = 1'-0"

TOBBACO ROAD LOT 0178

FIF	ECTRICAL L	FGF	ND
\$	SWITCH	TV	TV
	SWIICH		TV
\$3	3 WAY SWITCH	Ψ	120V RECEPTACLE
\$4	4 WAY SWITCH	\bigcirc	120V SWITCHED RECEPTACLE
Ø	CEILING FIXTURE	\bigcirc	220V RECEPTACLE
φ^{K}	KEYLESS	PGFCI	GFCI OUTLET
Ä	WALL MOUNT FIXTURE	Pafci	ARCH FAULT CIRCUIT
0	CEILING FIXTURE	† _{GL}	GAS LINE
•	FLEX CONDUIT	† _{wL}	WATER LINE
СН	CHIMES	¥	HOSE BIBB
₽H	TELEPHONE	\$	FLOOD LIGHT
SD/Co ₩	SMOKE DETECTOR & CARBON MONOXIDE		1x4 LUMINOUS FIXTURE
SO	SECURITY OUTLET		050000 500
	GARAGE DOOR OPENER		CEILING FAN
≡	EXHAUST FAN		ELECTRICAL WIRING
0	FAN/LIGHT		CEILING FIXTURE
ELECT	FRICAL PLANS TO FOLLOW	ALL LOCAL	CODES
APPRO	X. FIXTURE HGTS (MEASUR	ED FROM B	OTTOM OF FIXTURE)
BREAKFAST/DINING ROOM		63" ABO	VE FINISHED FLOOR
KITCHEN PENDANT LIGHTS		33" ABO	VE COUNTER TOP
TWO STORY FOYER FIXTURE		96" ABOVE FINISHED FLOOR	
CEILING FAN		96" ABOVE FINISHED FLOOR	
FLOOI	FLOOD LIGHT		. ABOVE FIN. FLOOR

NOTE: FINAL PLACEMENT OF PHONE/CABLE T.B.D. ON SITE BY THE BUILDER

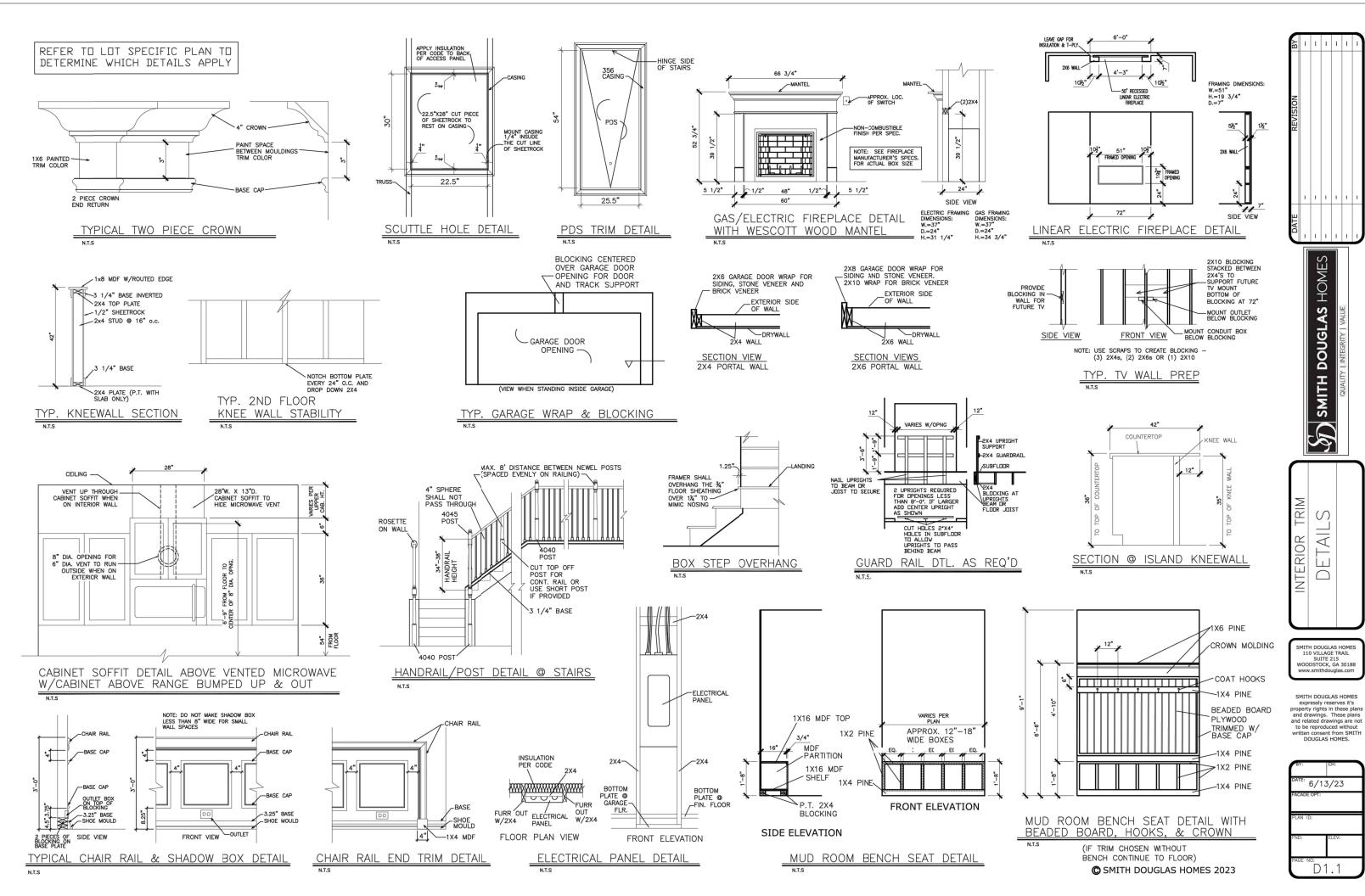


FLOOR ELECTRICAL PLAN MCGINNIS

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SECOND





CONNECTION SPECIFICATIONS (TYP. U.N.O.)

DESCRIPTION OF BLDG. ELEMENT	3"x0.131" NAILS	3"x0.120" NAILS
JOIST TO SOLE PLATE	(3) TOENAILS	(3) TOENAILS*
SOLE PL. TO JOIST/RIM OR BLK'G	NAILS @ 4" o.c.	NAILS @ 4" o.c.
STUD TO PLATE	(4) TOENAILS/ (3)END NAILS	(4) TOENAILS/ (4)END NAILS*
RIM TO TOP PLATE	TOENAILS @ 6" o.c.	TOENAILS @ 4" o.c.*
BLK'G. BTWN. JOISTS TO TOP PL.	(3) TOENAILS EA. END	(3) TOENAILS EA. END*
DOUBLE STUD	NAILS @ 16" o.c.	NAILS ② 16" o.c.
DOUBLE TOP PLATE	NAILS @ 12" o.c.	NAILS @ 8" o.c.
DOUBLE TOP PLATE LAP SPLICE	(I2) NAILS IN LAPPED AREA (24" MIN.)	(15) NAILS IN LAPPED AREA (24" MIN.)
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(3) NAILS	(3) NAILS
RAFTER/TRUSS TO TOP PLATE	(4) TOENAILS +	(4) TOENAILS +
	(I) SIMPSON H2.5T	(I) SIMPSON H2.5T
GAB. END TRUSS TO DBL. TOP PL.	TOENAILS @ 8" o.c.	TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 91/4" TO 12"	2xI0 BLK EVERY 3RD BAY	2xI0 BLK EVERY 3RD BAY
	FASTENED TO DBL. TOP PLATE W/TOENAILS @ 6" O.C.	FASTENED TO DBL. TOP PLATE W/ TOENAILS @ 4" O.C.
R.T. w/ HFFL HT. 12" TO 16"	2xI2 BI K EVERY 3RD BAY	2xI2 BLK EVERY 3RD BAY
K.I. W HELE HI. 12 10 10	FASTENED TO DBL. TOP PLATE	FASTENED TO DBL. TOP PLATE
	w/ TOENAILS @ 6" O.C.	w/ TOENAILS @ 4" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG, w/ DBL, TOP PL.	LAP WALL SHTG, w/ DBL, TOP PL.
	& INSTALL ON TRUSS VERT	& INSTALL ON TRUSS VERT
	FASTEN w/ NAILS @ 6" O.C.	FASTEN w/ NAILS @ 6" O.C.*
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. W/ DBL. TOP PL.	LAP WALL SHTG. W/ DBL. TOP PL.
	& INSTALL ON TRUSS VERT	& INSTALL ON TRUSS VERT
	FASTEN w/ NAILS @ 6" O.C.	FASTEN w/ NAILS @ 6" O.C.
	PROVIDE 2x BLK @ EA. BAY AT	PROVIDE 2x BLK @ EA. BAY AT
	TOP OF HEEL	TOP OF HEEL*
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. &	
	FASTENED PER SHEAR WALL	
	FASTENING SPEC.	l .

* 2½"x0.113 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. ONLY ACCEPTABLE WHERE * ARE SHOWN)

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW UNLESS NOTED OTHERWISE ON PLAN MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MEK FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSH BEAMS DO NOT EXCEED THE FOLLOWING: ROOF TRUSSES:

- I/4" DEAD LOAD
- ATTIC TRUSSES, & I-JOISTS: 1/8" DEAD LOAD
- ABSOLUTE DEAD LOAD DEFECTION OF ATTIC TRUSSES WHEN AD JACENT TO ELOOR FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NOT DIFFERENTIAL DEFLECTION)

VENEER LINTEL SCHEDULE

SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE
3'-0"	20 FT, MAX	L3"x3"x¼"
	3 FT. MAX	L3"x3"x¼"
6'-0"	I2 FT. MAX	L4"x3"x¼"
	20 FT. MAX	L5"x3½"x%;"
8'-0"	3 FT. MAX	L4"×4"x¼" *
8-0	I2 FT. MAX	L5"x3½"x%;"
	I6 FT. MAX	L6"x3½"x¾"
9'-6"	I2 FT. MAX	L6"x3½"x%6"

LINTELS

***MALL SUPPORT 2 %," - 3 ½" VENEER W 40 ps MAXIMM NEIGHT.

6' SHALL HAVE 4" MIN. BEARING

6' SHALL HAVE 8" MIN. DEARING

6' SHALL NOT BE FASTENED BACK TO HEADER.

60' SHALL NOT BE FASTENED BACK TO HEADER.

5' SHALL BE FASTENED BACK TO WOOD HEADER IN WALL @48"o.c. w/ ½" DIA. x 3 ½" .ONG LAG SCREWS IN 2" LONG VERTICALLY SLOTTED HOLES.

LUMB LIVE SCREEPE IN 2 LONG VERTICALLY SLOTTED ROLES.

MAX VERSER IN APPLIES TO AN PORTION OF BRICK OVER THE OPENING.

ALL LINTELS SHALL BE LONG LEG VERTICAL.

HERE SUPPORTING VEREER C 9" MOST THE EXTERIOR TOE OF THE HORIZONTAL LEGMAY BE CUT IN THE FIELD TO BE 3 % HILEE OVER THE BEARING LENGTH ONLY. THIS

STO ALLON FOR MOSTAR JOINT FRIGHMS. STRUCTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE

QUEEN VENEER USE L4x3x/4".

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE \$ 2018 IRC WITH SOUTH CAROLINA AMENDMENTS
- FOOTING DESIGN 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING
- I/2" DIA. ANCHOR BOLTS @ 6'-0" O.C.7" MIN. EMBEDMENT FA4 ANCHOR STRAPS @ 6'-0" O.C.
- FASTEN 2x10 SILL PLATES TO PRECAST BSMT WALLS WITH A MINIMUM OF 2 ANCHORS PER PLATE, I2" MAX. FROM PLATE ENDS - UTILIZING: I/2" DIA, BOLTS @ 2'-0" O.C
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2
- BUILDER TO VERIEY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD, CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- FOUNDATION WALLS & FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.
- CONCRETE DESIGN BASED ON ACI 318, CONCRETE SHALL ATTAIN. THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:

f'c = 4,000 psi: FOUNDATION WALLS 3,000 psi: FOOTINGS & INTERIOR SLABS ON GRADE 3500 psi: GARAGE & EXTERIOR SLABS ON GRADE ieq 00000 =

- BASEMENT FOUNDATION WALL DESIGN BASED ON:
 - 8' OR 9' HEIGHT (AS NOTED ON PLANS) TALLER WALLS MUST BE ENGINEERED.
- BASEMENT WALL DESIGN IS BASED ON 30 OR 45 PCF BACKFILL SOIL TYPE CLASSIFICATIONS:

30 PCE TYPE (GW GP GW GP) 45 PCF TYPE (GM, GC, SM, SM-SC, ML)

- IMPORTANT IF 60 PCF SOIL TYPE (SC, ML-CL, OR CL) IS UTILIZED FOR BACKFILL. CONTACT MULHERN & KULP FOR FURTHER EVALUATION OF FOUNDATION DESIGN.
- BASEMENT WALLS SHALL BE BRACED PRIOR TO BACKELLING BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN II REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.
- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.
- JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" OC (MAXIMUM)
- JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (I:I RATIO), WITH A MAXIMUM OF I:I.5 RATIO · CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL
- SLABS YPICAL REINFORCEMENT DETAILS: PROVIDE 3" MIN. CLEAR
- COVER WHERE CAST AGAINST FARTH 1 1/2" MIN, CLEAR COVER AGAINST FORMS. LAP ALL REBAR 48 BAR DIAMETERS MIN. (24 FOR #4 BARS) & BEND BARS AND LAP AT CORNERS PROVIDE 6 HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT.

• DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

LEGEND

R.T. NDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)

OF. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)

F.J. NDICATES I4" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING) JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER

D.J. NDICATES 2x8 P.T. DECK JOISTS • 16" O.C. (MAX.)

INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR
THE SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS

- INTERIOR BEARING WALL
- □□□□□ BEARING WALL ABOVE (B.W.A.)
- JL METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: MPH WIND IN 2018 NCSBC:R

120MPH WIND IN 2018 IRC (120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301,2,1,1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

E DESIGN WAS COMPLETED PER 2015 & 2018 IBC FCTION 1609) & ASCE 7, AS PERMITTED BY R30113 THE 2018 NCSBC:RC & 2018 IRC. ACCORDINGLY THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 1 (ACCEPTED) ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC & 2018 IRC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIET LOAD PATH PER SECTIONS R602.3.5 R802.II.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W 2 3 "XO.II3 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS, AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT, STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

3" O.C. EDGE NAILING

AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W 2 3 × 0.113 NAILS @ 3 O.C. AND 12 O.C. IN THE PÄNEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEI TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. FDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN. T WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120 NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING

INDICATES HOLDOWN

FLOOR FRAMING

- I-LIGISTS SHALL BE DESIGNED BY MANUE TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA, (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN LOADS"
- FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE) HOWEVER IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO PROVIDE PROPER UNDERLAYMENT, UNCOUPLING MEMBRANE AND MORTAR/GROUT PER THE ASSEMBLY DESIGNATIONS IN THE TONA HANDBOOK (TILE COUNCIL OF NORTH AMERICA).
- AT I-JOIST FLOORS, PROVIDE I" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O. • I-JOIST SHOP DWGS, SHALL BE SUBMITTED TO ARCH, & ENG. FOR
- REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C., EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND
- 2 ½" × 0.131" NAILS @ 6"o.c. @ PANEL EDGES \$ @ 12"o.c. FIELD. × 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD
- 2 🖁 × 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD.

ROOF FRAMING

- ROOF SHEATHING SHALL BE 1/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS · w/ 2 ½" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES € @ 12" O.C. FIELD.
- w/ 2 3" x 0.120" NAILS @ 4"o.c. @ PANEL EDGES \$ @ 8" O.C. FIELD. - W 2 3" x 0.113" NAILS @ 3"o.c. @ PANEL EDGES & @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ USP RT7A CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) RTTA CLIPS AT 2-PLY GIRDER TRUSSES, (3) RTTA CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.C
- ROOF TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH & ENG.
 FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.
- SUPPORT SHORT SPAN ROOF TRUSSES w/2x4 LEDGER FASTENED TO FRAMING w/(2) 3" \times 0.120" NAILS @ 16" O.C. (UP TO 7' SPAN).

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO TABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH LOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING THE CONTRACTOR'S RESPONSIBILITY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2018 NCSBC-RESIDENTIAL CODE \$ 2018 IRC
- WOOD FRAME ENGINEERING IS BASED ON NDS. "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

• DESIGN LOADS: LIVE = 20 PSF DEAD = 7 PSF T.C., 10 PSF B.C. ROOF

LOAD DURATION FACTOR = 1.25 FLOOR LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = 10 PSF (I-JOISTS)

ADD'L IO PSF @ CERAMIC TILE IN BATHS & LAUND

2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- CONNECTIONS TABLE (IRC TABLE R6023(I)) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION, ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF/SP "STUD" GRADE LUMBER, OR BETTER, U.N.O. WALLS OVER 12' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED W/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING
- ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER. SUPPORT ALL HEADERS/ BEAMS W/ (I)2x JACK STUD & (I)2x
- THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O.,
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX., U.N.O.) . HEADERS IN NON-LOAD BEARING WALLS SHALL BE:
- (I)2x4/6 FLAT @ OPENINGS UP TO 4', (2)2x4/6 FLAT UP TO 8'. ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING: • 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0xI0^6 psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING: • 'LVL' - Fb=2400 psi; FcII=2500 psi; E=I.8xI0^6 psi
- FOR 2 & 3 PLY BEAMS OF EQUAL 13/4" MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"X0.120" NAILS @ 8" O/C OR 2 ROWS USP WS35 SCREWS (OR 3K" TRUSSLOK SCREWS) @ 16" O/C, USE A MINIMUM OF 4 ROWG FOR BEAM DEPTHG OF 14" OR GREATER.

 APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3 ½" OR 5 ¼ BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 & 2x8
- FOR 4 PLY BEAMS OF FOUAL 13/4" MAX, WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF USP WG6 SCREWS (OR 6 ¾" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER, APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE, A SOLID 7" BEAM IS ACCEPTABLE
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND./BEARING. BLOCKING TO MATCH POST ABOVE
- ALL EXTERIOR 4x4 WOOD POSTS SHALL HAVE USP BCS22-4 CAP & PA44E BASE, U.N.O.
- CORROSION NOTES:
- BUILDER RESPONSIBLE TO DETERMINE CORROSION-RESISTANCE REQUIREMENTS AND COMPATIBILITY OF HARDWARE, EASTENERS AND CONNECTORS FOR ENVIRONMENTAL EXPOSURE AND IN CONTACT W PRESERVATIVE-TREATED WOOD OF ACTUAL FINAL CONDITIONS AND SOURCED MATERIALS. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- ALL FASTENERS AND CONNECTORS EXPOSED TO SALT WATER (WITHIN 300' OF SALT WATER SHORELINE, INCLUDING VENTED SPACES) SHALL BE STAINLESS STEEL.

MULHERN+KUL
RESIDENTIAL STRUCTURAL ENGINEER! C-3825



Mulhern+Kulp project numbe 256-21009

project ma SMK MJI issue date: 10-26-202

REVISIONS

initial: .JPP MMD

SMITH DOUGI HOMES

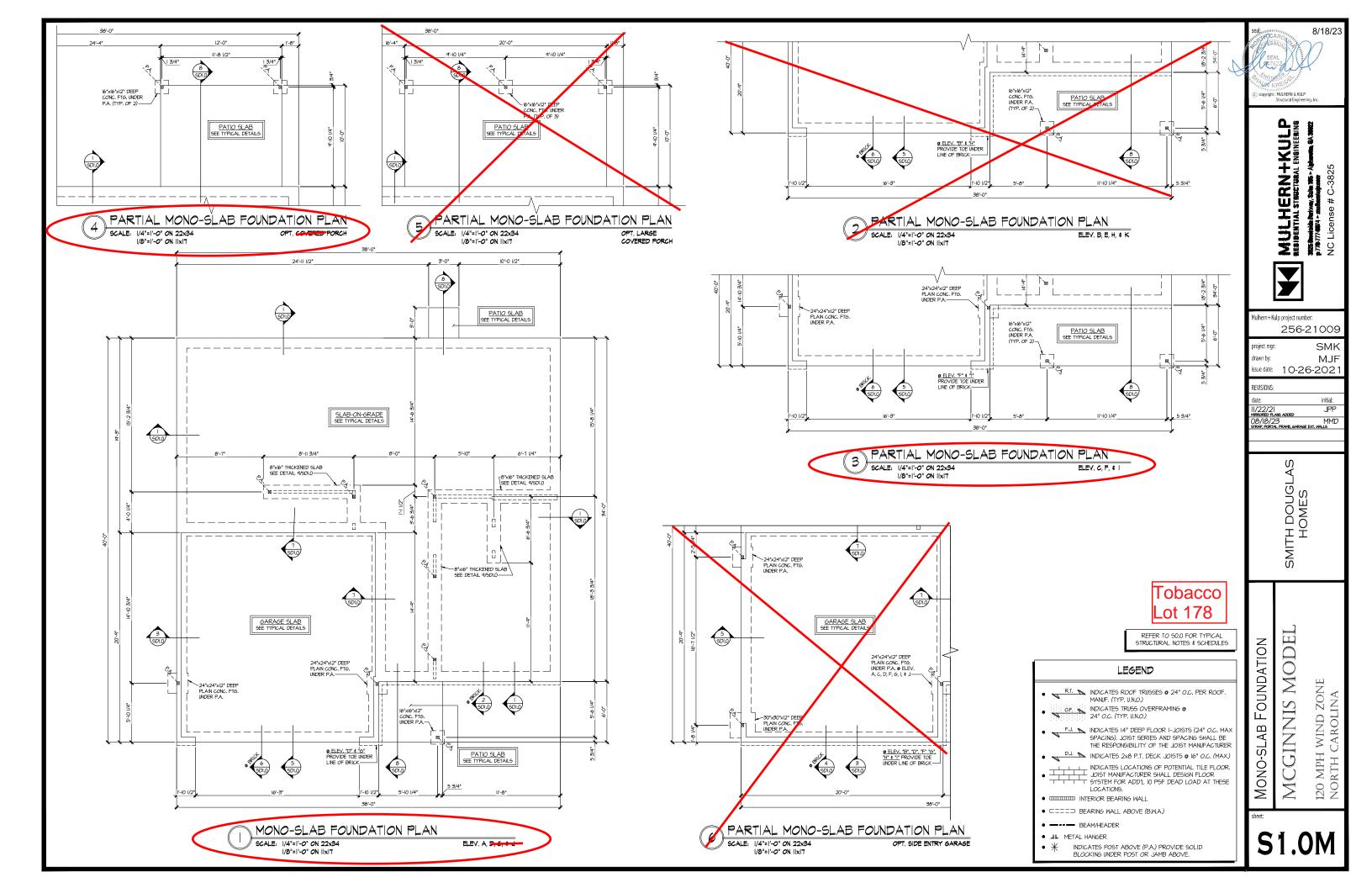
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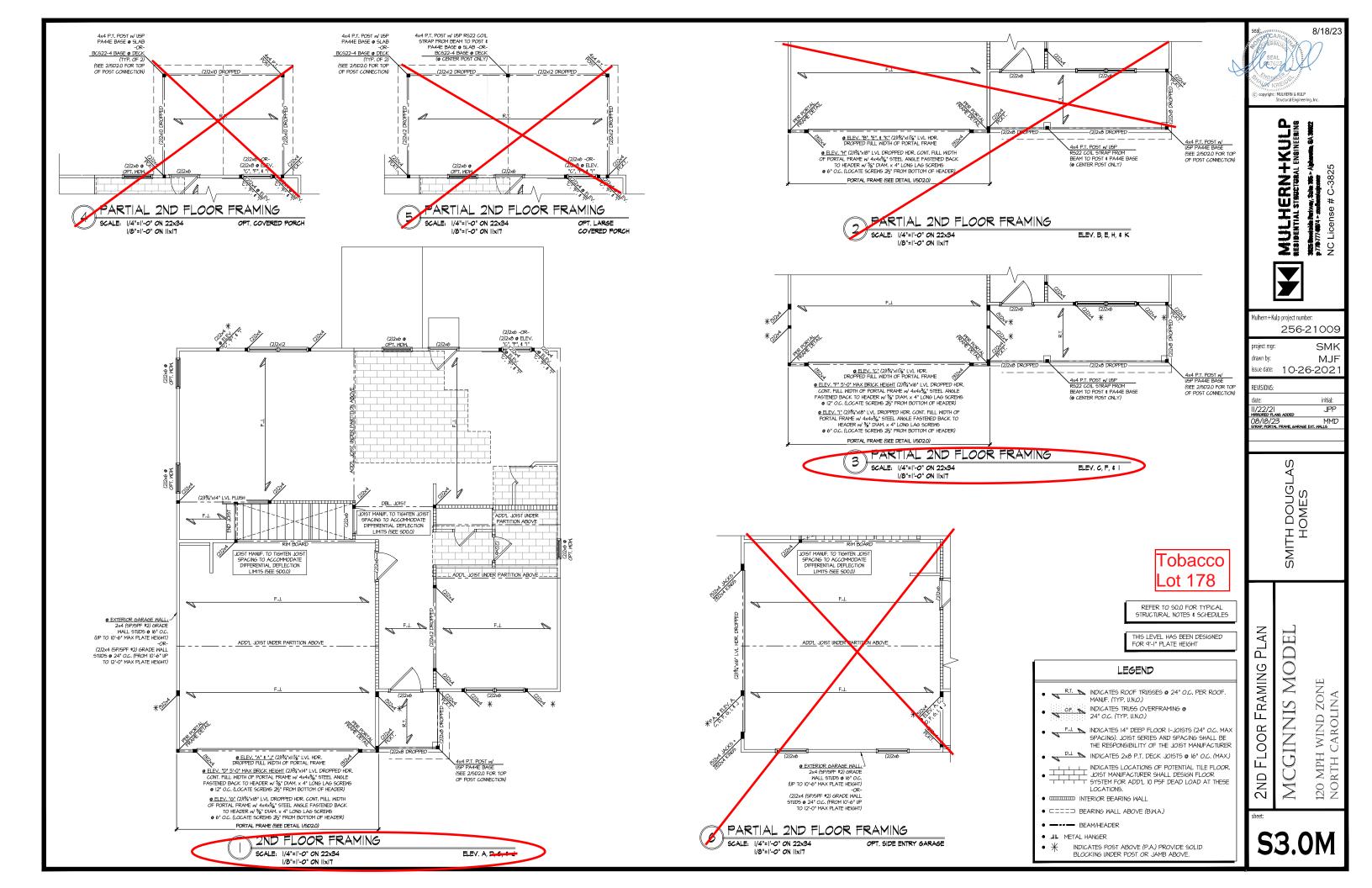
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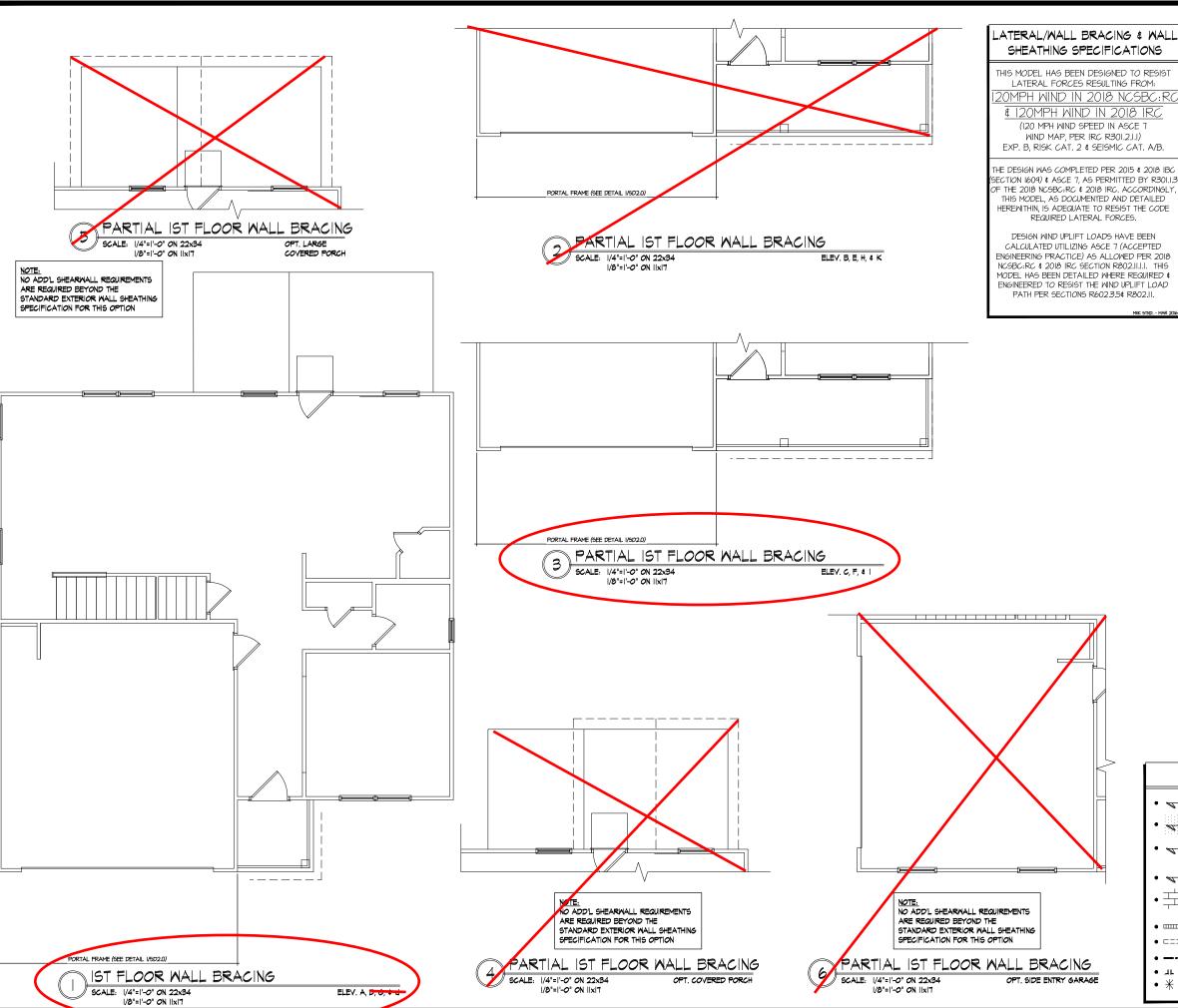
WIND

120 NO

Lobacco .ot 178







SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

(120 MPH WIND SPEED IN ASCE 7

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC SECTION 1609) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NCSBC:RC & 2018 IRC. ACCORDINGLY THIS MODEL AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE

CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC & 2018 IRC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD

EXT. WALL SHEATHING SPECIFICATION

- 1/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 3"XO.113 NAILS @ 6" O.C. A EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.C.
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR -2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: | ¾" |6 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

3" O.C. EDGE NAILING

• AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING W 2 3" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS:
 FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING

INDICATES HOLDOWN

Tobacco _ot 178

REFER TO 50.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

THIS LEVEL HAS BEEN DESIGNED FOR 9'-1" PLATE HEIGHT

LEGEND

R.T. NDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)

OF INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)

F.J. NDICATES 14" DEEP FLOOR 1-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER D.J. NDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)

INDICATES LOCATIONS OF POTENTIAL TILE FLOOR.
JOIST MANUFACTURER SHALL DESIGN FLOOR
SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS

• IIIIIII INTERIOR BEARING WALL

• □=== BEARING WALL ABOVE (B.W.A.)

BEAM/HEADER

• JL METAL HANGER

INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE

8/18/23

MULHERN+KULP RESIDENTIAL STREETURAL ENSINEERINS

Production Personal, Suite 185 - Alph PTT-4874 - mathemical poem : License # C-3825



Mulhern+Kulp project number

256-21009

SMK MJF issue date: 10-26-202

REVISIONS:

initial: JPP MMD

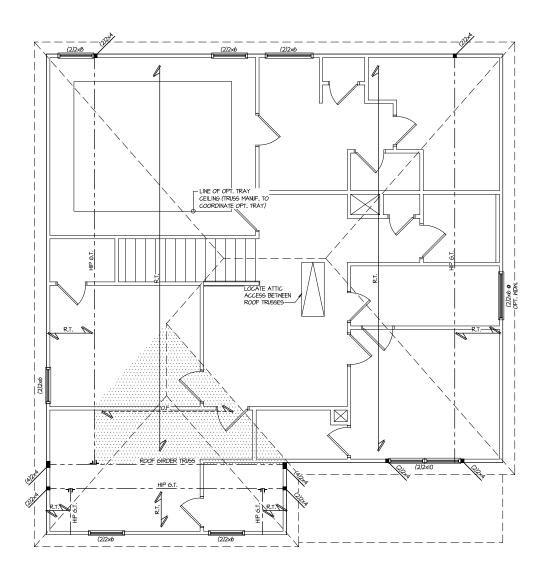
SMITH DOUGLAS HOMES

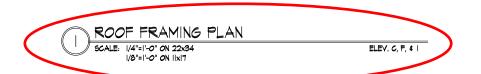
PLAN BRACING MODEI ALL GINNIS

OOR

ш S ZONE 120 MPH WIND Z NORTH CAROLII

S3.0M





MULHERN+KULP

RESIDENTIAL STRUCTURAL ENGINEERING

STRUCTURAL STRUCTURAL ENGINEERING

FINATION STRUCTURAL ENGINEERING

NO License # C-3825



Mulhern+Kulp project number:

256-21009

SMK MJF issue date: 10-26-202

REVISIONS:

initial: 11/22/21 JPP MIRRORED PLAIS ADDED 08/18/23 MMD STRAP, PORTAL FRANE, GARAGE EXT. WALLS JPP

SMITH DOUGLAS HOMES

MCGINNIS MODEL FRAMING PLAN

120 MPH WIND ZONE NORTH CAROLINA

Tobacco Lot 178

THIS LEVEL HAS BEEN DESIGNED FOR 9'-I" PLATE HEIGHT

REFER TO SO.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

• --- BEAM/HEADER

• JL METAL HANGER

INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

LEGEND

RT. INDICATES ROOF TRUSSES © 24" O.C. PER ROOF.
MANUF. (TYP. UN.O.)

OF: INDICATES TRUSS OVERFRAMING ©
24" O.C. (TYP. UN.O.)

F.J. NIDICATES 14" DEEP FLOOR 1-JOISTS (24" O.C. MAX SPACING), JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER

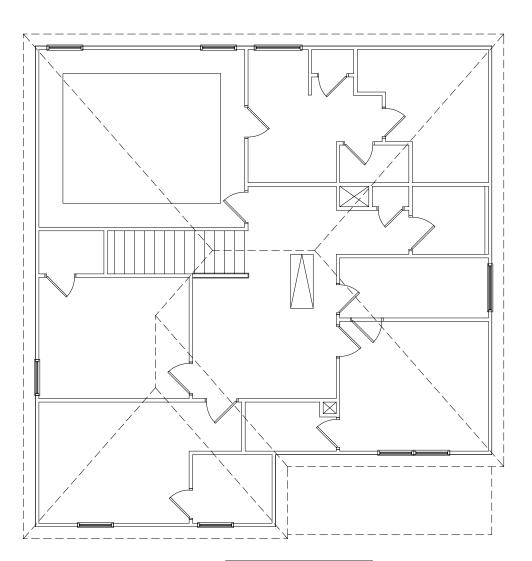
D.J. NDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.) INDICATES LOCATIONS OF POTENTIAL TILE FLOOR.
JOIST MANUFACTURER SHALL DESIGN FLOOR
SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE
LOCATIONS.

• IIIIII INTERIOR BEARING WALL

• CTTT BEARING WALL ABOVE (B.W.A.)

S4.2M

ROOF



NOTE: NO ADD'L SHEARWALL REQUIREMENTS ARE REQUIRED BEYOND THE STANDARD EXTERIOR WALL SHEATHING SPECIFICATION FOR THIS ELEVATION

2ND FLOOR WALL BRACING PLAN SCALE: 1/4"=1'-0" ON 22x34 1/8"=1'-0" ON 11x17 ELEV. C, F, & I

.ATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

20MPH WIND IN 2018 NCSBC:RC # 120MPH WIND IN 2018 IRC

(120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC SECTION 1609) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NCSBC:RC & 2018 IRC. ACCORDINGLY THIS MODEL. AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC & 2018 IRC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5& R802.II.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 3"XO.113 NAILS @ 6" O.C. A EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.C.
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR -2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: I ¾" I6 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

3" O.C. EDGE NAILING

• AT DESIGNATED AREAS - FASTEN PANEL EDGES OF MOOD STRUCTURAL WALL SHEATHING TO FRAMING W 2 3" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS:
 FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB
SHEARWALL, AND/OR 3" O.C. EDGE NAILING

INDICATES HOLDOWN

Tobacco _ot 178

THIS LEVEL HAS BEEN DESIGNED FOR 9'-I" PLATE HEIGHT

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND

R.T. NDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)

OF. INDICATES TRUSS OVERFRAMING © 24" O.C. (TYP. U.N.O.)

F.J. NDICATES 14" DEEP FLOOR 1-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)

INDICATES LOCATIONS OF POTENTIAL TILE FLOOR.
JOIST MANUFACTURER SHALL DESIGN FLOOR
SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS

- IIIIII INTERIOR BEARING WALL
- □=== BEARING WALL ABOVE (B.W.A.)
- --- BEAM/HEADER
- JL METAL HANGER
- INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

8/18/23

MULHERN+KULP RESIDENTIAL STRUCTURAL ENGINEERINS 1905 Beautistic Parkway, Suite 1905 - Alpha 1976-77-4974 - mathemical scene NC License # C-3825

Mulhern+Kulp project number:

256-21009

SMK MJF issue date: 10-26-202

REVISIONS:

initial: JPP

MMD

SMITH DOUGLAS HOMES

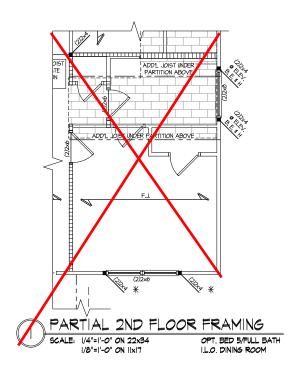
PLAN BRACING

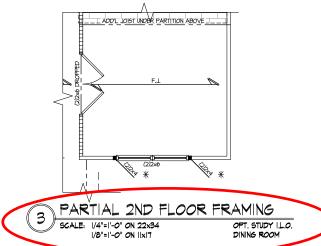
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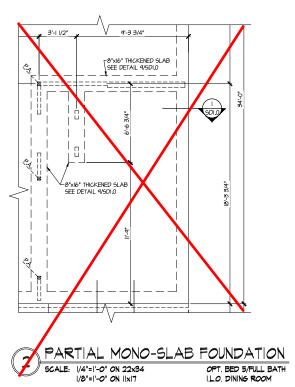
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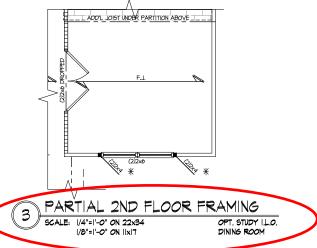
WALL

FLOOR









Tobacco Lot 178

REFER TO SO.0 FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

THIS LEVEL HAS BEEN DESIGNED FOR 9'-I" PLATE HEIGHT

LEGEND

• RT. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)

• OF INDICATES TRUSS OVERFRAMING • 24" O.C. (TYP. U.N.O.)

F.J. NIDICATES 14" DEEP FLOOR 1-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER

• D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.) INDICATES LOCATIONS OF POTENTIAL TILE FLOOR.
JOIST MANUFACTURER SHALL DESIGN FLOOR
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• IIIIII INTERIOR BEARING WALL

• CTTT BEARING WALL ABOVE (B.W.A.)

• --- BEAM/HEADER

• JL METAL HANGER

INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

8/18/23

MUCHERN+KULP

RESIDENTIAL STRUCTURAL ENGINEERING

STRUCTURAL STRUCTURAL ENGINEERING

STRUCTURAL STRUCTURAL ENGINEERING

FURTHERIC TRANSPORTER

FURTHERIC TRANSPO



Mulhern+Kulp project number:

256-21009

SMK MJF issue date: 10-26-202

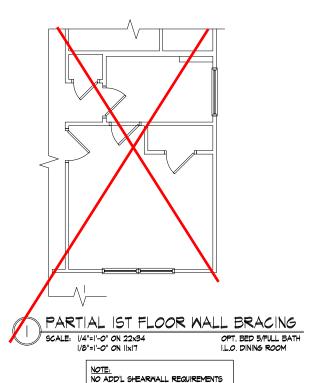
initial: II/22/2| JPP MIRRORED PLANS ADDED 08/18/23 MMD STRAP, PORTAL FRANE, GARAGE EXT. WALLS

SMITH DOUGLAS HOMES

MCGINNIS MODEL OPTIONS

120 MPH WIND ZONE NORTH CAROLINA

S5.0M



ARE REQUIRED BEYOND THE STANDARD EXTERIOR WALL SHEATHING

SPECIFICATION FOR THIS OPTION

PARTIAL IST FLOOR WALL BRACING OPT. STUDY I.L.O. SCALE: 1/4"=1'-0" ON 22x34 DINING ROOM 1/8"=1'-0" ON 11x17 NOTE: NO ADD'L SHEARWALL REQUIREMENTS ARE REQUIRED BEYOND THE STANDARD EXTERIOR WALL SHEATHING SPECIFICATION FOR THIS OPTION

NOTE SHEARMALL REQUIREMENTS ARE REQUIREMENTS DEVOND THE STANDARD EXTERNAL SHEATHING SPECIFICATION FOR THIS OPTION PARTIAL MONO-SLAB FOUNDATION SCALE: 1/4"=1'-0" ON 22x34 OPT, BED 5/FULL BATH 1/8"=1'-0" ON 11x17 I.L.O. DINING ROOM

.ATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

20MPH WIND IN 2018 NCSBC:RC # 120MPH WIND IN 2018 IRC

(120 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC SECTION 1609) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NCSBC:RC & 2018 IRC. ACCORDINGLY THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSBC:RC & 2018 IRC SECTION R802.II.I.I. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & PATH PER SECTIONS R602.3.5& R802.II.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD: FASTEN SHEATHING W/ 2 3 "XO.113 NAILS @ 6" O.C. A EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR -2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: I ¾" I6 GA STAPLES (1/6" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

3" O.C. EDGE NAILING

 AT DESIGNATED AREAS - FASTEN PANEL EDGES OF MOOD STRUCTURAL WALL SHEATHING TO FRAMING W 2 3" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED W/ OSB OR PLYWOOD W/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

INDICATES EXTENT OF INT. OSB
SHEARWALL, AND/OR 3" O.C. EDGE NAILING

NDICATES HOLDOWN

Tobacco Lot 178

REFER TO SO.O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

THIS LEVEL HAS BEEN DESIGNED FOR 9'-I" PLATE HEIGHT

LEGEND

R.T. NDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)

OF NDICATES TRUSS OVERFRAMING © 24" O.C. (TYP. U.N.O.)

F.J. NDICATES I4" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER D.J. NDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX.)

INDICATES LOCATIONS OF POTENTIAL TILE FLOOR.

JOIST MANUFACTURER SHALL DESIGN FLOOR

SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS

• IIIIIII INTERIOR BEARING WALL

• □=== BEARING WALL ABOVE (B.W.A.)

• --- BEAM/HEADER

• JL METAL HANGER

INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

8/18/23

MULHERN+KULP RESIDENTIAL STRUCTURAL ENGINEERING Structure Parkway, Suite 155 • Algha P.T.-4874 • structure and appearer

C. License # C-3825

Mulhern+Kulp project number

256-21009

SMK MJF issue date: 10-26-202

REVISIONS: initial:

JPP MMD

SMITH DOUGLA HOMES

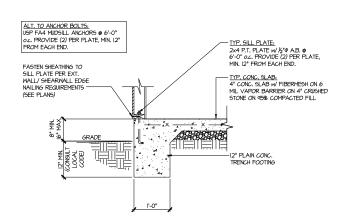
MODE

120 MPH WIND ZONE NORTH CAROLINA GINNIS

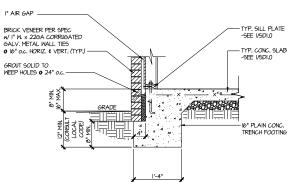
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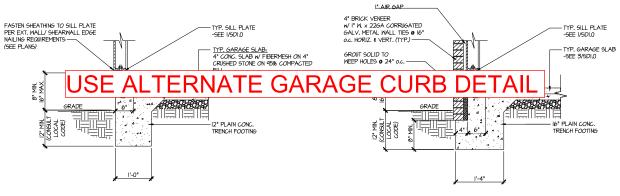
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TYPICAL SLAB ON GRADE PERIMETER FOOTING

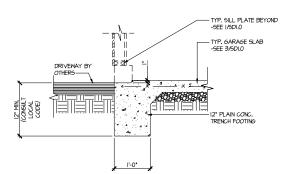


TYPICAL SLAB ON GRADE 2 PERIMETER FOOTING W/ BRICK VENEER

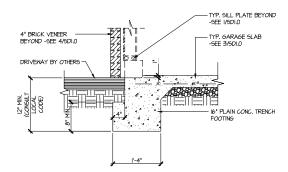


TYPICAL SLAB ON GRADE GARAGE 3 PERIMETER FOOTING

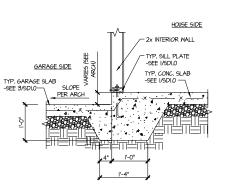
TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER



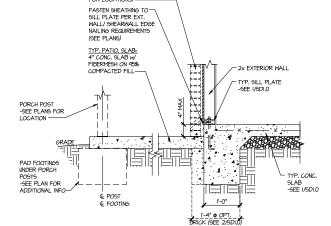
TYPICAL SLAB ON GRADE GARAGE (5) ENTRY @ PERIMETER FOOTING



TYPICAL SLAB ON GRADE GARAGE 6 ENTRY @ PERIMETER FOOTING

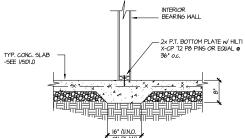


TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING

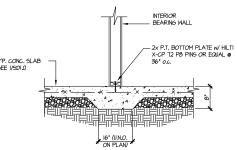


OPT. BRICK (SEE ARCH FOR LOCATIONS)

TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



TYPICAL THICKENED SLAB @ 9 INTERIOR BEARING WALL



Tobacco Lot 178

8/18/23

MULHERN+KULP
RESIDENTIAL STREETURAL ENGINEERINS 1865 Breeksigh Perlovey, Softer 1865 - Alpha 1970-177-18974 - mediteratespeer NC License # C-3825

Mulhern+Kulp project number: 256-21009

SMK MJF issue date: 10-26-202

REVISIONS:

initial: JPP MMD

SMITH DOUGLAS HOMES

MODEL GINNIS

ZONE

FOUNDATION DETAILS WIND Z 120 MPH V NORTH C

SD1.0





3625 Brookside Parkway, Suite 165, Alpharetta, GA 30022 > p 770-777-0074 > mulhernkulp.com

August 18, 2023

lody Hunt

Director of Product Development

SMITH DOUGLAS HOMES

110 Village Trail, Suite 215 Woodstock, GA 30188

ALTERNATE GARAGE CURB DETAIL

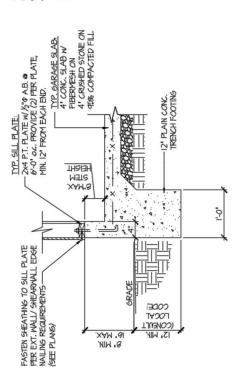
Smith Douglas Homes

Reference

Current Structural Plans prepared by Mulhern & Kulp

Jody:

Pursuant to your request, we have prepared this letter to address the "Alternate Garage Curb Details", prepared by Mulhern & Kulp for Smith Douglas Homes shown below. The foundation details shown below call for a 4" wide curb with a maximum of 8" stem wall height; these are an acceptable alternative to the 6" wide curb at the garage per M&K foundation details 3 & 4 on sheet SD-1.0 at 2x4 garage wall locations.



TYP. SILL PLATE.

— 2x4 P.T. PLATE w/\$'\$ AB. \$\text{6} \cdot 8"MAX. STEM HEIGHT NIM 'S I" AR GAP
4" BRICK VENEER
W I" W. X. 229A CORRIGATED
GALV. METAL WALL TIES 6 16"
0.c. HORIZ. # VERT. (TYP.) GROUT SOLID TO WEEP HOLES № 24" O.C (CODE) (CONSULT (CONSULT .XAM "8I

> TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING **₹**

TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING \bigcirc

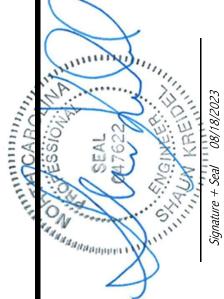
Please feel free to call if you have any questions.

Respectfully,

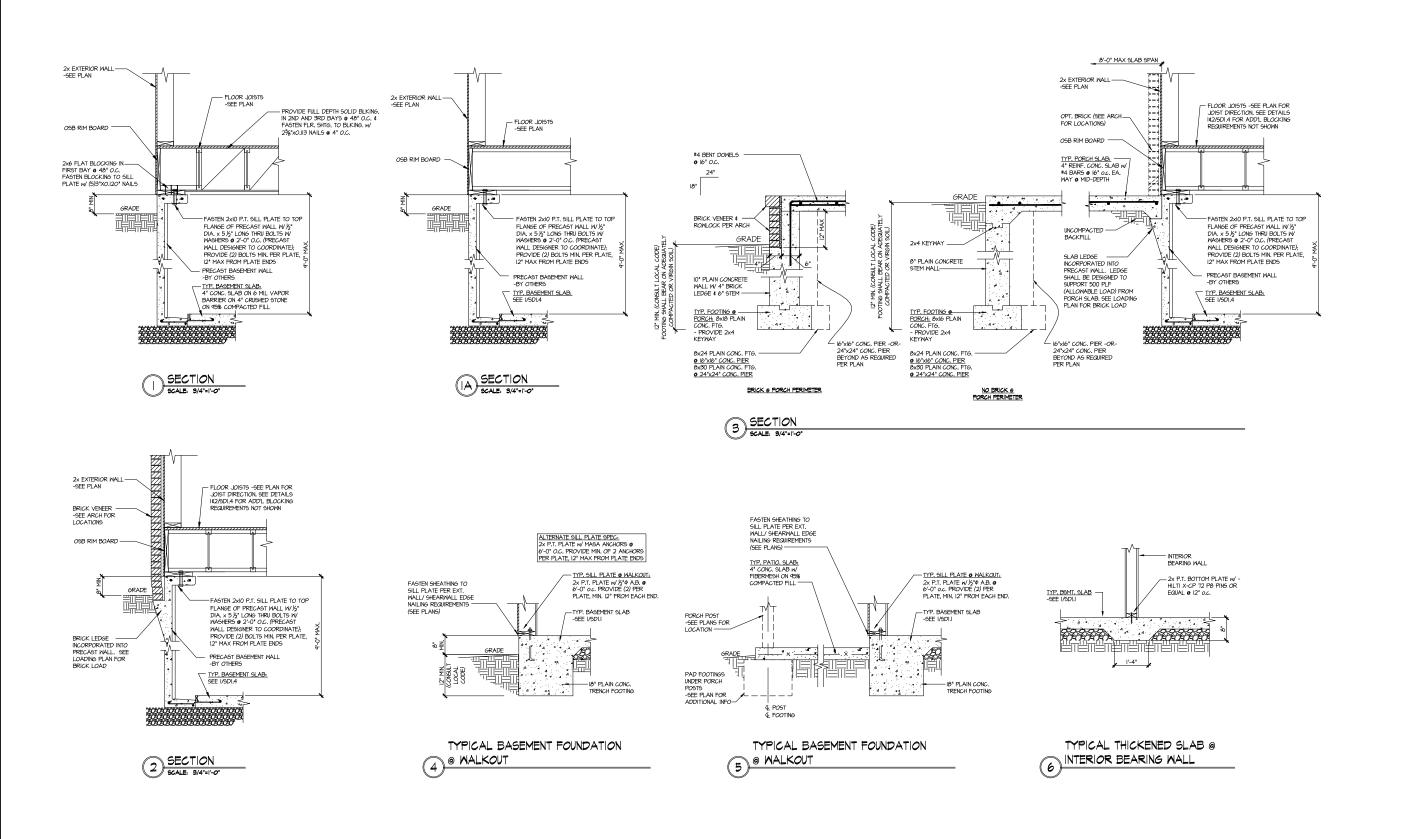
MULHERN & KULP STRUCTURAL ENGINEERING, INC.

NC License # C-3825

Project Manager + Atlanta Office Director Shaun M. Kreidel, P.E.



P:|Client Files|256 - Smith Douglas Homes|2023|23000 - 2023 Client Admin|2023-08-17 - 4in Garage Curb Letter|Alternate Garage Curb Detail - Letter - NC.docx



MULHERN+KULP
RESIDENTIAL STREETURAL ENGINEERINS

NC License # C-3825

Mulhern+Kulp project number:

256-21009 SMK

MJF issue date: 10-26-202

REVISIONS:

initial: JPP MMD

SMITH DOUGLAS HOMES

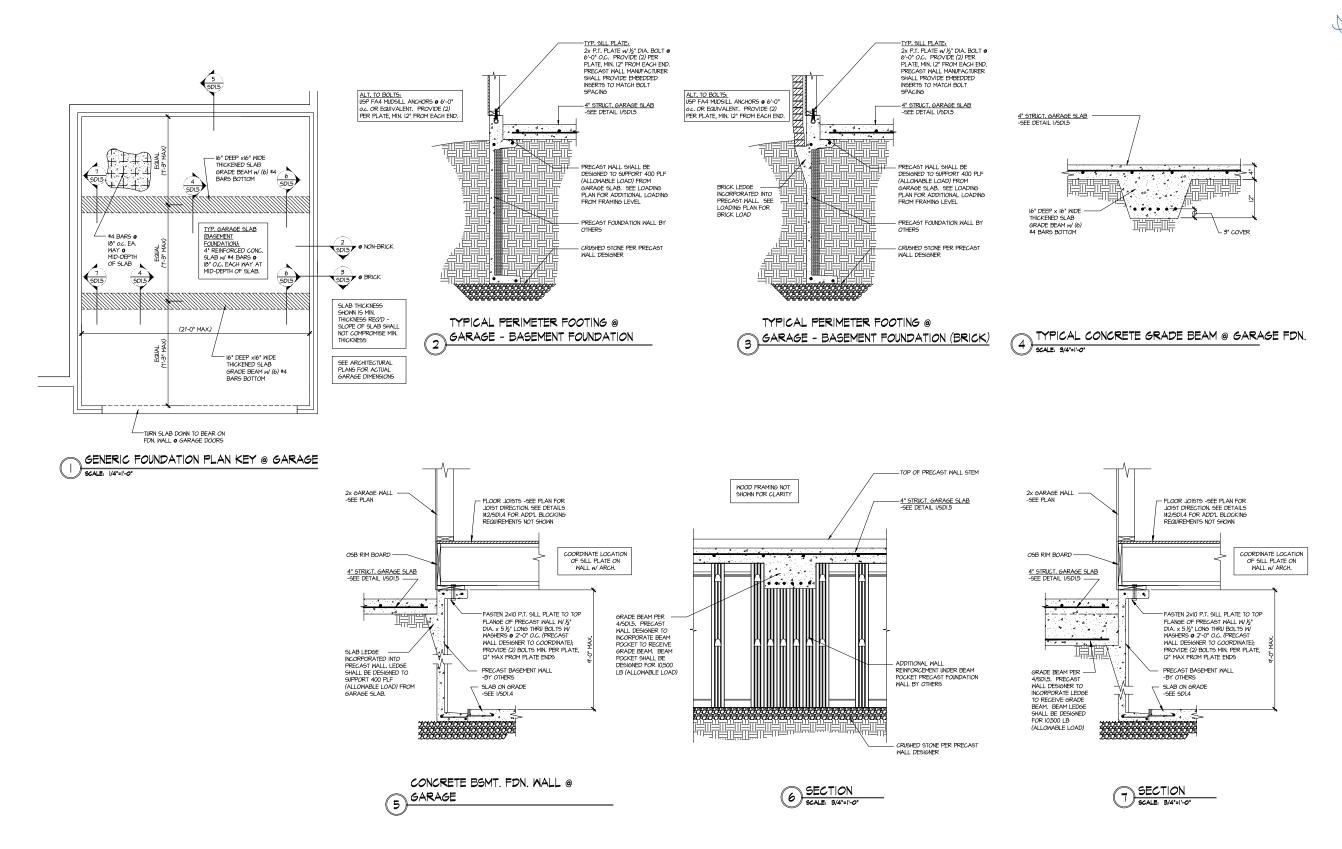
MODE FOUNDATION DETAILS

120 MPH WIND ZONE NORTH CAROLINA GINNIS

Tobacco

ot 178

SD1.4



MULHERN+KULP
RESIDENTIAL STRUCTURAL ENGINEERINS

Section of the sectio

Mulhern+Kulp project number: 256-21009

SMK MJF

issue date: 10-26-202 REVISIONS:

initial: JPP MMD

SMITH DOUGLAS HOMES

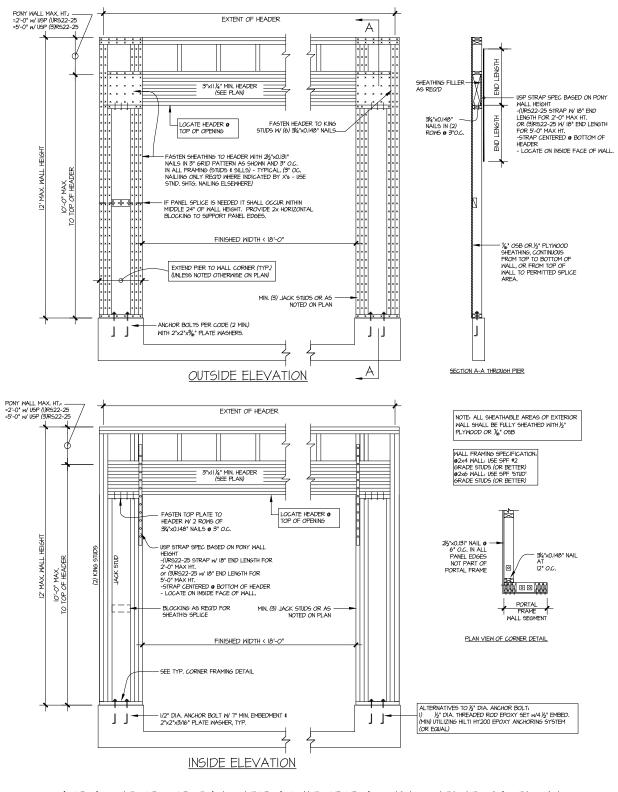
MODEL **FOUNDATION DETAILS** GINNIS

H WIND ZONE CAROLINA 120 MPH V

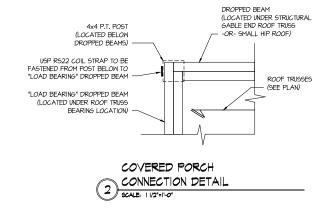
Tobacco

Lot 178

SD1.5







MULHERN+KULP
RESIDENTIAL STREETURAL ENGINEERINS

1905 Bredskish Betwey, Sale 196 * Alpha 1976-77-4974 * methanical poor NC License # C-3825

Mulhern+Kulp project number:

256-21009

SMK MJF issue date: 10-26-202

REVISIONS:

initial: JPP MMD

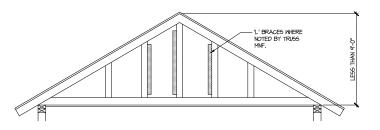
SMITH DOUGLAS HOMES

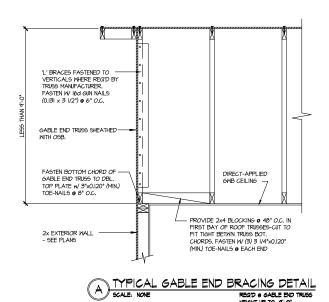
MODEL

120 MPH WIND ZONE NORTH CAROLINA MCGINNIS FRAMING DETAILS

SD2.0

Tobacco _ot 178





BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-O'. L' BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.

REQ'D & GABLE END TRUSS HEIGHT UP TO 9'-0"

- STRONG-BACK @ MID-HEIGHT FOR DIAG. BRACES 2x4 VERT. - FASTEN W (4) 3"x0.120" (MIN.) TO EACH GABLE TRUSS VERTICAL 2x4 BLOCKING w/ (4) 3"x0.120" (MIN.) TOE-NAILS EACH END @ EACH DIAGONAL BRACE 2x4 HORIZ. - FASTEN
W 3 I/4"x0.I20" (MIN.) 9
8" O.C. TO 2x6
VERTICAL -2 3/8"x0.113" NAILS ♥ 4" o.c. 2x6 DIAG, BRACE (W 2x4
T-BRACE IF LENGTH EXCEEDS 6!),
SPACED • 4-0" O.C. NAX FASTEN
2x4 TO 2x6 W 3"x0,120" (MIN)
NAILS • 8" O.C. E STRONG-BACK & MID-HEIGHT (MIN. 4'-6") GABLE END TRUSS SHEATHED WITH OSB. FASTEN BOTTOM CHORD OF — GABLE END TRUSS TO DBL. TOP PLATE w/ 3"x0.120" (MIN.) TOE-NAILS @ 8" O.C. 2x EXTERIOR WALL -SEE PLANS FOR SPECIFICATIONS

> B TYPICAL GABLE END BRACING DETAIL SCALE: NONE REOD & GABLE END TRUSS REQ'D @ GABLE END TRUSS HEIGHT BETWIN 9'-0" TO 14'-0"

> > BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0'. L' BRACES NOT REQUIRED.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.

NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

8/18/23

MULHERN+KULP

RESIDENTIAL STRUCTURAL ENGINEERING

RESIDENTIAL STRUCTURAL ENGINEERING

FURTHERS - STRUCTURAL SIZE STRUCTURAL ENGINEERING

FURTHERS - STRUCTURAL SIZE

NC License # C-3825



Mulhern+Kulp project number:

256-21009

project mgr: SMK MJF issue date: 10-26-202

REVISIONS:

initial: II/22/2| JPP MIRRORED PLANS ADDED JPP 08/18/23 MMD STRAP, PORTAL FRAME, GARAGE EXT. MALLS

SMITH DOUGLAS HOMES

MCGINNIS MODEL 120 MPH WIND ZONE NORTH CAROLINA

FRAMING DETAILS

SD2.1

Tobacco Lot 178

